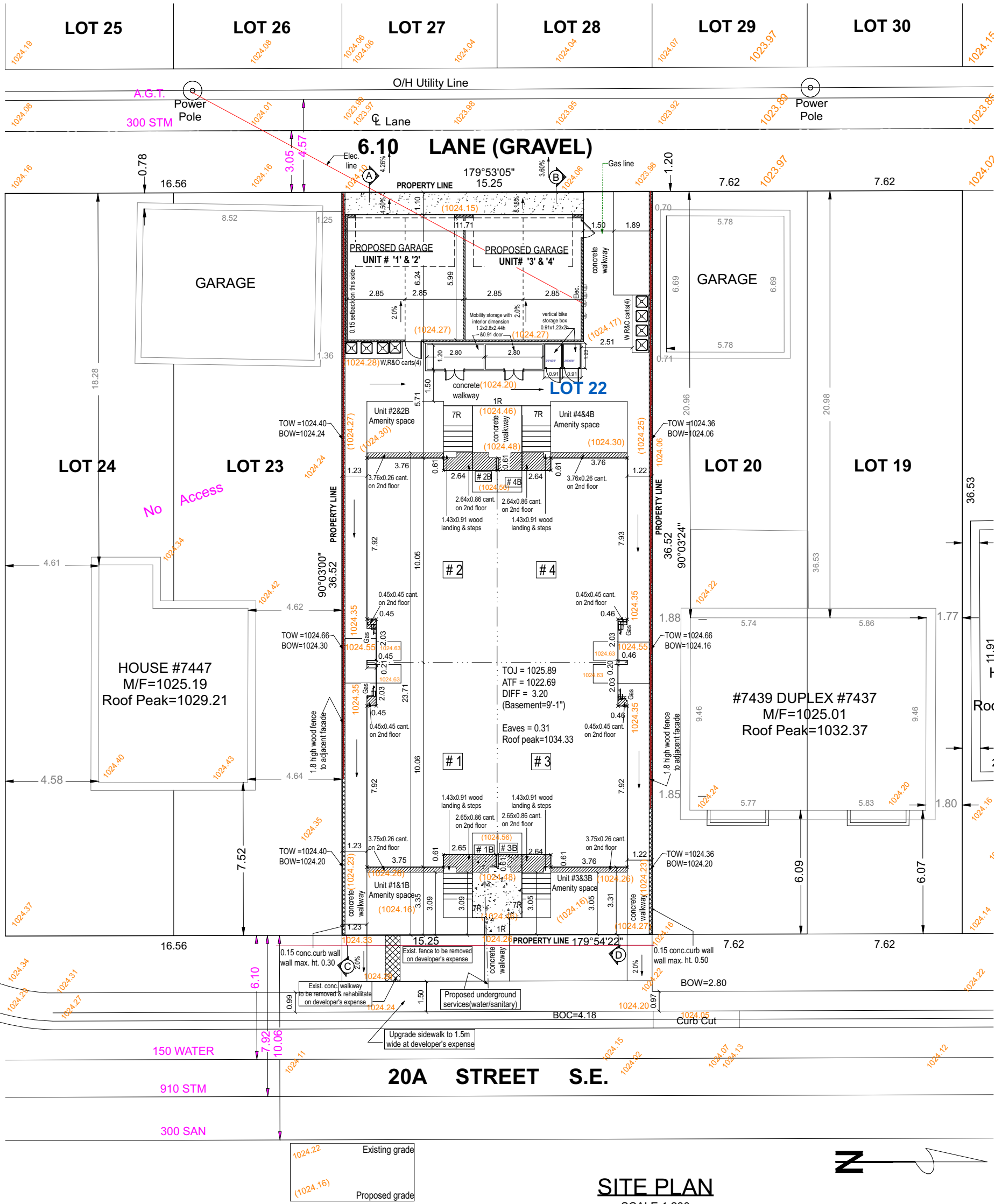




SITE PLAN
SCALE 1:200

PROJECT INFORMATION

LEGAL ADDRESS : LOT 21&22;BLK 07; PLAN 955 AV
MUNICIPAL ADDRESS : 7443 20A ST. SE;CALGARY,AB
PROPOSED DEVELOPMENT : TOWNHOUSE (1 BUILDING/4 SUITES)

LAND USE INFORMATION

ZONING = R-CG
SITE AREA = 556.82 SQ.M.
MAXIMUM ALLOWABLE COVERAGE = 60%
MAXIMUM ALLOWABLE BUILDING AREA = 334.09 SQ.M.
MAXIMUM ALLOWABLE HEIGHT = 11M
MAXIMUM ALLOWABLE DEPTH OF BUILDING = 23.74 M

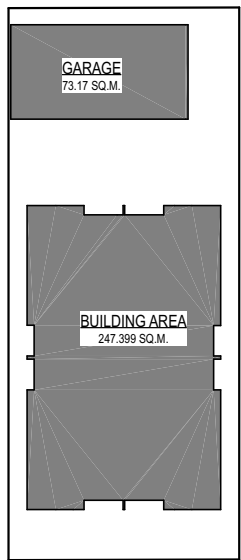
DENSITY
MAX. DENSITY 75 UNITS PER HECTARE
0.056 X75 = 4.20 (PROPOSED 4 UNITS)

BUILDING DEPTH
PROPOSED BUILDING DEPTH= 23.71 M

LOT COVERAGE

LOT AREA = 556.82 SQ.M.
BUILDING AREA = 247.39 SQ.M.
GARAGE = 73.17 SQ.M.
COVERAGE = 320.56 SQ.M. (57.56%)

