



AMENDED DRAWINGS
DP No Date Received
DP2025-04404 04 06 2026
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPPE
Adrian Todeila, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

DEVELOPMENT PERMIT: DEVELOPMENT PERMIT NO.

NORR PROJECT NUMBER: RZ1124-0021-00

CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER



ISSUE FOR DR3 - March 30, 2026

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
T.B.D ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	RICHVIEW ENGINEERING 203 38th Ave NE SUITE 201 CALGARY, AB, T2E 2M3 +1 403-230-3218	NORR ARCHITECTS & PLANNERS 411 - 1st STREET SE CALGARY, AB, T2G 4Y5 +1 403-264-4000	GLOTMAN-SIMPSON 1661 5TH Ave W VANVOUVER, BC, V6J 1N5 +1 604-734-8822
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
		T.B.D ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	818 STUDIO 1812 14A St SW CALGARY, AB, T2T 3W6 +1 403-244-8188

PRELIMINARY - NOT FOR CONSTRUCTION

3/20/2025 11:53:59 AM
Autodesk Docs (Trico - Bow Landing) RZ12124-0021_TrickoLanding_R04_Site File_NEW.rvt

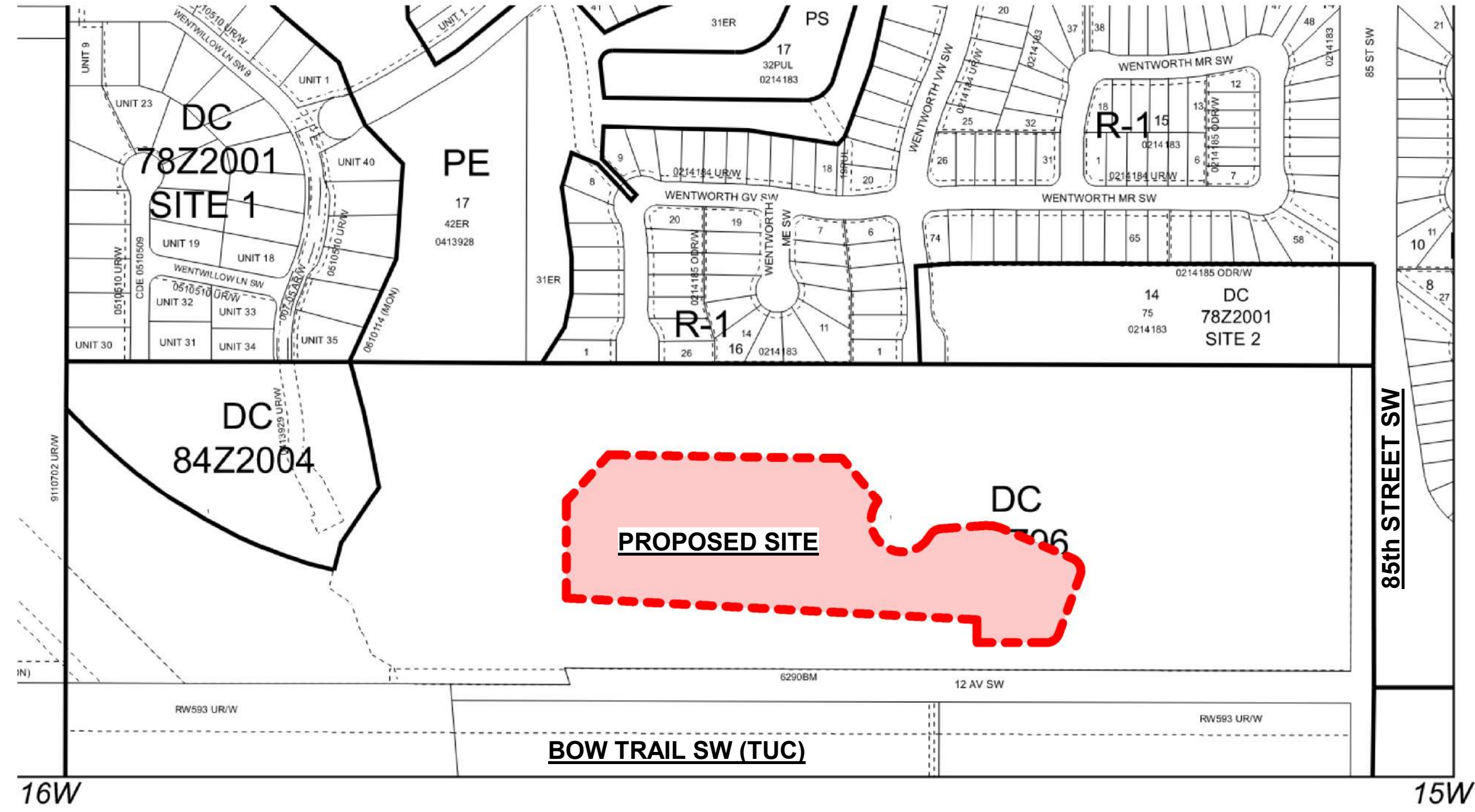
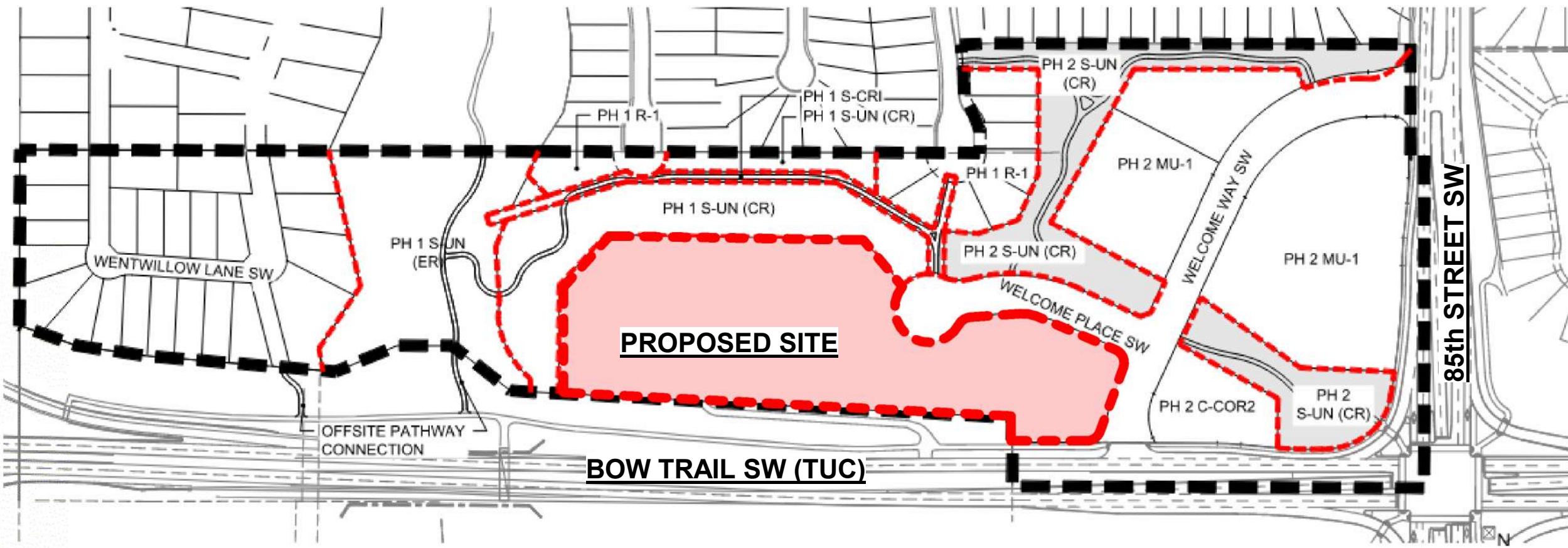
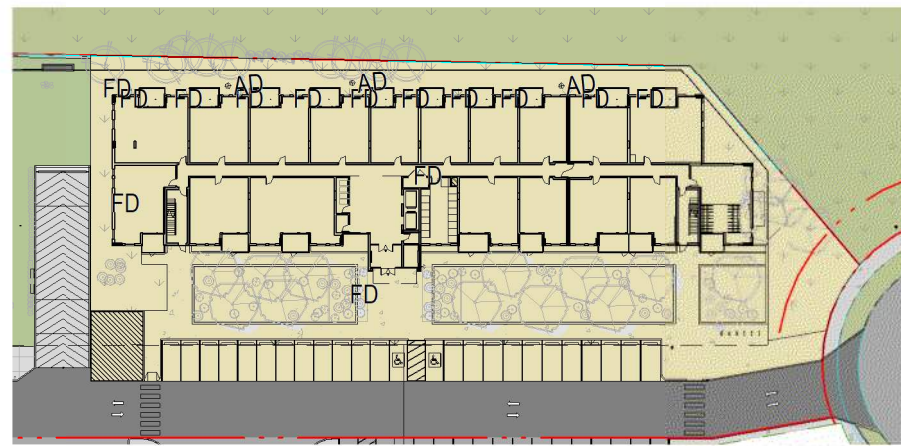
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

