



LEGAL DESCRIPTION	MUNICIPAL ADDRESS		
LOT - 8, BLOCK 16 PLAN - 251 0585	XX SILVERTADO SW CALGARY, AB		
	ZONING: M-2		
PROJECT DATA/SITE DATA			
SITE AREA:	13,415.80 m ²	TOTAL TREES REQ	120
BUILDING AREA:	---m ²	DECIDUOUS TOTAL	90 (75%)
LANDSCAPE AREA REQUIRED:	5,368.32 m ² (40%)	DEC @ 75mm CAL	45 MIN
		DEC @ 50mm CAL	45
		CON TOTAL	30 (25%)
		CON @ 300mm HT	15 MIN
		CON @ 250mm HT	15
		TOTAL SHRUBS REQ	240

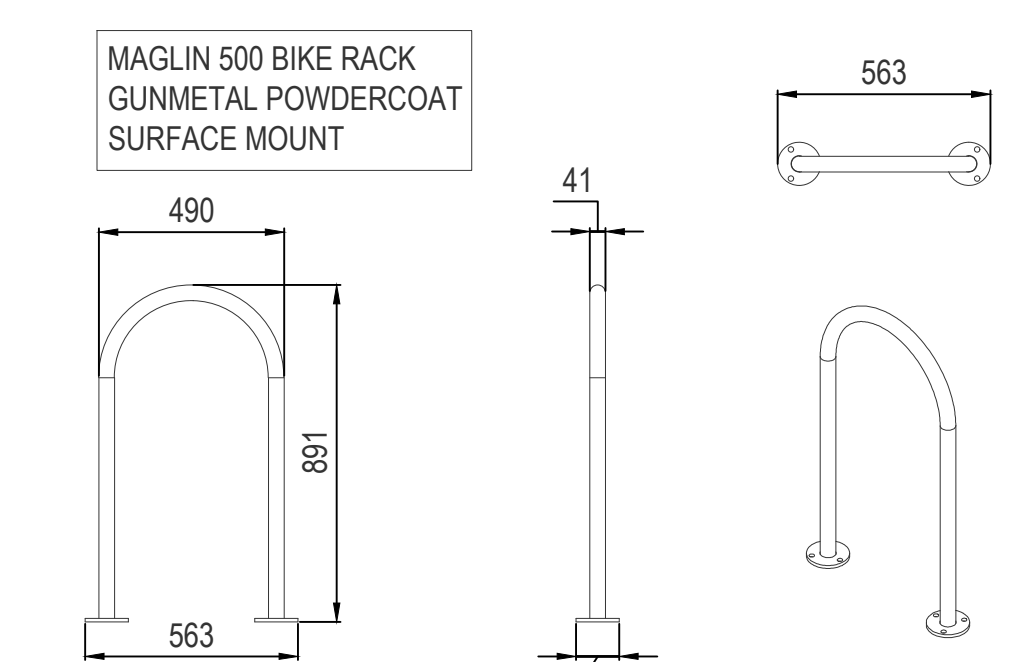
SURFACE LEGEND	
	RAISED PLANTER @ SEATING HT (450mm) w/ BLUE LYME GRASS GROUND COVER + ORNAMENTAL TREE - TOPSOIL MOUNDED 1200mm DEPTH
	LOW WATER, DROUGHT TOLERANT SOD - SITE SELECT SOD OVER 300mm SOIL DEPTH
	ASPHALT PATHWAY

SITE LEGEND	
	WOOD SLAT BENCH
	MOVABLE LOUNGE CHAIRS
	CLASS 2 BIKE RACKS
	5' (1.5m) WOOD FENCE
	4' (1.2m) BLACK CHAIN LINK FENCE (BUILT WITHIN PROPERTY)

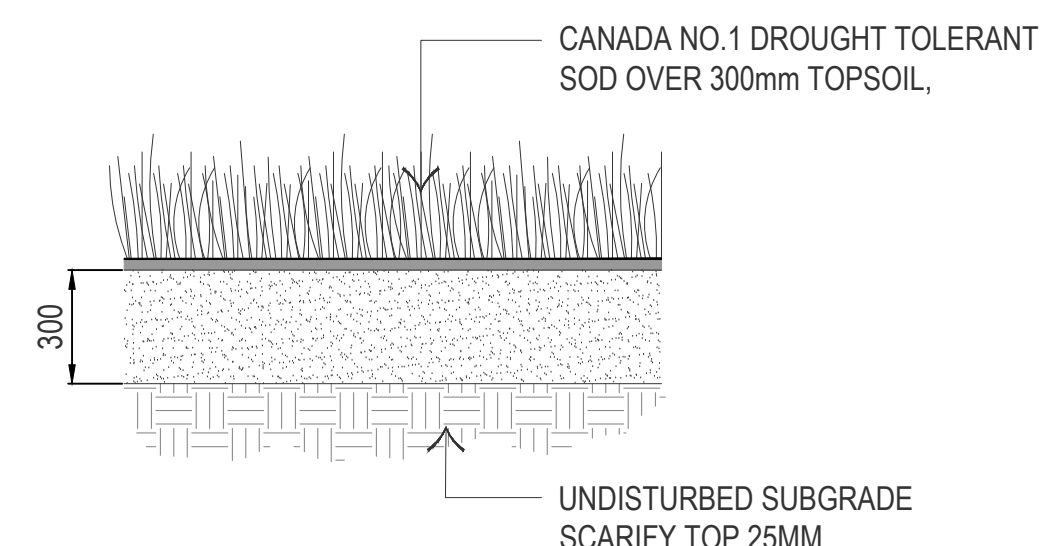
TREE LEGEND	
	QTY 29 - AMUR MAPLE - 50mm CAL
	QTY 14 - GREEN ASH - 75mm CAL
	QTY 24 - USSURIAN PEAR - 75mm CAL
	QTY 15 - BLUE SPRUCE - 2.5m ht
	QTY 15 - BLUE SPRUCE - 3.0m ht
	QTY 23 - COLUMNAR ASPEN - 50mm CAL

