

Glacier Ridge Townhouses

for RONMOR

Development Permit 1.2



DRAWING LIST

Architectural

- DP0.0 Cover Sheet
DP1.0 Site Plan
DP1.1 Site Details

Building Type I (8 - Unit Townhouses)

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DP2.2 Level 2 - Building Type I (Bldg B, C)
DP2.3 Level 3 - Building Type I (Bldg B, C)
DP2.4 Roof Plan - Building Type I (Bldg B, C)
DP2.5 Elevations - Building Type I (Bldg B, C)
DP2.6 Elevations - Building Type I (Bldg B, C)
DP2.7 Sections - Building Type I (Bldg B, C)

Building Type II (10 - Unit Townhouses)

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DP3.2 Level 2 - Building Type II (Bldg D, E, H, G, I)
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DP3.4 Roof Plan - Building Type II (Bldg D, E, H, G, I)
DP3.5 Elevations - Building Type II (Bldg D, E, H, G, I)
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DP4.2 Level 2 - Building Type III (Bldg A, F, L, J, L)
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Landscape Drawings

- DPL0 Landscape Plan
DPL2 Landscape Details
DPL3 Landscape Details
DPL4 Landscape Details
DPL5 Landscape Details

Site Electrical Drawings

- E101S Site Plan - Lighting
E102S Site Plan - Points by Points
E201S Site Plan - Electrical Distribution
E301S Rendering & Details

Civil Drawings

- SW-C1 Site Grading
SW-C2 Site Utilities

REVISIONS		
#	DATE	DESCRIPTION
2025 07 03	Issued for DP Submission	
2025 07 24	Issued for DP 1.1	
2025 08 19	Issued for DP 1.2	

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW

Lot 31, Block 24, Plan XX-XXXX

TITLE

Cover Sheet

PROJECT NUMBER

23-022

SCALE

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

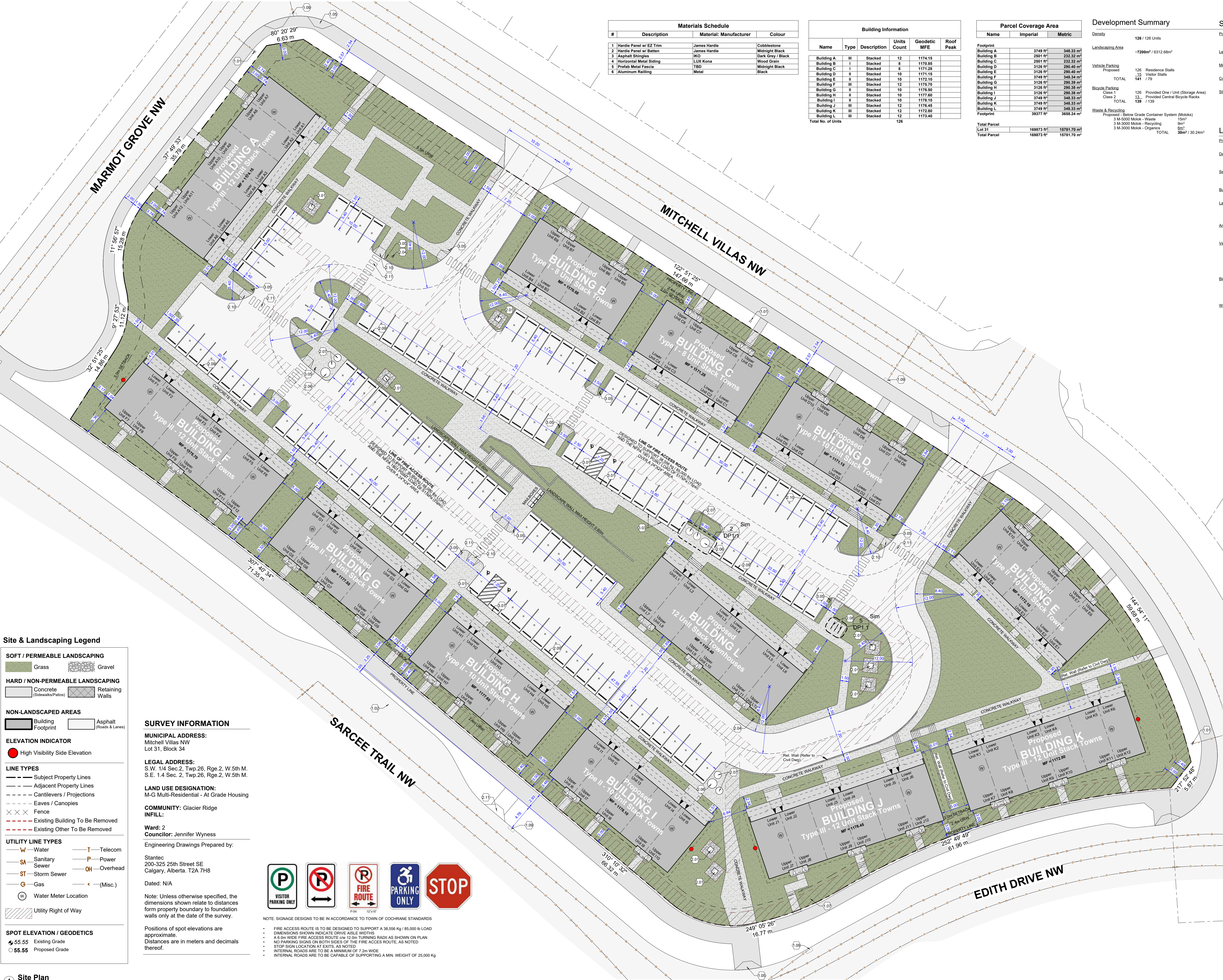
DP0.0

VERSION / ISSUE DATE

2025 08 19

DP CHECKED

BP CHECKED



Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Xona	Wood Grain
5	Profab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

Building Information					
Name	Type	Description	Units Count	Geodetic MFE	Roof Peak
Building A	III	Stacked	12	1174.15	
Building B	I	Stacked	8	1176.95	
Building C	I	Stacked	8	1171.28	
Building D	II	Stacked	10	1172.10	
Building E	II	Stacked	12	1176.70	
Building F	II	Stacked	10	1176.50	
Building G	II	Stacked	10	1177.60	
Building H	II	Stacked	10	1176.10	
Building I	II	Stacked	12	1176.45	
Building J	III	Stacked	12	1173.80	
Building K	III	Stacked	12	1173.40	
Total No. of Units			126		

Parcel Coverage Area		
Name	Imperial	Metric
Footprint		
Building A	3749 ft²	348.33 m²
Building B	2501 ft²	232.32 m²
Building C	2501 ft²	232.32 m²
Building D	3126 ft²	290.40 m²
Building E	3126 ft²	290.40 m²
Building F	3749 ft²	348.33 m²
Building G	3126 ft²	290.39 m²
Building H	3126 ft²	290.38 m²
Building I	3126 ft²	290.38 m²
Building J	3749 ft²	348.33 m²
Building K	3749 ft²	348.33 m²
Building L	3749 ft²	348.33 m²
Footprint	39377 ft²	3658.24 m²
Total Parcel		
Lot 31	169873 ft²	15781.70 m²
Total Parcel	169873 ft²	15781.70 m²

Development Summary

Density	126 / 126 Units
Landscaping Area	~7200m² / 6312.68m²
Vehicle Parking	Proposed
126	Residence Stalls
15	Visitor Stalls
TOTAL	141 / 79
Bicycle Parking	Class 1
126	Provided One / Unit (Storage Area)
13	Provided Central Bicycle Racks
TOTAL	139 / 139
Waste & Recycling	Proposed - Below Grade Container System (Moloks)
3 M-3000 Molok - Waste	15m³
3 M-3000 Molok - Recycling	9m³
3 M-3000 Molok - Organic	9m³
TOTAL	30m³ / 30.24m³

Site Information

Potential Proposed Land Use
M-G - Multi-Residential - At Grade Housing
*Land Use to be confirmed by planning consultant.