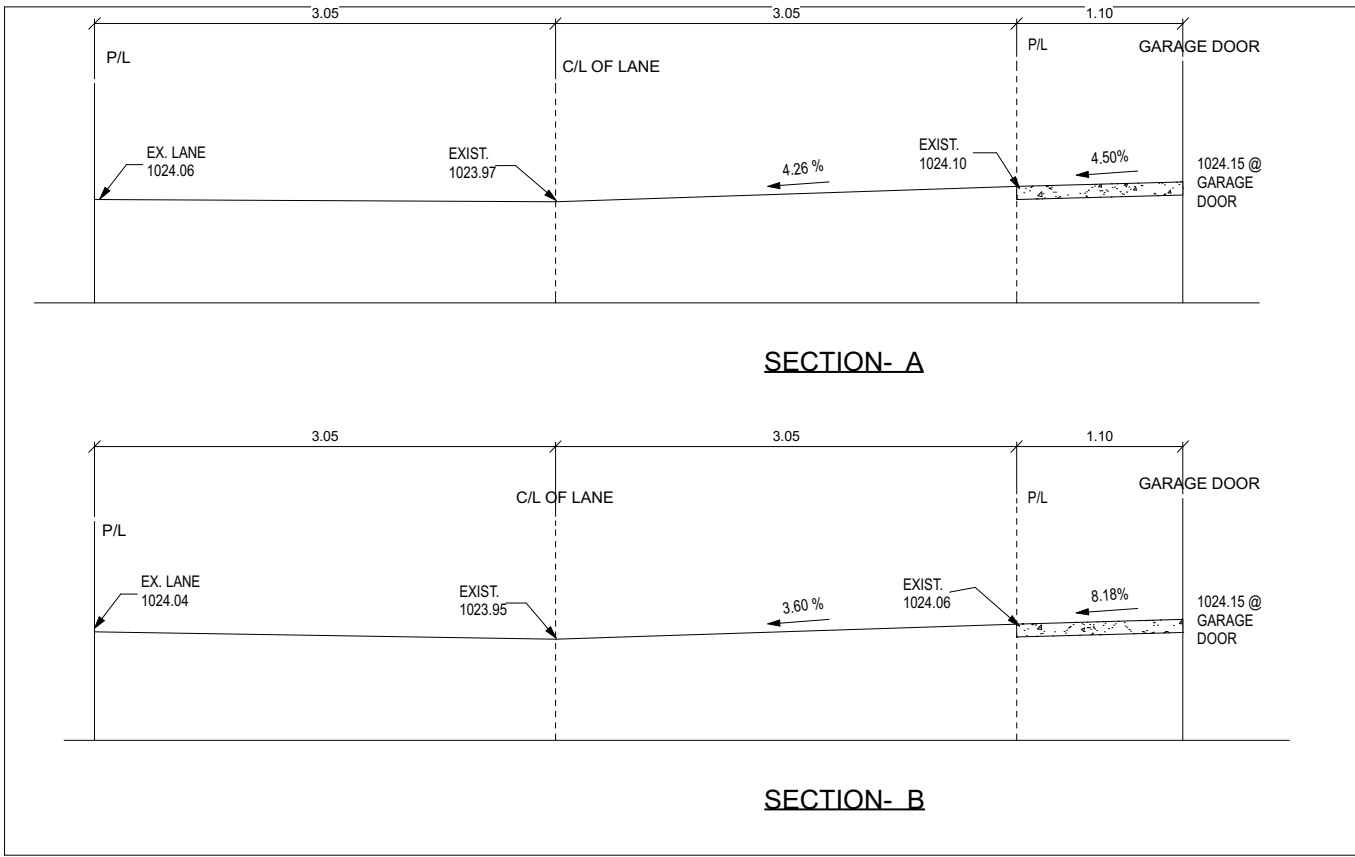
PARKING
TOTAL STALLS PROPOSED = 4 IN GARAGE
MOBILITY STORAGE LOCKER = PROVIDED 2
BIKE STORAGE = PROVIDED 2



