

FULL SITE - 1:2000

LEGEND

PROPOSED PROPERTY LINE

SETBACK LINE

WATER LINE

STORM LINE

SANITARY LINE

GAS LINE

EASEMENT

CONCRETE CURB

CURB RAMP

CONCRETE SIDEWALK

LIGHT STANDARD, POWER PEDESTAL, TELUS PEDESTAL AND TRANSFORMER

DETECTOR LOOP

DIRECTIONAL SIGNAGE

CAMERA/CAMERA ON POLE

GARBAGE BIN

BICYCLE RACK

PUBLIC ENTRANCE DOOR

ENTRANCE DOOR

PROPOSED TREES

PLANTING BED C/W 600mm DEPTH TOPSOIL & 100mm DEPTH SHREDDED WOOD MULCH (260 m2 TOTAL AREA)

CERTIFIED NO.1 CULTIVATED TURF SOD WITH 300mm DEPTH TOPSOIL (225 m2 TOTAL AREA)

SOD MIX

CERTIFIED NO.1 CULTIVATED TURF SOD

70-90% KENTUCKY BLUEGRASS

0-10% CREEPING RED FESCUE

0-30% PERENNIAL RYE GRASS

CLIENT

McDonald's Restaurants of Canada Ltd.

4400 Still Creek Drive

Burnaby, BC

V5C 6C6

Tel: 604-294-2181

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KEY PLAN - N.T.S.

DETAILS OF DEVELOPMENT

	DATA	REQUIRED	PROPOSED
ZONING	COMMERCIAL - COMMUNITY 1 (C-C1)		
SETBACK	RY	3.0 M	21.41 M
	SY (EAST)	0.0 M	4.71 M
	SY (WEST)	3.0 M	9.45 M
		0.0 M	15.76 M

DRAWING ISSUE RECORD

#	DATE	KL	BY	DESCRIPTION
1	2025-07-11			ISSUED BY DP

SEALS

PLANT CALCULATIONS

LANDSCAPE SETBACK AREA - (254.13m²)	REQUIRED	PROVIDED
1 Tree per 50m² of Landscape Area (Low Water Irrigation System Provided)	6	14
2 Shrubs per 50m² of Landscape Area (Low Water Irrigation System Provided)	12	63

SITE PLANTING TYPE REQUIREMENTS

TOTAL PLANT MATERIAL	REQUIRED	PROVIDED
Deciduous Trees:Coniferous Trees	3:1	60%:40%
Deciduous Shrubs:Coniferous Shrubs	1:1	50%:50%

SITE PLANTING SIZE REQUIREMENTS

TOTAL PLANT MATERIAL	REQUIRED	PROVIDED
Deciduous Trees (50mm Cal:75mm Cal)	50%:50%	50%:50%
Coniferous Trees (2.0m Ht:3.0m Ht)	50%:50%	50%:50%

NOTES

CALGARY LAND USE BYLAW 1P2007

- ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIALS TO BE HIGH QUALITY/SPECIMEN AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
- DRAINAGE FLOWS TO BE DIRECTED AWAY FROM ALL BUILDINGS AT MINIMUM GRADE OF 2% (SEE ENGINEERING DRAWING FOR GRADING PLAN).
- ALL SOFT LANDSCAPING AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO PROJECT MANAGER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.

LEGAL DESCRIPTION

LOT 1, BLOCK 28, PLAN 7436JK
N.W. 1/4 SEC. 9, TWP. 23, RGE. 1, W.5M

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT TREATMENT
CONIFEROUS TREES					
PC	2	Pinus contorta latifolia	Lodgepole Pine	2.0m Ht. Min.	B&B Full and Uniform
PC2	2	Pinus contorta latifolia	Lodgepole Pine	3.0m Ht. Min.	B&B Full and Uniform
DECIDUOUS TREES					
FF	3	Fraxinus pennsylvanica 'Rugby'	Prairie Spire® Green Ash	50mm Cal. Min.	B&B Full and Uniform
MS	2	Malus x 'Spring Snow'	Spring Snow Crabapple	50mm Cal. Min.	B&B Full and Uniform
MS2	3	Malus x 'Spring Snow'	Spring Snow Crabapple	75mm Cal Min	B&B Full and Uniform
TD	2	Tilia x flavescens 'Dropmore'	Dropmore Linden	75mm Cal Min	B&B Full and Uniform
CONIFEROUS SHRUBS					
js	16	Juniperus sabina 'Calgary Carpet'	Calgary Carpet Juniper	600mm Spr Min	Full and Uniform
pm	16	Pinus mugo 'Mops'	Mops Mugo Pine	600mm Spr Min	Full and Uniform
DECIDUOUS SHRUBS					
cs	3	Cornus sericea	Red Twig Dogwood	600mm Ht Min	Full and Uniform
df	28	Dasiphora fruticosa 'Abbotswood'	Abbotswood Bush Cinquefoil	600mm Ht Min	Full and Uniform
GRASSES					
pa	15	Pennisetum alopecuroides	Fountain Grass	#1 CONTAINER	Full and Uniform
sh	33	Sporobolus heterolepis	Prairie Dropseed	#1 CONTAINER	Full and Uniform