- SITE LEGEND**
- LANDSCAPING - REFER TO LANDSCAPE DRAWINGS
 - RAISED PLANTER BEDS - REFER TO LANDSCAPE DRAWINGS
 - CONCRETE (SIDEWALK / CURB / WALKWAY / PAVERS) - REFER TO LANDSCAPE DRAWINGS
 - HEATED CONCRETE RAMP DOWN TO PARKADE OR TROWELED HERRINGBONE FINISH ASPHALT
 - 6" C.I.P. CONCRETE RAISED PLANTER WALLS / CURBS - REFER TO LANDSCAPE DRAWINGS
 - LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 lb / 25,000 kg (SYMBOL PAINTED ON CONCRETE)
 - PRINCIPLE ENTRY - WITHIN 15m OF FIRE ACCESS ROUTE (<45m RADIUS FROM FIRE HYDRANT)
 - BARRIER-FREE RAMP
 - PROPOSED BARRIER-FREE PARKING - SYMBOL PAINTED ON ASPHALT
 - BIKE RACK - REFER TO LANDSCAPE DRAWINGS
 - 1.5m WIDE PAINTED CROSSWALK
 - "BARRIER FREE PARKING" SIGN (INSTALLED AT ALL RELEVANT LOCATIONS)
 - VISITOR PARKING (INSTALL SIGNAGE AT ALL RELEVANT LOCATIONS)
 - "STOP" SIGN, "LOADING ZONE, NO PARKING" SIGN, "LOADING" SIGN
 - PROPOSED TRANSFORMER AND CONCRETE PAD - REFER TO ELECTRICAL
 - FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL
 - DIRECTION OF TRAVEL
 - VARIOUS TREES - REFER TO LANDSCAPE
 - LIMIT OF CONSTRUCTION DISTURBANCE
 - WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
 - MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
 - SITE ELECTRICAL, MAY REQUIRE CONCRETE BASE - REFER TO ELECTRICAL
 - ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
 - FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
 - PROPERTY LINE - DELINEATES SCOPE OF WORK
 - EXTENTS OF PARKADE WALLS BELOW GRADE
 - PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
 - PROPOSED / EXISTING STORM LINE - REFER TO CIVIL
 - PROPOSED / EXISTING SANITARY LINE - REFER TO CIVIL
 - PROPOSED / EXISTING ELECTRICAL (OH OR UG) - REFER TO CIVIL
 - UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL
 - EXISTING / OFFSITE - REFER TO CIVIL / SURVEY
 - LINE OF EAVES AT ROOF OVERHANGS
 - LINE OF RETAINING WALL
 - LINE OF ACCESS ROAD CURB
 - LINE OF THE SAFETY GUARDRAIL ALONG ACCESS ROAD

NOTE:
ALL OFF-SITE LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UG SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY

SITE GENERAL NOTES

- ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 500mm FROM FRONT OF PARKING STALL (TYP.)
- NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE
- LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS
- SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS
- FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS
- SITE SERVICES: PRE-INSTALLS CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT
- REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION
- PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (IF D.C.) IS 8W 3m AND 10m FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL
- IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN. IF REQUIRED
- CAST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL
- PROPOSED LOCATIONS FOR FIRE ALARM CONTROL PANEL AND LOCKBOX INDICATED
- UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING
- REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS. HEAVY DUTY ASPHALT WHERE INDICATED
- AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL, USING AN APPROVED REDETERMINED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREES
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND SIZING OF TRANSIT ZONES AND TRANSIT PADS.



DATE	ISSUED FOR	REV

AMENDED DRAWINGS
DP No: DP2025-04404
Date Received: 04/05/2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

This drawing has been prepared solely for the use of TRICO HOMES and there are no representations of any kind made by NORR ARCHITECTS & PLANNERS to any party with whom NORR ARCHITECTS & PLANNERS has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan

Consultants

Survey:	T.B.D.
Civil:	RICHVIEW ENGINEERING
Architecture:	NORR ARCHITECTS & PLANNERS
Structural:	GLOTMAN-SIMPSON
Mechanical:	
Electrical:	
Interiors:	T.B.D.
Landscape:	816 STUDIO

Seal(s)

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planner
A Partnership of Corporations

Jonathan Hughes, Architect, AIA, CMA, NBC, BNA, AIAA, AAPF
Alicia Tamm, P.Eng., ASPE
Chris Hall, P.Eng., ASPE