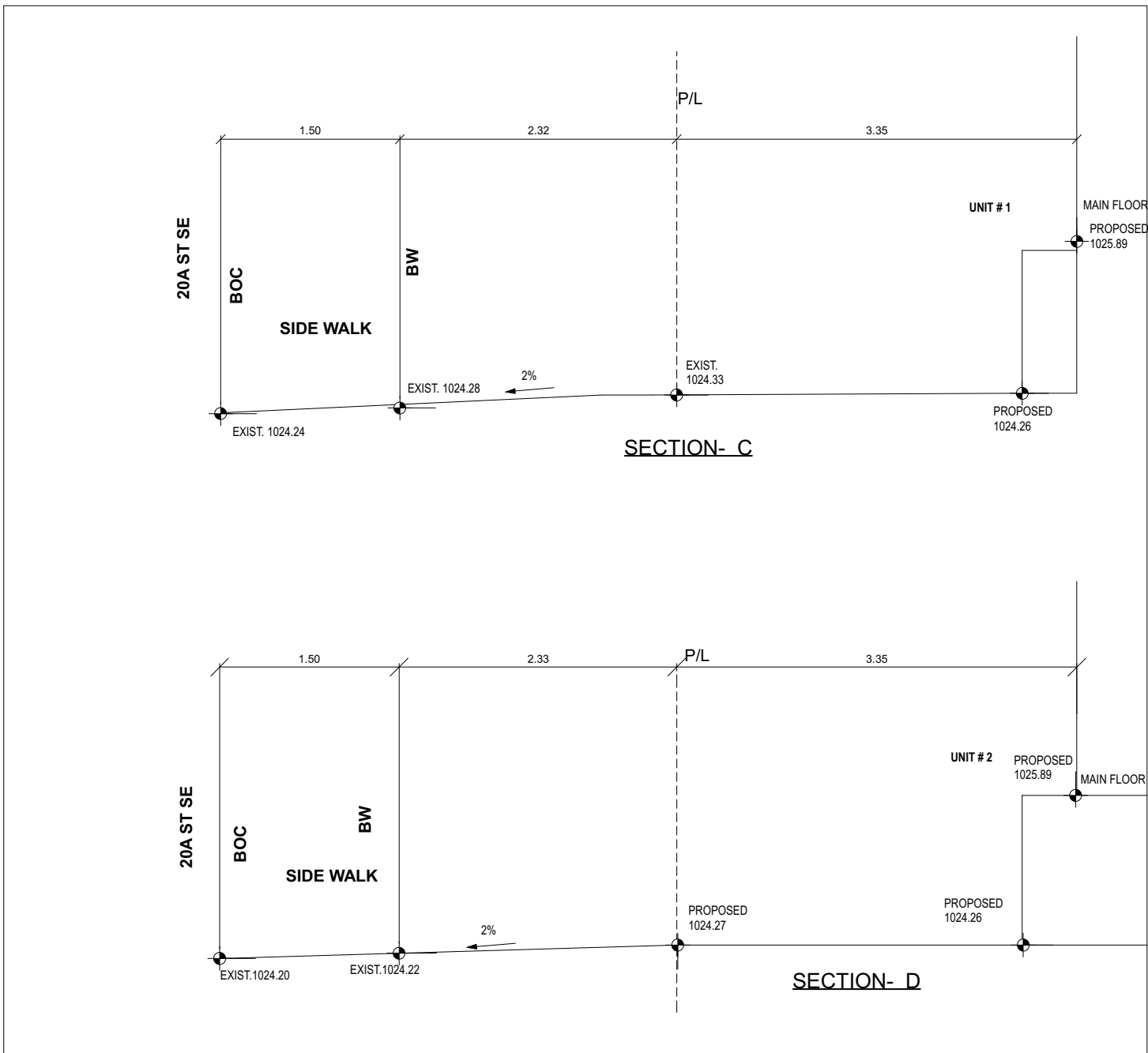
COVERAGE AREA



DERO - VERTICAL BIKE LOCKER
MATERIALS
FRAME: 1.5" X 14G SQUARE TUBE
SIDES: 18G PLATE
DOORS: 16G PLATE
TOP: 18G PLATE
FINISHES
LOCKER FRAME: GALVANIZED
PANELS AND DOORS: POWDER COAT OVER G90 ELECTRO PLATED STEEL
SETBACKS : ALLOW A 60" CLEARANCE FROM DOOR FACE.
STANDARD
LEVELING FEET
VENTILATING WINDOW ON DOORS
GRAFFITI RESISTANT
UV RESISTANT
NUMBERED PLATES
GEAR HOOK
DOOR CLOSER



CROSS SECTION - GARAGE CONCRETE APRON & GRAVEL LANE
SCALE=N.T.S



BLVD CROSS SECTION
SCALE=N.T.S



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PROPOSED DEVELOPMENT :
4- PLEX- TOWNHOUSE
& 4 SUITES



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LANDSCAPING CALCULATION

COVERAGE CALCULATION

LOT AREA	=	556.82 SQ.M.
BUILDING AREA	=	247.39 SQ.M.
GARAGE	=	73.17 SQ.M.
COVERAGE	=	320.56 SQ.M. (57.56%)

NON LANDSCAPING AREA CALCULATION

CONCRETE APRON	=	12.91 SQ.M.
WASTE & RECYCLING	=	4.60 SQ.M.
MOBILITY/BIKE STORAGE	=	11.58 SQ.M.
ENTRANCE LANDING & STEPS	=	17.86 SQ.M.
TOTAL NON-LANDSCAPING AREA	=	46.95 SQ.M. (8.43 %) OF LOT AREA

LANDSCAPING AREA CALCULATION

TOTAL LANDSCAPING AREA = 556.82 - (320.56 + 46.95=367.51) =189.31 SQ.M.

HARD LANDSCAPING AREA

CONCRETE WALKWAY	=	119.44 SQ.M.
WOOD RETAINING WALL FOR LANDSCAPING	=	10.96 SQ.FT.
TOTAL HARD LANDSCAPING AREA	=	130.40 SQ.M. (23.41 %) OF LOT AREA

SOFT LANDSCAPING AREA

SOD	=	50.05 SQ.M.
MULCH	=	8.86 SQ.M.
TOTAL SOFT LANDSCAPING AREA	=	58.91 SQ.M. (10.57%) OF LOT AREA & 31.11% OF LANDSCAPING AREA)

LANDSCAPING RULES

Tree Requirements	=	1 tree per 110 Sq.m. of parcel size (Required 6) Deciduous tree with min. caliper 60 mm Coniferous tree with min. ht. 2.0m.
Proposed Trees	=	6 Trees
Shrub Required	=	3 Shrubs per 110 Sq.m. of parcel size (Required 16) Min. spread & ht. 0.6m at the planting stage
Proposed Shrubs	=	16 shrubs

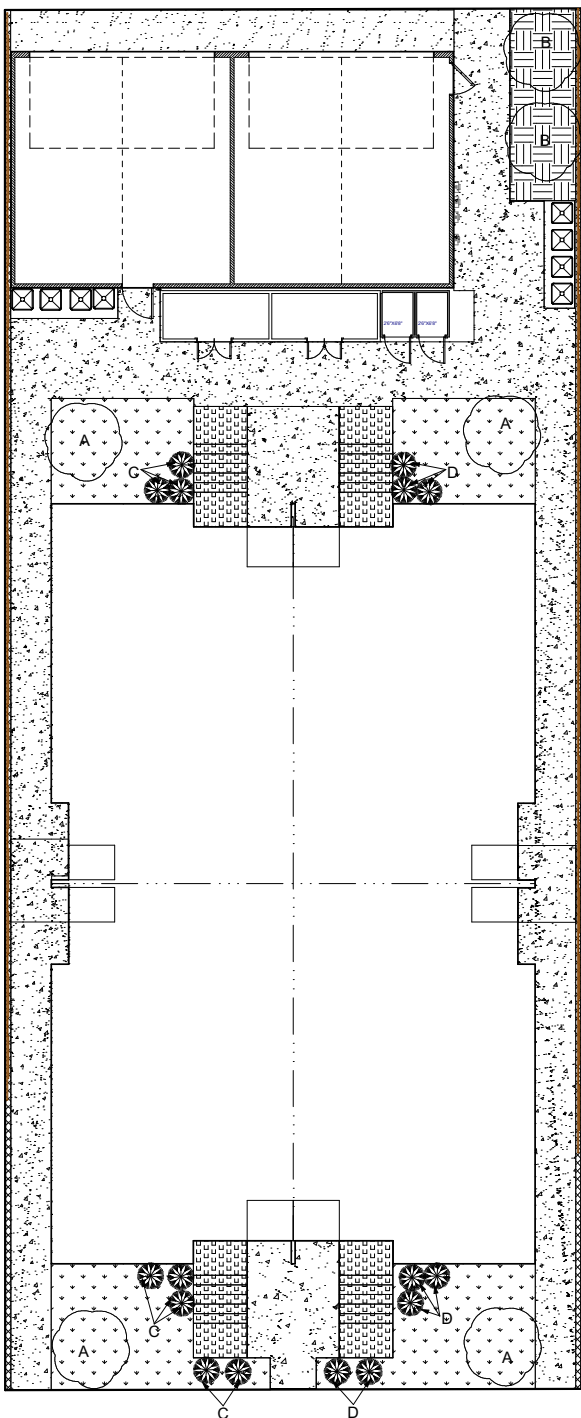
NEW TREE /SHRUB DATA				
No.	Qty.	Type	Name	Size
A	4	Deciduous	Swedish columnar aspen	70mm caliper minimum
B	2	Conferious	Picea Pungens Columnar spruce	3m height minimum
C	8	Deciduous shrub	Savin Juniper shrub	height 0.6m
D	8	Coniferous shrub	Dwarf mugo pine	height 0.6m

