

MDU 2309

ISSUED FOR DEVELOPMENT PERMIT

JULY 28, 2025

DRAWING LIST:

DP.000	TITLE SHEET
DP.001	BLOCK PLAN
DP.100	SITE PLAN
DP.200	BASEMENT FLOOR PLAN
DP.201	MAIN FLOOR PLAN
DP.202	SECOND FLOOR PLAN
DP.203	ROOF PLAN
DP.204	GARAGE PLAN AND ROOF PLAN
DP.205	GARAGE ELEVATIONS
DP.206	GARAGE SECTIONS
DP.300	BUILDING SECTION
DP.400	ELEVATIONS
DP.401	ELEVATIONS
DP.500	RENDERING
L.100	LANDSCAPE PLAN
S.100	SURVEY



(ARTISTIC REPRESENTATION ONLY)

PROJECT INFORMATION:

PARCEL ADDRESS:

LEGAL:	L: 15, B: 6, P: 8997 GC
MUNICIPAL:	2309 RICHMOND ROAD S.W., CALGARY, AB
COMMUNITY:	RICHMOND
ZONING:	H-GO

PROPOSED GROSS BUILDING AREA:

FLOOR	AREA
LOWER	202.20 SQ.M. / 2176.46 SQ.FT.
MAIN	202.20 SQ.M. / 2176.46 SQ.FT.
SECOND	218.68 SQ.M. / 2353.85 SQ.FT.
SUBTOTAL:	623.08 SQ.M. / 4530.31 SQ.FT.
TOTAL:	420.88 SQ.M. / 6706.77 SQ.FT.

PROPOSED GROSS GARAGE AREA:

FLOOR	AREA
MAIN	55.57 SQ.M. / 598.15 SQ.FT.
SECOND	34.53 SQ.M. / 371.68 SQ.FT.
SUBTOTAL:	90.10 SQ.M. / 969.83 SQ.FT.
TOTAL:	90.10 SQ.M. / 969.83 SQ.FT.

BYLAW REGULATIONS:

BUILDING SETBACKS:

	PERMITTED
FRONT (EAST)	3.0m
SIDE (NORTH)	1.2m
REAR (WEST)	1.2m
SIDE (SOUTH)	1.2m

PARCEL COVERAGE:

PARCEL AREA:	532.83 SQ.M. / 5735.29 SQ.FT.
PARCEL COVERAGE ALLOWED:	60%
BUILDING FOOT PRINT:	257.77 SQ.M. / 2774.61 SQ.FT.
TOTAL PROPOSED:	49%

FLOOR AREA RATIO:

MAXIMUM ALLOWED:	1.5
PROPOSED:	1.0

DENSITY:

PARCEL AREA:	0.05 HECTARE
PROPOSED:	3 UNITS / 0.05 HA

PROPOSED DENSITY:	60 UNITS PER HECTARE = 60% PARCEL COVERAGE ALLOWED
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VEHICULAR PARKING:

REQUIRED RESIDENTIAL STALLS	3.0 STALLS REQUIRED
0.5 STALLS / UNIT	

REQUIRED VISITOR STALLS	0.0 STALLS REQUIRED
0.0 STALLS / UNIT	

TOTAL PARKING STALLS REQUIRED:	3.0 STALLS
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BICYCLE PARKING:

MINIMUM REQUIRED:	3 UNITS x 0.5 = 1.5 STALLS REQUIRED
0.5 CLASS 1 BICYCLE STALLS / UNIT	1 STALLS PROVIDED

MOBILITY STORAGE:

MINIMUM REQUIRED:	0.5 x 3 UNITS = 1.5 LOCKERS REQUIRED
0.5 LOCKERS PER UNIT	

PROVIDED:	2 LOCKERS PROVIDED
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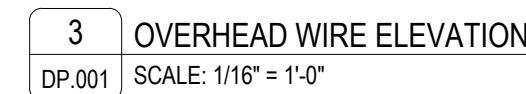
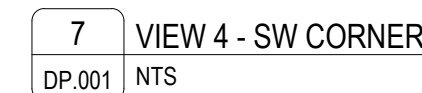
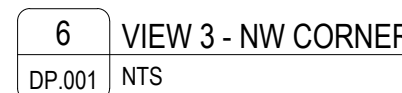
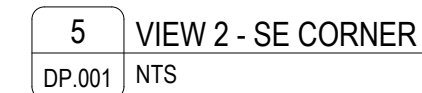
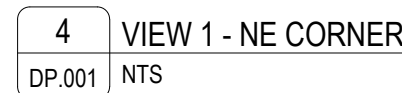
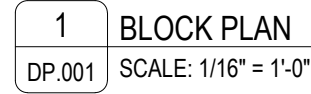
WASTE & RECYCLING:

MINIMUM REQUIRED:	0.24 m³ PER UNIT / WEEK (6 DWELLINGS x 0.24 m³ = 1.44 m³ / WEEK)
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PROVIDED:	3 x 0.24 m³ BINS = 0.72 m³
WASTE:	2 x 0.24 m³ BINS = 0.48 m³
RECYCLING:	1 x 0.24 m³ BINS = 0.24 m³
ORGANICS:	



FORMED ALLIANCE ARCHITECTURE STUDIO

[illegible]

MDU 2309

309 RICHMOND ROAD S.W., CALGARY, AB

: 15 B: 6 P: 8997 GC

25.005.MDU2309

NAME	CHECKED
IP	GR

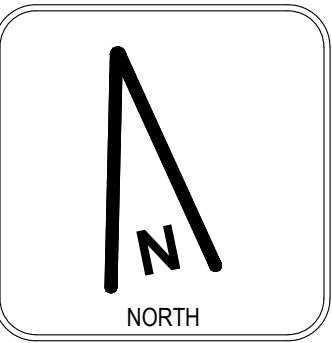
DATE	SCALE
025.06.20	AS NOTED

BLOCK PLAN

Running) Munksg.

DP.001

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[illegible]

3309 RICHMOND ROAD S.W., CALGARY, AB

DIGITAL ADDRESS:

PROJECT NO.
25.005.MDU2309

RANK	CHECKED
GP	GR

DATE	SCALE
0025.06.20	AS NOTED

SITE PLAN

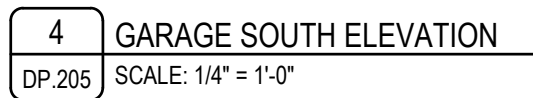
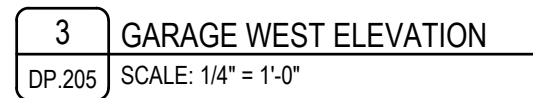
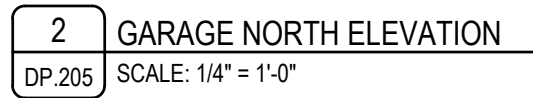
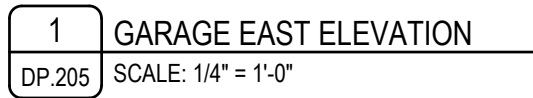
RAJYOGI 72, 80590

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L.100

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1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

N.01	PROPOSED GRADING
N.02	EXISTING GRADING
N.03	PROPOSED LANDSCAPE CURE

A - FIBER CEMENT

- | | |
|------|--|
| A1.1 | PANEL / SMOOTH / COLOUR = EUCALYPTUS GREEN |
| A2.1 | PANEL / SMOOTH / COLOUR = SUCCULENT GREEN |
| A3.1 | PANEL / SMOOTH / COLOUR = BLACK |

B - MASONRY

- B1.1** BRICK / COLOUR = BEIGE

C - METAL

- | | |
|------|---|
| C1.1 | LUXMETAL PANEL / COLOUR = COASTAL SAND |
| C2.1 | ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK |
| C3.1 | METAL FLASHING / COLOUR = BLACK |
| C4.1 | METAL CANOPY / COLOUR = BLACK |

D - TRIM

- D1.1** ENGINEERED WOOD TRIM / COLOUR = BLACK

E - PARGING

- E1.1 PARGING / COLOUR = DARK GRAY

F - ROOFING

- F1.1 ASPHALT ROOF SHINGLES / COLOUR = BLACK

G - WINDOWS

- G1.1** WINDOW / COLOUR = BLACK

H - DOORS

- H1.1 METAL DOOR / COLOUR = BLACK

- H2.1 METAL GARAGE DOOR / COLOUR = BLACK

J - GUARDS & RAILINGS

- | | |
|------|--|
| J1.1 | ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK |
| J2.1 | WOOD GUARDRAIL / COLOUR = NATURAL (TO MATCH WITH C1.1) |
| J3.1 | WOOD PARTITION / COLOUR = NATURAL (TO MATCH WITH C1.1) |

