

Glacier Ridge Townhouses

for RONMOR

Development Permit 1.2



DRAWING LIST

Architectural

- DP0.0 Cover Sheet
DP1.0 Site Plan
DP1.1 Site Details
DP1.2 Vehicle Sweeps
DP1.3 Bike Storage Details

Building Type I (8 - Unit Townhouses)

- DP2.1 Level 1 - Building Type I (Bldg B, C)
DP2.2 Level 2 - Building Type I (Bldg B, C)
DP2.3 Level 3 - Building Type I (Bldg B, C)
DP2.4 Roof Plan - Building Type I (Bldg B, C)
DP2.5 Elevations - Building Type I (Bldg B, C)
DP2.6 Elevations - Building Type I (Bldg B, C)
DP2.7 Sections - Building Type I (Bldg B, C)

Building Type II (10 - Unit Townhouses)

- DP3.1 Level 1 - Building Type II (Bldg D, E, H, G, I)
DP3.2 Level 2 - Building Type II (Bldg D, E, H, G, I)
DP3.3 Level 3 - Building Type II (Bldg D, E, H, G, I)
DP3.4 Roof Plan - Building Type II (Bldg D, E, H, G, I)
DP3.5 Elevations - Building Type II (Bldg D, E, H, G, I)
DP3.7 Elevations - Building Type II (Bldg D, E, H, G, I)
DP3.8 Sections - Building Type II (Bldg D, E, H, G, I)

Building Type III (12 - Unit Townhouses)

- DP4.1 Level 1 - Building Type III (Bldg A, F, L, J, L)
DP4.2 Level 2 - Building Type III (Bldg A, F, L, J, L)
DP4.3 Level 3 - Building Type III (Bldg A, F, L, J, L)
DP4.4 Roof Plan - Building Type III (Bldg A, F, L, J, L)
DP4.5 Elevations - Building Type III (Bldg A, F, L, J, L)
DP4.6 Elevations - Building Type III (Bldg A, F, L, J, L) High Visibility
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DP4.9 Sections - Building Type III (Bldg A, F, L, J, L)

Landscape Drawings

- DPL0 Landscape Plan
DPL2 Landscape Details
DPL3 Landscape Details
DPL4 Landscape Details
DPL5 Landscape Details

Site Electrical Drawings

- E101S Site Plan - Lighting
E102S Site Plan - Points by Points
E201S Site Plan - Electrical Distribution
E301S Rendering & Details

Civil Drawings

- SW-C1 Site Grading
SW-C2 Site Utilities

REVISIONS		
#	DATE	DESCRIPTION
2025 07 03	Issued for DP Submission	
2025 07 24	Issued for DP 1.1	
2025 08 19	Issued for DP 1.2	

AMENDED DRAWINGS	
DP No	Date Received
DP2025-04272	Jan 19, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.	

GRAVITY ARCHITECTURE

CONTACT
permits@gravityarchitecture.ca
P: 1 (403) 243 4030

#405, 999 - 8 ST SW
Calgary AB Canada
T2R 1J5

#820, 1199 West Pender ST
Vancouver BC Canada
V6E 2R1

gravityarchitecture.com

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW

Lot 31, Block 24, Plan XX-XXXX

TITLE

Cover Sheet

PROJECT NUMBER
23-022

SCALE

DESIGNER
PM / KT

DP DRAFTSPERSON
DP

BP DRAFTSPERSON

DRAWING NUMBER

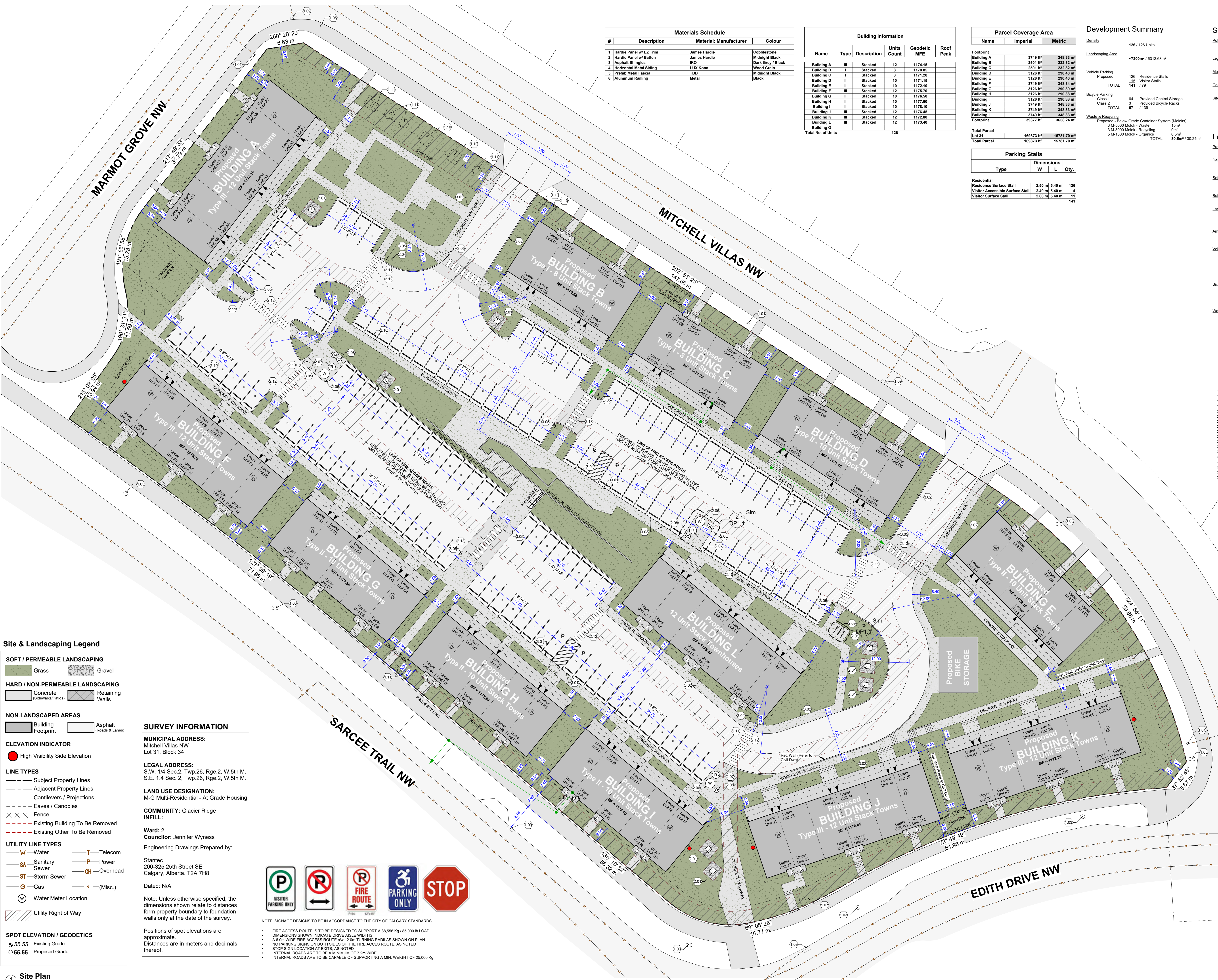
DP0.0

VERSION / ISSUE DATE

2025 12 08

DP CHECKED

BP CHECKED



Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Kona	Wood Grain
5	Profab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