NOTE:
Soft surfaced landscaping area irrigated by underground irrigation system

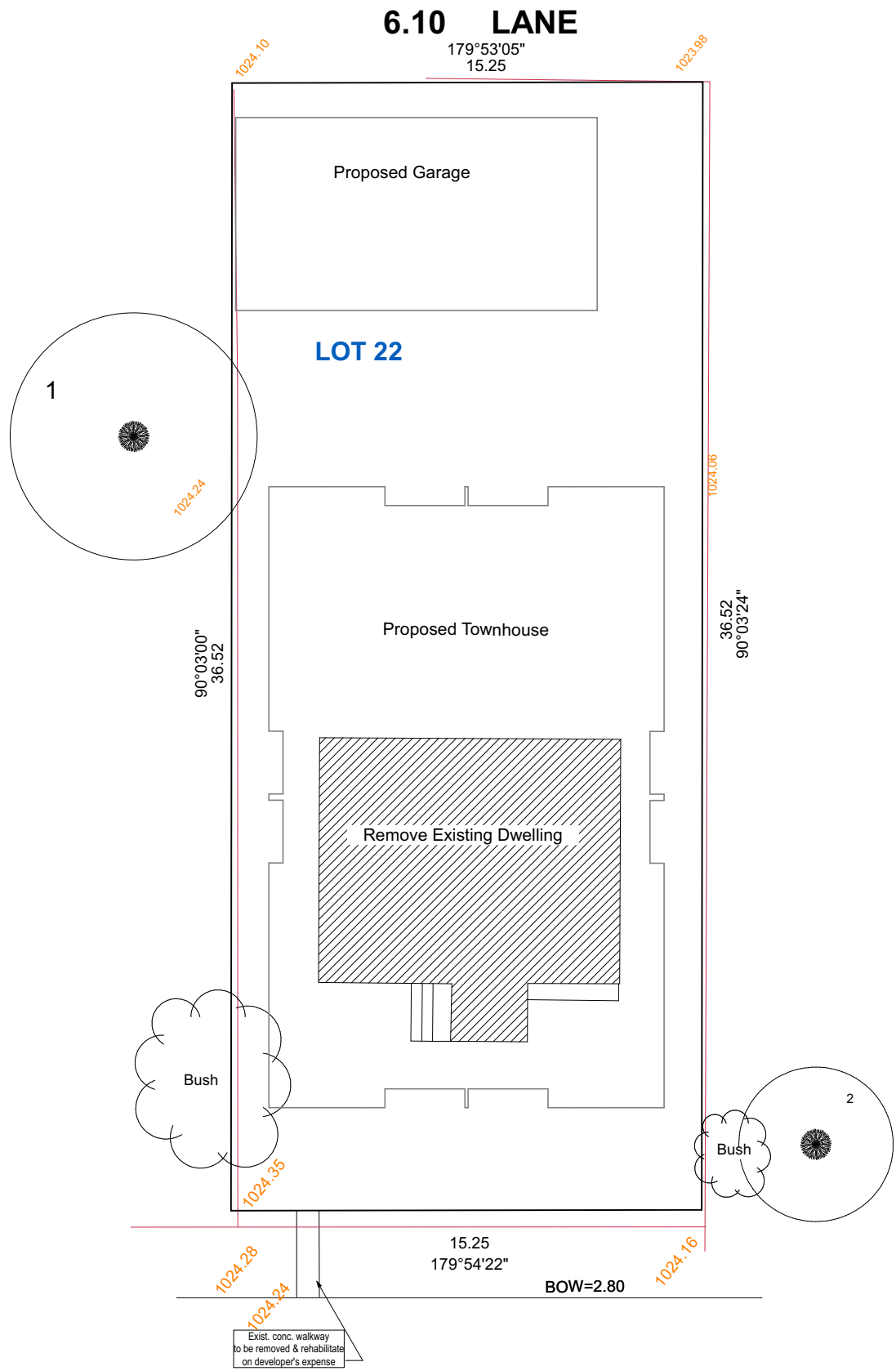
All sodded area planted with draught tolerant grass species.

Soil depth min. 600mm for planting beds & shrubs and 300mm all other areas.

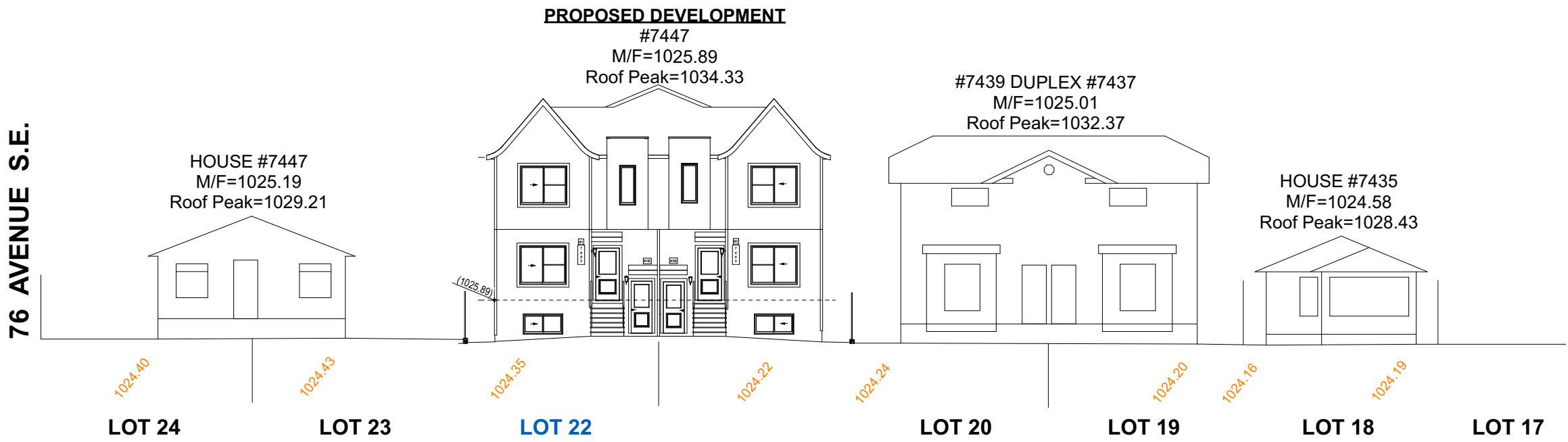
TREE SCHEDULE					
Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)	
1	DEC	13	0.8	19	to be Removed
2	DEC	12	0.4	19	to be Removed
3	DEC	11	0.4	19	to be Removed
4	DEC	8	0.4	6	Remain
5	DEC	5	0.4	6	Remain