K-STUCCO/CONCRETE

- | | |
|------|--------------------------------|
| K1.1 | STUCCO / COLOUR = DARK GRAY |
| K2.1 | CONCRETE STAIR / COLOUR = GRAY |

L - LIGHTS

- | | |
|------|---------------------------------|
| L1.1 | WALL MOUNTED / COLOUR = BLACK |
| L2.1 | SOFFIT MOUNTED / COLOUR = BLACK |

M - METER SERVICE

- M1.1** SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND
COLOUR = TO MATCH ADJACENT FINISH

- EXISTING GEODETIC ELEVATION
 PROPOSED GEODETIC ELEVATION

RELEASER[illegible]

PROJECT NAME

MDU 2309

MUNICIPAL ADDRESS
2309 RICHMOND ROAD S.W., CALGARY, AB

L: 15 B: 6 P: 8997 GO

PROJECT NO.
25.005.MDU2309

OFFER	CHECKED
NP	GR

DATE	SCALE
2025.06.20	AS NOTED

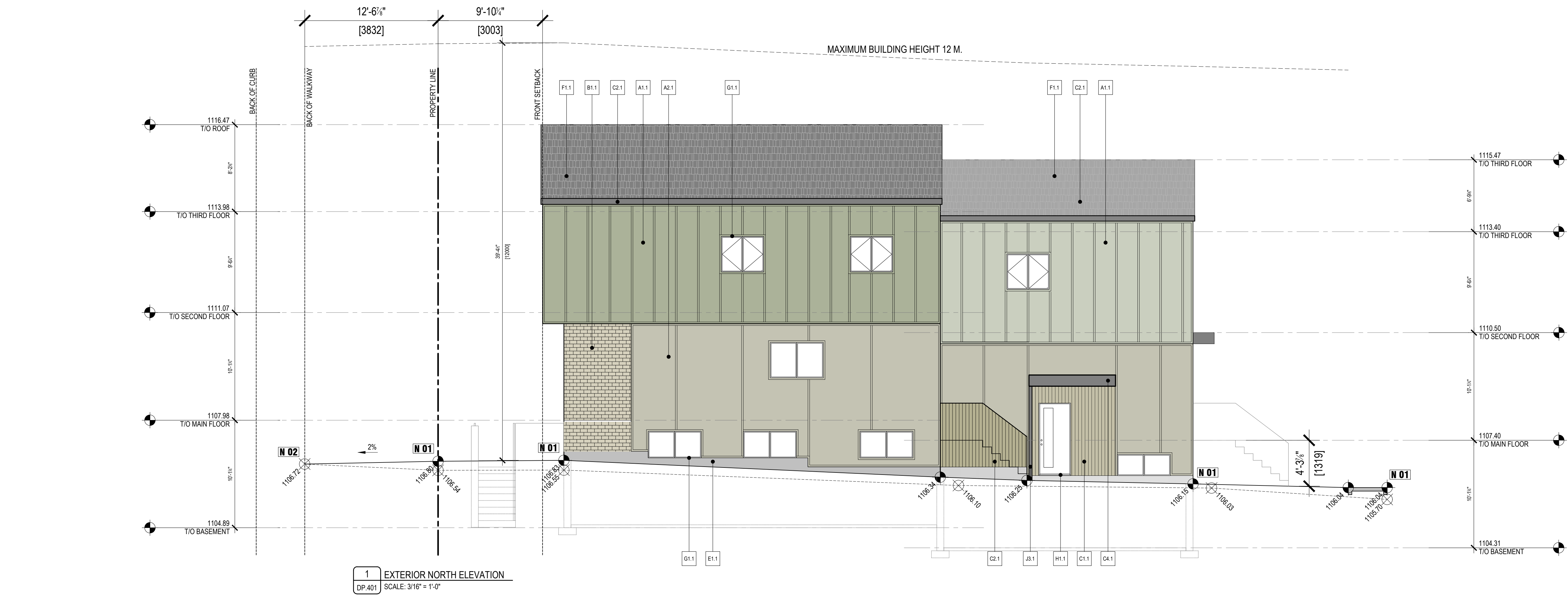
DRAWING TITLE

GARAGE ELEVATIONS

Spring 2006

DP.205

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- GENERAL NOTES
- REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
 - ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.
- SHEET NOTES
- N.01 PROPOSED GRADING
 - N.02 EXISTING GRADING
 - N.03 PROPOSED LANDSCAPE CURB
- EXTERIOR FINISH LEGEND
- A - FIBER CEMENT
- A1.1 PANEL / SMOOTH / COLOUR = EUCALYPTUS GREEN
 - A2.1 PANEL / SMOOTH / COLOUR = SUCCULENT GREEN
 - A3.1 PANEL / SMOOTH / COLOUR = BLACK
- B - MASONRY
- B1.1 BRICK / COLOUR = BEIGE
- C - METAL
- C1.1 LUXMETAL PANEL / COLOUR = COASTAL SAND
 - C2.1 ALUMINUM FASCIA & SOFFIT / COLOUR = BLACK
 - C3.1 METAL FLASHING / COLOUR = BLACK
 - C4.1 METAL CANOPY / COLOUR = BLACK
- D - TRIM
- D1.1 ENGINEERED WOOD TRIM / COLOUR = BLACK
- E - PAVING
- E1.1 PAVING / COLOUR = DARK GRAY
- F - ROOFING
