

PROJECT STATISTICS

DEVELOPMENT DESCRIPTION

The development at 8th. Avenue NE. is a Self Storage buildings 1, 2, 3, 4 and 5 as small office building. Provided with 6 parking stalls and served with roads around the building for ease of access and service and one fire truck access road and emergency exit .

MUNICIPAL ADDRESS

Unit 1, 3208 8th. Ave. NE, Calgary, AB

LEGAL ADDRESS

Unit 1, Condominium, Plan 981 2629

LOT AREA

1.2797 hectare
3.1622 Acre
12797 Sq.m.

LAND USE ZONING

I-G

LAND USE REGULATION

SETBACK FROM	ALLOWED	PROPOSED
East	0.0M	0.0M
West	6.0M	6.0M
North	1.2M	5.49M
South	1.2M	1.2M

Maximum Height	No Limit	7.4M
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F.A.R.	1	
G.F.A.	12797 SQ.M.	5,080 SQ.M.

Building 1	1,817 Sq.m.	MF 83.30
Building 2	1,817 Sq.m	MF 83.15
Building 3	56 Sq.m.	MF 83.00

Proposed Site Coverage	39.7%
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PARKING	
Total No. Provided Parking Stalls	6 Stalls
B.F. Parking Stalls	0 Stalls

Bicycle Parking	0 (Class 1)
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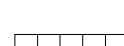
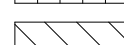
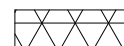
PARKING NOTES

1. ALL PARKING STALLS ARE 2.6MX5.4M UNLESS OTHERWISE INDICATED
2. ALL PARKING STALLS HAVE MINIMUM VERTICAL CLEARANCE OF 2.1M
3. ALL SURFACE PARKING AREAS AND DRIVE AISLES ARE ASPHALT
4. WHEEL STOPS TO CITY OF CALGARY STANDARD
5. NO PARKING SIGNS ON BOTH SIDES OF THE FIRE ACCESS ROUTE WHERE THE ROAD WIDTH IS LESS THAN 7.49M.

SITE NOTES

1. REFER TO SITE GRADING PLAN FOR GEODETIC DATUM POINTS/ CONTOURS
2. REFER TO SITE SERVICING PLAN FOR EXISTING AND PROPOSED UNDERGROUND UTILITY AND SERVICES CONNECTIONS
3. ALL ELEMENTS IN PLAN PROPOSED UNLESS OTHERWISE NOTED
4. FIRE ACCESS ROUTE IS DESIGNED TO SUPPORT A 38,556KG/85,000 LBS LOAD.

SITE LEGEND

PROPERTY LINE	
SETBACK LINE	
BUILDING FOOTPRINT	
FUTURE DEVELOPMENT	
CONCRETE PATHWAY AND CURBS	
ASPHALT SURFACE	
TRENCH	
BOLLARD	
FIRE HYDRANT	

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AMENDED DRAWINGS

DP No	Date Received
DP2025-04549	JUN 15 2026

**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

[illegible]

SEAL

CLIENT

2454427 AB. LTD

PROJECT

SELF STORAGE AT
3208 8TH AVE. NE.

	TITLE
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SITE PLAN

DRAWN BY Author	CHECKED BY Checker	DATE 07/28/25
SCALE As indicated	PROJECT NUMBER 35	
DRAWING NUMBER A101		REV 2