SHRUB + PERENNIAL LEGEND	
	QTY 66 - URAL FALSE SPIREA - 600mm HT
	QTY 17 - ARCADIA JUNIPER - 600mm SPRD
	QTY 89 - LITTLE REBEL DOGWOOD - 600mm HT
	QTY 144 - DWARF KOREAN LILAC - 600mm HT
	QTY 450 - KARL FOERSTER REED GRASS

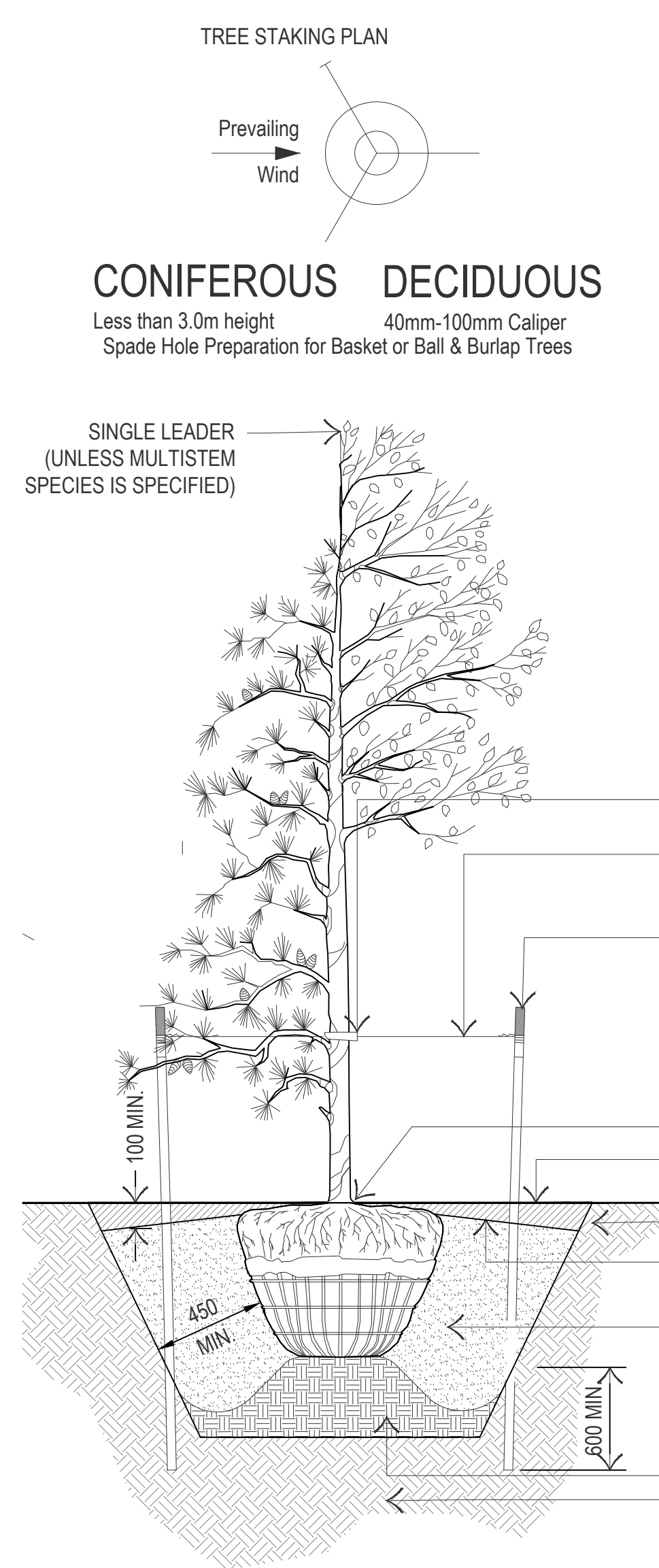
- GENERAL NOTES**
- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS.
 - ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
 - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
 - ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
 - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS.
 - ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH.
 - ALL SOFT LANDSCAPE AREAS TO BE EQUIPPED WITH A LOW-WATER HIGH EFFICIENCY IRRIGATION SYSTEM.
 - TURF AREAS TO BE NON IRRIGATED. IRRIGATION CONFINED TO TREE AND SHRUB BEDS.
 - IRRIGATION TO HAVE SOLAR OR BATTERY POWERED REMOTE MONITORING SYSTEM.
 - PROVIDE MIN 600MM SOIL DEPTH FOR ALL SHRUB PLANTING BEDS AND MIN OF 300MM FOR ALL SOD, ORNAMENTAL GRASSES AND PERENNIAL BEDS. TREES TO HAVE MIN 1200MM SOIL DEPTH OVER PARKADE STRUCTURE.