Legal Description
Lot 31 Block 24 Plan xxx xxxx

Municipal Address
Mitchell Villas NW

Community
Glacier Ridge

Site Area
15781.70 m²
1.58 ha

Land Use Bylaw Requirements

Proposed Use M-G - Multi-Residential - At Grade Housing	
Density	35 Units / Hectare (55 Units) 80 Units / Hectare (126 Units)
Setbacks	Min. Setback From Street: 3.00m Min. Setback From all Other PL: 1.20m
Building Height	Max. Building Height: 13m
Landscaping Area	Req. Area: 40% of Parcel: 6312.68m² Max. Hard Surface: 50% of 6312.68m²: 3156.34m² 30% of Hardscaping can be concrete.
Amenity Area	Min. Required Amenity Space: 7.5m² No Dimension Less Than: 2.00m
Vehicle Parking	Min. Required Parking Stalls: 0.625 / Unit (79 Stalls) Min. Required Visitor Parking: 0 Stalls (PART 6 MULTI-RESIDENTIAL DISTRICTS, Division 1: Motor Vehicle Parking Stall Requirements 658)
Bicycle Parking	Min. Class 1 Bicycle Parking: 1 / Unit (Secure bicycle parking) (126 Stalls) Min. Class 2 Bicycle Parking: 0.1 / Unit (Unsecured bicycle parking / rack parking) (13 Stalls)
Waste & Recycling	Min. 6.24m³ (0.39y³) / Unit (30.24m³)

Keynote Legend

- # Keynote Text
- 1.01 FUTURE FIRE HYDRANT
 - 1.02 FUTURE BUS BAY/STOP
 - 1.05 FUTURE BARRIER FREE CURB CUT
 - 1.07 FUTURE TRANSFORMER
 - 1.09 FUTURE CATCH BASIN
 - 2.01 PROPOSED ELECTRICAL TRANSFORMER
 - 2.04 PROPOSED FIRE HYDRANT
 - 2.06 PROPOSED MOLOK WASTE: 6.5 YD3
 - 2.07 PROPOSED MOLOK ORGANICS RECYCLING: 1.7 YD3
 - 2.08 PROPOSED CLASS 2 BIKE RACK. SEE DETAIL 10 / DP.1.4
 - 2.09 PROPOSED WHEEL STOP: TYP
 - 2.10 PROPOSED BARRIER FREE CURB CUT
 - 2.11 PROPOSED PAINTED CROSSWALK
 - 3.01 PROPOSED BARRIER FREE PARKING SIGN
 - 3.03 PROPOSED VISITOR PARKING SIGN
 - 3.05 PROPOSED STOP SIGN

Site & Landscaping Legend

SOFT / PERMEABLE LANDSCAPING

- Grass
- Gravel

HARD / NON-PERMEABLE LANDSCAPING

- Concrete (Sidewalks/Patios)
- Retaining Walls

NON-LANDSCAPED AREAS

- Building
- Footprint
- Asphalt (Roads & Lanes)

ELEVATION INDICATOR

- High Visibility Side Elevation

LINE TYPES

- Subject Property Lines
- Adjacent Property Lines
- Cantilevers / Projections
- Eaves / Canopies
- Fence
- Existing Building To Be Removed
- Existing Other To Be Removed

UTILITY LINE TYPES

- Water
- Sanitary Sewer
- Storm Sewer
- Gas
- Water Meter Location
- Telecom
- Power
- Overhead
- (Misc.)

SPOT ELEVATION / GEODETICS

- Existing Grade
- Proposed Grade

SURVEY INFORMATION

MUNICIPAL ADDRESS:
Mitchell Villas NW
Lot 31, Block 34

LEGAL ADDRESS:
S.W. 1/4 Sec.2, Twp.26, Rge.2, W.5th M.
S.E. 1.4 Sec. 2, Twp.26, Rge.2, W.5th M.

LAND USE DESIGNATION:
M-G Multi-Residential - At Grade Housing

COMMUNITY: Glacier Ridge

INFILL:

Ward: 2
Councillor: Jennifer Wyness

Engineering Drawings Prepared by:

Stantec
200-325 25th Street SE
Calgary, Alberta. T2A 7H8

Dated: N/A

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.

Positions of spot elevations are approximate.
Distances are in meters and decimals thereof.



NOTE: SIGNAGE DESIGNS TO BE IN ACCORDANCE TO TOWN OF COCHRANE STANDARDS

- FIRE ACCESS ROUTE IS TO BE DESIGNED TO SUPPORT A 38,556 Kg / 85,000 lb LOAD
- DIMENSIONS SHOWN INDICATE DRIVE AISLE WIDTHS
- A 6.0m WIDE FIRE ACCESS ROUTE @W 12.0m TURNING RADI AS SHOWN ON PLAN
- NO PARKING SIGNS ON BOTH SIDES OF THE FIRE ACCESS ROUTE, AS NOTED
- STOP SIGN LOCATION AT EXITS, AS NOTED
- INTERNAL ROADS ARE TO BE A MINIMUM OF 7.2m WIDE
- INTERNAL ROADS ARE TO BE CAPABLE OF SUPPORTING A MIN. WEIGHT OF 25,000 Kg

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW

Lot 31, Block 24, Plan XX-XXXX

Site Plan

PROJECT NUMBER

23-022

SCALE

As indicated

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

23-022

VERSION

ISSUE DATE

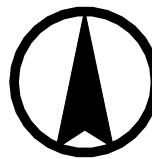
2025 08 19

DP CHECKED

BP CHECKED

1 Site Plan

1 : 300





1 Elevation Front (Bldg Type I)
3/16" = 1'-0"



2 Elevation Rear (Bldg Type I)
3/16" = 1'-0"

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type I
(Bldg B, C)