Rev	Description	Date
1	ISSUED FOR DP	28.07.25
2	ISSUED FOR DR1	21.11.25

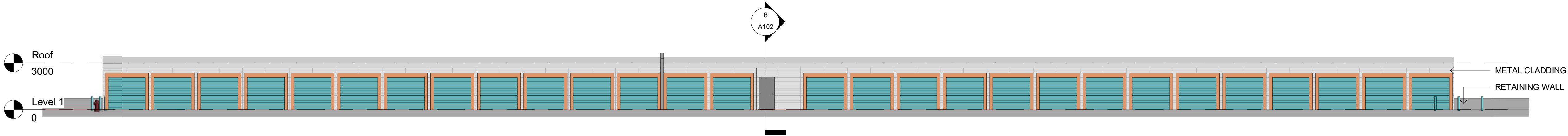
SEAL

CLIENT
2454427 AB. LTD

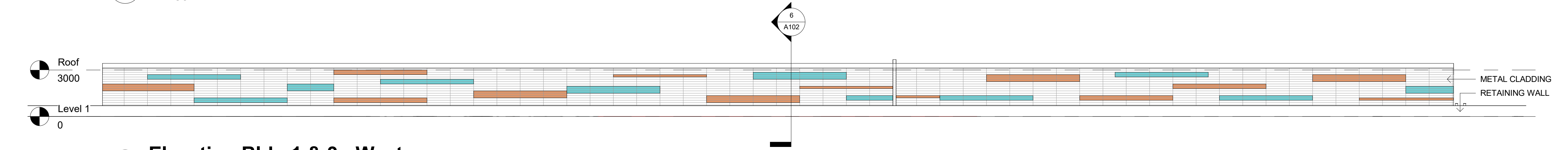
PROJECT
SELF STORAGE AT
3208 8TH AVE. NE.

TITLE
BLDG. 1 & 2 PLAN,
ELEVATIONS & SECTION

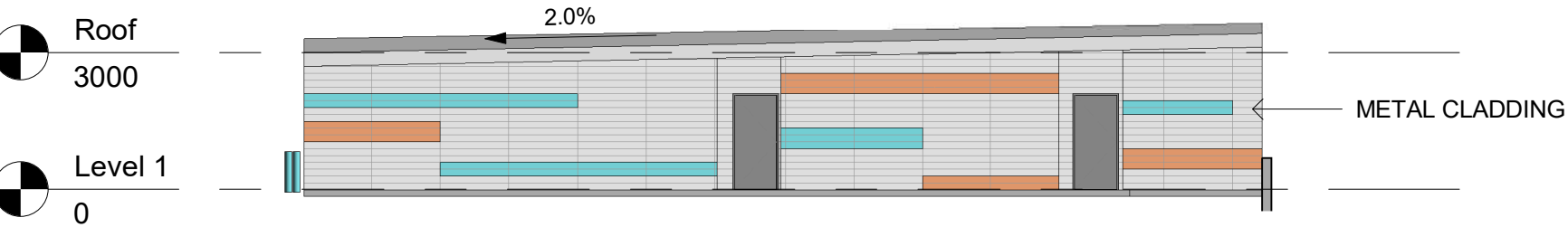
DRAWN BY Author	CHECKED BY Checker	DATE 07/28/25
SCALE As indicated	PROJECT NUMBER 35	REV 2
DRAWING NUMBER A102		