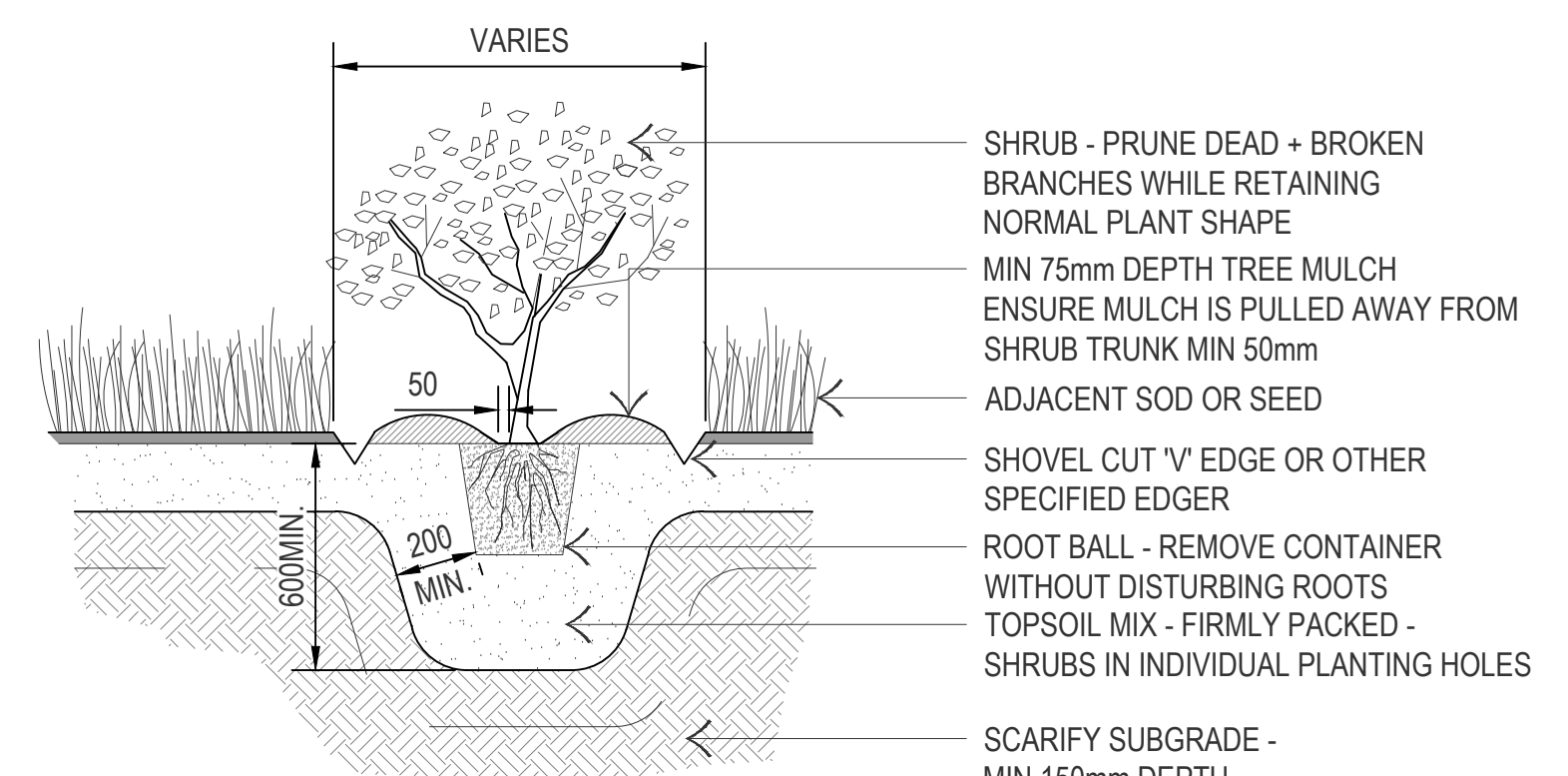
4 TYPICAL CLASS 2 BIKE RACK DETAIL
L100 SCALE 1:20