PROJECT NUMBER DRAWING NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

DP2.5

VERSION / ISSUE DATE

2025 08 19

DP CHECKED

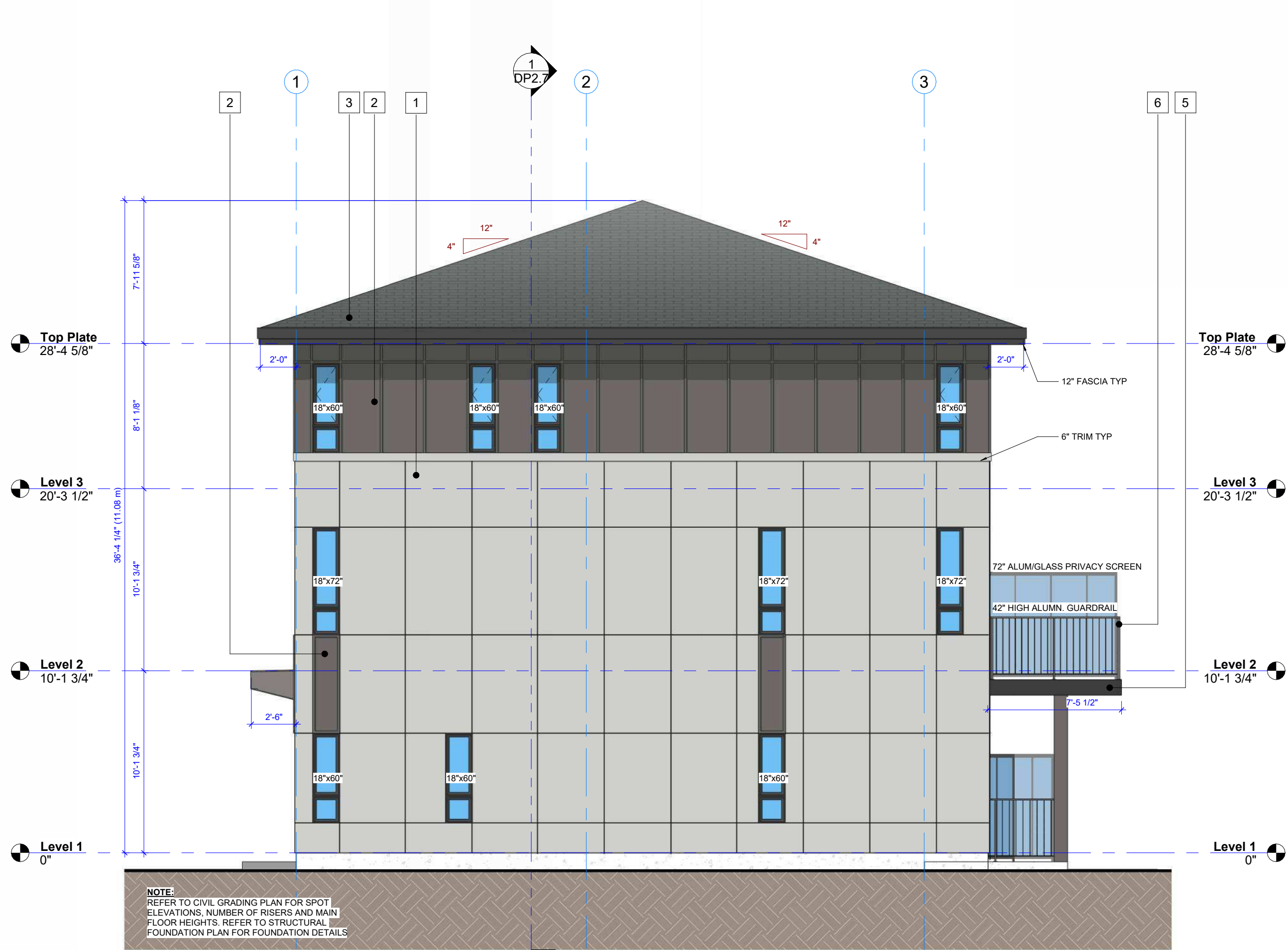
BP CHECKED

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Kona	Wood Grain
5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

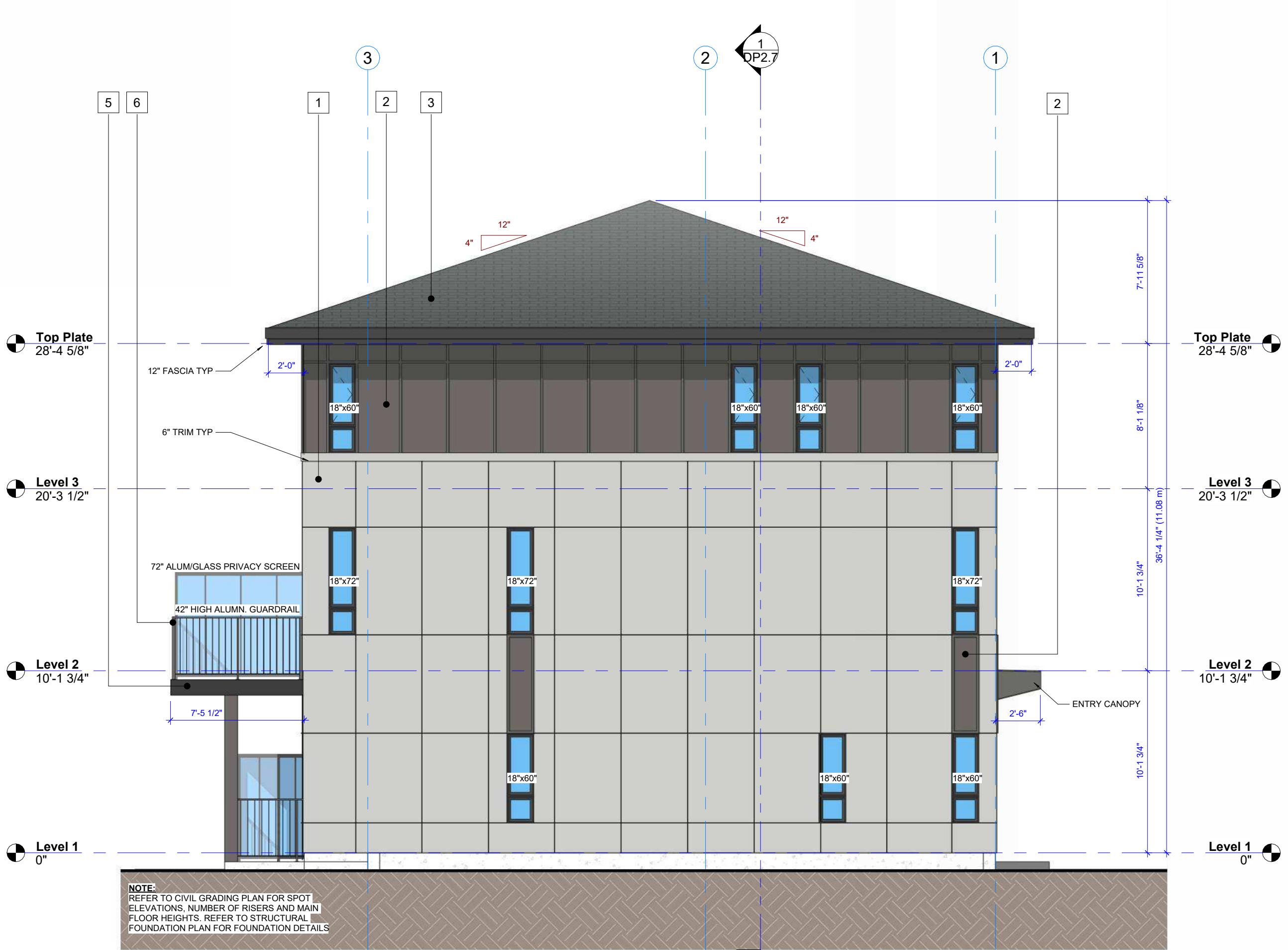
- Materials Notes:
- All door trim, window trim, and pebble panel trim boards to be 1-1/2" width
 - All trim & corner boards to be 3-1/2" adjacent match wall colour
 - All windows to be black wrap vinyl
 - All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
 - All entry steps, landings, and Level 1 patios to be pre-cast concrete
 - Address numbers to be 6" ht. on standoffs (brushed bicket or sim.)

REVISIONS
DATE DESCRIPTION

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① Elevation Right (Bldg Type I)
3/16" = 1'-0"



② Elevation Left (Bldg Type I)
3/16" = 1'-0"

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type I
(Bldg B, C)

PROJECT NUMBER
23-022
SCALE
3/16" = 1'-0"
DESIGNER
PM / KT
DP DRAFTSPERSON
DP
BP DRAFTSPERSON

DRAWING NUMBER
DP2.6
VERSION / ISSUE DATE
2025 08 19
DP CHECKED
BP CHECKED

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Kona	Wood Grain
5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railling	Metal	Black

Materials Notes:

- All door trim, window trim, and pebble panel trim boards to be 1-1/2" width
- All trim & corner boards to be 3-1/2" adjacent match wall colour
- All windows to be black wrap vinyl
- All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
- All entry steps, landings, and Level 1 patios to be pre-cast concrete
- Address numbers to be 6" ht. on standoffs (brushed bickel or sim.)