OFFSET TABLE FROM TREES

CITY OF CALGARY DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS: LANDSCAPE CONSTRUCTION APRIL 2021

Table 4-2: Tree Separations To Utilities

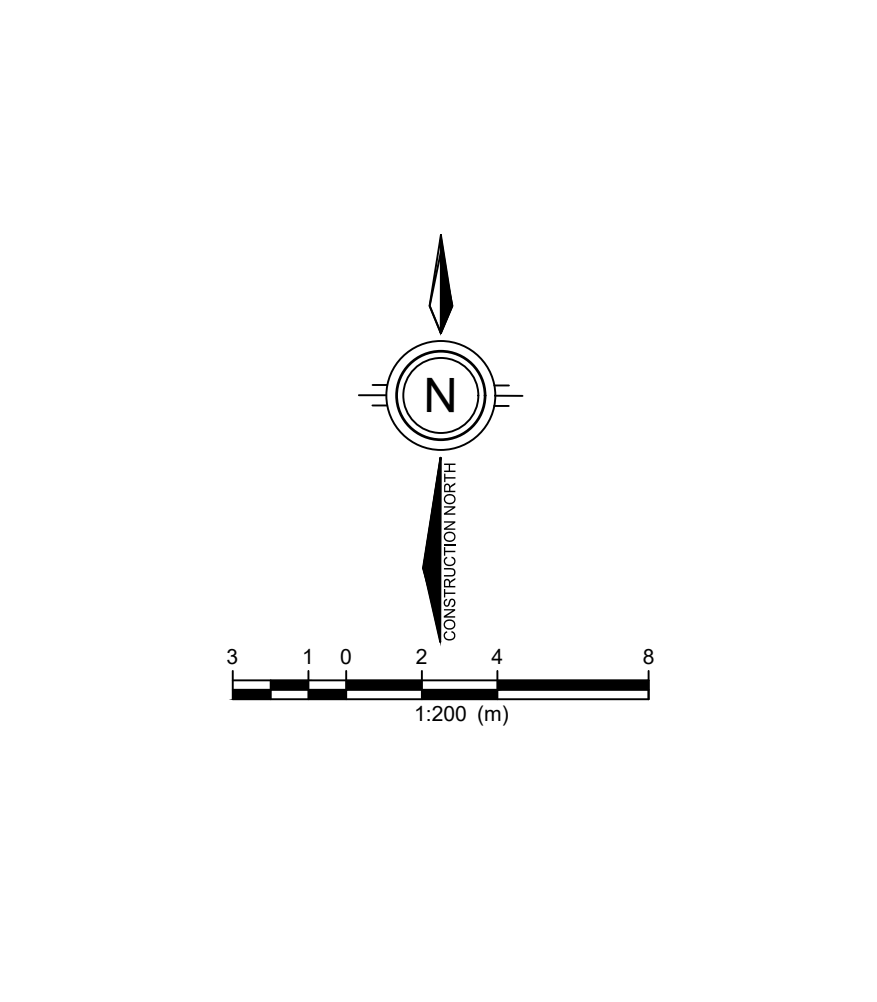
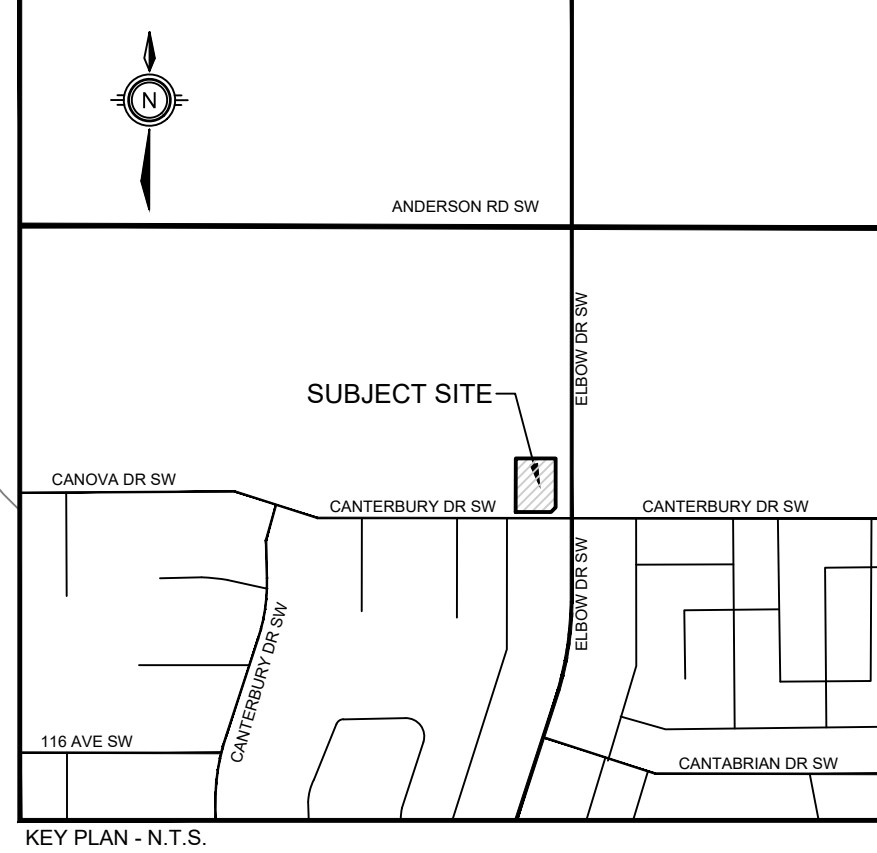
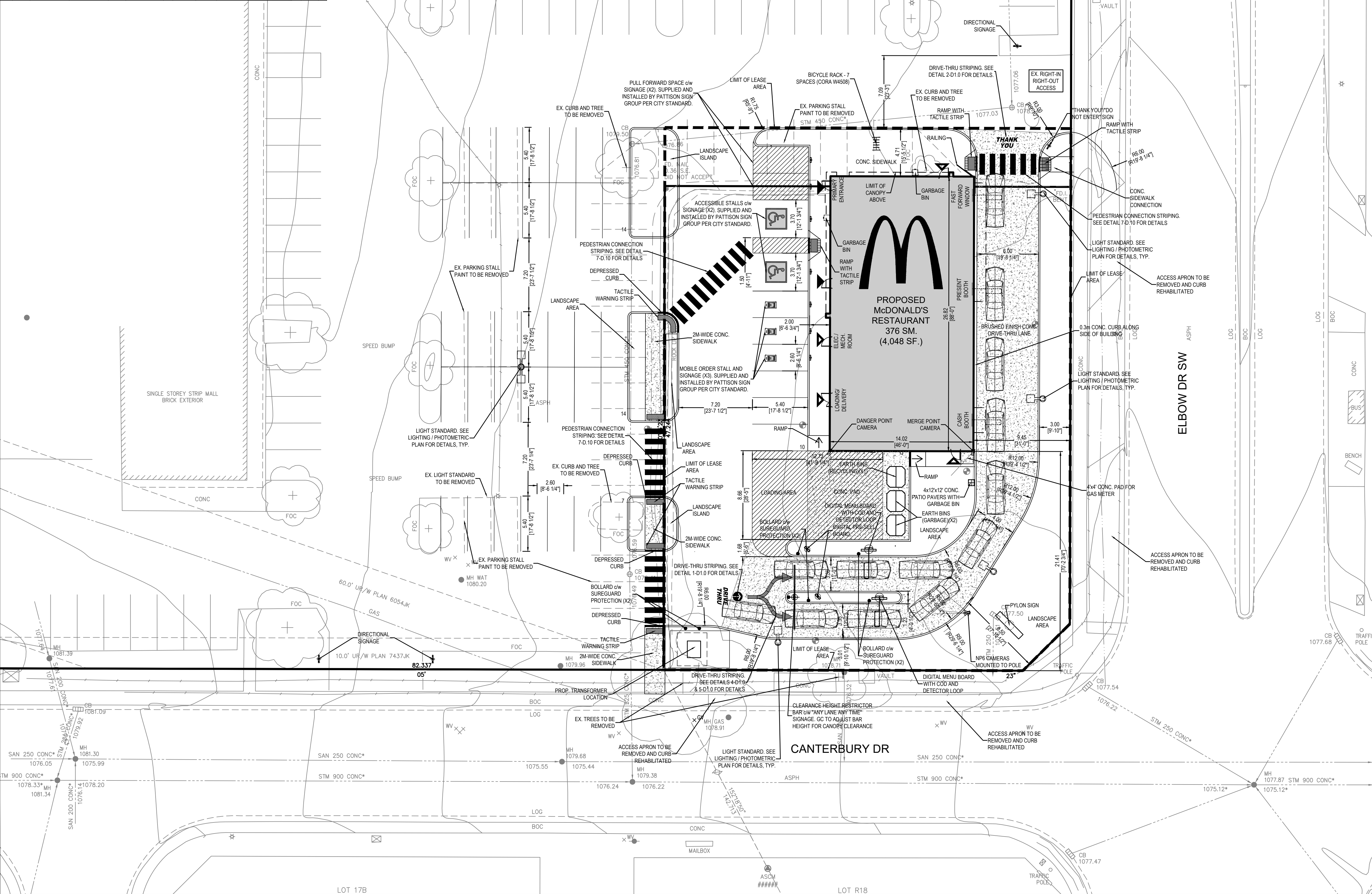
Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services Medians Blvds	Mains Parallel to tree line	Services Medians Blvds	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b
Water	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	0 m ^b
Hydrants	3.0 m	4.0 m	N/A	2.5 m	2.5 m	N/A
Shallow Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a
TELUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
CTV	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
Enmax	Poplar		Deciduous		Coniferous	
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m	
Transformers (within Utility Rights of Way)	N/A (Tree planting not permitted within Utility Rights-of-Way)					
Street Light Poles	Poplar		Deciduous		Coniferous	
	5.0 m		4.0 m - 5.0 m		Min. 4.0 m	