20A STREET S.E.
LANDSCAPING PLAN
SCALE 1:200



20A STREET S.E.
EXISTING SITE PLAN
SCALE 1:200



20A STREET S.E.
STREETSCAPE PLAN
SCALE 1:200



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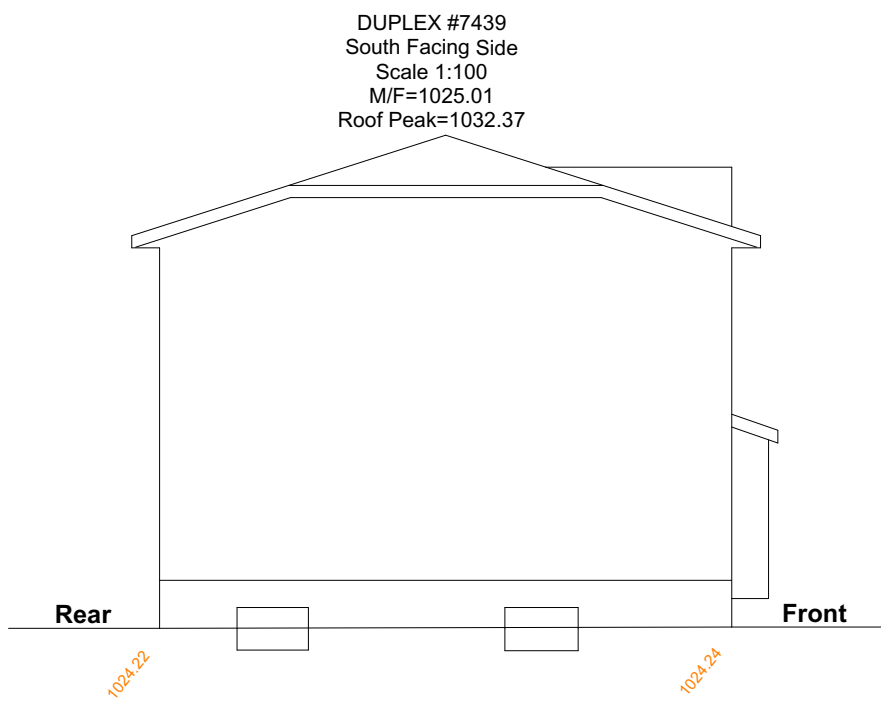
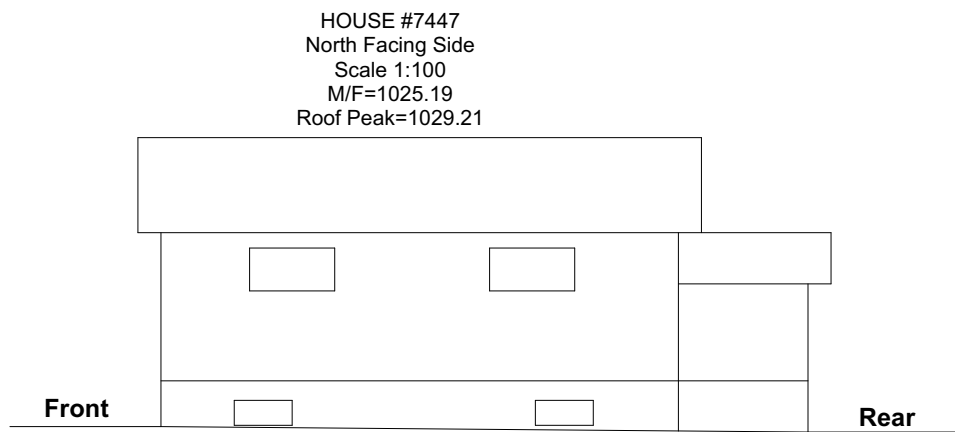
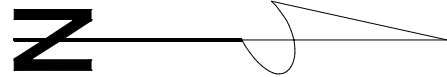
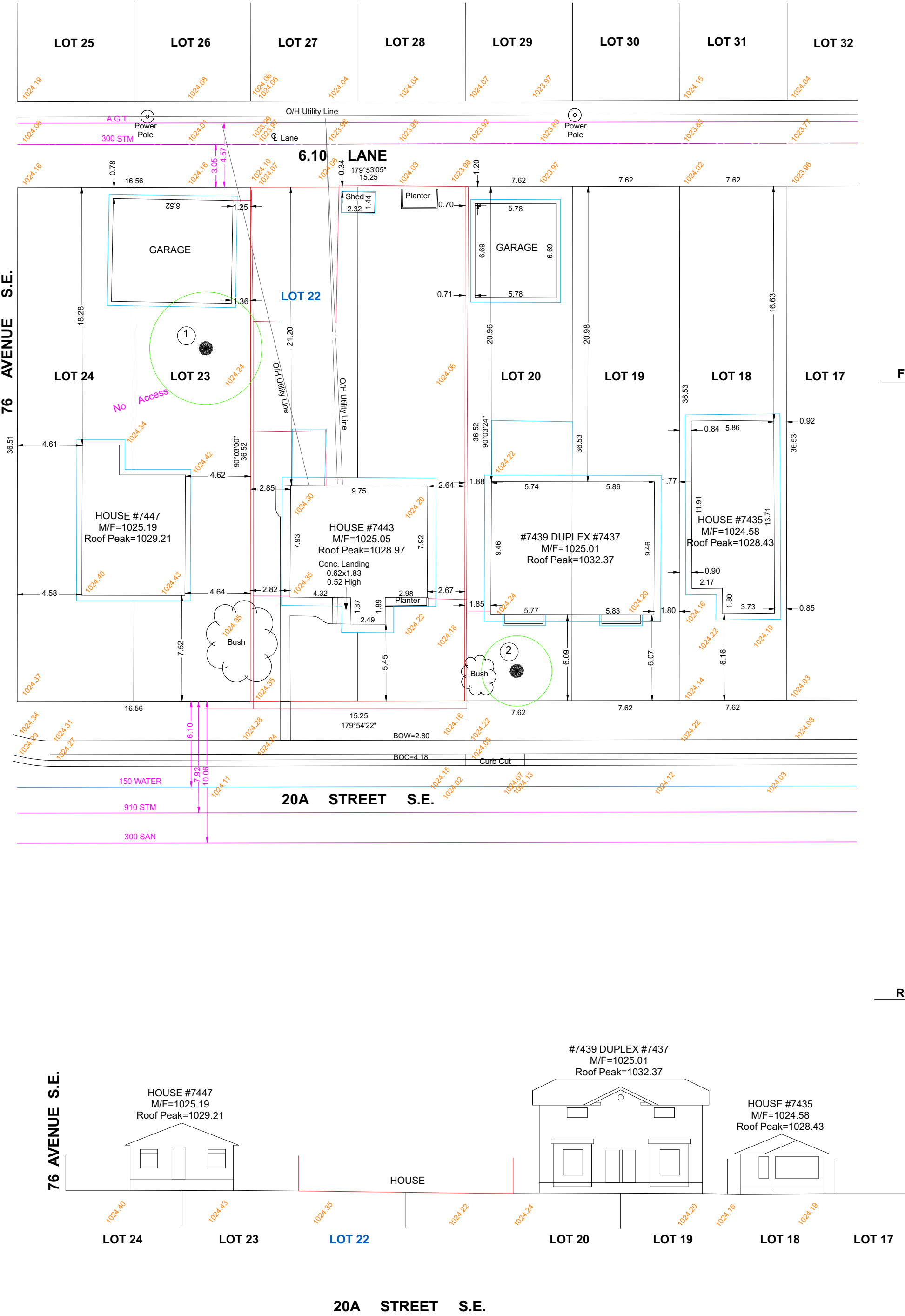
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PROPOSED DEVELOPMENT :