REVISIONS		
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PROJECT STATUS

Development Permit 1.2

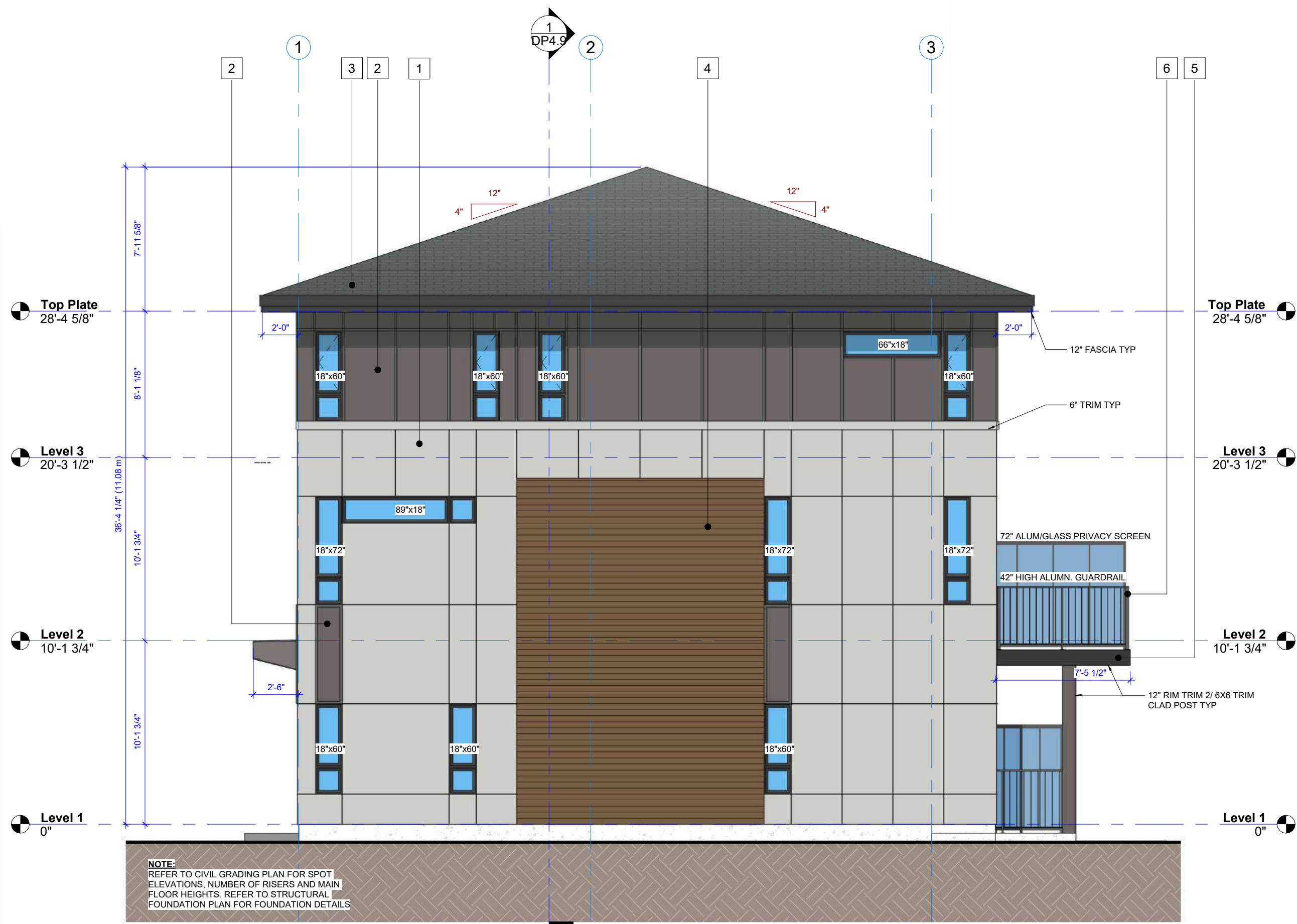
PROJECT

Glacier Ridge Townhouses

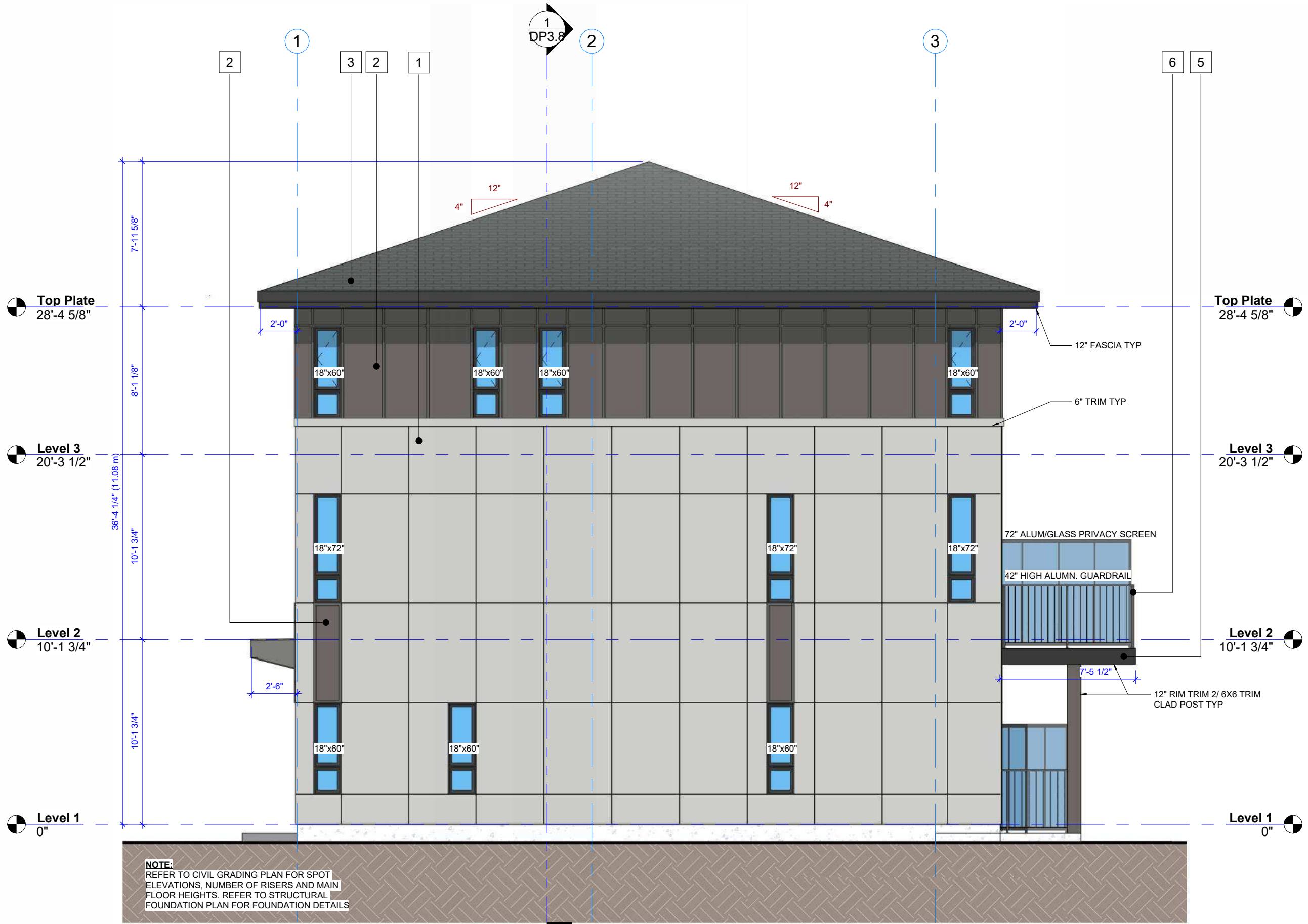
Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type II
(Bldg D, E, H, G, I)