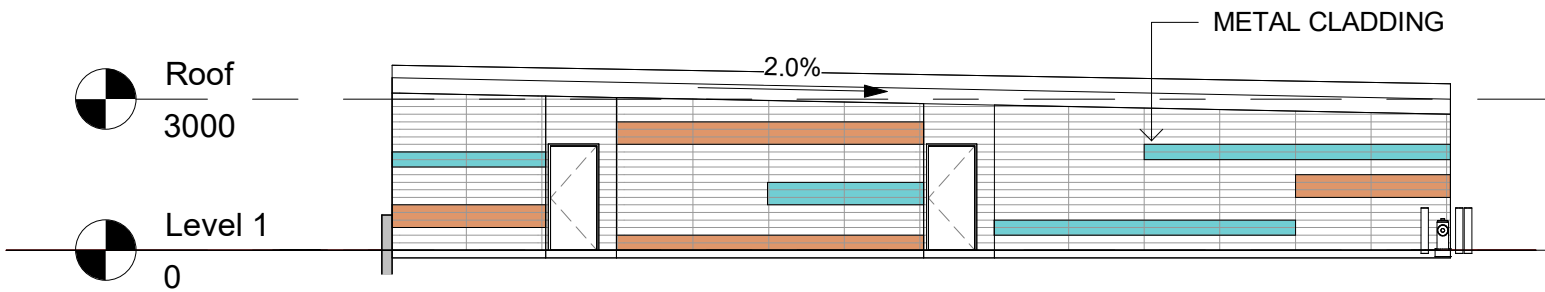
2 Elevation Bldg 1 & 3 - East
1 : 150



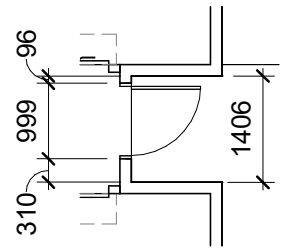
3 Elevation Bldg 1 & 3 - West
1 : 150



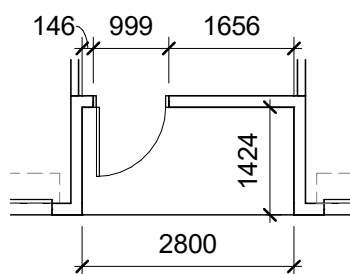
4 Elevation Bldg 1 & 3 - North
1 : 150



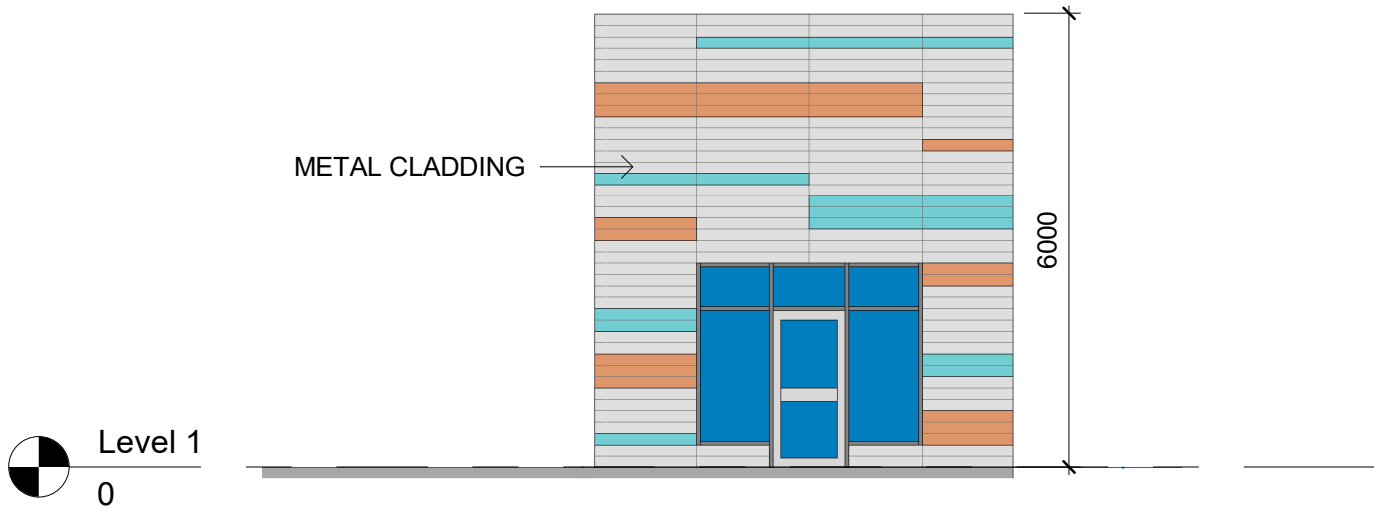
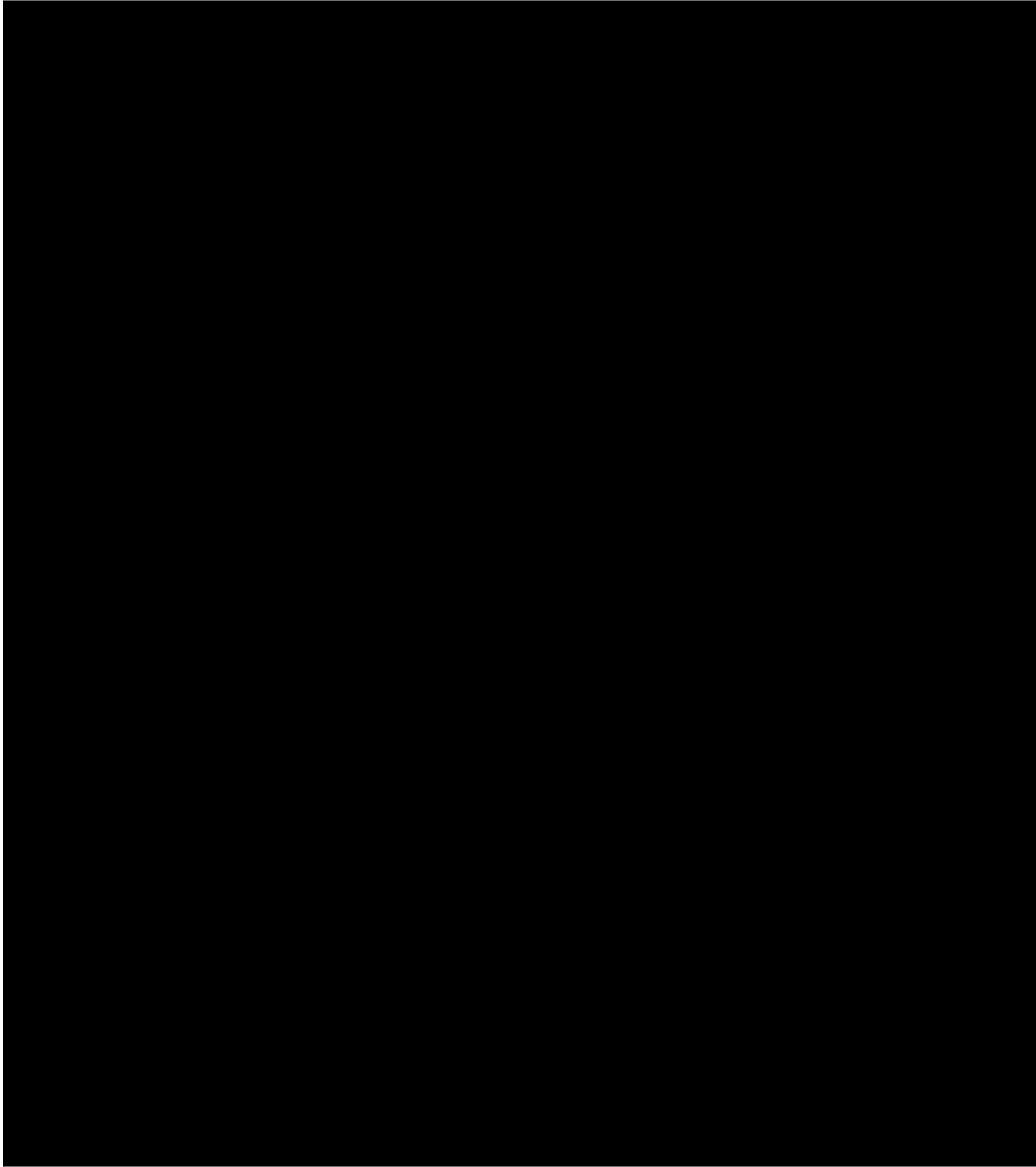
5 Elevation Bldg 1 & 3 - South
1 : 150