5 TYPICAL SOD PLANTING DETAIL
L100 SCALE 1:20



2 TYPICAL TREE PLANTING DETAIL
L200 SCALE 1:20



3 TYPICAL SHRUB PLANTING DETAIL
L100 SCALE 1:20

- NOTES:**
- ALL WORK COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 02930 TREES, SHRUBS AND GROUNDCOVERS AS WELL AS THE RELATED SECTIONS.
 - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
 - STAKE BEYOND EDGE OF ROOT BALL. IF MINIMUM SETBACKS PERMIT POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN THE BOULEVARD THE STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
 - ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
 - TREE SHOULD BE PLANTED 75mm-100mm BELOW GROUND LEVEL.
 - T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
 - IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/ VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
 - USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT.
 - PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.
 - DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS (REFER TO SECTION 7.6.2 AND 7.6.3 WHEN CLEARANCE CANNOT BE MAINTAINED FOR ANY EXCAVATIONS).
 - 12mm RUBBER STRAP POSITIONED AT APPROX 3/5 HT. - WIRE DOES NOT WRAP AROUND TREE.
 - 11 GAUGE GUY WIRE OR 2mm BRAIDED NYLON STRAP WITH FLUORESCENT ORANGE FLAGGING ON ALL GUY WIRES.
 - USE TWO VERTICAL STAKES PER TREE: TREE STAKES MIN. 2.0m LENGTH, PLAIN T-POSTS C/W 7 PUNCHED HOLES OR TEETH/ NOTCHES.
 - ALL EXPOSED PORTIONS OF TREE STAKES FREE OF RUST, SCALED, PRIMED & PAINTED.
 - TOP 300mm OF ALL TREE STAKES TO PAINTED TO MATCH ANNUAL COLOUR CODES.
 - ROOT FLARE AT GRADE.
 - 100mm MIN. MULCH, STARTING 50mm FROM ROOT FLARE (TRUNK) & EXTENDING THE HOLE.
 - SUBGRADE.
 - SLOPE TOPSOIL FROM ROOT FLARE TO EDGE OF HOLE TO FROM WELL.
 - CLASS 'B' TOPSOIL MIX MODERATELY PACKED - REFER TO TOPSOIL SPECIFICATIONS.
 - COMPACTED CLAY BELOW ROOT BALL.
 - UNDISTURBED NATIVE SOIL.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

[SMM]
SCATLUFF+MILLER+MURRAY INC.
403.262.9744 | SCATLUFF.CA

1	17/08/23	ISSUED FOR DEVELOPMENT PERMIT
NO	DO/NO/YY	REVISION

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SCALE AS NOTED

CARLISLE GROUP
eye on quality ... focus on value

PROJECT
SILVERADO STATION SITE 2
XX Silverado Boulevard SW
Calgary, Alberta
Lot 8, Block 16, Plan 251 0585

TRADE START DATE MAY 2022

DRAWING	
LANDSCAPE PLAN	
DESIGNED AGP	CHECKED DM
DRAWN AGP	JOB No. 2215
	DWG No.

L100

NOTES

1. THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: TRONNES GEOMATICS INC. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
2. UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
3. MIN. 12m RADIUS FOR FIRE TRUCK AND GARBAGE TRUCK ACCESS.
4. TEST MANHOLE LOCATION TO BE DETERMINED.
5. ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
6. REFER TO SURVEY DRAWING FOR EXISTING GRADES.
7. REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.
8. FIRE TRUCK ACCESS ROUTE UNDER GROUND PARKADE CAPABLE OF SUPPORTING A LOAD OF 38,556 KG (85,000 lbs).
9. ACCESS IS DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psi) OVER A 24" x 24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE.

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 8, BLOCK 1, PLAN 251 0585
MUNICIPAL ADDRESS: XX SILVERTON BOULEVARD SW, CALGARY, ALBERTA
ZONING: M-2
SITE AREA: ±1.34 ha (±3.315 ac) = ±13,415.8 m² (144,406 ft²)
PROPOSED FOOTPRINT: BUILDING 1000 2,504.3 m² (27,344 ft²)
BUILDING 2000 1,943.6 m² (20,921 ft²)
PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

BUILDING/UNITS	1BDR	2BDR	3BDR	TOTAL
BUILDING 1000	35	126	24	185
BUILDING 2000	23	96	18	137
TOTAL	58	222	42	322

MAXIMUM DENSITY ALLOWED: NO MAXIMUM
MINIMUM DENSITY ALLOWED: 60 UNITS PER HECTARE
DENSITY PROVIDED: 322 UNITS/1.34ha = 240 UNITS/ha
FLOOR AREA RATIO ALLOWED: MAX 3.0 (NO MIN)
FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:
BUILDING 1000 (WF 2,540.3 m² + UF 2,533.1 m² x5) 15,205.8 m² (163,674 ft²)
BUILDING 2000 (WF 1,943.6 m² + UF 1,936.6 m² x5) 11,626.6 m² (125,146 ft²)
TOTAL FLOOR AREA: 26,832.4 m² (288,820 ft²)
26,832.4 m² / ±13,415.8 m² = 2.00
LANDSCAPE AREAS: REFER TO LANDSCAPE DRAWINGS PREPARED BY SCATLUFF MILLER MURRAY
BUILDING HEIGHT ALLOWED: MAX. 16m
BUILDING HEIGHT PROVIDED: ±17.4m