Notes:

a) A 3.0 m separation may be required at the discretion of the utilities.

b) Pipe joints are not permitted on water or sewer services located under medians.

c) Trees on residential (15.0 m RoW) boulevards, with no sidewalks, can be planted 1.0 m from driveways. Driveway crossings are to be aligned, wherever possible, to allow space for tree planting.



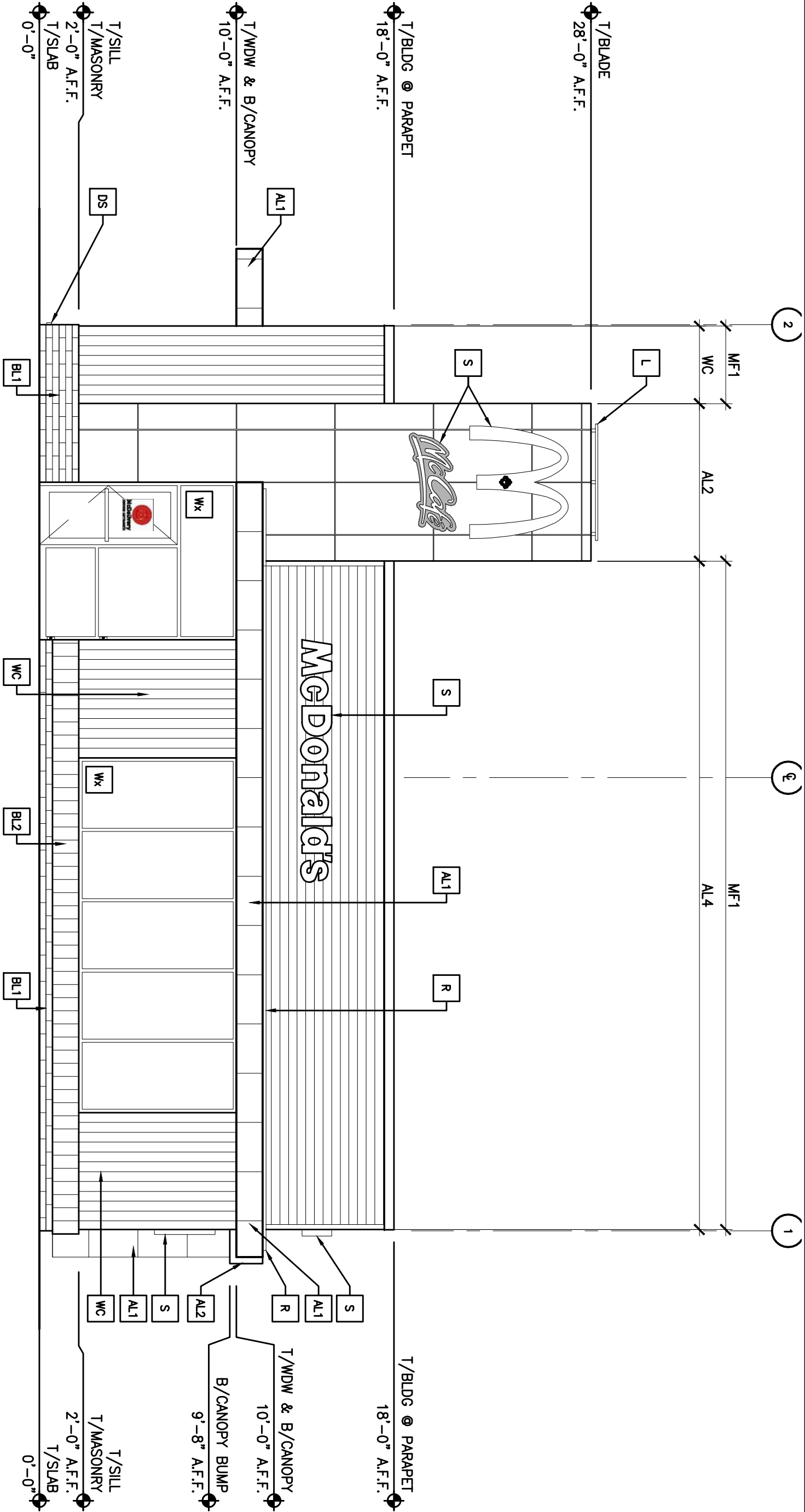
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	SY (EAST)	3.0 M	9.45 M
	SY (WEST)	0.0 M	15.76 M
LEASE AREA		2,088 SM	
RESTAURANT AREA		376 SM	
LOT COVERAGE		18%	
# OF LOADING SPACES		1	
LANDSCAPE AREA		364.97 SM (17.48%)	
DT STACKING		13	
PARKING REQUIRED		NONE	
PARKING PROVIDED		10	