Building Information					
Name	Type	Description	Units Count	Geodetic MFE	Roof Peak
Building A	III	Stacked	12	1174.15	
Building B	I	Stacked	8	1172.55	
Building C	I	Stacked	6	1171.28	
Building D	II	Stacked	10	1171.15	
Building E	II	Stacked	10	1172.10	
Building F	III	Stacked	12	1175.70	
Building G	II	Stacked	10	1176.50	
Building H	II	Stacked	10	1177.60	
Building I	II	Stacked	10	1176.10	
Building J	III	Stacked	12	1176.45	
Building K	III	Stacked	12	1172.80	
Building L	III	Stacked	12	1173.40	
Building O					
Total No. of Units			126		

Parcel Coverage Area		
Name	Imperial	Metric
Footprint		
Building A	3749 ft²	348.33 m²
Building B	2501 ft²	232.32 m²
Building C	2501 ft²	232.32 m²
Building D	3126 ft²	290.40 m²
Building E	3126 ft²	290.40 m²
Building F	3749 ft²	348.34 m²
Building G	3126 ft²	290.39 m²
Building H	3126 ft²	290.38 m²
Building I	3126 ft²	290.38 m²
Building J	3749 ft²	348.33 m²
Building K	3749 ft²	348.33 m²
Building L	3749 ft²	348.33 m²
Footprint	39377 ft²	3658.24 m²

Total Parcel	169873 ft²	15781.70 m²
Lot 31	169873 ft²	15781.70 m²
Total Parcel	169873 ft²	15781.70 m²

Parking Stalls				
Type		Dimensions		Qty.
		W	L	
Residential				
Residence Surface Stall		2.50 m	5.40 m	126
Visitor Accessible Surface Stall		2.40 m	5.40 m	4
Visitor Surface Stall		2.60 m	5.40 m	11
				141

Development Summary

Density	126 / 126 Units
Landscaping Area	~7200m² / 6312.68m²
Vehicle Parking	126 Residence Stalls 15 Visitor Stalls TOTAL 141 / 79
Bicycle Parking	Class 1 64 Provided Central Storage Class 2 2 Provided Bicycle Racks TOTAL 67 / 139
Waste & Recycling	Proposed - Below Grade Container System (Molok) 15m³ 3 M-5000 Molok - Waste 8m³ 3 M-3000 Molok - Recycling 6.2m³ 5 M-1300 Molok - Organics 30.9m³ / 30.24m³

Site Information

Potential Proposed Land Use	M-G Multi-Residential - At Grade Housing
*Land Use to be confirmed by planning consultant.	
Local Description	Lot 31 Block 24 Plan xxx xxxx
Municipal Address	Mitchell Villas NW
Community	Glacier Ridge
Site Area	15781.70 m² 1.58 ha

Land Use Bylaw Requirements

Proposed Use	M-G - Multi Residential - At Grade Housing
Density	35 Units / Hectare (55 Units) 80 Units / Hectare (126 Units)
Setbacks	Min. Setback From Street: 3.00m Min. Setback From all Other PL: 1.20m
Building Height	Max. Building Height: 13m
Landscaping Area	Req. Area 40% of Parcel 6312.68m² Max. Hard Surface: 50% of 6312.68m² 3156.34m² 30% of Hardscaping can be concrete.
Amenity Area	Min. Required Amenity Space: 7.5m² No Dimension Less Than: 2.00m
Vehicle Parking	Min. Required Parking Stalls: 0.625 / Unit (79 Stalls) Min. Required Visitor Parking: 0 Stalls (PART 6 MULTI-RESIDENTIAL DISTRICTS, Division 1: Motor Vehicle Parking Stall Requirements 658)
Bicycle Parking	Min. Class 1 Bicycle Parking: 1 / Unit (Secure bicycle parking) (126 Stalls) Min. Class 2 Bicycle Parking: 0.1 / Unit (Unsecured bicycle parking / rack parking) (13 Stalls)
Waste & Recycling	Min. 5.24m³ (0.39y³) / Unit (30.24m³)

Keynote Legend

#	Keynote Text
1.01	EXISTING FIRE HYDRANT
1.02	EXISTING BUS BAY/STOP
1.03	EXISTING STREET LIGHT
1.05	EXISTING BARRIER FREE CURB CUT
1.07	EXISTING TRANSFORMER
1.09	EXISTING CATCH BASIN
1.10	EXISTING UTILITY BOX
1.11	EXISTING UTILITY VAULTS
2.01	PROPOSED ELECTRICAL TRANSFORMER
2.04	PROPOSED FIRE HYDRANT
2.06	PROPOSED MOLOK M-5000 WASTE 6.5 YD3
2.07	PROPOSED MOLOK M-3000 RECYCLING 4.0 YD3
2.08	PROPOSED MOLOK M-1300 ORGANICS 1.7 YD3
2.09	PROPOSED CLASS 2 BIKE RACK, SEE DETAIL 10 / DP1.4
2.10	PROPOSED WHEEL STOP, TYP
2.11	PROPOSED BARRIER FREE CURB CUT
2.12	PROPOSED PAINTED CROSSLINK
2.13	PROPOSED PAINTED RAISED CROSSLINK
3.01	PROPOSED "BARRIER FREE PARKING" SIGN
3.02	PROPOSED "NO PARKING, FIRE LANE" SIGN
3.03	PROPOSED "VISITOR PARKING" SIGN
3.05	PROPOSED "STOP" SIGN

Site & Landscaping Legend

SOFT / PERMEABLE LANDSCAPING	
	Grass
	Gravel
HARD / NON-PERMEABLE LANDSCAPING	
	Concrete (Sidewalks/Patios)
	Retaining Walls
NON-LANDSCAPED AREAS	
	Building
	Footprint
	Asphalt (Roads & Lanes)
ELEVATION INDICATOR	
	High Visibility Side Elevation
LINE TYPES	
	Subject Property Lines
	Adjacent Property Lines
	Cantilevers / Projections
	Eaves / Canopies
	Fence
	Existing Building To Be Removed
	Existing Other To Be Removed
UTILITY LINE TYPES	
	Water
	Sanitary Sewer
	Storm Sewer
	Gas
	Telecom
	Power
	Overhead
	Water Meter Location
	Utility Right of Way
SPOT ELEVATION / GEODETICS	
	Existing Grade
	Proposed Grade

SURVEY INFORMATION

MUNICIPAL ADDRESS:	Mitchell Villas NW Lot 31, Block 34
LEGAL ADDRESS:	S.W. 1/4 Sec.2, Twp.26, Rge.2, W.5th M. S.E. 1.4 Sec. 2, Twp.26, Rge.2, W.5th M.
LAND USE DESIGNATION:	M-G Multi-Residential - At Grade Housing
COMMUNITY:	Glacier Ridge
INFILL:	
Ward:	2
Councillor:	Jennifer Wyness
Engineering Drawings Prepared by:	
Stantec	200-325 25th Street SE Calgary, Alberta. T2A 7H8
Dated:	N/A
Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.	
Positions of spot elevations are approximate. Distances are in meters and decimals thereof.	