4- PLEX- TOWNHOUSE
& 4 SUITES



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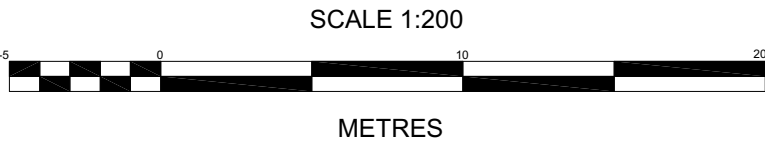
CITY OF CALGARY
ALBERTA
PLAN SHOWING
SITE SURVEY
AFFECTING
LOTS 21&22, BLOCK 7, PLAN
955AV
WITHIN
S.E. 1/4 SEC.25-23-1-W5M

%%UNOTES:
Distances shown are in metres and decimals thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are referred to ASCM 22152, Elevation = 1024.642

PROPERTY DESCRIPTION:
CLIENT:
HOME BY ART

MUNICIPAL ADDRESS:
7443 - 20A STREET S.E.
CALGARY, ALBERTA

DATE OF SURVEY:
JUNE 26-27, 2025



- %%ULEGEND
- Spot elevations are shown thus _____
 - Subject Property is shown thus _____
 - Eave Fascia are shown thus _____
 - Fences are shown thus _____
 - Building foundation shown thus _____
 - Overhead Utilities shown thus _____
 - Gas line shown thus _____
 - Sanitary Lines shown thus _____
 - Storm lines shown thus _____
 - Water lines shown thus _____
 - AGT Lines shown thus _____
 - E.L. Lines shown thus _____
 - Coniferous trees are shown thus _____
 - Deciduous trees are shown thus _____
 - Shrubs are shown thus _____
 - Tree Canopy shown thus _____
 - Power Poles shown thus _____
 - Manhole shown thus _____

TREE SCHEDULE				
Tree #	Variety	Canopy (m)	Trunk (m)	
1	CON	8	0.4	
2	CON	5	0.4	



Total Geomatics & Consulting Inc

NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC.	DATE: July 8, 2025
DWN BY:CD	93 ROYAL CREST VIEW N.W., CALGARY	JOB NO: TG25-0233



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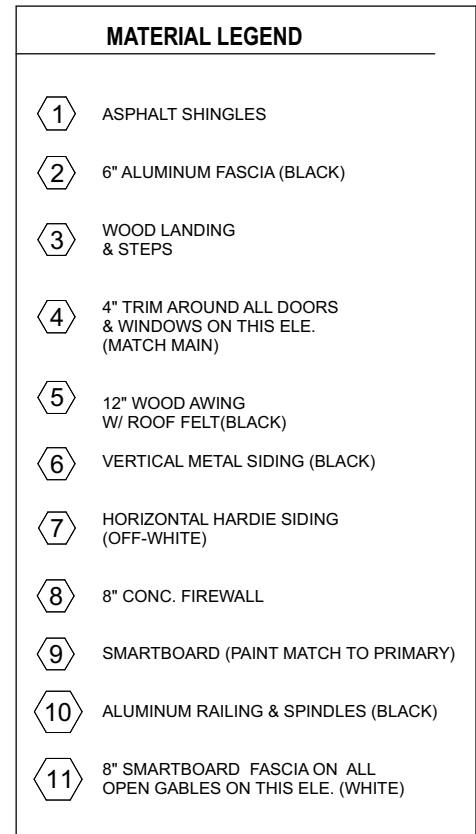
DISCLAIMER:
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Total Geomatics and Consulting Inc. and its employees take
no responsibility for the location of any Underground Conduits,
Pipes or any other facilities whether shown on or Omitted from this plan.
All underground installation should be located by the
respective authorities prior to Construction
CALL ALBERTA ONE CALL: 1-800-242-3447