- | NOTES | |
|-------|---|
| | <ul style="list-style-type: none"> ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED. THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY McDONALD'S AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME. GC. TO COORDINATE AND PROVIDE SERVICING LOCATES TO ARCADIS PRIOR TO CONSTRUCTION START TO CONFIRM THERE ARE NO CONFLICTS WITH PROPOSED. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO PROJECT MANAGER. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES. |

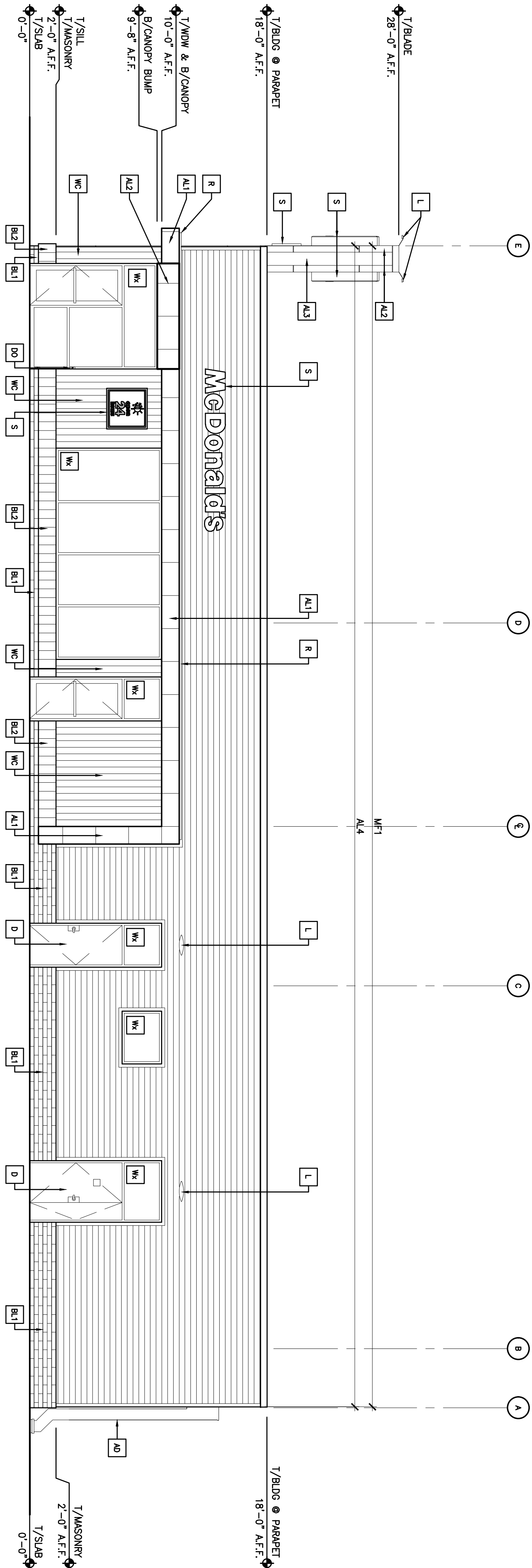
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SEALS									
SUB-CONSULTANT									
PRIME CONSULTANT  Arcadis Professional Services (Canada) Inc. Suite 200, East Wing-360 James Street North Hamilton, ON (L8L 1H5) CANADA T +1 905 646 1010 www.arcadis.com									
PROJECT McDONALD'S 41523-CANYON MEADOWS 11645 ELBOW DR SW, CALGARY, AB									
PROJECT NO: 148181 DRAWN BY: ND CHK'D BY: TW SCALE: 1:200 DATE: 2024 12 10									
SHEET TITLE SITE PLAN									
SP1.0									
SHEET 1 OF 2									