NOTE: SIGNAGE DESIGNS TO BE IN ACCORDANCE TO THE CITY OF CALGARY STANDARDS

- FIRE ACCESS ROUTE IS TO BE DESIGNED TO SUPPORT A 38,556 Kg / 85,000 lb LOAD
- DIMENSIONS SHOWN INDICATE DRIVE ASLE WIDTHS
- A 6.0m WIDE FIRE ACCESS ROUTE @ 12.0m TURNING RADI AS SHOWN ON PLAN
- NO PARKING SIGNS ON BOTH SIDES OF THE FIRE ACCESS ROUTE, AS NOTED
- STOP SIGN LOCATION AT EXITS, AS NOTED
- INTERNAL ROADS ARE TO BE A MINIMUM OF 7.2m WIDE
- INTERNAL ROADS ARE TO BE CAPABLE OF SUPPORTING A MIN. WEIGHT OF 25,000 Kg

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GRAVITY ARCHITECTURE

CONTACT	perkins@gravityarchitecture.ca P: 1 (403) 243 4030
#405, 888 - 8 ST SW Calgary AB Canada T2R 1J5	
#820, 1199 West Pender ST Vancouver BC Canada V6E 2R1	
gravityarchitecture.com	
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PERMIT NUMBERS

PROJECT STATUS

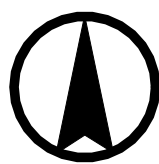
Development Permit 1.2

PROJECT
Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

Site Plan

PROJECT NUMBER	23-022	DRAWING NUMBER	
SCALE	As indicated	DP1.0	
DESIGNER	PM / KT	VERSION ISSUE DATE	2025 12 08
DP DRAFTSPERSON	DP	DP CHECKED	
BP DRAFTSPERSON	BP	BP CHECKED	



NOT FOR CONSTRUCTION



① Elevation Front (Bldg Type I)
3/16" = 1'-0"



② Elevation Rear (Bldg Type I)
3/16" = 1'-0"

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Kona	Wood Grain
5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

- Materials Notes:
- All door trim, window trim, and pebble panel trim boards to be 1-1/2" width
 - All trim & corner boards to be 3-1/2" adjacent match wall colour
 - All windows to be black wrap vinyl
 - All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
 - All entry steps, landings, and Level 1 patios to be pre-cast concrete
 - Address numbers to be 6" ht. on standoffs (brushed bicket or sim.)

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type I
(Bldg B, C)

PROJECT NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

DP2.5

VERSION

ISSUE DATE

2025 12 08

DP CHECKED

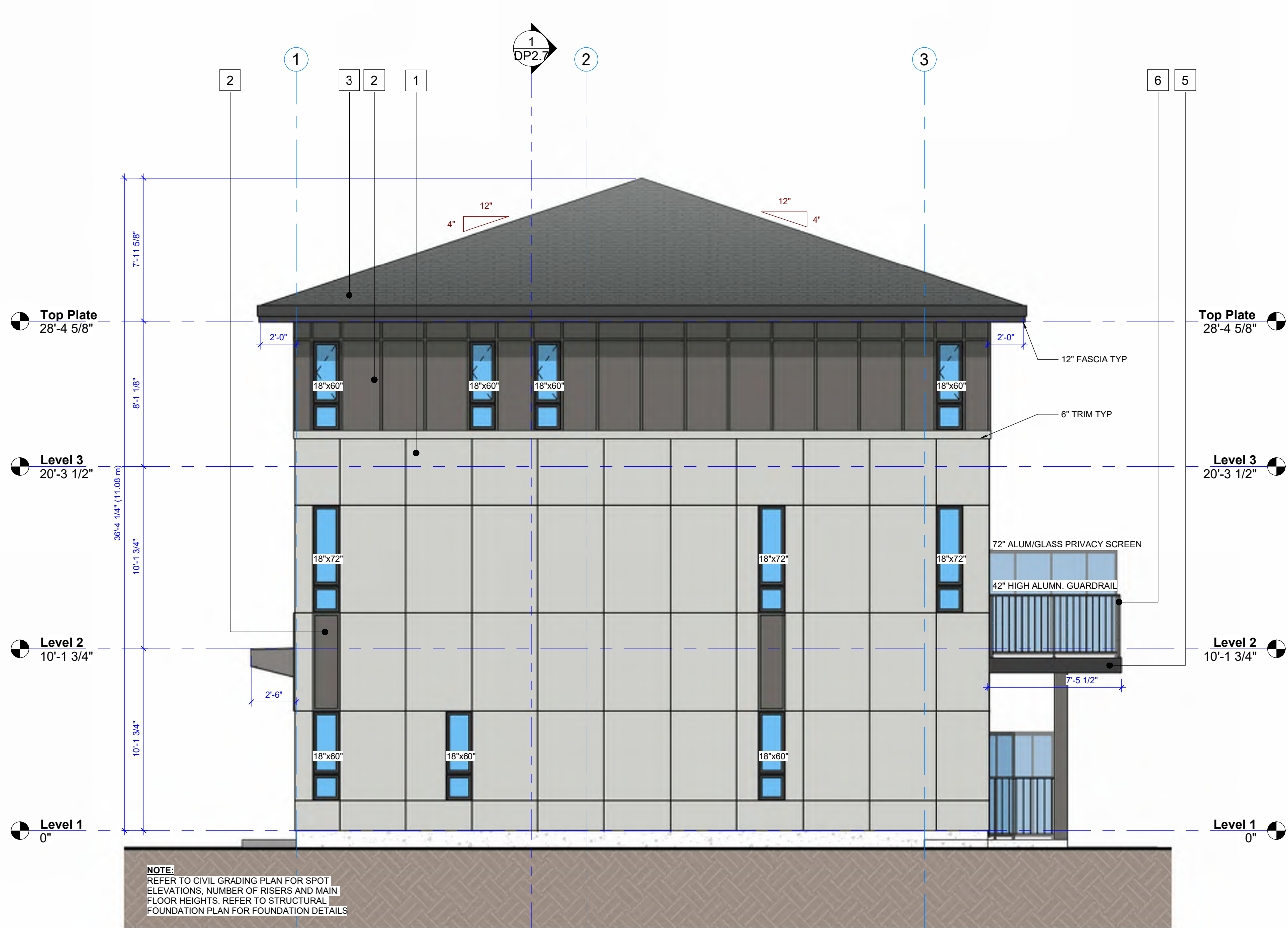
BP CHECKED

Materials Schedule			
#	Description	Material: Manufacturer	Colour
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5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