PARKING CALCULATIONS

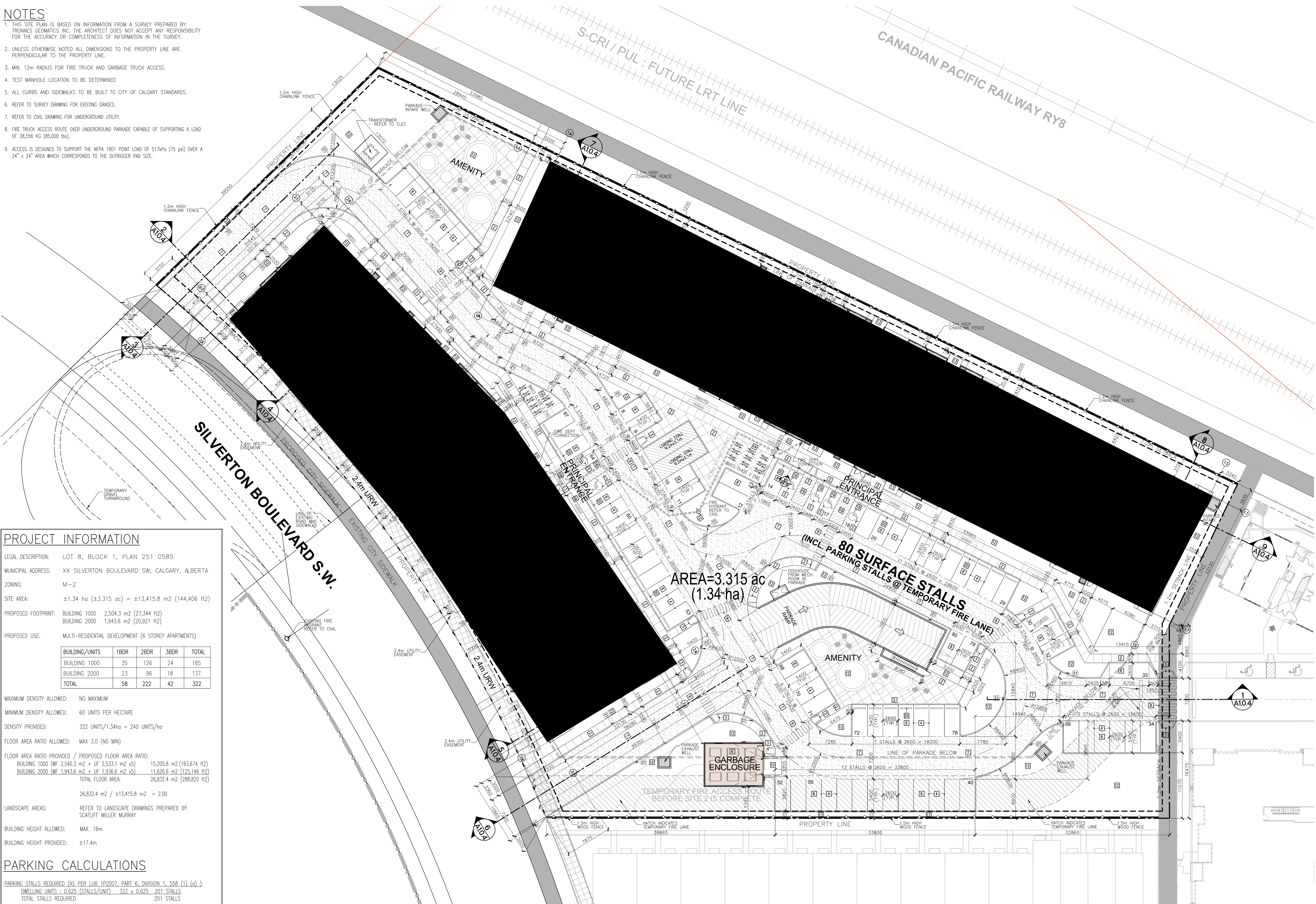
PARKING STALLS REQUIRED (AS PER LUB.1P2007, PART 6, DIVISION 1.558 (1) (a)):
DWELLING UNITS : 0.625 (STALLS/UNIT) 322 x 0.625 = 201 STALLS
TOTAL STALLS REQUIRED 201 STALLS

PARKING STALLS PROVIDED:
SURFACE STALLS (INCL. 6 H/C STALLS) 80 STALLS
PARKADE (EXCL. 6 TANDEMS) 319 STALLS
TOTAL STALLS PROVIDED (EXCL. 6 TANDEMS) 399 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (558)):
CLASS 1: 322 x 1.0 (STALLS/UNIT) 322 STALLS
CLASS 2: 322 x 0.1 (STALLS/UNIT) 33 STALLS
TOTAL NUMBER OF STALLS 355 STALLS

BICYCLE PARKING PROVIDED:
CLASS 1: (242 HORIZONTAL + 84 VERTICAL RACKS) 326 STALLS
CLASS 2: 32 STALLS
TOTAL NUMBER OF STALLS 358 STALLS

PARKING RATIO: 1.24 STALLS/UNIT



AREA=3.315 ac
(1.34 ha)

1 SITE PLAN (SITE 2)
A1.2.0 1:250

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MATERIAL LEGEND

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
- 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
- 7 HEAVY-DUTY ASPHALT PAVING
-MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE
-FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE APRON
-MIN. OF 25,000 KG WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 RESERVED
- 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- 17 RESERVED
- 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN

LEGEND

- HEAVY DUTY ASPHALT
- RIGHT-OF-WAY
- V 'V' INDICATES VISITOR STALLS

July 11, 2025

ISSUED FOR DEVELOPMENT PERMIT

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MOHAMMAD KATABARBANDA
REGISTERED PROFESSIONAL ENGINEER
ALBERTA
JUL 11, 2025

SCALE AS NOTED

CITY VIBE
DEVELOPMENTS INC.