1 NORTH — ELEVATION
A200 SCALE: 3/16" = 1'-0"



2 WEST — ELEVATION
A200 SCALE: 3/16" = 1'-0"

- KEY NOTES**
- AL1 MITSUBISHI 4mm ALPOLC METAL CLADDING — COLOUR "BONE WHITE"
 - AL2 MITSUBISHI 4mm ALPOLC METAL CLADDING — COLOUR "IRON-RED"
 - AL3 MITSUBISHI 4mm ALPOLC METAL CLADDING — COLOUR "DEEP GREY"
 - AL4 VICKST CORRUGATED METAL SIDING C/2040 — COLOUR "DEEP GREY"
 - AO PREFINISHED ANODIZED ALUMINUM METAL DOWNSPOUT AND SCUPPER W/ DE-ICING HEAT CABLE — SEE ELECTRICAL
 - BL1 RICHALE YORK CAMBRIDGE SERIES CONCRETE BLOCK — COLOUR "ONYX" WITH MORTAR COLOUR CMU'S "RAVEN" BY INTERSTAR
 - BL2 RICHALE YORK CAMBRIDGE SERIES CONCRETE BLOCK — COLOUR "ARCTIC WHITE"

- D INSULATED HOLLOW METAL DOOR — PAINT COLOUR "PPG" M4D 44 — CHARCOAL GREY
- DO AUTOMATIC DOOR OPERATOR — MOUNTING HEIGHTS & LOCATION PER LOCAL CODES
- DS PREFINISHED ANODIZED ALUMINUM METAL DOWNSPOUT W/ DE-ICING HEAT CABLE — SEE ELECTRICAL
- FB CO₂ FILL BOX
- GP GREASE INTERCEPTOR PORT — SEE 1/P900
- L LIGHT FIXTURE — SEE ELECTRICAL
- MF1 METAL FASCIA COLOUR TO MATCH VICKST "DEEP GREY"
- PF1 (RMHC) CON. COLLECTOR SEE DETAIL 5/A311 "DRAINAGE PORT" CALL 612-616-6886 TO ORDER
- R RAIN DIVERTER — SEE 5/A310
- S MCDONALD'S SIGNAGE BY OTHERS — UNDER SEPARATE PERMIT
- WC LONGBOARD — TONGUE & GROOVE 6" V-GROOVE PLANKS — "LIGHT NATIONAL WALNUT"
- WK EXTERIOR WINDOW ASSEMBLY — SEE SHEET 4600