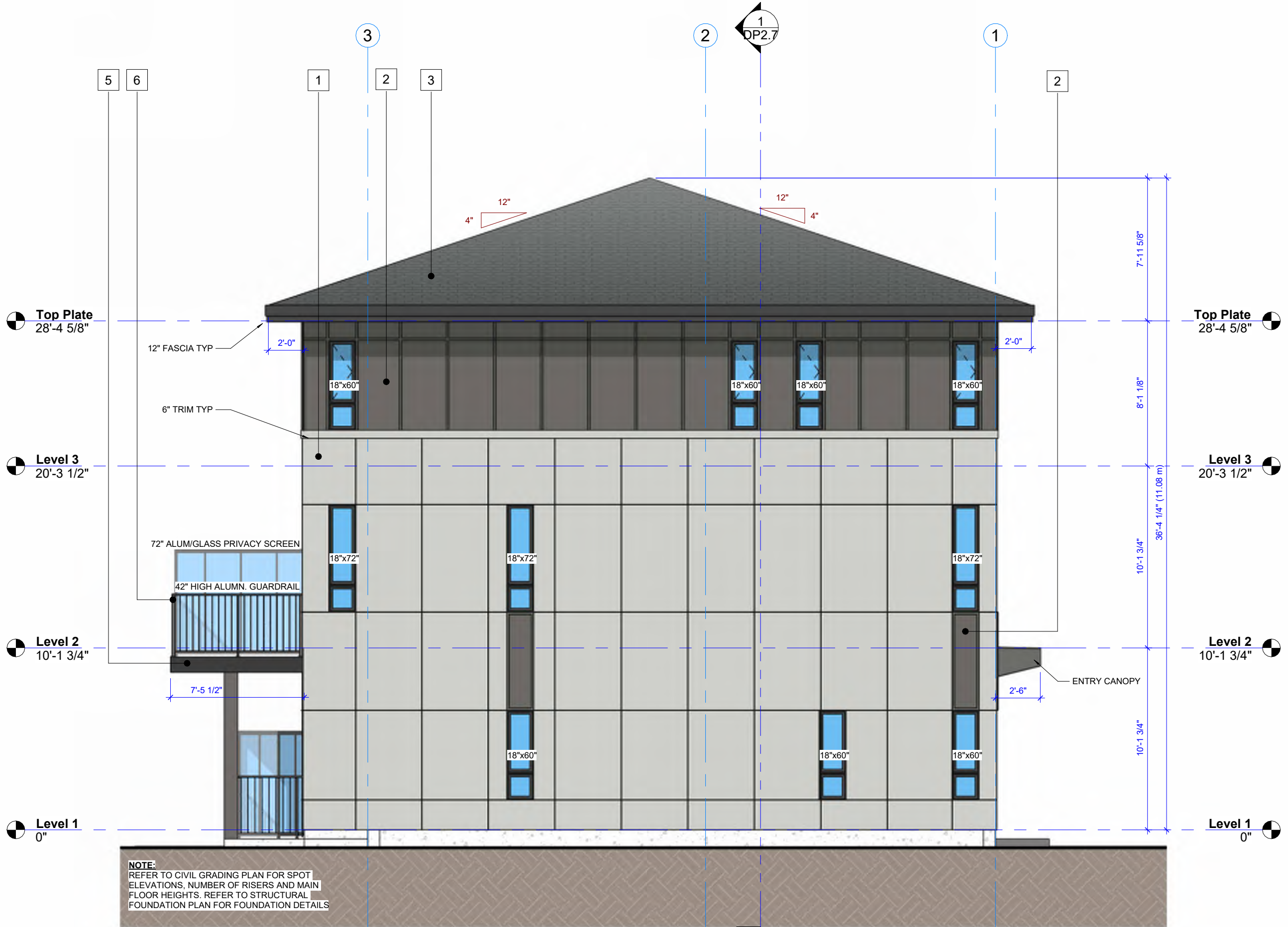
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- All door trim, window trim, and pebble panel trim boards to be 1-1/2" width
 - All trim & corner boards to be 3-1/2" adjacent match wall colour
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REVISIONS
DATE DESCRIPTION

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1 Elevation Right (Bldg Type I)
3/16" = 1'-0"



2 Elevation Left (Bldg Type I)
3/16" = 1'-0"

GRAVITY ARCHITECTURE

CONTACT
permits@gravityarchitecture.ca
P: 1 (403) 243 4030

#405, 889 - 8 ST SW
Calgary AB Canada
T2R 1J5

#820, 1199 West Pender ST
Vancouver BC Canada
V6E 2R1

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type I
(Bldg B, C)

PROJECT NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

DP2.6

VERSION / ISSUE DATE

2025 12 08

DP CHECKED

BP CHECKED



① Elevation Front (Bldg Type II)
3/16" = 1'-0"



② Elevation Rear (Bldg Type II)
3/16" = 1'-0"

REVISIONS

#DATEDESCRIPTION

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2025 08 19 Issued for DP 1.2

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CONTACT

permits@gravityarchitecture.ca

P: 1 (403) 243 4030

#405, 999 - 8 ST SW

Calgary AB Canada

T2R 1J5

#820, 1199 West Pender ST

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PROJECT STATUS

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PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW

Lot 31, Block 24, Plan XX-XXXX

TITLE

Elevations - Building Type II (Bldg D, E, H, G, I)