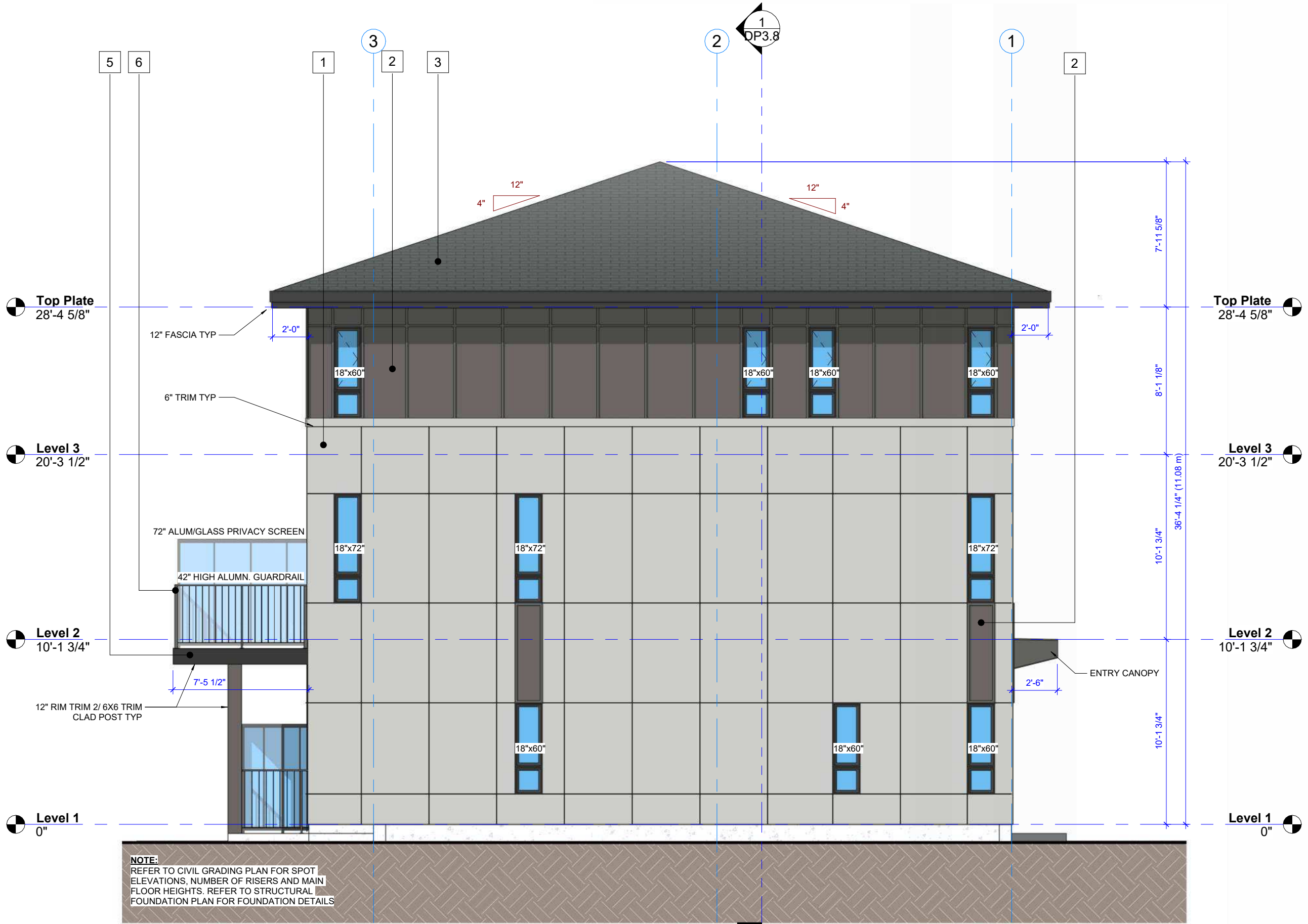
PROJECT NUMBER	DRAWING NUMBER
23-022	DP3.5
SCALE	
3/16" = 1'-0"	
DESIGNER	
PM / KT	VERSION ISSUE DATE
DP DRAFTSPERSON	2025 08 19
DP	DP CHECKED
BP DRAFTSPERSON	BP CHECKED



3 Elevation Right (Bldg Type II - High Visibility)
3/16" = 1'-0"



1 Elevation Right (Bldg Type II)
3/16" = 1'-0"



2 Elevation Left (Bldg Type II)
3/16" = 1'-0"

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
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5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

Materials Notes:

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- All trim & corner boards to be 3-1/2" adjacent match wall colour
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- All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
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Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type II
(Bldg D, E, H, G, I)

PROJECT NUMBER	DRAWING NUMBER
23-022	DP3.7
SCALE	
3/16" = 1'-0"	
DESIGNER	VERSION / ISSUE DATE
PM / KT	2025 08 19
DP DRAFTSPERSON	DP CHECKED
DP	
BP DRAFTSPERSON	BP CHECKED

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#	Description	Material: Manufacturer	Colour
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① **Elevation Rear - (Bldg Type III)**
3/16" = 1'-0"