McDONALD'S RESTAURANT
NEW FREESTANDING BUILDING — R4.0
CANYON MEADOWS
CALGARY, AB

EXTERIOR ELEVATIONS



2809 East Hamilton Ave., Suite 146
Eau Claire, WI 54701
Office: (952) 252-4042
Fax: (952) 252-4043

PREPARED FOR:
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7/18/25

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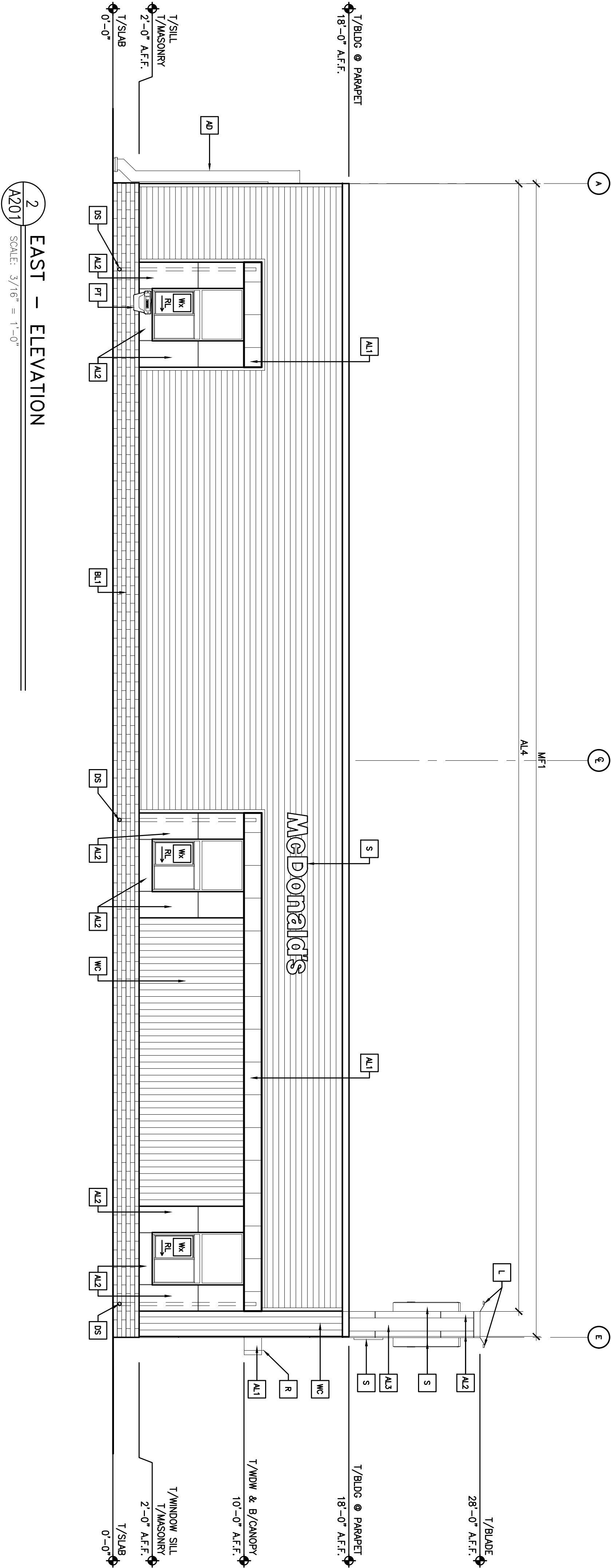
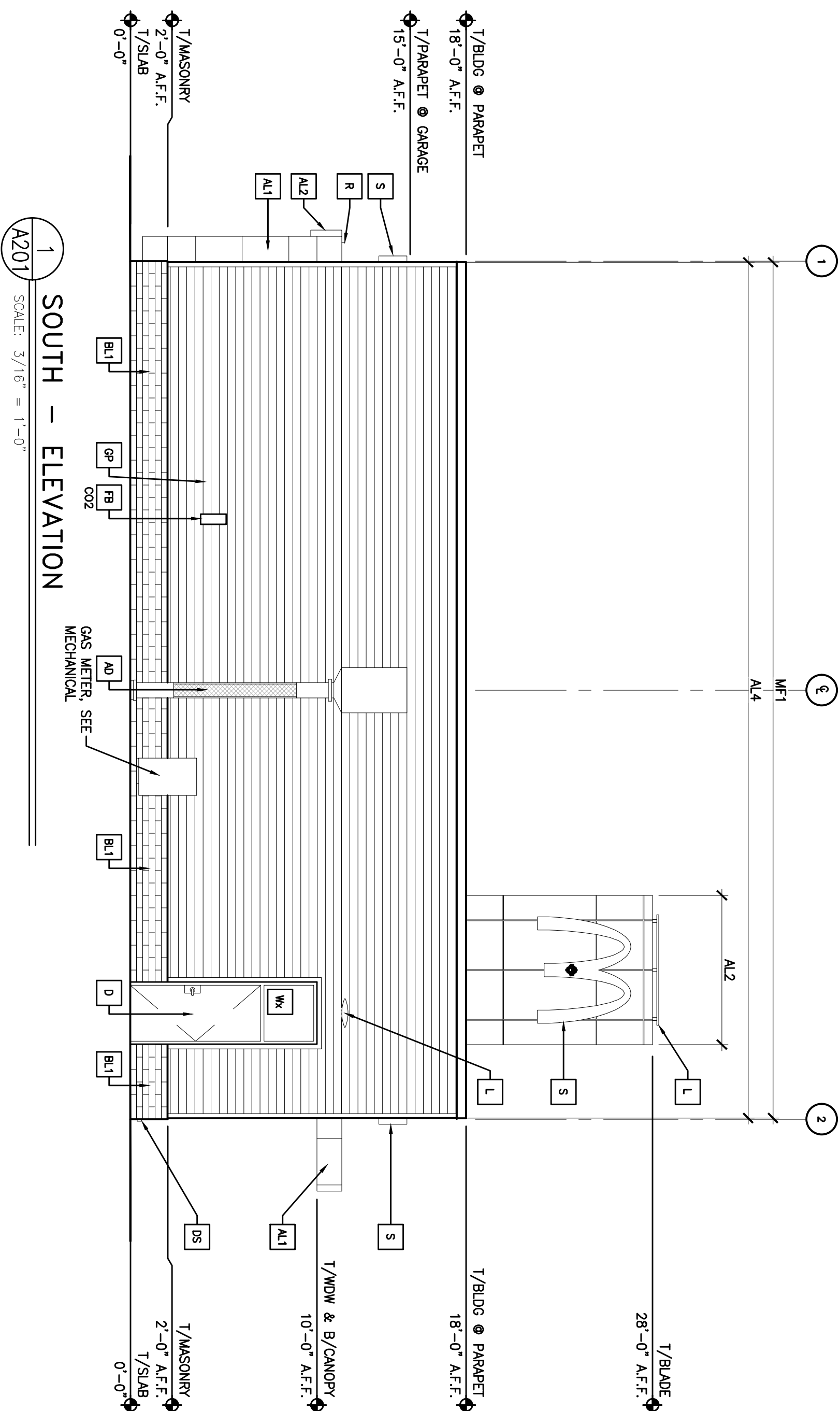
DRAWN BY

CHECKED BY

JOB NO.