PROJECT
SILVERADO STATION
SITE 2
xxx Silverton Boulevard SW
Calgary, Alberta
Lot 8, Block 16, Plan 251 0585

TRADE START DATE MAY 2022

DRAWING
SITE PLAN
(SITE 2)

DESIGNED TN/SF/SKM CHECKED TN

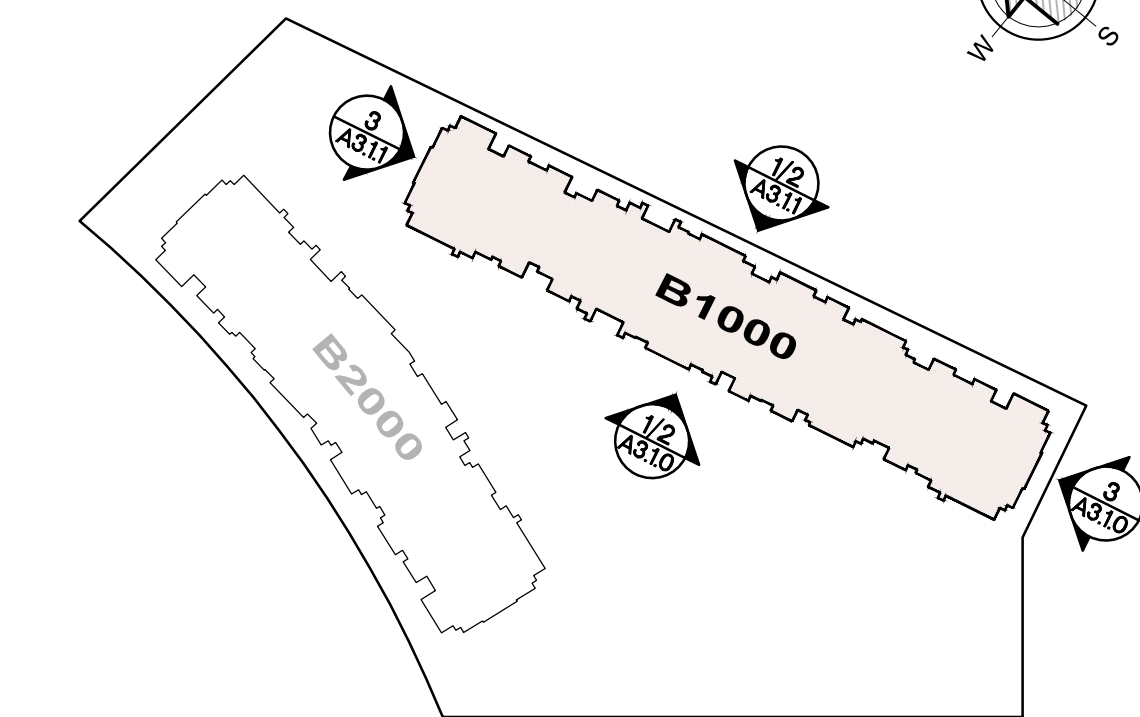
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DWG No. **A1.2.0**

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MATERIAL LEGEND

- ① HARDIE BOARD PANEL 01 (LIGHT GRAY)
- ② HARDIE BOARD PANEL 02 (DARK GRAY)
- ③ HARDIE BOARD PANEL 03 (COLOR TBD)
- ④ HARDIE BOARD PANEL 04 (ARCTIC WHITE)
- ⑤ HARDIE TRIM (COLOR TBD)
- ⑥ HARDIE LAP SIDING (COLOR TBD)
- ⑦ BRICK (COLOR TBD)
- ⑧ BLACK VINYL WINDOW
- ⑨ BLACK ALUMINUM GLASS RAILING
- ⑩ EXTERIOR GLASS DOOR
- ⑪ EXTERIOR GLASS SLIDING DOOR
- ⑫ VTAC LOUVER (COLOUR TO MATCH ELEVATION)



KEY PLAN



1 WEST ELEVATION
A3.1.0 3/32" = 1'-0"



2 WEST ELEVATION
A3.1.0 3/32" = 1'-0"



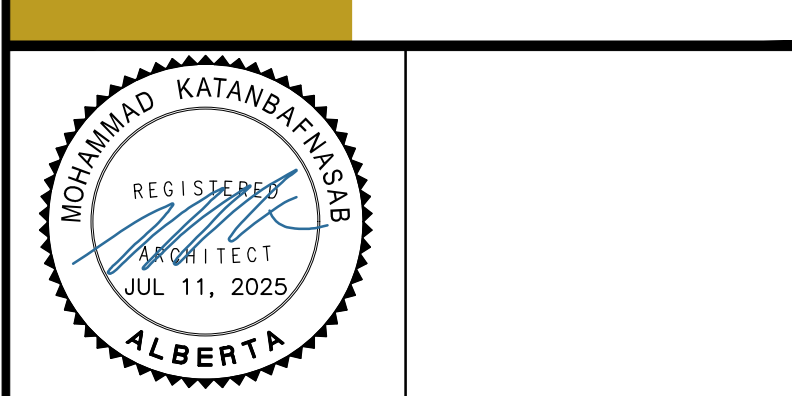
3 SOUTH ELEVATION
A3.1.0 3/32" = 1'-0"