Project Manager	Drawn
DH	Author
Project Leader	Checked
EF	Checker

Client
TRICO HOMES

Project
TRICO - WENTWORTH LANDING - PHASE 2 RESIDENTIAL

Drawing Title
OVERALL SITE PLAN

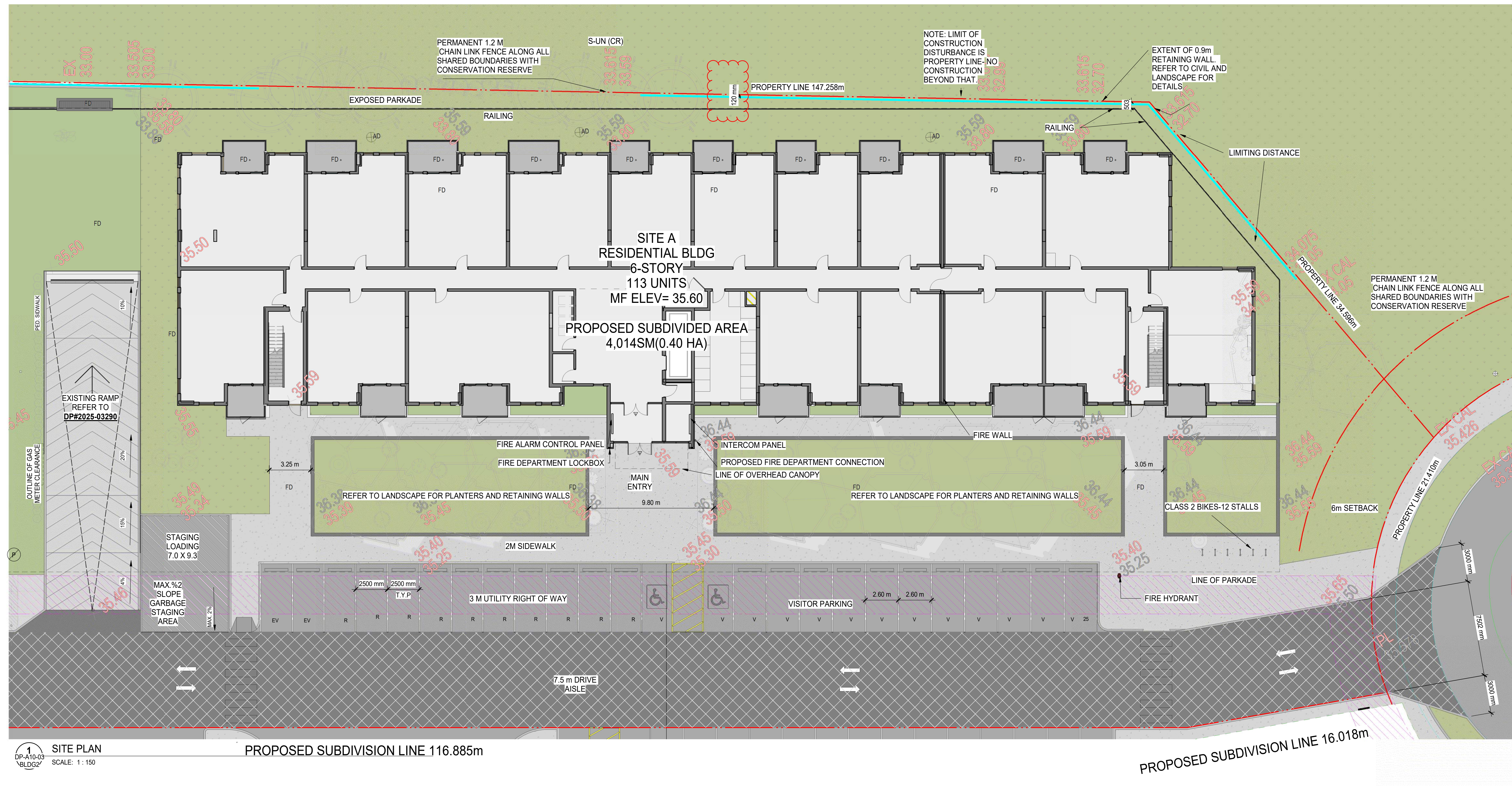
Scale
As indicated

Project No.
RZ1124-0021-00

Drawing No.
DP-A10-02 BLDG2

ISO A3 Title Block - v.2023 - Rev (sept23) - Copyright © 2023

SITE PLAN
SCALE: 1:350



SITE GENERAL NOTES

1. ALL BUILD ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
2. WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.)
3. NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION
4. NO PARKING ANYTIME / FIRE LINE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE
5. LANDSCAPE SHOW FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS
6. SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS
7. FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS
8. SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS
9. ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR FOR THE BEST TEST OF THE CONSTRUCTION OF THE PROJECT
10. REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION
11. PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (IF D) IS BY 3m and 15m from PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED
12. ARROWS SHOWN ON ARCHITECT NOTATION DIRECTION OF TRAVEL
13. IRRIGATION SYSTEMS TO BE DESIGNED AND INSTALLED BY OWNERS CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED
14. CAST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHALL BE ESTIMATED BASED ON GRADES. ALL Riser COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL
15. PROPOSED LOCATIONS FOR FIRE ALARM CONTROL, PANEL AND LOCKBOX INDICATED
16. UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING
17. REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS
18. INSTALL REGULAR ASPHALT AT PARKING STALLS LOCATIONS; HEAVY DUTY ASPHALT WHERE INDICATED
19. AN ENVIRONMENTAL TECHNICIAN MUST BE ON SITE DURING CONSTRUCTION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311. DAMAGE TO TREES WILL BE REPAIRED AT THE DISCRETION OF THE CITY OF VANCOUVER. IF DAMAGE TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL. UNDESIRABLE TREES IDENTIFIED ON CONTRACT AT APPLICATIONS EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREES)
20. REFER TO CIVIL DRAWINGS FOR LOCATIONS AND SIZING OF TRANSIT ZONES AND TRANSIT PADS

SITE LEGEND

- XXXX**
FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,566kg (85,000 LBS) LOAD & RSPA 150' POINT LOAD OF 5 TIRRA OVER SAGGY AREA
- UTILITY RIGHT-OF-WAY - REFER TO CIVIL
-  LANDSCAPE - REFER TO LANDSCAPE DRAWINGS
-  RAISED PLANTER BEDS - REFER TO LANDSCAPE DRAWINGS
-  CONCRETE (SIDEWALK / CURB / WALKWAY / PAVEMENT) - REFER TO LANDSCAPE DRAWINGS
-  RAISED CONCRETE RAMP DOWN TO PARKADE C/W TROVELED HERRINGBONE FINISH
-  ASPHALT
-  6" C/P CONCRETE RAISED PLANTER WALLS / CURBS - REFER TO LANDSCAPE DRAWINGS
-  LOADING ZONE - ASPHALT 1/2 WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 kg / 25,000 kg (SYMBOL PAINTED ON CONCRETE)
- PRINCIPLE ENTRY - WITHIN 15m OF FIRE ACCESS ROUTE (45m RADIUS FROM FIRE HYDRANT)
-  BARRIER FREE RAMP
- PROPOSED BARRIER FREE PARKING - SYMBOL PAINTED ON ASPHALT
-  BIKE RACK - REFER TO LANDSCAPE DRAWINGS
- 1.5m WIDE PAINTED CROSSWALK
- "BARRIER FREE PARKING" SIGN (INSTALLED AT ALL RELEVANT LOCATIONS)
- VISITOR PARKING (INSTALL SIGNAGE AT ALL RELEVANT LOCATIONS)
-  "STOP" SIGN, "LOADING ZONE, NO PARKING" SIGN, "LOADING" SIGN
- PROPOSED TRANSFORMER AND CONCRETE PAD - REFER TO ELECTRICAL
- FIRE HYDRANT - PROPOSED (POINT LOCATING LOCATION)
-  DIRECTION OF TRAVEL
-  VARIOUS TREES - REFER TO LANDSCAPE
-  WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
- MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
- SITE ELECTRICAL / MAY REQUIRE CONCRETE BASE - REFER TO ELECTRICAL
- ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
-  FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADII AS INDICATED
-  PROPERTY LINE - DELINEATES SCOPE OF WORK
- EXTENTS OF PARKADE WALLS BELOW GRADE
- PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
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-  LINE OF EAVES AT ROOF OVERHANGS
-  LINE OF RETAINING WALL
-  LINE OF ACCESS ROAD CURB
-  LINE OF THE SAFETY GUARDRAIL ALONG ACCESS ROAD
- NOTE:**
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DATE	ISSUED FOR	REV
025/05/28	DP Submission	1
025/10/15	DR1 reply	2
026/02/02	DR2 reply	3