PROJECT NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

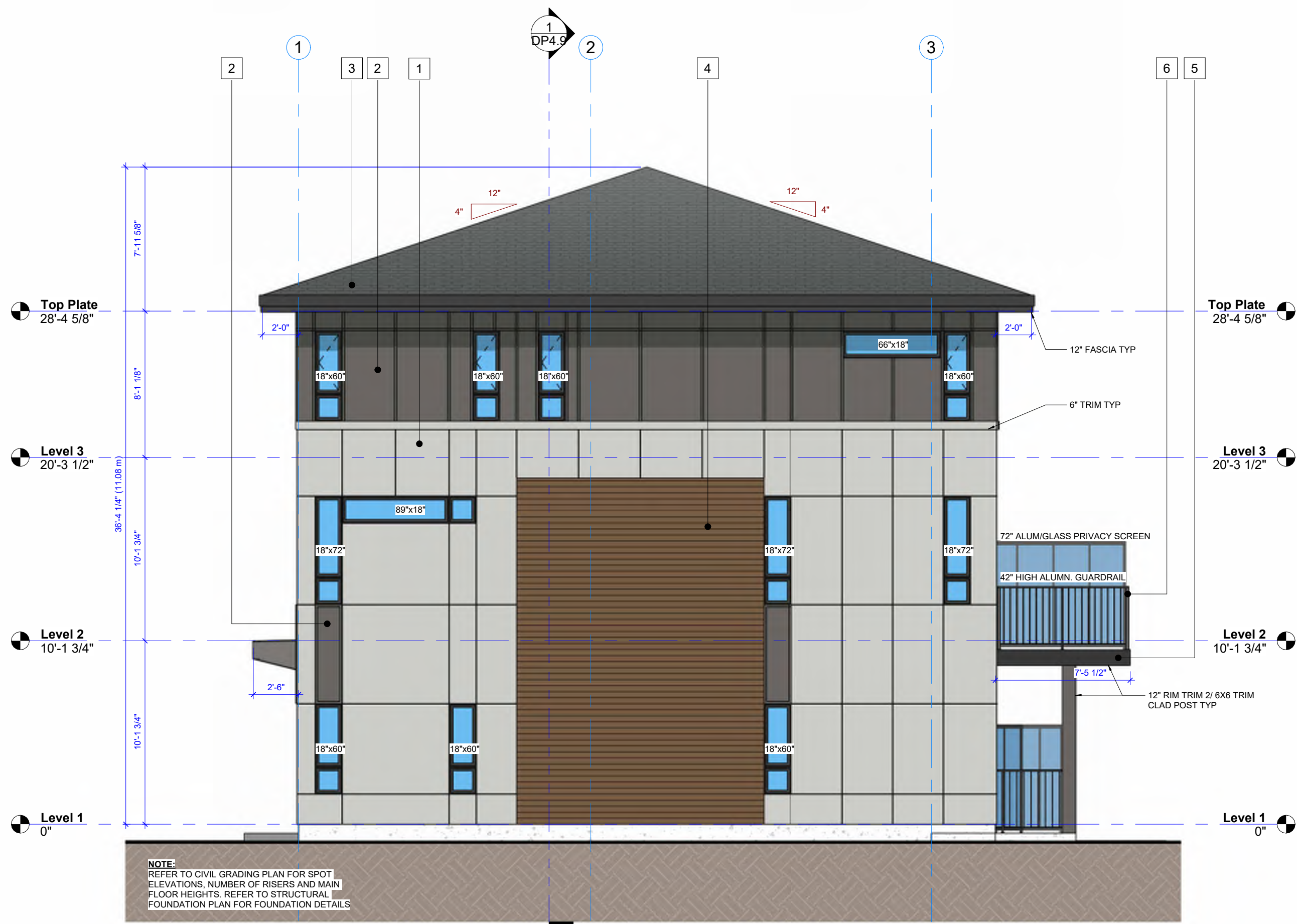
DP3.5

VERSION / ISSUE DATE

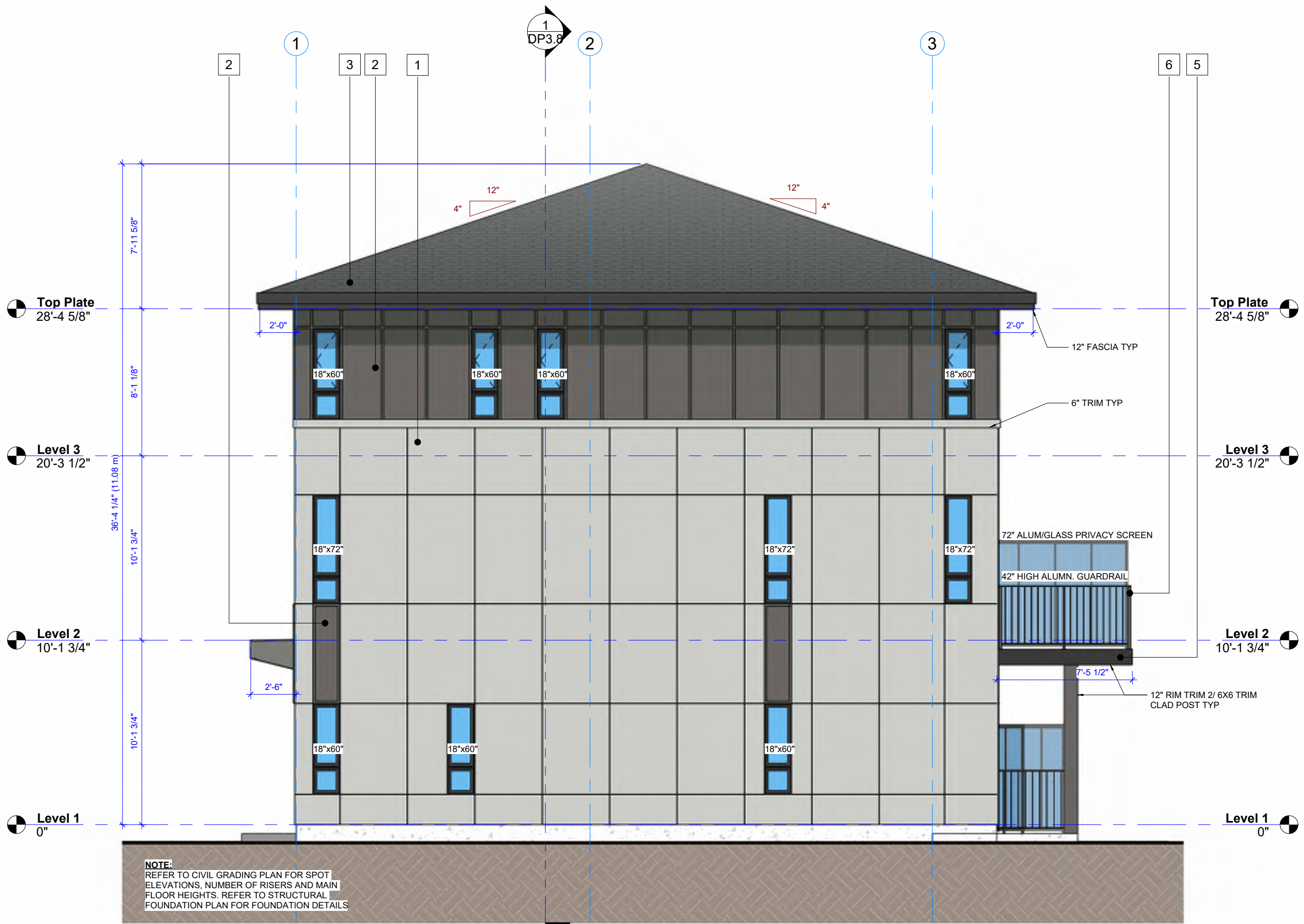
2025 12 08

DP CHECKED

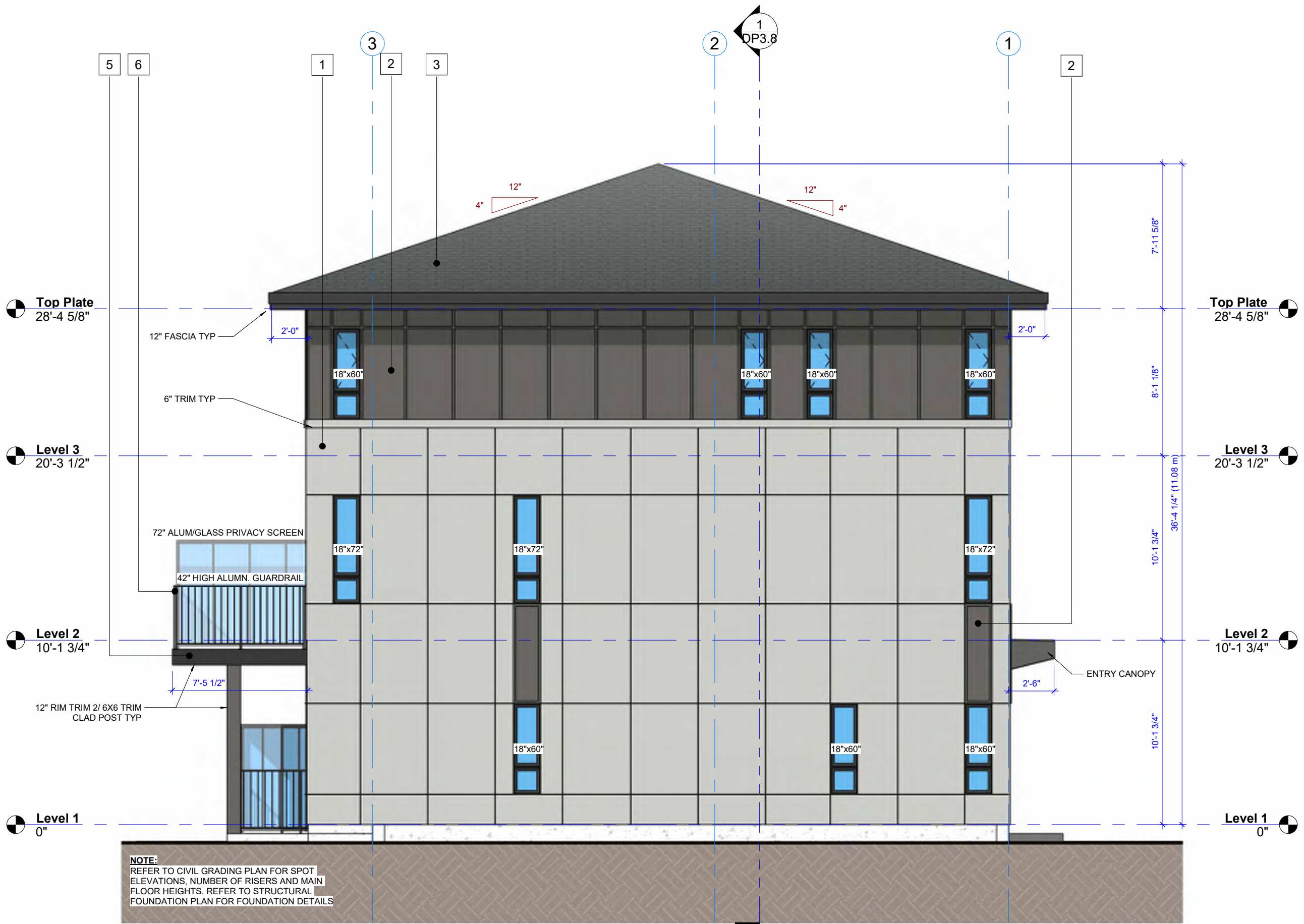
BP CHECKED



3 Elevation Right (Bldg Type II - High Visibility)
3/16" = 1'-0"



1 Elevation Right (Bldg Type II)
3/16" = 1'-0"



2 Elevation Left (Bldg Type II)
3/16" = 1'-0"

Materials Schedule			
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5	Prefab Metal Fascia	TBD	Midnight Black
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Materials Notes:

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- All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
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- Address numbers to be 6" ht. on standoffs (brushed nickel or sim.)

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Mitchell Villas NW