2 Elevation Front - (Bldg Type III)
3/16" = 1'-0"

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PROJECT

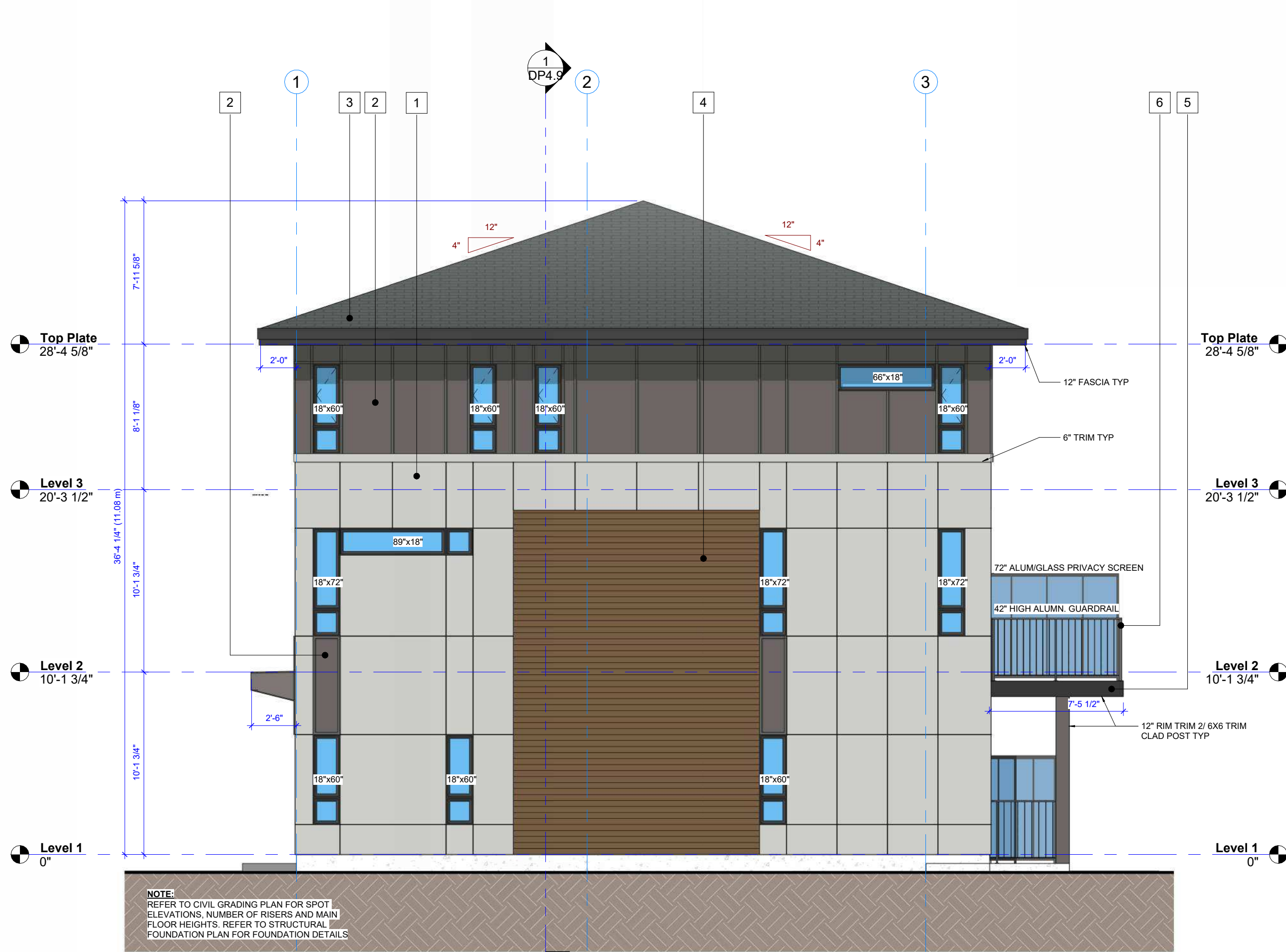
Glacier Ridge Townhouses

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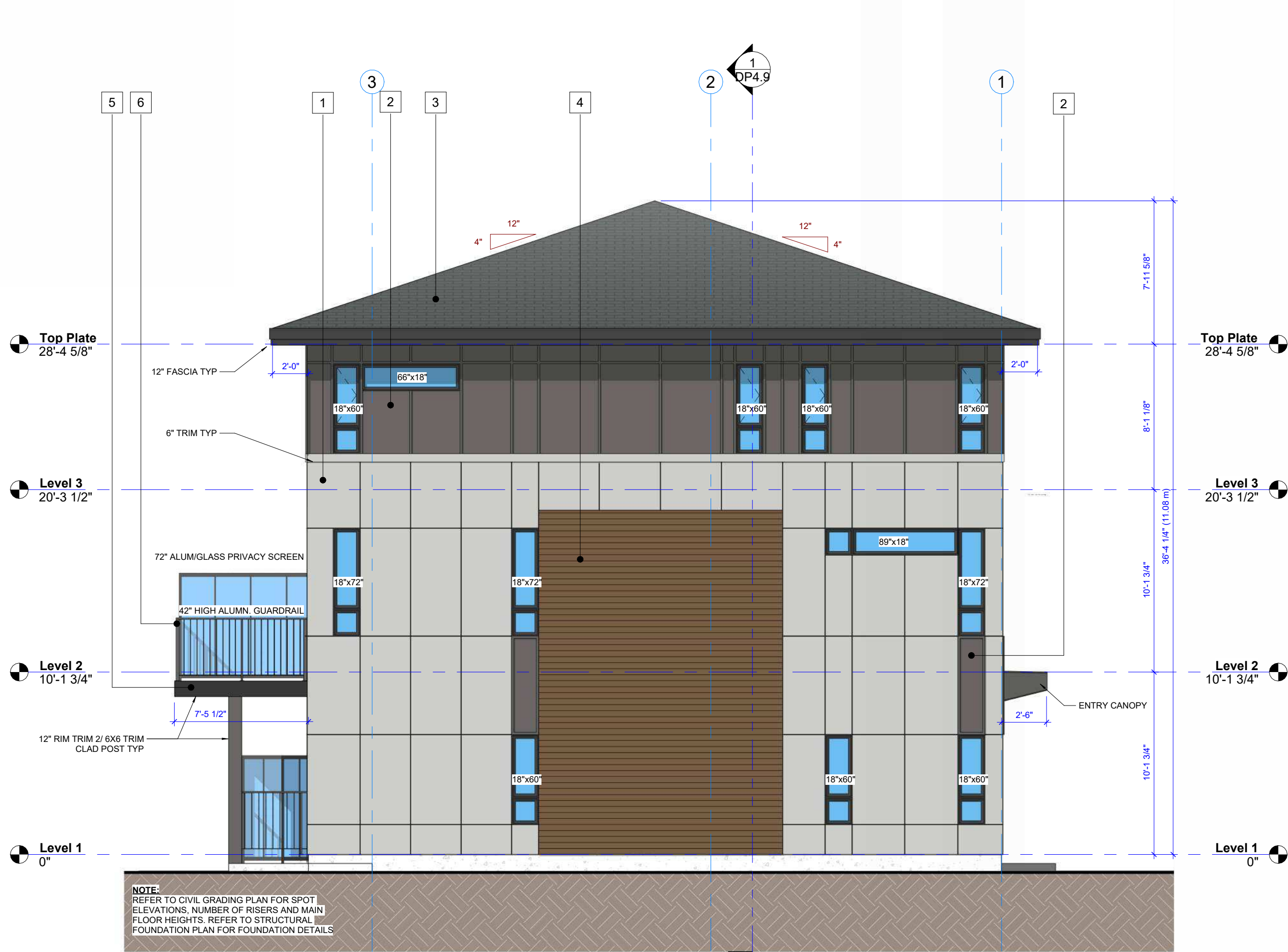
TITLE
**Elevations - Building Type III
(Bldg A, F, L, J, L)**

PROJECT NUMBER	DRAWING NUMBER
23-022	
SCALE	DP4.5
3/16" = 1'-0"	
DESIGNER	
PM / KT	
DP DRAFTSPERSON	VERSION ISSUE DATE
DP	2025 08 19
BP DRAFTSPERSON	DP CHECKED
	BP CHECKED

DP4.5



① Elevation Right (Bldg Type III - High Visibility)
3/16" = 1'-0"



② Elevation Left (Bldg Type III - High Visibility)
3/16" = 1'-0"

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type III
(Bldg A, F, L, J, L) High
Visibility

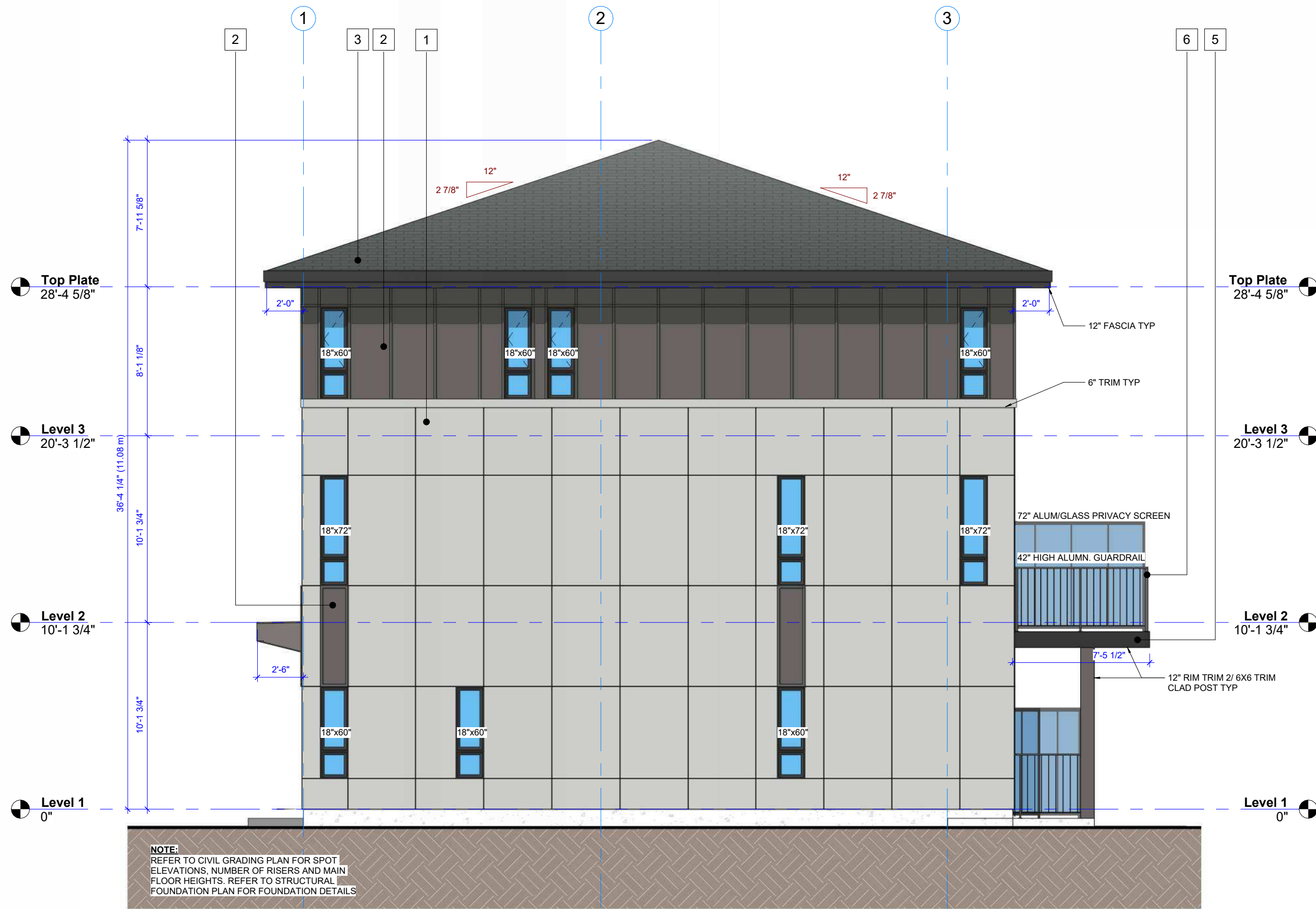
PROJECT NUMBER	DRAWING NUMBER
23-022	DP4.6
SCALE	VERSION / ISSUE DATE
3/16" = 1'-0"	PM / KT
DESIGNER	2025 08 19
DP DRAFTSPERSON	DP CHECKED
DP	
BP DRAFTSPERSON	BP CHECKED

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Kona	Wood Grain
5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

- Materials Notes:
- All door trim, window trim, and pebble panel trim boards to be 1-1/2" width
 - All trim & corner boards to be 3-1/2" adjacent match wall colour
 - All windows to be black wrap vinyl
 - All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
 - All entry steps, landings, and Level 1 patios to be pre-cast concrete
 - Address numbers to be 6" ht. on standoffs (brushed bicket or sim.)