AMENDED DRAWINGS

DP No	Date Received
DP2025-04404	04 06 2026

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan

Consultants

Civil: RICHVIEW ENGINEERING
Architecture: NORR ARCHITECTS & PLANNERS
Structural: GLOTMAN-SIMPSON
Mechanical:
Electrical:
Interiors: T.B.D
Landscape: 818 STUDIO

Seal(s)

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
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NORR Architects Engineers Planner
A Partnership of Corporations

From McKenize Architects | Material Inc. From McKenize Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, ABC, MAA, AANS, AAPE
Adrian Todella, P.Eng., APEGGA
Chris P.Eng., APEGGA

Project Manager DH	Drawn Author	
Project Leader EF	Checked Checker	

TRICO HOMES

Project
**TRICO - WENTWORTH
LANDING - PHASE 2
RESIDETIAL**

Drawing Title
**ENLARGED RESIDENTIAL
SITE PLAN**

Scale

As indicated

Project No. RZ1124-0021-00

Drawing No. **DP-A10-03 BLDG2**

GO All Title Block - v 2023 - Rev (Sept23) - Copyright © 2023

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



DATE	ISSUED FOR	REV
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AMENDED DRAWINGS	
DP No	Date Received
DP2025-04404	04-08-2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.	

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Project Component

Key Plan

Consultants

Survey:	T.B.D
Civil:	RICHVIEW ENGINEERING
Architecture:	NORR ARCHITECTS & PLANNERS
Structural:	GLOTMAN-SIMPSON
Mechanical:	
Electrical:	
Interiors:	T.B.D
Landscape:	616 STUDIO

Seal(s)

NORR

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Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations

Jonathan Hughes, Architect, AIA, OAA, NBC, BNA, AIAA, AAPF
Adam Tait, Architect, P.Eng., ARCSA
Chris Pate, P.Eng., ARCSA

Project Manager	Drawn
DH	Author
Project Leader	Checked
EF	Checker

Client
TRICO HOMES

Project
**TRICO - WENTWORTH
LANDING - PHASE 2
RESIDENTIAL**

1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

Drawing Title
RENDERS

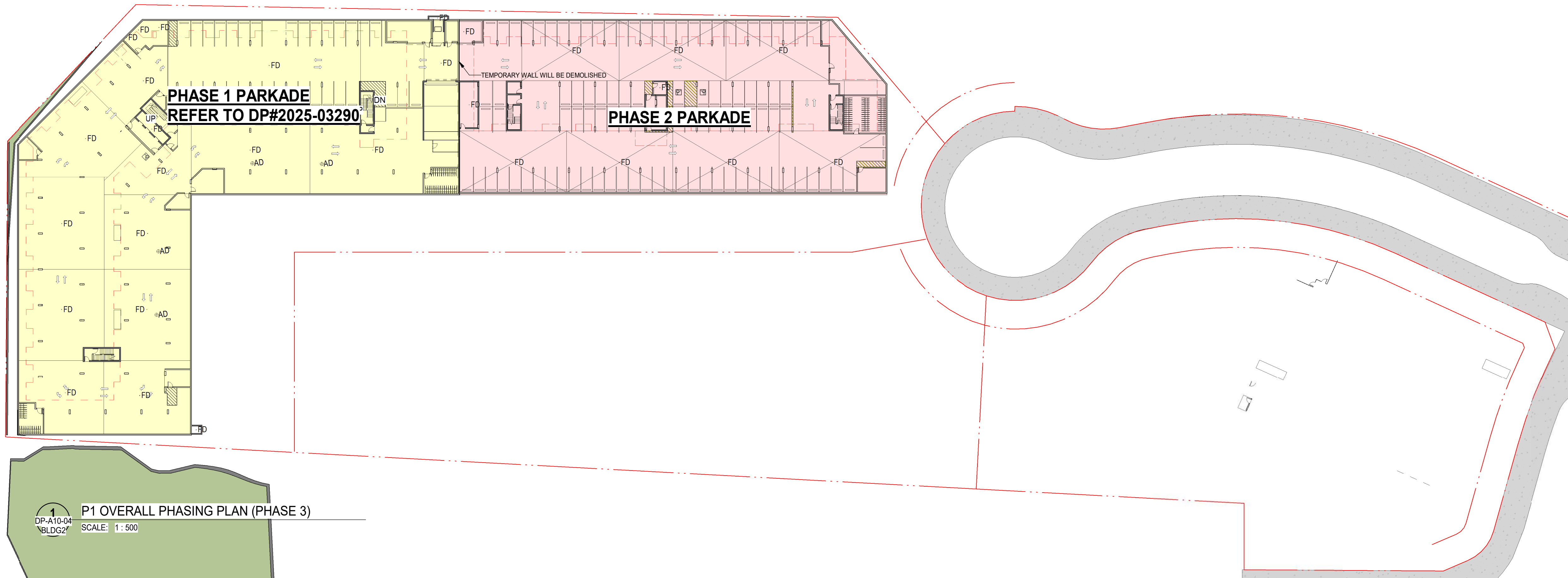
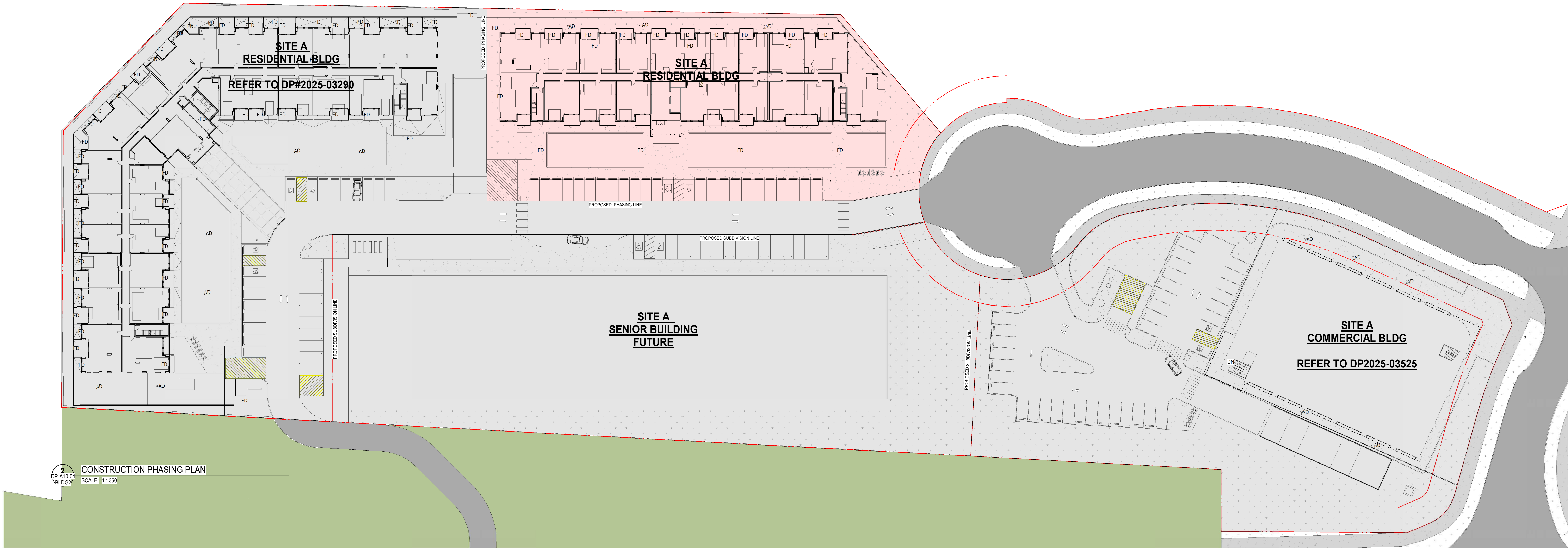
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Project No.
RZ1124-0021-00