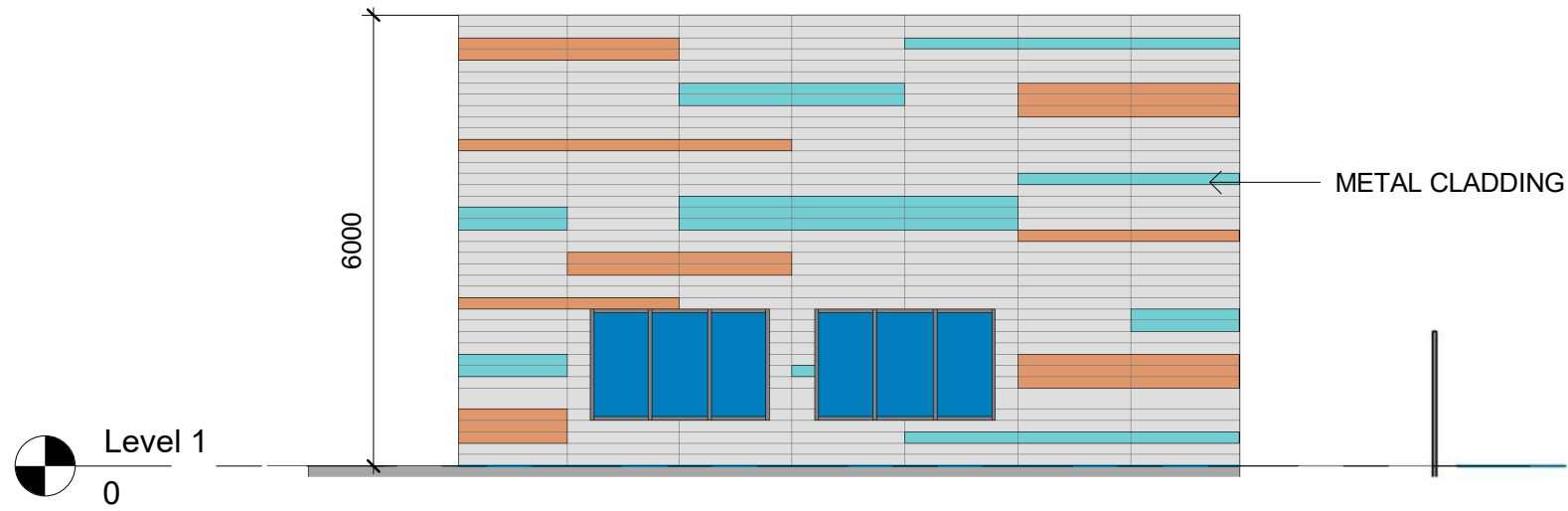
7 Bldg 1 & 3 - TYPICAL ACCESS SWING DOOR TYPE-1
1 : 100