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TITLE
Elevations - Building Type II
(Bldg D, E, H, G, I)

PROJECT NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

23-022

VERSION

2025 12 08

DP CHECKED

BP CHECKED

BP CHECKED



① Elevation Rear - (Bldg Type III)
3/16" = 1'-0"



② Elevation Front - (Bldg Type III)
3/16" = 1'-0"

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
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Lot 31, Block 24, Plan XX-XXXX

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Elevations - Building Type III
(Bldg A, F, L, J, L)

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SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

DP4.5

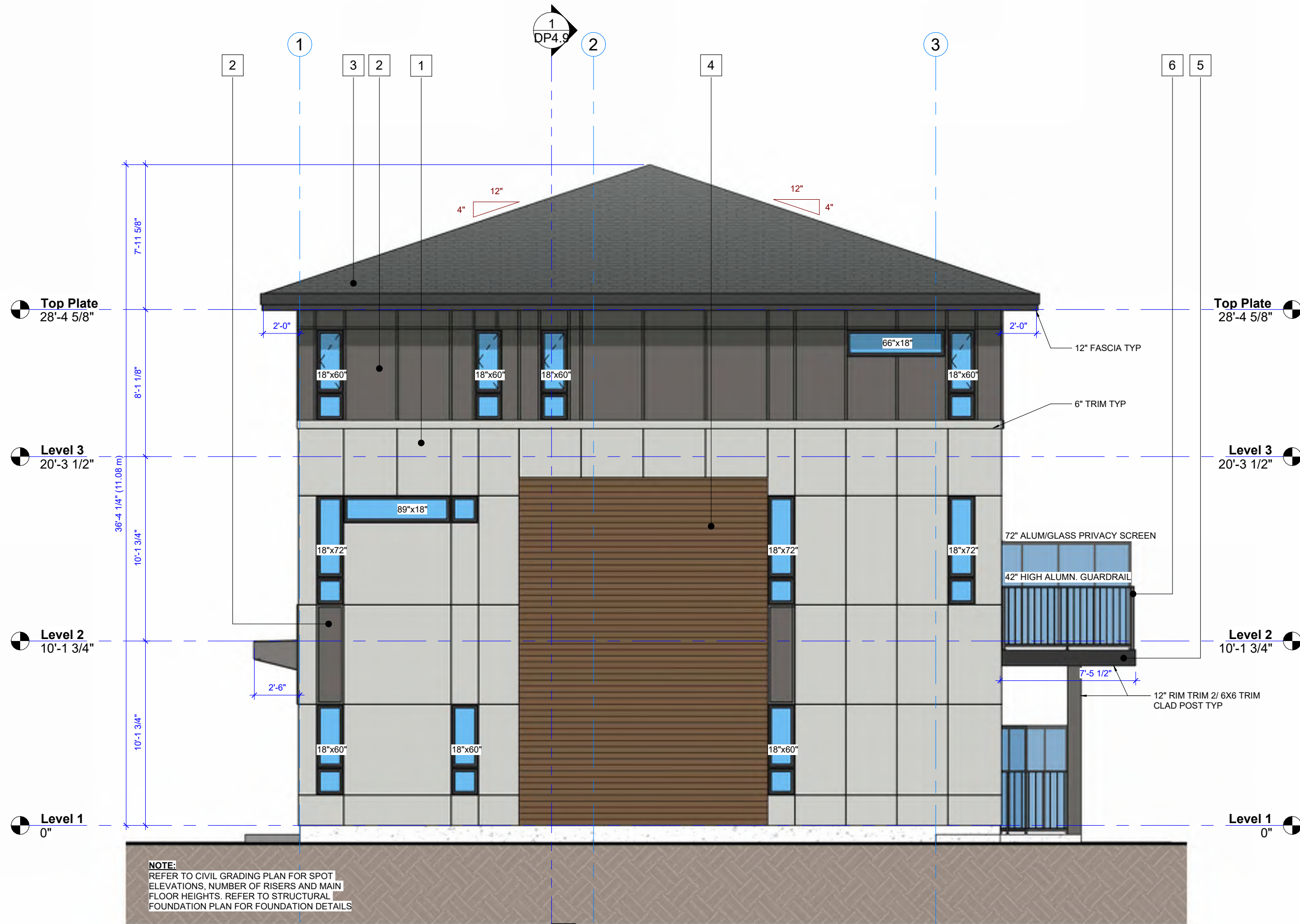
VERSION

ISSUE DATE

2025 12 08

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BP CHECKED



① Elevation Right (Bldg Type III - High Visibility)
3/16" = 1'-0"