Drawing No.
DP-A10-09 BLDG2

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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



PHASING LEGEND

- PHASE 02**
- SITE A PHASE 2 RESIDENTIAL BUILDING
 - SITE A PHASE 2 RESIDENTIAL UNDERGROUND PARKADE

- PHASE 02A**
- LANDSCAPE SURROUNDING SITE A PHASE 2 RESIDENTIAL BUILDING
 - LANDSCAPE SURROUNDING SITE A PHASE 2 COMMERCIAL BUILDING
 - DRIVEWAYS, WALKWAYS, SIDEWALKS INSTALLED

GENERAL NOTES:
1. EACH BUILDING PHASE AND ALL SURROUNDING LANDSCAPING TO BE PHASED INDIVIDUALLY AND IN A RANDOM ORDER, INDEPENDENT OF EACH OTHER.
2. PHASES NOT COMPLETED IN SEQUENTIAL ORDER EXCEPT PHASE 01, 02 & 03.

PHASING LEGEND -Bldg2

SCALE: 1:1

DATE ISSUED FOR REV

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Project Component

Key Plan

Consultants:
Survey: T.B.D.
Civil: RICHVIEW ENGINEERING
Architecture: NORR ARCHITECTS & PLANNERS
Structural: GLOTMAN-SIMPSON
Mechanical:
Electrical:
Interiors: T.B.D.
Landscape: 616 STUDIO

Seal(s)

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NORR Architects Engineers Planner
A Partnership of Corporations

Jonathan Hughes, Architect, AIA, OAA, RIBC, BNA, AIAA, AIAPE
Alicia Tatham, P.Eng., APECA
Chris Pate, P.Eng., APECA

Project Manager

DH

Project Leader

EF

Client

TRICO HOMES

Project

TRICO - WENTWORTH
LANDING - PHASE 2
RESIDENTIAL

1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

Drawing Title

PHASING PLAN

Scale

As indicated

Project No.

RZ1124-0021-00

Drawing No.

DP-A10-04 BLDG2

ISO A3 Title Block - v.2023 - Rev (sept23) - Copyright © 2023

MATERIALS BOARD

MATERIAL: BRICK VENEER MASONRY
MANUFACTURER: HEBRON
COLOR: SMOKEHOUSE



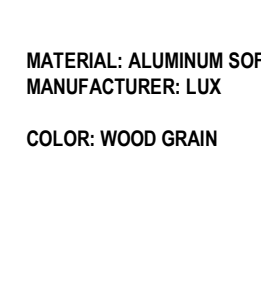
MATERIAL: BRICK VENEER MASONRY
MANUFACTURER: HEBRON
COLOR: MADISON



MATERIAL: FIBRE CEMENT PANEL
MANUFACTURER: JAMES HARDIE
COLOR: MIDNIGHT SOOT



MATERIAL: ALUMINUM FLASHING
MANUFACTURER: LUX
COLOR: POWDER BLACK

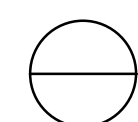


05 MATERIAL: FIBRE CEMENT
MANUFACTURER: JAMES
COLOR: MIDNIGHT SOOT

MATERIALS LEGEND

- | | |
|--|--|
| <p>1 MATERIAL: BRICK VENEER MASONRY MANUFACTURER: JAMES HARDIE COLOR: SMOKEHOUSE</p> | <p>57 MATERIAL: METAL CLAD/PV WINDOW MANUFACTURER: T.B.D. COLOR: BLACK</p> |
| <p>2 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: RATTEN BROWN</p> | <p>58 MATERIAL: BALCONY GUARDRAIL GLASS SYSTEM MANUFACTURER: T.B.D. COLOR: BLACK HARDWARE, CLEAR GLASS</p> |
| <p>3 MATERIAL: BRICK VENEER MASONRY MANUFACTURER: HERON COLOR: MADISON</p> | <p>59 MATERIAL: ALUMINUM FLASHING MANUFACTURER: LUX COLOR: WOOD GRAM</p> |
| <p>4 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: COBBLESTONE</p> | |
| <p>6 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: MOUNTAIN SLOTT</p> | |
| <p>7 MATERIAL: ALUMINUM FLASHING MANUFACTURER: LUX COLOR: POWDER BLACK</p> | |

MATERIAL LEGEND



SCALE: 1:1

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Project Component	Start Date	End Date	Duration (Days)	Percentage Complete	Actual Cost	Budgeted Cost	Cost Variance
Design	10/1/2023	12/15/2023	75	100%	\$150,000	\$150,000	\$0
Development	10/15/2023	1/15/2024	90	80%	\$240,000	\$240,000	\$0
Testing	1/15/2024	2/15/2024	30	50%	\$75,000	\$75,000	\$0
Deployment	2/15/2024	3/15/2024	30	0%	\$0	\$0	\$0
Maintenance	3/15/2024	6/15/2024	90	0%	\$0	\$0	\$0
Total			225	65%	\$465,000	\$465,000	\$0

Key Plan

Consultants	
Survey:	T.B.D
Civil:	RICHVIEW ENGINEERING
Architecture:	NORR
Structural:	GLOTTMAN-SIMPSON
Mechanical:	TLJ ENGINEERING
Electrical:	TLJ ENGINEERING
Interiors:	T.B.D
Landscape:	818 STUDIO

Se



2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planner
A Partnership of Corporations
Peter McCoskie Architects (Member) Inc. Peter McCoskie Holdings Inc.

Jonathan Hughes, Architect, AIA, OAA, AIBC, MAA, AANS, A
Adrian Todella, P.Eng., APEGA
Chris Pol, P.Eng., APEGA