REVISIONS		
#	DATE	DESCRIPTION

2025 07 03	Issued for DP Submission
2025 07 24	Issued for DP 1.1
2025 08 19	Issued for DP 1.2



1 Elevation Right (Bldg Type III - Low Visibility)
3/16" = 1'-0"



2 Elevation Left (Bldg Type III - Low Visibility)
3/16" = 1'-0"

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type III
(Bldg A, F, L, J, L) Low
Visibility

PROJECT NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

DP4.7

VERSION

ISSUE DATE

2025 08 19

DP CHECKED

BP CHECKED

REVISIONS	DATE	DESCRIPTION
#		

1 2025 05 18 Issued for DP Submission

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PERMIT NUMBERS

PROJECT STATUS

Development Permit

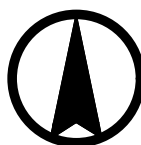
PROJECT

RONMOR Glacier Ridge

Stacked Towns
Lot 31, Block 24, Plan XXX XX

TITLE
Landscape Plan

PROJECT NUMBER	DRAWING NUMBER
23-022	
SCALE	
As indicated	DPL.0
DESIGNER	VERSION ISSUE DATE
CK	2025 05 02
DP DRAFTSPERSON	DP CHECKED
CK	
BP DRAFTSPERSON	BP CHECKED



PLANT LIST:			
CONIFEROUS TREES			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
12	Picea pungens	Colorado Blue Spruce - Large	3.0m Ht. BAB, 900mm root ball dia.
14	Picea pungens	Colorado Spruce - Small	2.0m Ht. BAB, 800mm root ball dia.
19	Picea pungens 'Fastigiata'	Columnar Colorado Spruce	3.0m Ht. BAB, 900mm root ball dia.
DECIDUOUS TREES			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
04	Acer latarium 'GarAnri'	Hot Wings Maple	75mm cal. (BAB), min 850mm wide x 550mm depth root ball
08	Larix sibirica	Siberian Larch	75mm cal. (BAB), min 850mm wide x 700mm depth root ball
26	Malus 'Jefspire'	Purple Spire Columnar Crab	50mm cal. (BAB), min 700mm wide x 600mm depth root ball
28	Malus x Spring Snow	Spring Snow Flowering Crab	50mm cal. (BAB), min 650mm wide x 550mm depth root ball
20	Populus tremuloides	Trembling Aspen	75mm cal. (BAB), min 850mm wide x 850mm depth root ball
32	Prunus pennsylvanica	Pincherry	75mm cal. (BAB), min 850mm wide x 850mm depth root ball
11	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	50mm cal. (BAB), min 900mm wide x 600mm depth root ball
03	Ulmus americana	Brandon Elm	75mm cal. (BAB), min 850mm wide x 550mm depth root ball
CONIFEROUS SHRUBS			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
58	Juniperus sabina 'Calgary Carpet'	Calgary Carpet Juniper	Min. 600 spr. root ball dia. 350mm, #5 container size
18	Pinus mugo	Mugo Pine	Min. 600 spr. root ball dia. 350mm, #7 container size
DECIDUOUS SHRUBS			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
133	Berberis thunbergii 'Ballone'	Ruby Carousel Barberry	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
136	Cornus alba 'Jedre'	Little Rebel Dogwood	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
58	Potentilla 'Gold Drop'	Gold Drop Potentilla	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
110	Ribes alpinum	Alpine Currant	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
40	Sorbaria sorbifolia	Fatire Spirea	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
64	Syringa 'Bloomerang'	Bloomerang Lilac	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
78	Spirea trilobata	Three Lobed Spirea	Min. 600mm Ht., Min. 4 major basal stems. Root Spread 300mm - #2 cont.
ORNAMENTAL GRASSES			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
369	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	Min. 200mm Ht., #2 cont.
323	Festuca ovina glauca 'Elijah Blue'	Elijah Blue Fescue	Min. 200mm Ht., #2 cont.
PERENNIALS			
QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE
180	Hemerocallis x 'Autumn Red'	Autumn Red Daylily	Min. 200mm Ht., #1 pnt
128	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	Min. 200mm Ht., #1 pnt

- NOTES:
- ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
 - TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
 - THE DELIVERY OF THE IRRIGATED WATER IS PROVIDED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

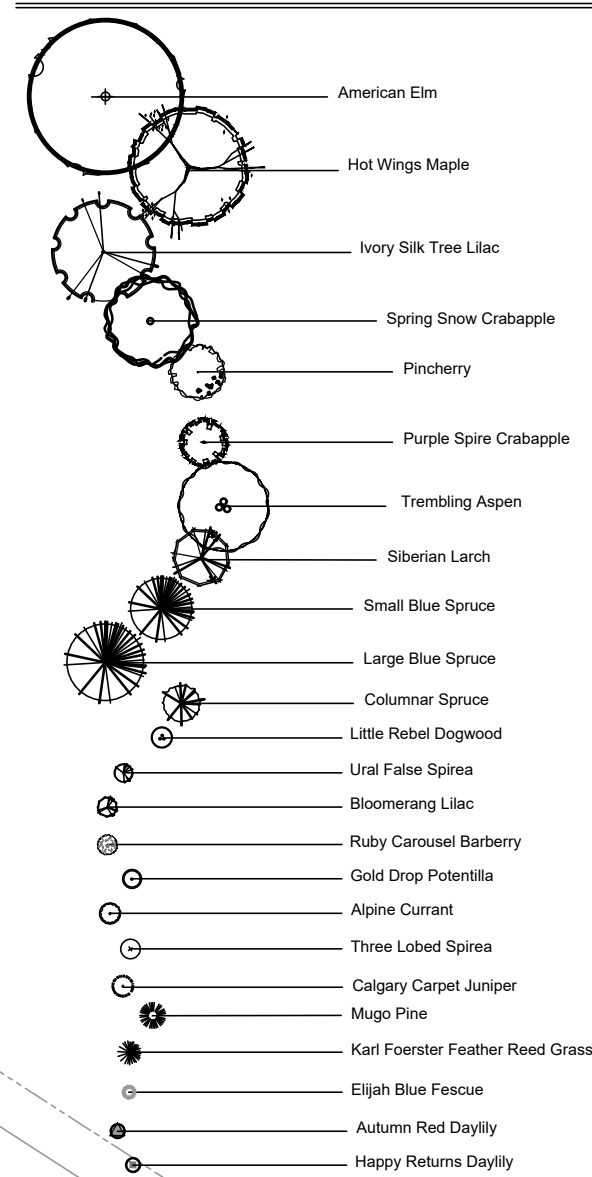
LANDSCAPE REQUIREMENTS: CITY OF CALGARY

LANDSCAPE AREA CALCULATION: ZONING M-G

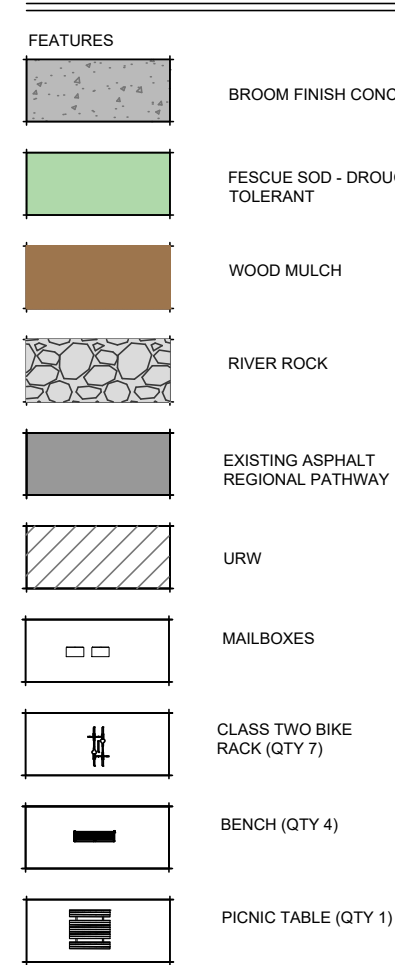
TOTAL SITE AREA: 15,781.70m²
LANDSCAPE AREA: 7,489.86m² - 47.45%
1 TREES/45m² = 167 TREES
2 SHRUB/45m² = 333 SHRUBS