② Elevation Left (Bldg Type III - High Visibility)
3/16" = 1'-0"

REVISIONS		
#	DATE	DESCRIPTION
2025 07 03	Issued for DP Submission	
2025 07 24	Issued for DP 1.1	
2025 08 19	Issued for DP 1.2	

GRAVITY ARCHITECTURE

CONTACT
permits@gravityarchitecture.ca
P: 1 (403) 243 4030

#405, 999 - 8 ST SW
Calgary AB Canada
T2R 1J5

#820, 1199 West Pender ST
Vancouver BC Canada
V6E 2R1

gravityarchitecture.com

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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT
Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type III
(Bldg A, F, L, J, L) High
Visibility

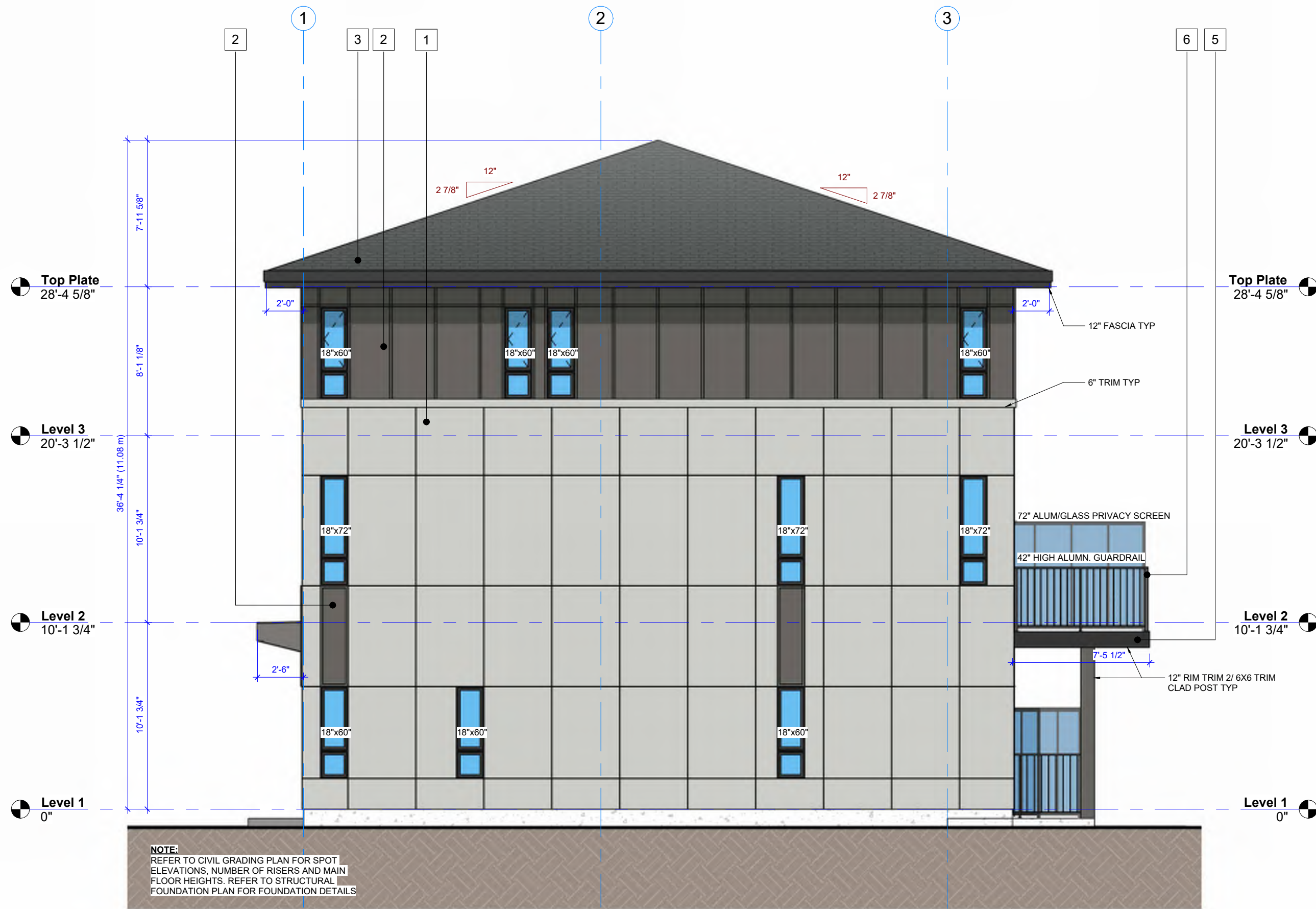
PROJECT NUMBER	DRAWING NUMBER
23-022	DP4.6
SCALE 3/16" = 1'-0"	
DESIGNER PM / KT	VERSION / ISSUE DATE 2025 12 08
DP DRAFTSPERSON DP	DP CHECKED
BP DRAFTSPERSON	BP CHECKED

Materials Schedule			
#	Description	Material: Manufacturer	Colour
1	Hardie Panel w/ EZ Trim	James Hardie	Cobblestone
2	Hardie Panel w/ Batten	James Hardie	Midnight Black
3	Asphalt Shingles	IKO	Dark Grey / Black
4	Horizontal Metal Siding	LUX Kona	Wood Grain
5	Prefab Metal Fascia	TBD	Midnight Black
6	Aluminum Railing	Metal	Black

- Materials Notes:
- All door trim, window trim, and pebble panel trim boards to be 1-1/2" width
 - All trim & corner boards to be 3-1/2" adjacent match wall colour
 - All windows to be black wrap vinyl
 - All balcony railings to be glass & face mounted with standoffs (standoffs to be sealed through membrane)
 - All entry steps, landings, and Level 1 patios to be pre-cast concrete
 - Address numbers to be 6" ht. on standoffs (brushed bicket or sim.)