Project Manager DH	Drawn AAQ
Project Leader EF	Checked DH/EF

TRICO HOMES

Project
**TRICO- WENTWORTH
LANDING - PHASE 2
RESIDENTIAL**
8888 12TH AVENUE SW, CALGARY, AB

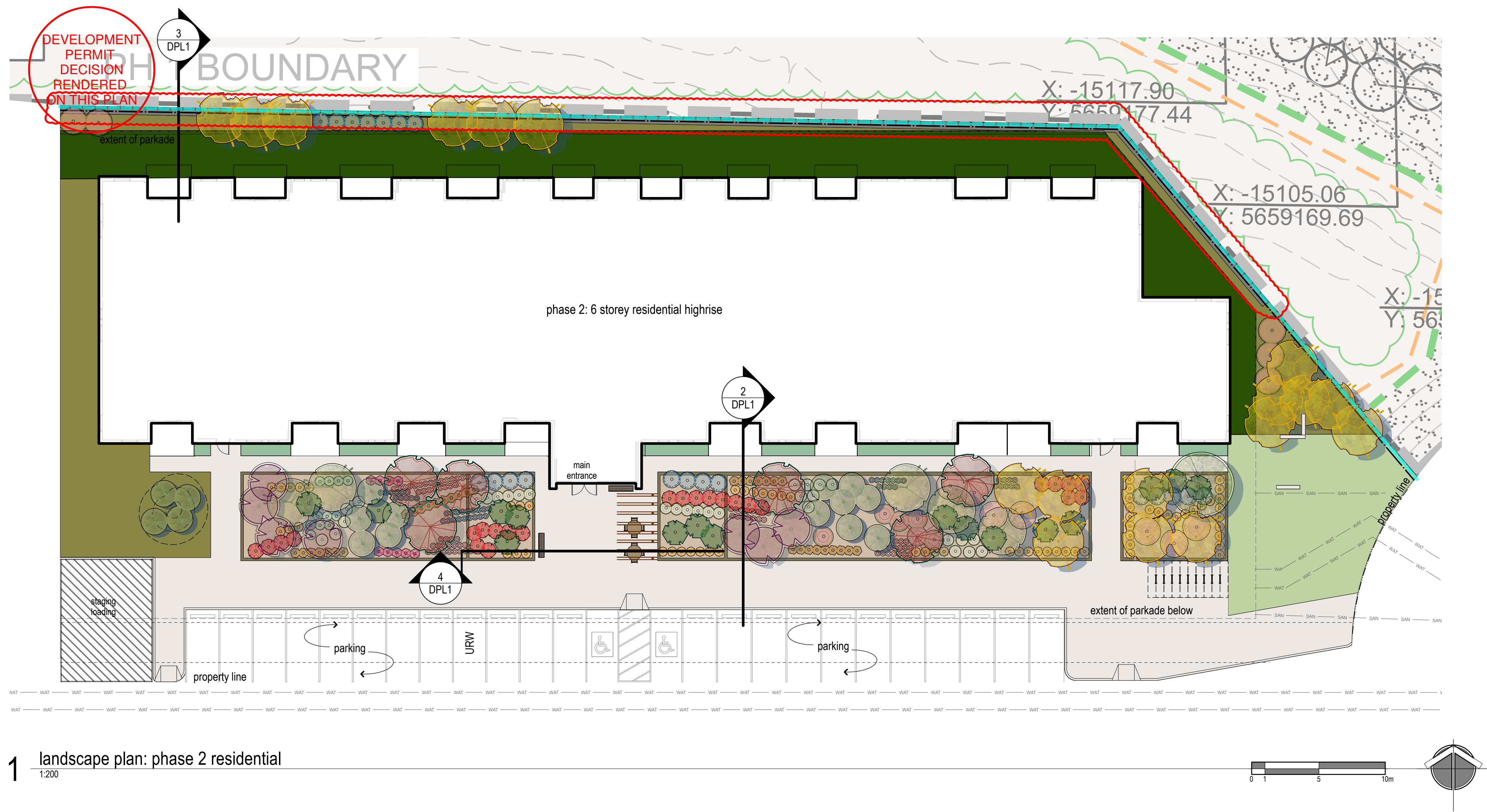
Drawing Title
**OVERALL BUILDING
ELEVATIONS**

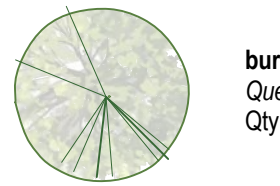
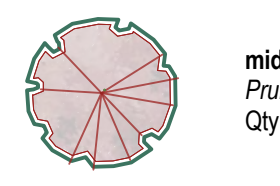
Scale	As indicated
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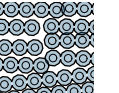
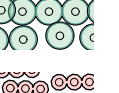
Project No.	RZ1124-0021-00
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Drawing No. **DP-A30-01 BLDG2**

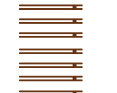
ISO A0 Title Block - v 2023 - Rev (8/2023) - Copyright © 2023