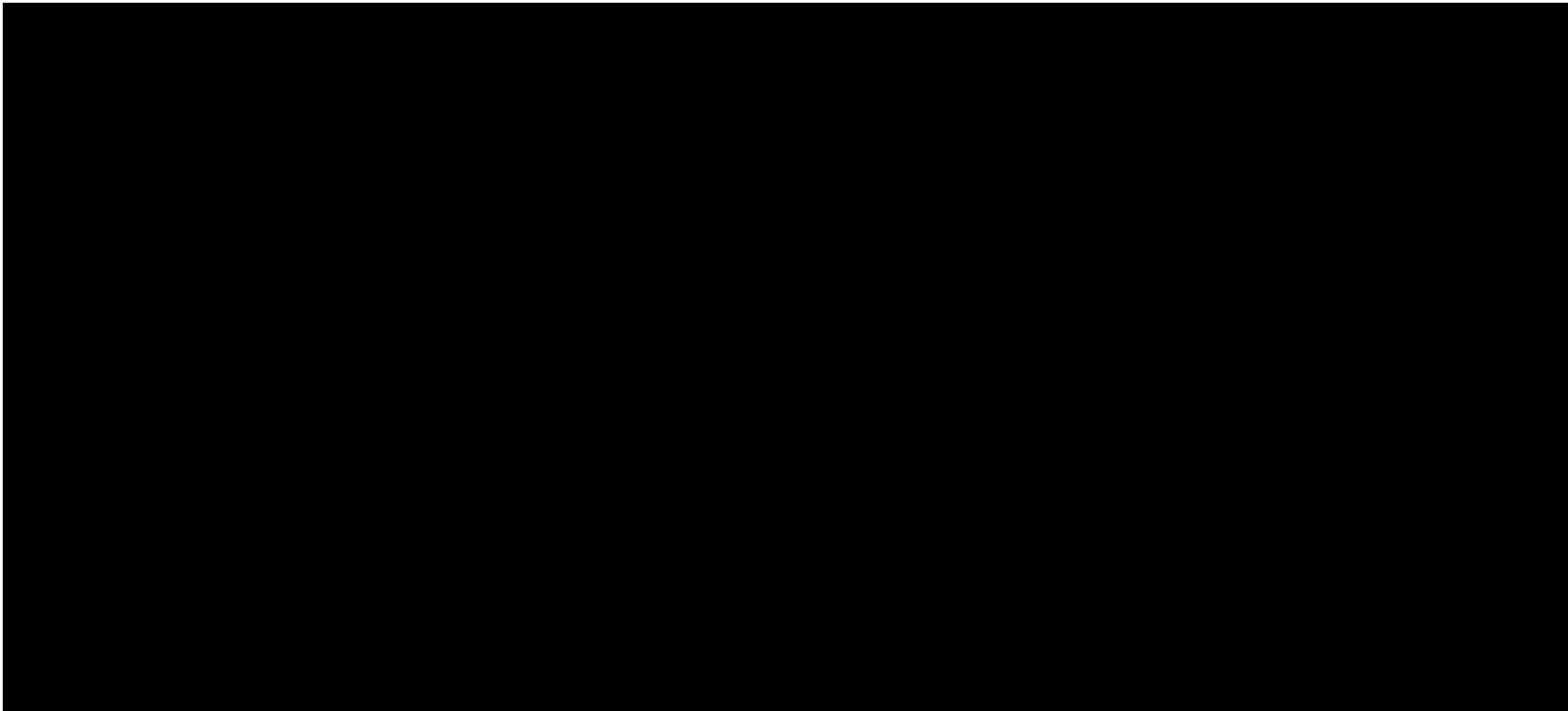
EAST ELEVATION



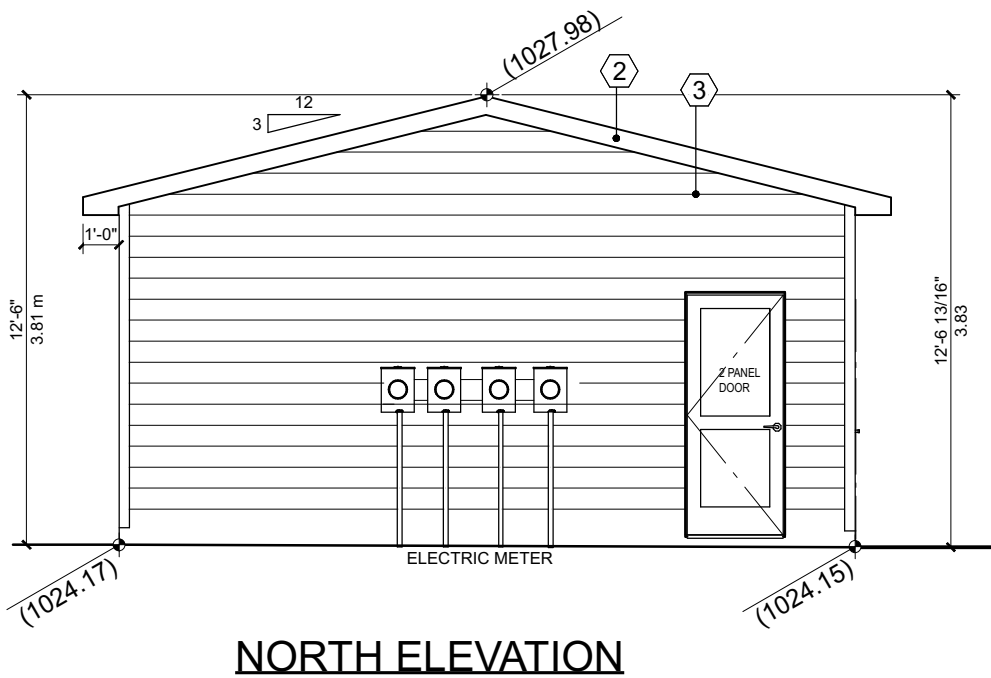
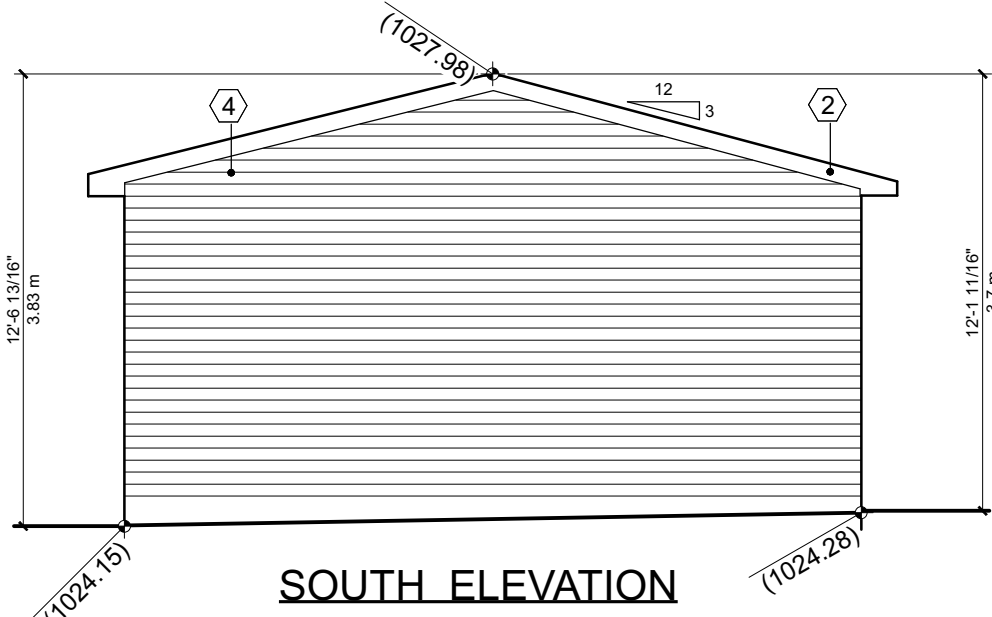
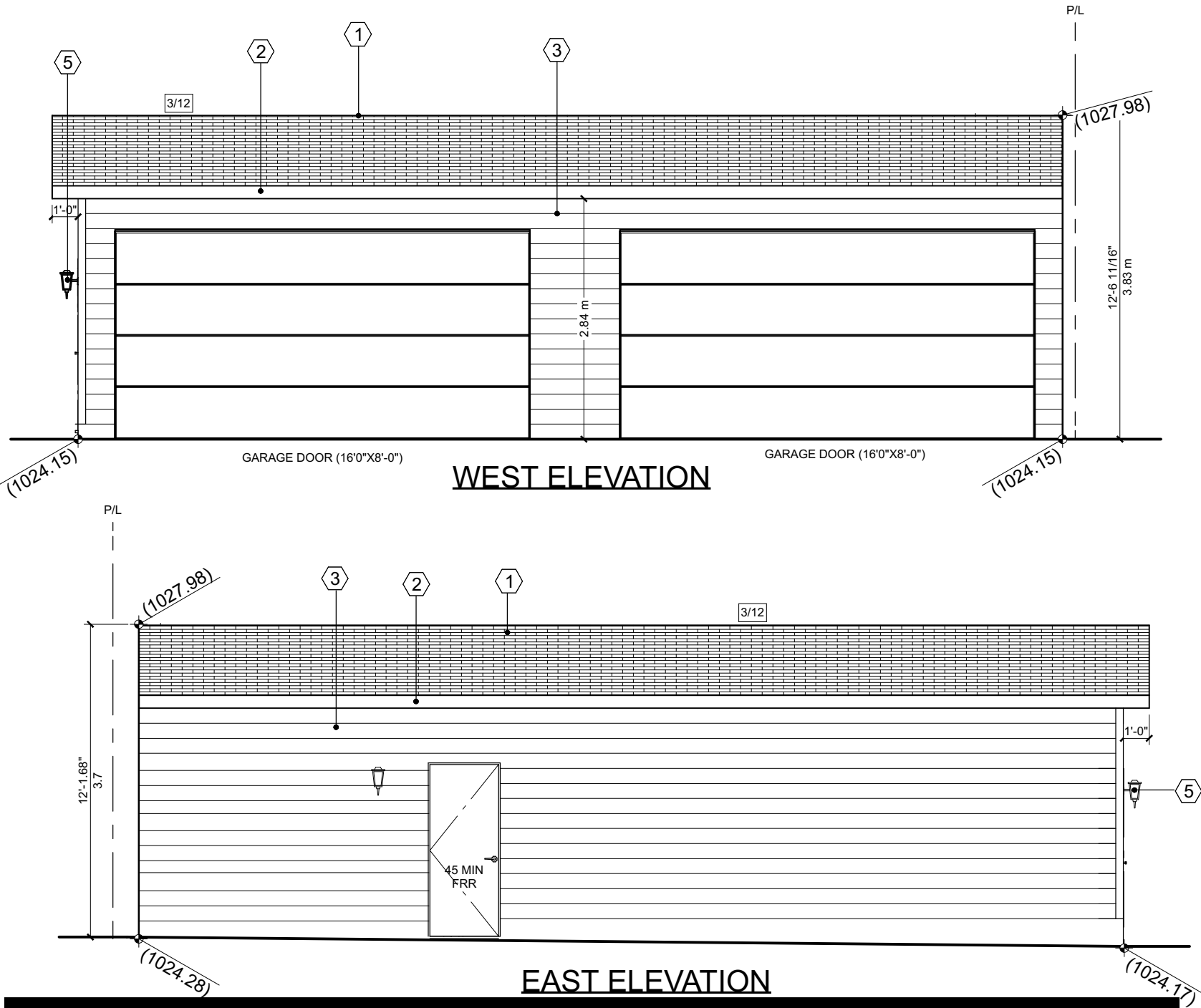
WEST ELEVATION