REVISIONS
DATE DESCRIPTION

2025 07 03 Issued for DP Submission
2025 07 24 Issued for DP 1.1
2025 08 19 Issued for DP 1.2



① Elevation Right (Bldg Type III - Low Visibility)
3/16" = 1'-0"



② Elevation Left (Bldg Type III - Low Visibility)
3/16" = 1'-0"

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CONTACT
permits@gravityarchitecture.ca
P: 1 (403) 243 4030

#405, 999 - 8 ST SW
Calgary AB Canada
T2R 1J5

#820, 1199 West Pender ST
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PERMIT NUMBERS

PROJECT STATUS

Development Permit 1.2

PROJECT

Glacier Ridge Townhouses

Mitchell Villas NW
Lot 31, Block 24, Plan XX-XXXX

TITLE
Elevations - Building Type III
(Bldg A, F, L, J, L) Low
Visibility

PROJECT NUMBER

23-022

SCALE

3/16" = 1'-0"

DESIGNER

PM / KT

DP DRAFTSPERSON

DP

BP DRAFTSPERSON

DRAWING NUMBER

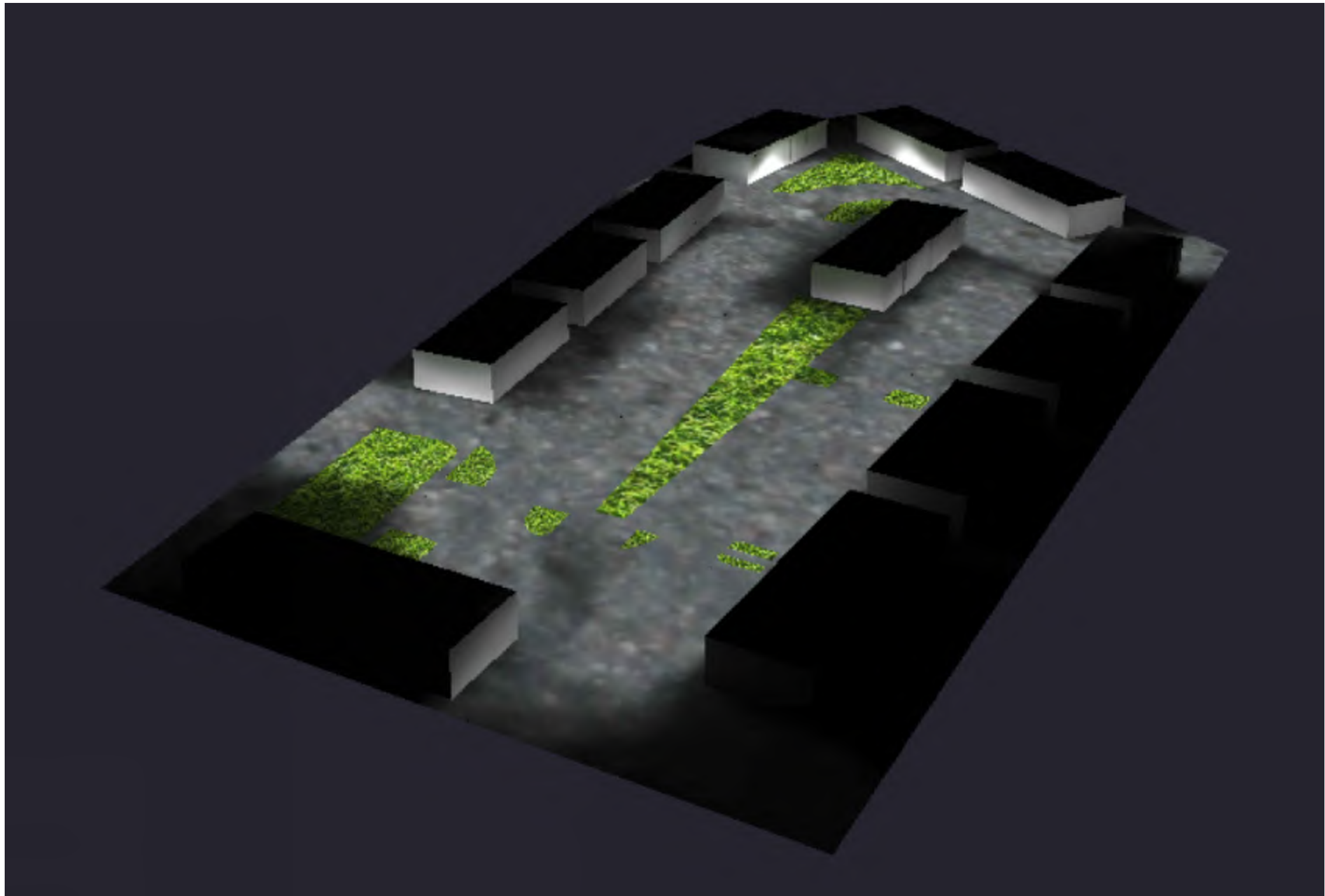
DP4.7

VERSION / ISSUE DATE

2025 12 08

DP CHECKED

BP CHECKED



01 SITE RENDERING
E301S SCALE: N/A

LUMINAIRE SCHEDULE							
TAGS	IMAGES	DESCRIPTION	MOUNTING	LOAD/VOLT	LAMP	COLOR TEMP	MANUFACTURER/NOTES
S1		20' LED POLE MOUNTED LUMINAIRE	FLOOR	57W/120V	5482lm	3500K	COOPER LIGHTING - GLAN-SATC-735-U-SL3-XX-HSS-BPC C/W 20' POLE
S2		COLUMN POLE LUMINAIRE	FLOOR	54W/120V	7200lm	3500K	LIGMAN - SM-21121
NOTE 1: CONTRACTOR TO PROVIDE LIGHTING FIXTURE PACKAGE PRICE WITH EACH INDIVIDUAL FIXTURE PRICE AS PART OF TENDER SUBMISSION.							
NOTE 2: CONFIRM LIGHTING SPECIFICATION WITH INTERIOR DESIGNER AND OWNER PRIOR TO ORDER.							
NOTE 3: CONTRACTOR TO PROVIDE COMPATIBLE DIMMER SWITCH BASED ON LIGHT FIXTURE SELECTION AND FROM THE LISTED DIMMER SWITCHES ON FIXTURE SHOP DRAWINGS.							

REVISIONS		
#	DATE	DESCRIPTION
1	2025 05 16	DEVELOPMENT PERMIT

CONTACT
Jay Wlwychar
permits@architecture.ca
P: 1 (403) 243 4030

#405, 999 - 8 ST SW
Calgary AB Canada
T2R 1J5

#820, 1199 West Pender ST
Vancouver BC Canada
V6E 2P1

gravityarchitecture.com

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PERMIT NUMBERS

PROJECT STATUS

Pre-Design

PROJECT

RONMOR Glacier Ridge

Mitchell Villas NW
Lot 31, Block 24, Plan XXX XX

TITLE

RENDERINGS & DETAILS

PROJECT NUMBER	DRAWING NUMBER
25005	E301S
SCALE	AS INDICATED
DESIGNER	VERSION / ISSUE DATE
TT	TT
DP DRAFTSPERSON	DP CHECKED
TT/JW	TT
BP DRAFTSPERSON	BP CHECKED