- F1.1 ASPHALT ROOF SHINGLES / COLOUR = BLACK
- G - WINDOWS
- G1.1 WINDOW / COLOUR = BLACK
- H - DOORS
- H1.1 METAL DOOR / COLOUR = BLACK
 - H2.1 METAL GARAGE DOOR / COLOUR = BLACK
- J - GUARDS & RAILINGS
- J1.1 ALUMINUM GUARDRAIL W/ PICKETS / COLOUR = BLACK
 - J2.1 WOOD GUARDRAIL / COLOUR = NATURAL (TO MATCH WITH C1.1)
 - J3.1 WOOD PARTITION / COLOUR = NATURAL (TO MATCH WITH C1.1)
- K - STUCCO/CONCRETE
- K1.1 STUCCO / COLOUR = DARK GRAY
 - K2.1 CONCRETE STAIR / COLOUR = GRAY
- L - LIGHTS
- L1.1 WALL MOUNTED / COLOUR = BLACK
 - L2.1 SOFFIT MOUNTED / COLOUR = BLACK
- M - METER SERVICE
- M1.1 SERVICE METER C/W PANEL BACKING FINISH AND TRIM SURROUND COLOUR = TO MATCH ADJACENT FINISH
- EXISTING GEODETIC ELEVATION
- PROPOSED GEODETIC ELEVATION

RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2025.07.28

PROJECT NAME

MDU 2309

BRANCH ADDRESS
2309 RICHMOND ROAD S.W., CALGARY, AB

LEGAL ADDRESS
L: 15 B: 6 P: 8897 GC

PROJECT NO.
25.005.MDU2309

DRAWN
NP

CHECKED
GR

DATE
2025.06.20

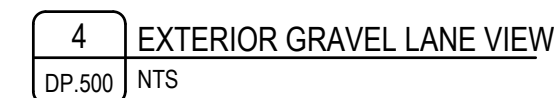
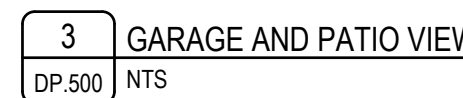
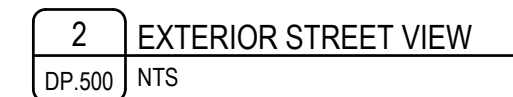
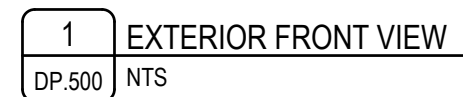
SCALE
AS NOTED

DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NUMBER

DP.401

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01	ISSUED FOR DP	2025.07.28
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PROJECT NAME

MDU 2309

309 RICHMOND ROAD S.W., CALGARY, AB

15 B: 6 P: 8997 GC

PROJECT NO.
25.005.MDU2309

RANK	CHECKED
GP	GR

DATE	SCALE
0025.06.20	AS NOTED

RENDERING

RANDOM NUMBER

DP.500

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