SOUTH ELEVATION



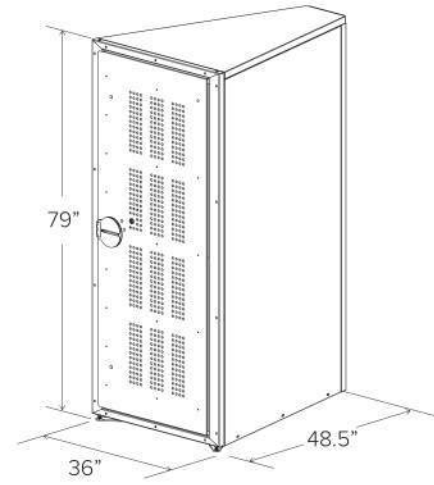
MATERIAL LEGEND	
1	ASPHALT SHINGLES
2	6" ALUMINUM FASCIA (TYP.) BLACK
3	HORIZONTALHARDIE SIDING (OFF-WHITE)
4	METAL SIDING (OFF WHITE)
5	MOTION SENSOR LIGHT



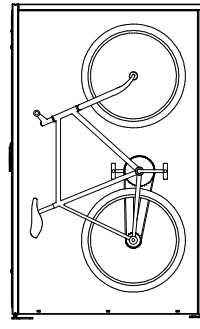
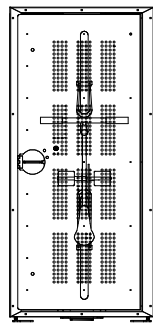
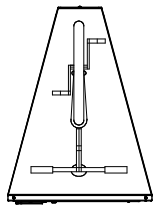


Vertical Bike Locker

Submittal Sheet



CAPACITY	1 Bike
MATERIALS	Frame: 1.5" x 14g square tube Sides: 18g plate Doors: 16g plate Top: 18g plate
FINISHES	Locker Frame: Galvanized Panels and Doors: Powder coat over G90 electro plated steel
LOAD DATA	40 psf snow, 90 mph wind exposure B, high seismic when installed on concrete
SETBACKS	Allow a 60" clearance from door face.
STANDARD	- Leveling feet - Ventilating window on doors - Graffiti resistant - UV resistant - Numbered plates - Gear hook - Door closer
LOCKING SYSTEM	☐ Keyed Lock Only ☐ Padlock/U-Lock Handle







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PLAN: 955AV

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FILE NO. 25063

SCALE: 3/16"=1'-0"

DATE: 2025-08-08

DESIGNED BY:AA

PAGE NO.

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