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DRAWING

BUILDING 1000 - ELEVATIONS

DESIGNED TN/SF/SKM CHECKED TN

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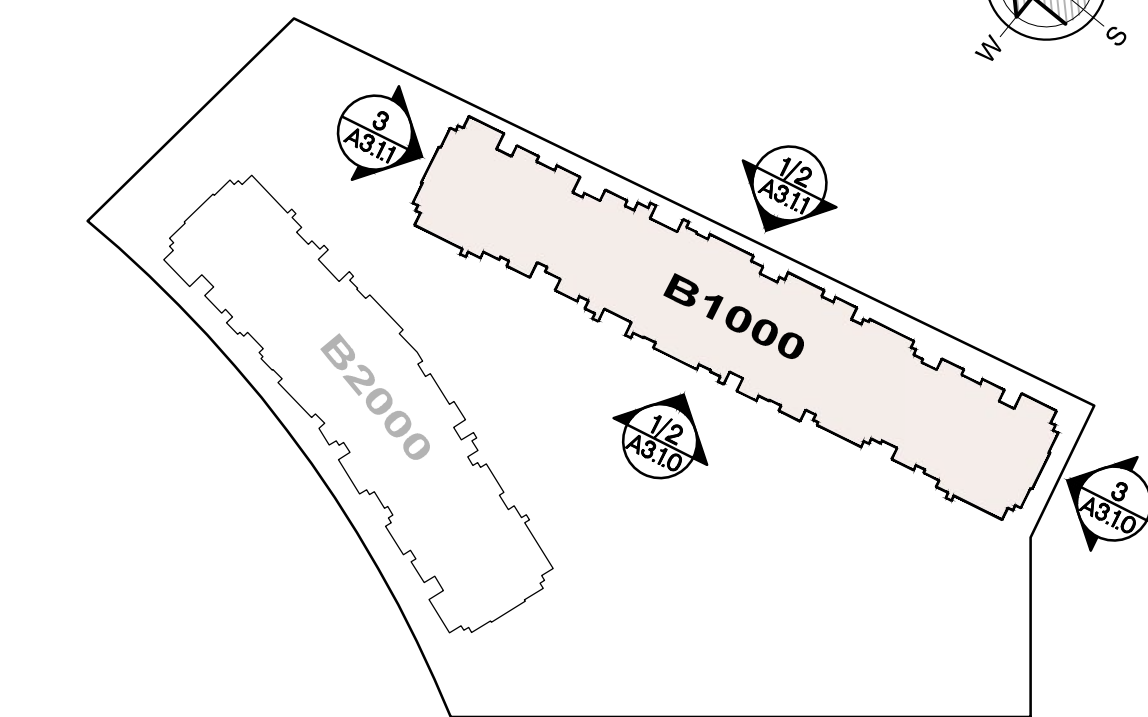
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KEY PLAN