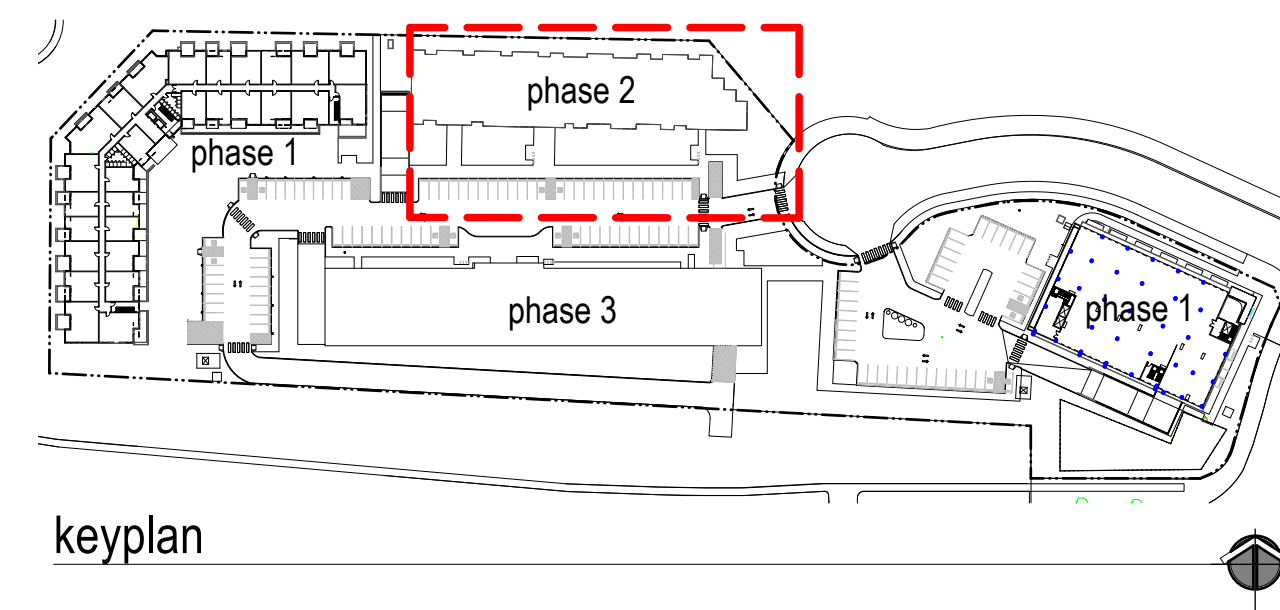
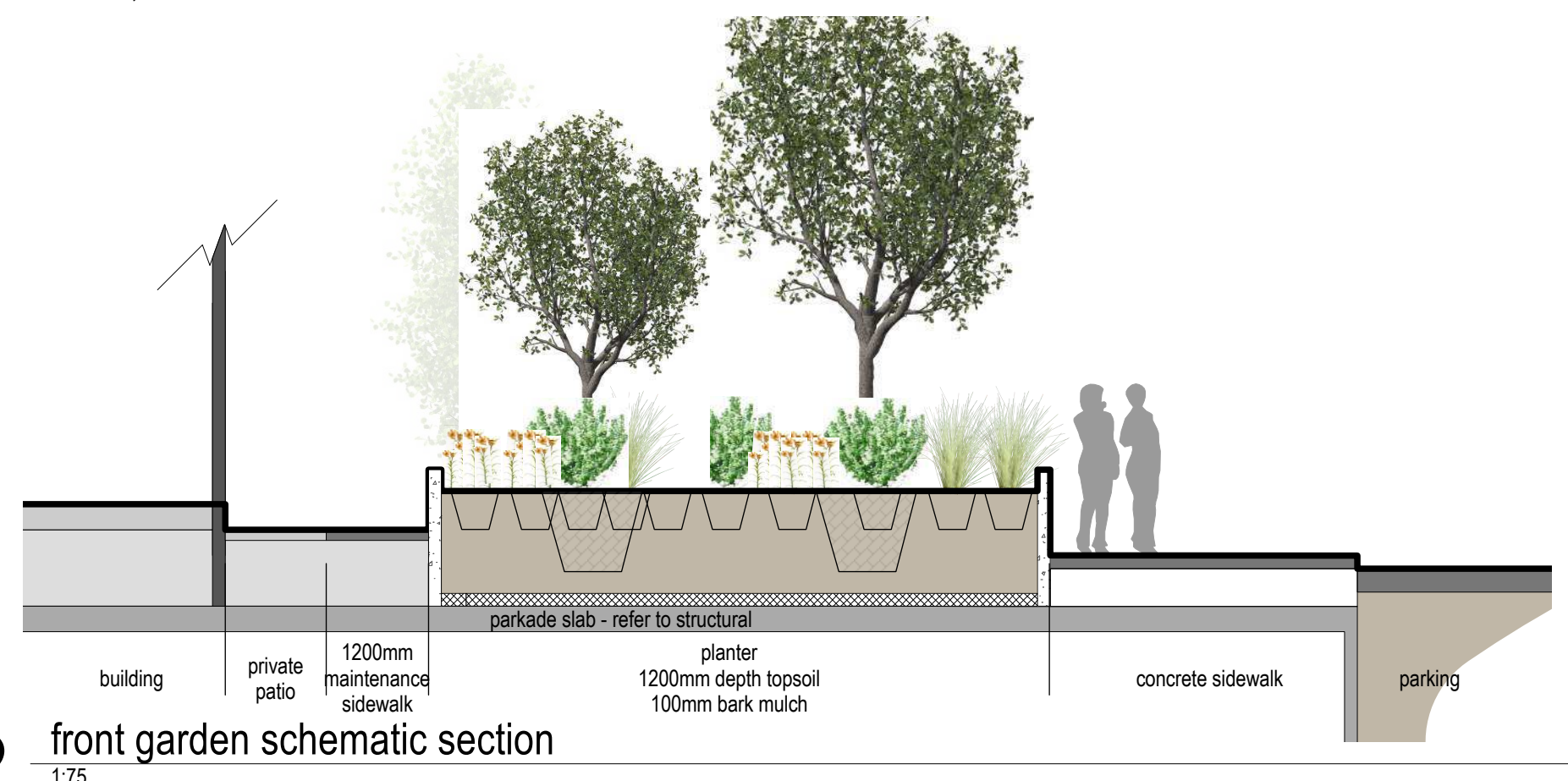
trees		
	bur oak <i>Quercus macrocarpa</i> Qty: 1	75mm caliper balled and burlapped
	columnar colorado spruce <i>Picea pungens 'Fastigiata'</i> Qty: 16	3m height balled and burlapped
	midnight schubert chokecherry <i>Prunus virginiana 'Midnight Schubert'</i> Qty: 6	50mm caliper balled and burlapped
	trembling aspen <i>Populus tremuloides</i> Qty: 18	75mm caliper balled and burlapped
	thunderchild flowering crabapple <i>Malus 'Thunderchild'</i> Qty: 7	50mm caliper balled and burlapped
	paper birch <i>Betula papyrifera</i> Qty: 5	50 mm caliper balled and burlapped