KW
GJ
25044

A200



- KEY NOTES**
- AL1

MITSUBISHI 4mm ALPOLC METAL CLADDING – COLOUR “BONE WHITE”

AL2

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AL4

VICWEST CORRUGATED METAL SIDING C/2040 – COLOUR “DEEP GREY”

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PREFINISHED ANODIZED ALUMINUM METAL DOWNSPOUT AND SCUPPER W/ DE-ICING HEAT CABLE – SEE ELECTRICAL

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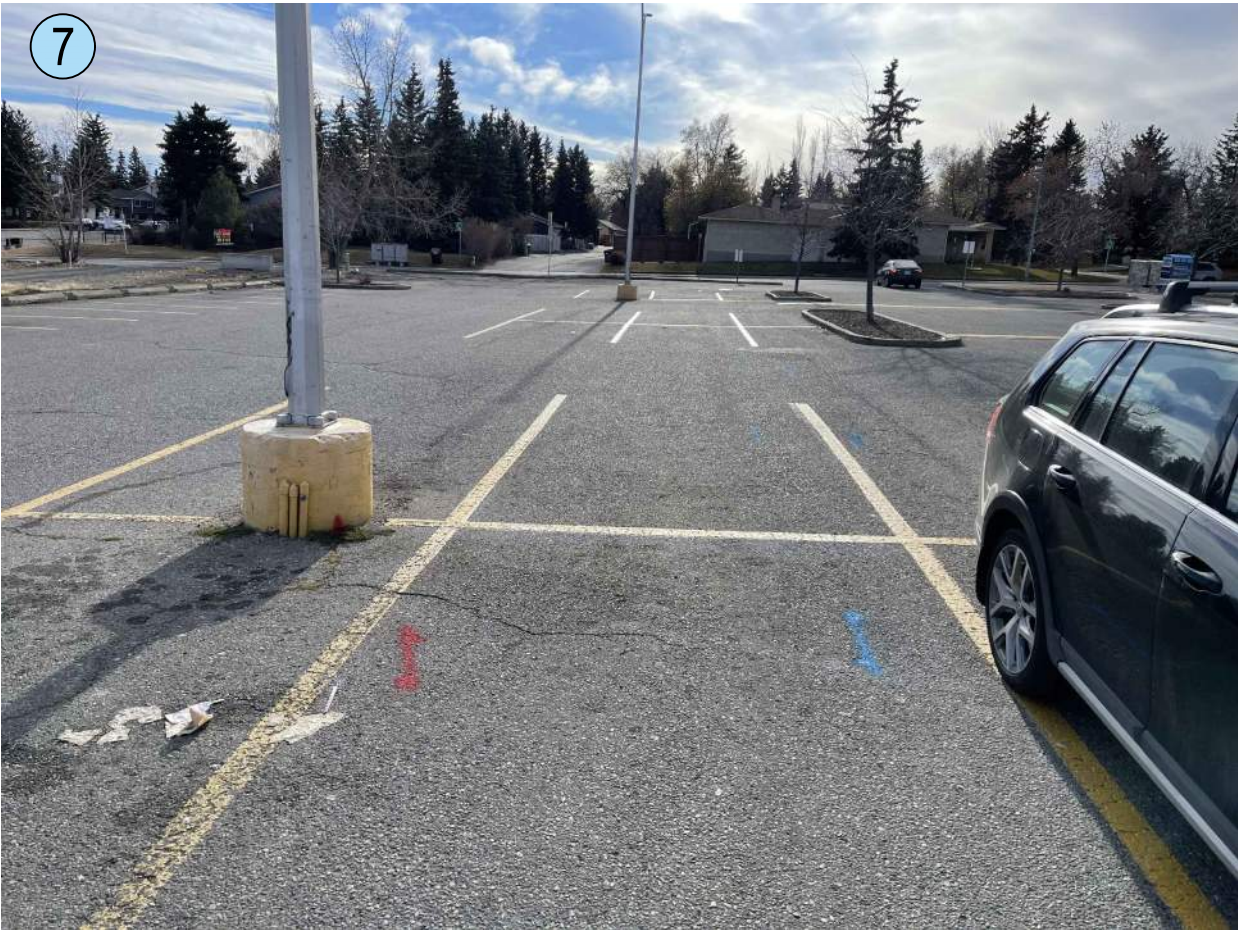


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CHECKED BY: GJ
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A201

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SEALS

SUB-CONSULTANT

PRIME CONSULTANT



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PROJECT

McDONALD'S
41523-CANYON MEADOWS
11645 ELBOW DR SW,
CALGARY, AB

PROJECT NO: 148181

DRAWN BY: DL

CHK'D BY: TW

SCALE: N.T.S

DATE: 2025-07-16

SHEET TITLE

SITE PHOTOS

1.2

SHEET 1 OF 2

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