TREES PROVIDED	
TOTAL TREES PROVIDED - 68	
DECIDUOUS TREES	
PROVIDED	
50mm CAL.	61
75mm CAL.	67
TOTAL	130
CONIFEROUS TREES	
PROVIDED	
3.0M HT.	31
2.0M HT.	14
TOTAL	45
PERCENTAGE OF CONIFEROUS TREES PROVIDED: 20%	
TOTAL NUMBER OF SHRUBS PROVIDED: 693	

PLANT LEGEND:



LEGEND:



GENERAL NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
- WARRANTY ON ALL LANDSCAPE TO BE TWO YEARS FROM DATE OF ACCEPTANCE.
- CONTRACTOR TO CO-ORDINATE WORK WITH ALL OTHER CONTRACTORS ON SITE.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AT TIME OF CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES PRIOR TO ANY WORK.
- DURING CONSTRUCTION, ANY DAMAGE OCCURRING TO PUBLIC LANDS, RESULTING FROM ENCROACHMENT WILL BE MADE GOOD AT TIME OF CONSTRUCTION.
- ALL EXISTING TREES WITHIN 6.0m OF CONSTRUCTION TO BE PROTECTED WITH A TREE PROTECTION FENCE ALONG THE DRIPLINE.
- NEW TREE LOCATIONS TO BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
- TREES SHALL BE WATERED IN FOR THE WINTER TO ENSURE THAT THE ROOTS ARE FROZEN. TREES SHALL BE REGULARLY CHECKED IN WINTER TO ENSURE THAT ROOTS ARE STILL FROZEN. IF THE WINTER WEATHER VARIES TO PLUS TEMPERATURES WATERING OF THE TREES SHALL BE DONE BY WATER TRUCK TO ENSURE HEALTHY PLANT MATERIAL.
- CONTRACTOR TO ENSURE ADEQUATE SUPPORT FOR ALL PLANT MATERIAL NOTED ON DRAWINGS.
- ANY SUBSTITUTIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE SUBSTITUTIONS BEING MADE.
- ANY DAMAGE TO EXISTING HARD AND SOFT SURFACING TO BE MADE GOOD BY THE CONTRACTOR.
- ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
- TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100MM AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING 50MM FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
- SOIL DEPTHS FOR PLANT MATERIAL:
FOR TREES - 1200mm MIN
FOR SHRUBS - 600mm MIN
FOR PERENNIALS - 300mm MIN
- ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
- ALL SITE GRADES SHALL MATCH EXISTING GRADES OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE. SEE CIVIL PLAN FOR GRADING, CURB AND SERVICING INFORMATION.
- THE CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK, AND ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATES WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
- ANY DISCREPANCIES BETWEEN SITE CONDITION AND THOSE ON THE DRAWING TO BE REPORTED IMMEDIATELY TO THE CONSULTANT AT TIME OF CONSTRUCTION.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY PARKS STANDARDS AND GUIDELINES (CURRENT EDITION).
- THE OWNERS REPRESENTATIVE WILL INSPECT PLANTS AT THE FOLLOWING STAGES: AT TIME OF DELIVERY PRIOR TO INSTALLATION, INSTALLED PLANTS BEFORE COMMENCEMENT OF MAINTENANCE PERIOD AND AT THE END OF MAINTENANCE PERIOD. NOTIFY OWNERS REPRESENTATIVE 72 HOURS IN ADVANCE OF EACH REQUIRED INSPECTION. CONTRACTOR SHALL ENSURE REQUIRED PLANTS WILL BE AVAILABLE OR MEET SPECIFICATIONS BEFORE ARRANGING INSPECTION FOR SELECTION AND TAGGING OF PLANTS.
- ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM. SPECIMEN GRADE SINGLE STEM STOCK - UNLESS NOTED OTHERWISE, PLANTS WILL BE REJECTED IF: SOIL BALLS HAVE BEEN CRACKED OR BROKEN BEFORE OR DURING PLANTING OR WHEN BURGLAR ROPES REQUIRED IN CONNECTION WITH THEIR TRANSPORTING HAVE BEEN REMOVED. DO NOT USE PLANTS DAMAGED DURING CONTACT WITH EQUIPMENT, OR PLANTS THAT ARE WILTED, WIND BURNED OR STRESSED. CONTRACTOR TO REPLACE DAMAGED OR REJECTED PLANTS AT NO ADDITIONAL COST TO OWNER.
- STAKE OUT LOCATIONS OF TREES, SHRUBS AND PLANTING BEDS. LOCATIONS OF ALL PLANTS SHALL BE REVIEWED AND APPROVED BY OWNERS REPRESENTATIVE ON SITE BEFORE PLANTING. PLANTS INSTALLED WITHOUT REVIEW AND APPROVAL MAY REQUIRE TRANSPORTING OR RELOCATION AS DIRECTED BY OWNERS REPRESENTATIVE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY THAT ALL MINIMUM CLEARANCES ARE PROVIDED BETWEEN PROPOSED TREES AND UNDERGROUND AND/OR OVERHEAD UTILITIES AS DEFINED BY THE LOCAL PARKS AND PLANNING DEPARTMENT.
- PART OF PLANT MATERIAL INSTALLATION SHALL INCLUDE SUFFICIENT PROTECTION TO PREVENT BARK AND TREE DAMAGE DUE TO FORAGING ANIMALS AND ANCHORING SYSTEM TO PREVENT ROOT BREAKAGE DUE TO STRONG WINDS. LANDSCAPE ARCHITECT NOT RESPONSIBLE FOR ANY DAMAGES THAT INCUR DUE TO IMPROPER INSTALLATION.
- ALL DEVELOPMENT AND CONSTRUCTION ACTIVITIES WITHIN 5 METERS OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST. ALL PRUNING OF EXISTING VEGETATION MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- NO TREES, SHRUBS, BUILDINGS, PERMANENT STRUCTURES OR UNAUTHORIZED GRADE CHANGES ARE PERMITTED WITHIN THE UTILITY RIGHTS-OF-WAY.

LANDSCAPE REMEDIATION

- ANY TURF AREAS DISTURBED DURING THE CONSTRUCTION PROCESS ARE TO BE AMENDED WITH A MINIMUM OF 150 MM DEPTH TOPSOIL AND SOD, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
- ANY PLANTING BEDS DISTURBED DURING CONSTRUCTION ARE TO BE AMENDED WITH A MINIMUM OF 400 MM DEPTH TOPSOIL AND A MINIMUM OF 150 MM DEPTH WOOD CHIP MULCH, AS PER THE CITY OF CALGARY DESIGN STANDARDS.
- ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION IS TO BE REMOVED, DISPOSED OF, AND REPLACED BY THE CONTRACTOR. ANY REPLACEMENT PLANT MATERIAL MUST BE THE SAME SPECIES OF THE REMOVED ITEM.

EXISTING LANDSCAPE

- LOCATIONS AND SIZES OF EXISTING PLANT MATERIAL ARE APPROXIMATE.

GRADING NOTES:

- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING INFORMATION.

SOD:

- CERTIFIED NO. 1 CULTIVATED TURF FESCUE SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEALTHY GROWTH AND DELIVERED 24 HOURS FROM TIME OF CUTTING. SOD SHOWING SIGNS OF DETERIORATION DUE TO AGE OR LACK OF MOISTURE WILL BE REJECTED. SOD MUST BE FREE OF STONES, BURNS, DRY OR BARE SPOTS, TEARS AND DELIVERED MOIST, CUT IN STRIPS OF UNIFORM WIDTH AND THICKNESS.