perennials		
	Perennial Flax <i>Linum perenne 'Saphyr'</i> Qty: 49	#2 container
	blue oat grass <i>Helictotrichon sempervirens</i> Qty: 11	#2 container
	Walker's Low Catmint <i>Nepeta x faassenii 'Walker's Low'</i> Qty: 73	#2 container
	kari foerster grass <i>Calamagrostis acutiflora</i> Qty: 67	#2 container
	prairie sky switch grass <i>Panicum virgatum 'Prairie'</i> Qty: 33	#2 container

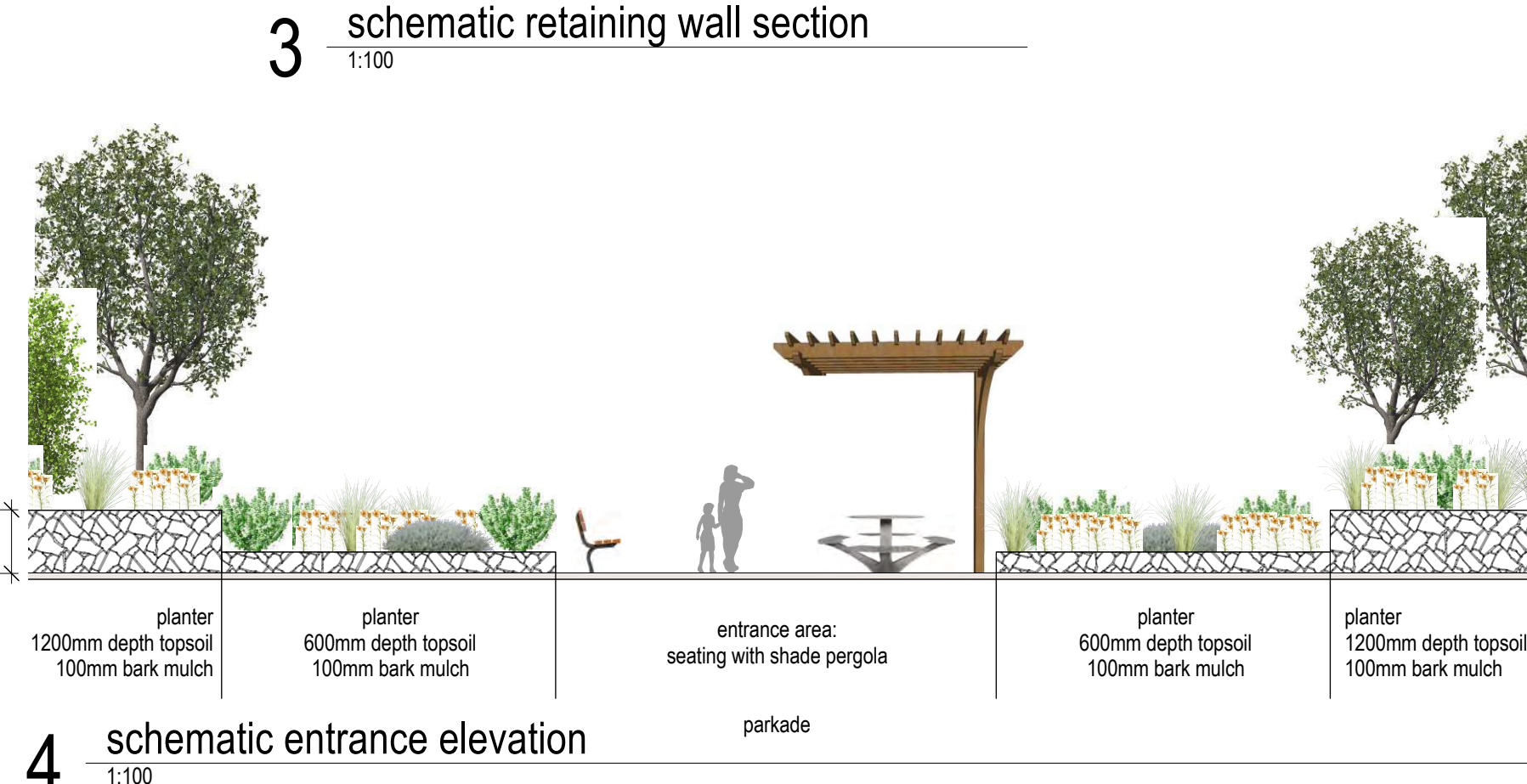
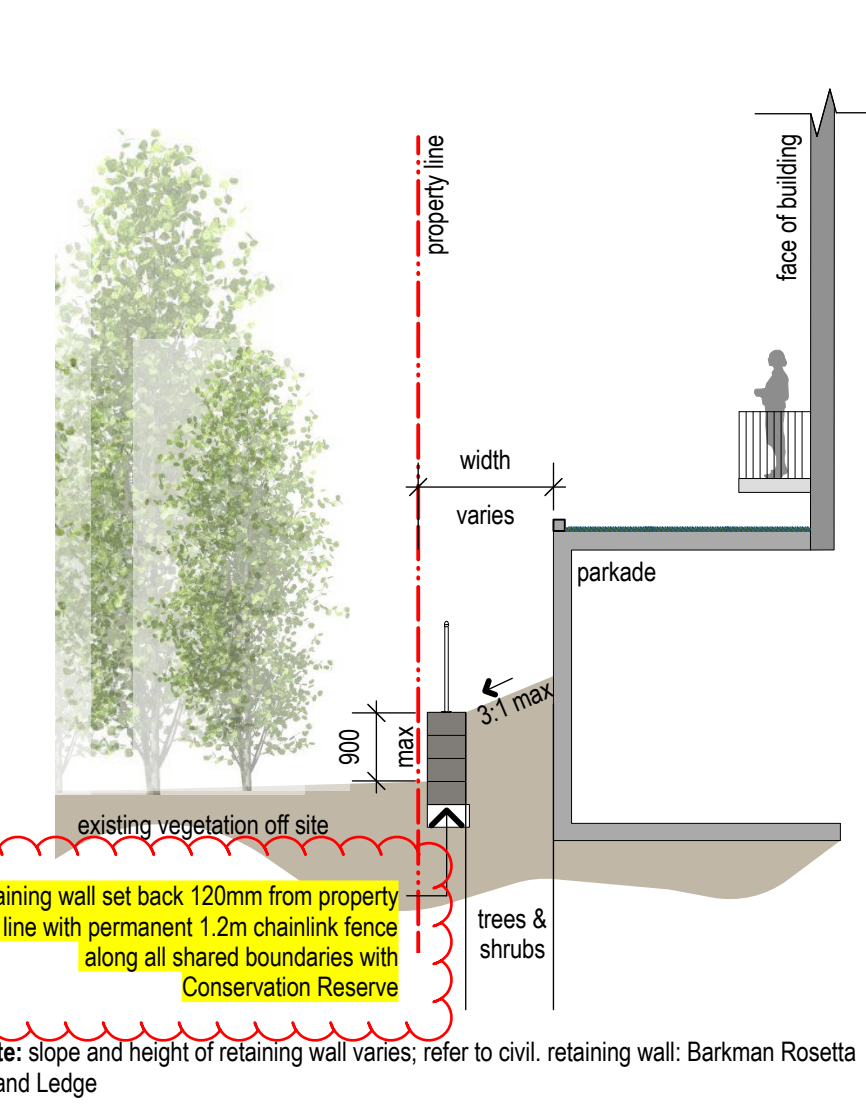
shrubs		
	andorra juniper <i>Juniperus horizontalis 'Plumosa Compacta'</i> Qty: 16	#5 container 600 mm min height + spread
	red osier dogwood <i>Cornus sericea</i> Qty: 8 12	#5 container 600mm min height + spread
	juniper <i>Juniperus horizontalis</i> Qty: 20	#5 container 600mm min height + spread
	ilic <i>Syringa 'Josée'</i> Qty: 6	#5 container 600mm min height + spread
	nannyberry <i>Viburnum lentago</i> Qty: 9	#5 container 600mm min height + spread
	wood's rose <i>Rosa woodsii</i> Qty: 25	#5 container 600 mm min height + spread
	snowbelle mock orange <i>Philadelphus x 'Snowbelle'</i> Qty: 30	#5 container 600mm min height + spread

site furniture	
	pergola structure
	bike racks
	bench
	picnic table with seating

site legend	
	plain grey concrete paving
	concrete planter wall
	retaining wall (120mm from property line) 70m
	NaturesTurf, EcoLogic Horticulture 148.95 m2
	chainlink fence 115m
	City of Calgary Native seed mix, EcoLogic Horticulture 277.58 m2
	perennial plantings 35.15 m2
	extensive green roof (shade) 331.40 m2
	berm (+/- 1-2 m height)
	temporary construction fence



land use bylaw landscape requirements		
City Of Calgary Zoning	M-H1	
landscape area	required	provided
total parcel area	3,947.05 m2	m2
landscape area required for M-H1 zoning (40% of parcel area)	1,578.82 m2	1969.29 m2
landscape provided - ground level:	1,969.29 m2	
landscape area provided at grade (percentage of total parcel area):	100	%
total landscape area provided	1969.29 m2	
total landscape area provided (percentage of total parcel area)	50	%
hard surfaced landscape area (maximum of 40% of provided landscape area)	787.72 m2	655.48 m2
hard surfaced landscape area provided (percentage of landscape area provided)	33	%
sod area as per item 556 (maximum of 30% of provided landscape area)	590.73 m2	148.95 m2
total number of trees (ground level and first floor terrace only)	required	provided
(1/45 m2 of provided landscape area as per option 555)		
number of existing trees on site:	0	
number of new trees required:	46	53
low water trees required as per item 556 (30% minimum of trees provided)	16	7
deciduous trees (ground level and first floor terrace only)	required	provided
large trees as per item 552 (50% min 75mm cal)	18	19
medium trees as per item 552 (50% min 50mm cal)	18	17
total deciduous trees	36	
coniferous trees (ground level and first floor terrace only)	required	provided
large trees as per item 552 (50% 3.0m ht min)	7	16
medium trees as per item 552 (50% 2.0m ht min)	7	
total coniferous trees	13	16
shrubs (ground level and first floor terrace only)	required	provided
(2/45 m2 of required landscape area as per item 552) (min 600mm height and spread)	88	118
low water shrubs required as per item 556 (30% minimum of shrubs provided)	26	55



NOT FOR CONSTRUCTION

for review and coordination only

- notes
- This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted and / or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
 - Do not scale drawings.
 - Refer to Civil drawings for all grading information.
 - All walkways are plain concrete unless noted otherwise.
 - All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
 - All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

number	revision	date	by	approved
5	dr3 updates	2026-03-27	dw	
4	sheet updates	2026-01-29	dw	
3	arch base update 2	2026-01-23	dw	
2	arch base update 1	2025-11-14	dw	
1	arch base upload	2025-07-14		
5	dr3 response	2026-03-20		
4	dr2 response	2026-01-27		
3	dr1 response	2025-11-24		
2	development permit	2025-07-28		
1	90% review	2025-07-22		
issued for		date (y.m.d)		

project

wentworth landing
phase 2
8888 12th avenue sw, calgary, alberta

drawing

landscape plan

drawn	chw	approved	rbg
checked	rbg	project number	04120.1
date	2025 07 16	sheet	DPL1
scale	as noted		