1 EAST ELEVATION
A3.1.1 3/32" = 1'-0"



2 EAST ELEVATION
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3 NORTH ELEVATION
A3.1.1 3/32" = 1'-0"

July 11, 2025

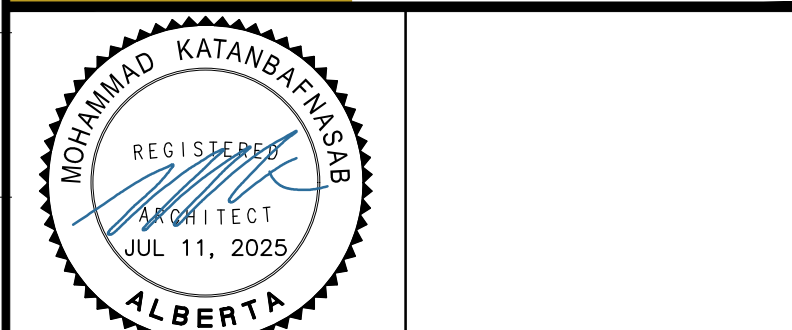
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BUILDING 1000 -
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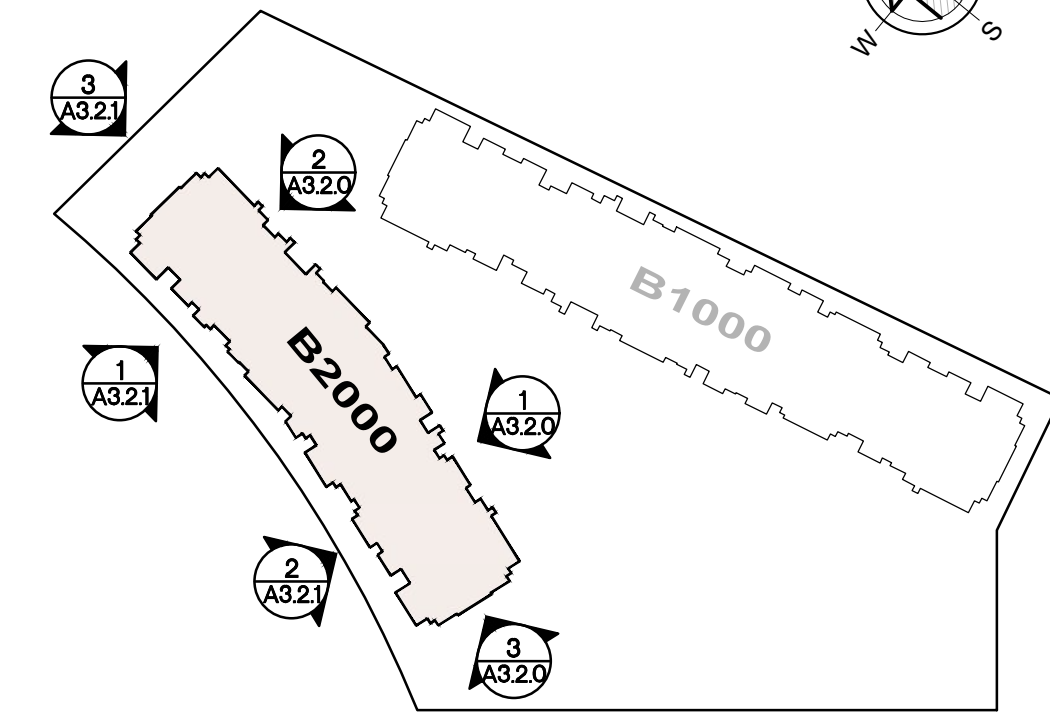
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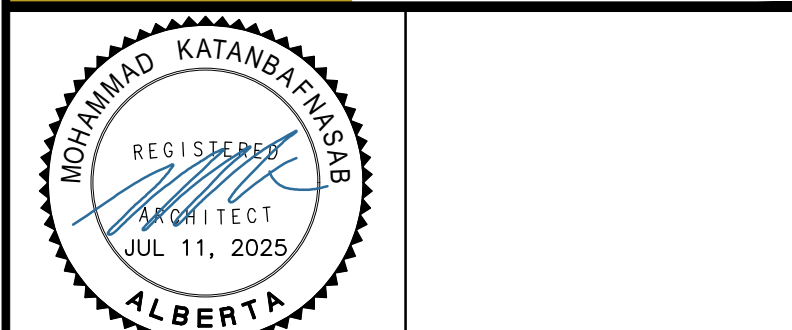
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DEVELOPMENTS INC.

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DRAWING

**BUILDING 2000 -
ELEVATIONS**

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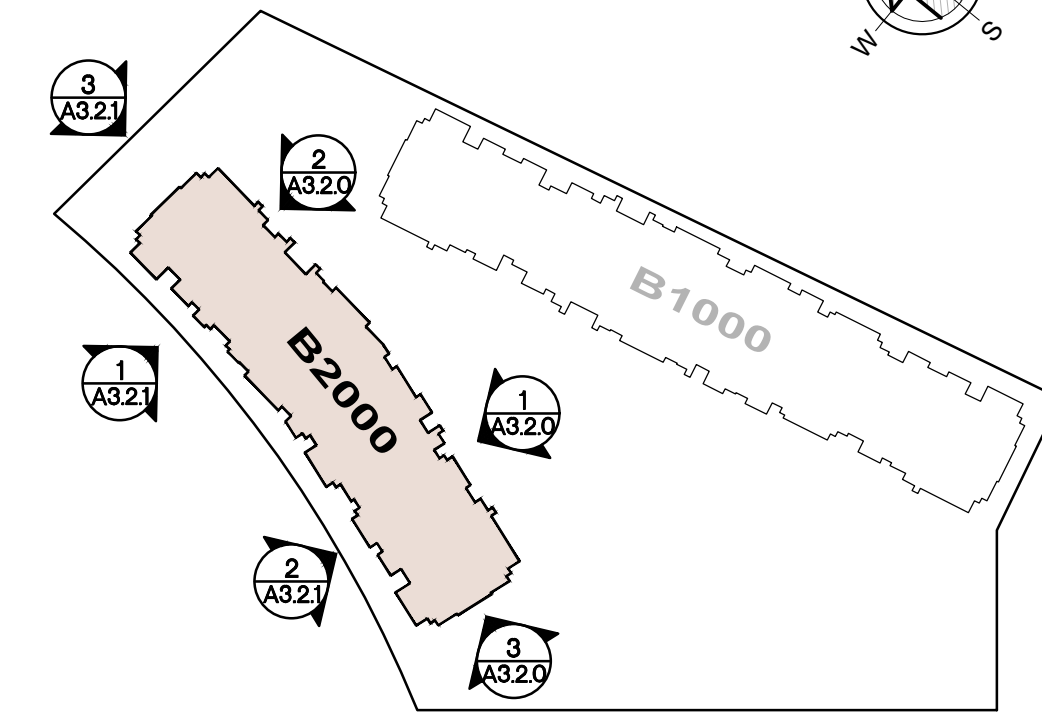
A3.2.0

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