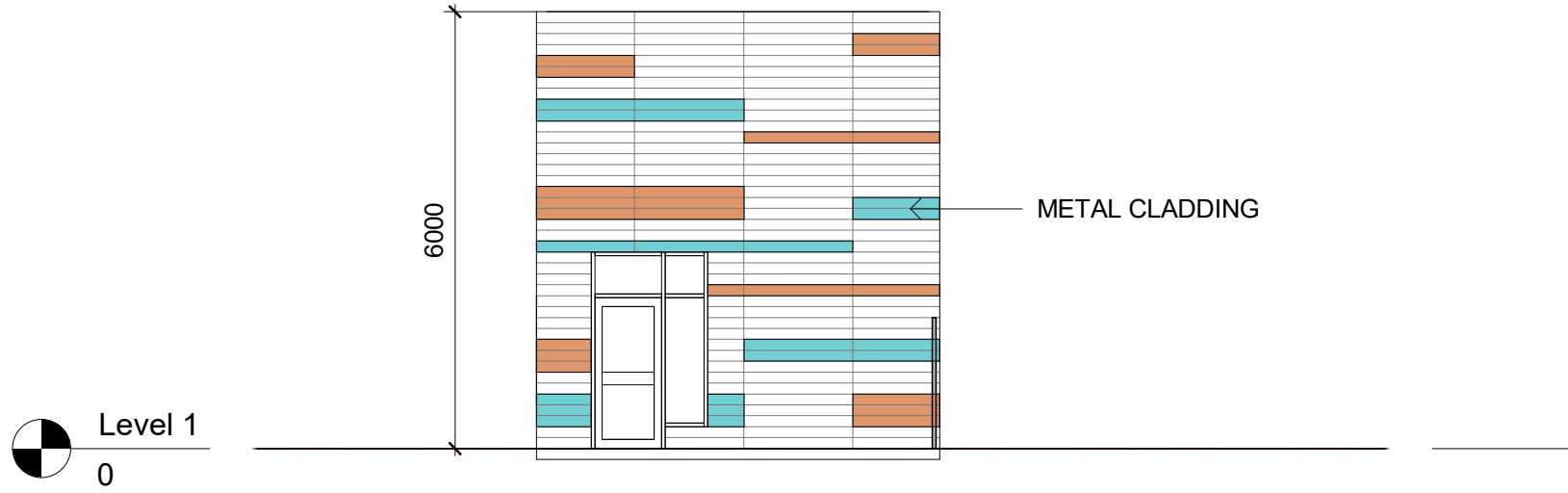
8 Bldg 1 & 3 - TYPICAL ACCESS SWING DOOR TYPE-2
1 : 100



2 Elevation 1 - Bldg 3
1 : 100



3 Elevation 2 - Bldg 3
1 : 100



4 Elevation 3 - Bldg 3
1 : 100



5 Elevation 4 - Bldg 3
1 : 100

Rev	Description	Date
1	ISSUED FOR DP	28.07.25
2	ISSUED FOR DR1	21.11.25

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PROJECT
SELF STORAGE AT
3208 8TH AVE. NE.

TITLE
BLDG. 3 - PLANS,
ELEVATIONS & SECTIONS

DRAWN BY Author	CHECKED BY Checker	DATE 01/23/07
SCALE 1 : 100	PROJECT NUMBER 35	REV 2
DRAWING NUMBER A103		