

CITYSCAPE PHASE 19 - BLOCK 56 LOTS 15-29 RLT's

MATTAMY HOMES - ALBERTA DIVISION

2583 29 ST NE, T1Y 7B5
CALGARY, ALBERTA
ISSUED FOR DEVELOPMENT PERMIT: 2025-04-03

APPLICANT	DRAWING LIST
MATTAMY HOMES 2583 29 ST NE CALGARY, AB T1Y 7B5 (t) 403 291 8020 (c) 403 689 3190 	ARCHITECTURAL: A-0.0COVER SHEET A-1.0PHASING PLAN A-1.1LOTS 15-18 SITE PLAN A-1.2LOTS 19-22 SITE PLAN A-1.3LOTS 23-26 SITE PLAN A-1.4LOTS 27-29 SITE PLAN A-2.1LOTS 15-18 BASEMENT FLOOR PLAN A-2.2LOTS 15-18 MAIN FLOOR PLAN A-2.3LOTS 15-18 UPPER FLOOR PLAN A-2.4LOTS 15-18 ROOF PLAN A-2.5LOTS 15-18 ELEVATIONS A-2.6LOTS 15-18 ELEVATIONS A-3.1LOTS 19-22 BASEMENT FLOOR PLAN A-3.2LOTS 19-22 MAIN FLOOR PLAN A-3.3LOTS 19-22 UPPER FLOOR PLAN A-3.4LOTS 19-22 ROOF PLAN A-3.5LOTS 19-22 ELEVATIONS A-3.6LOTS 19-22 ELEVATIONS A-4.1LOTS 23-26 BASEMENT FLOOR PLAN A-4.2LOTS 23-26 MAIN FLOOR PLAN A-4.3LOTS 23-26 UPPER FLOOR PLAN A-4.4LOTS 23-26 ROOF PLAN A-4.5LOTS 23-26 ELEVATIONS A-4.6LOTS 23-26 ELEVATIONS A-5.1LOTS 27-29 BASEMENT FLOOR PLAN A-5.2LOTS 27-29 MAIN FLOOR PLAN A-5.3LOTS 27-29 UPPER FLOOR PLAN A-5.4LOTS 27-29 ROOF PLAN A-5.5LOTS 27-29 ELEVATIONS A-5.6LOTS 27-29 ELEVATIONS
ARCHITECT	
Q4 ARCHITECT (ALBERTA) INC. OFFICE #29 1206 20 AVENUE SE CALGARY, AB T2G 1M8 (t) 403 735 1130 (f) 416 322 7294 INFO@Q4ARCHITECTS.COM 	

GENERAL NOTES

- BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE. NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.
- SINCE THE REARLANE TOWNHOMES ARE FREEHOLD UNITS, THE HOMEOWNER MAY ALTER THE GROUND COVER AFTER TRANSFER OF OWNERSHIP.
- ALL UTILITIES LOCATIONS SHALL BE LOCATED AND VERIFIED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL LANDSCAPED AREAS SHALL BE GRADED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE. MAINTAIN GRADIENT SHALL BE NO LESS THAN 2.0% AND MAXIMUM NO MORE THAN 33%.
- PATH AND HARD SURFACE AREAS SHALL BE SLOPED AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE; MINIMUM GRADIENT SHALL NOT EXCEED 10%.
- ALL SOFT LANDSCAPED AREAS SHALL RECEIVED 150MM DEPTH TOPSOIL (MINIMUM).
- TREES ARE TO BE PLANTED IN ACCORDANCE TO THE PLANTING STANDARDS OF LANTA/ISA, INCLUDING TREE WELLS WITH MINIMUM 75MM DEPTH CLEAN, WEED FREE BARK MULCH.
- ALL PLANT MATERIAL MUST MEET THE SPECIFICATIONS SET OUT IN THE LATEST GUIDE SPECIFICATIONS OR NURSERY STOCK PREPARED BY THE AALA/CSLA AND ISA.
- AT TIME OF ACCEPTANCE, ALL PLANT MATERIAL MUST BE IN HEALTHY, VIGOROUS GROWING CONDITIONS AS PER CITY OF CALGARY PARKS SPECIFICATIONS. PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR AS OUTLINED IN HE CONTRACT AND IN ACCORDANCE TO THE PLANTING STANDARDS OF LANTA/ISA.
- LOCATE TREE 3.3Mm FROM DEEP OR SHALLOW SERVICES UNLESS OTHERWISE NOTED
- MINIMUM SETBACKS OR TREES SHALL BE:
 - 2.5M FROM SIDE PROPERTY LINES
 - 1.0M FROM BACK OF WALK AND DRIVEWAYS
 - 2.5M FROM HYDRANTS
 - 4.0M FROM STREET LIGHTS
 - 3.5M FROM TRANSFORMERS
 - 4.0M FROM BUS STOPS
 - 2.5M FROM CURB STOPS

SITE PLAN NOTE

- SITE GRADING INFORMATION PROVIDED ON THIS PLAN IS FOR REFERENCE ONLY AND MUST BE REVIEWED BY A REGISTERED ENGINEER TO ENSURE IT MEETS THE REQUIREMENTS OF THE BUILDING GRADE PLAN

LEGEND

- LP LIGHT POLE
- ◇ H HYDRANT
- ▲ TRANSFORMER
- WATER SERVICE
- ▽ DOUBLE STM. CONNECTION
- ▽ SINGLE STM. CONNECTION
- CBC CATCH BASIN
- △ EXTERIOR DOOR LOCATION
- └─ R (R= No. OF RISERS)
- SIDE WINDOW LOCATION
- SWALE DIRECTION
- STREET SIGN
- ☒ CABLE TELEVISION PEDESTAL
- BELL PEDESTAL
- FF GROUND FLOOR
- TOJ TOP OF JOISTS
- TOFW TOP OF FOUNDATION WALL
- TOS TOP OF SLAB
- TOF TOP OF FOOTING
- TOFF TOP OF FOOTING AT FRONT
- TOFR TOP OF FOOTING AT REAR
- W.O.D. WALK OUT DECK
- W.O.B. WALK OUT BASEMENT
- H— HYDRO SERVICE LATERAL
- X— 1.5m BLACK VINYL CHAIN LINK FENCE
- ▨ EMBANKMENT 3:1 SLOPE
- ⊗ PROPOSED VALVE
- MAIL SUPER MAIL BOX
- ▨ PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
- REV REVERSE PLAN
- RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
- RETAINING WALL
- ACoustical FENCE (SEE LANDSCAPE PLAN)
- WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
- * THIS LOT CONTAINS ENGINEERED FILL
- (124) LOT GRADING HAS BEEN REVIEWED AND APPROVED BY ENGINEER

LOT INFORMATION

LEGAL ADDRESS:
BLOCK 56, L15-18

S.E. 1/4 SEC. 22, TWP. 25, RGE. 29, W. 4th M.
AND THE
S.E. 1/4 SEC. 23, TWP. 25, RGE. 29, W. 4th M.

LAND USE DESIGNATION:
DC 260D2019

OWNER NAME & ADDRESS:
MATTAMY HOMES
2583-29th STREET N.E.
CALGARY, ALBERTA, T1Y 7B5

TREE PLANTING SCHEDULE
B56 L15-18

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QTY
	Fraxinus pennsylvanica 'Heuer'	Foothills Green Ash	60mm cal.	3

CITYSCAPE PHASE 19

BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES

Calgary, AB

Mattamy Homes
Calgary Division

Project No. 12001

Scale AS NOTED

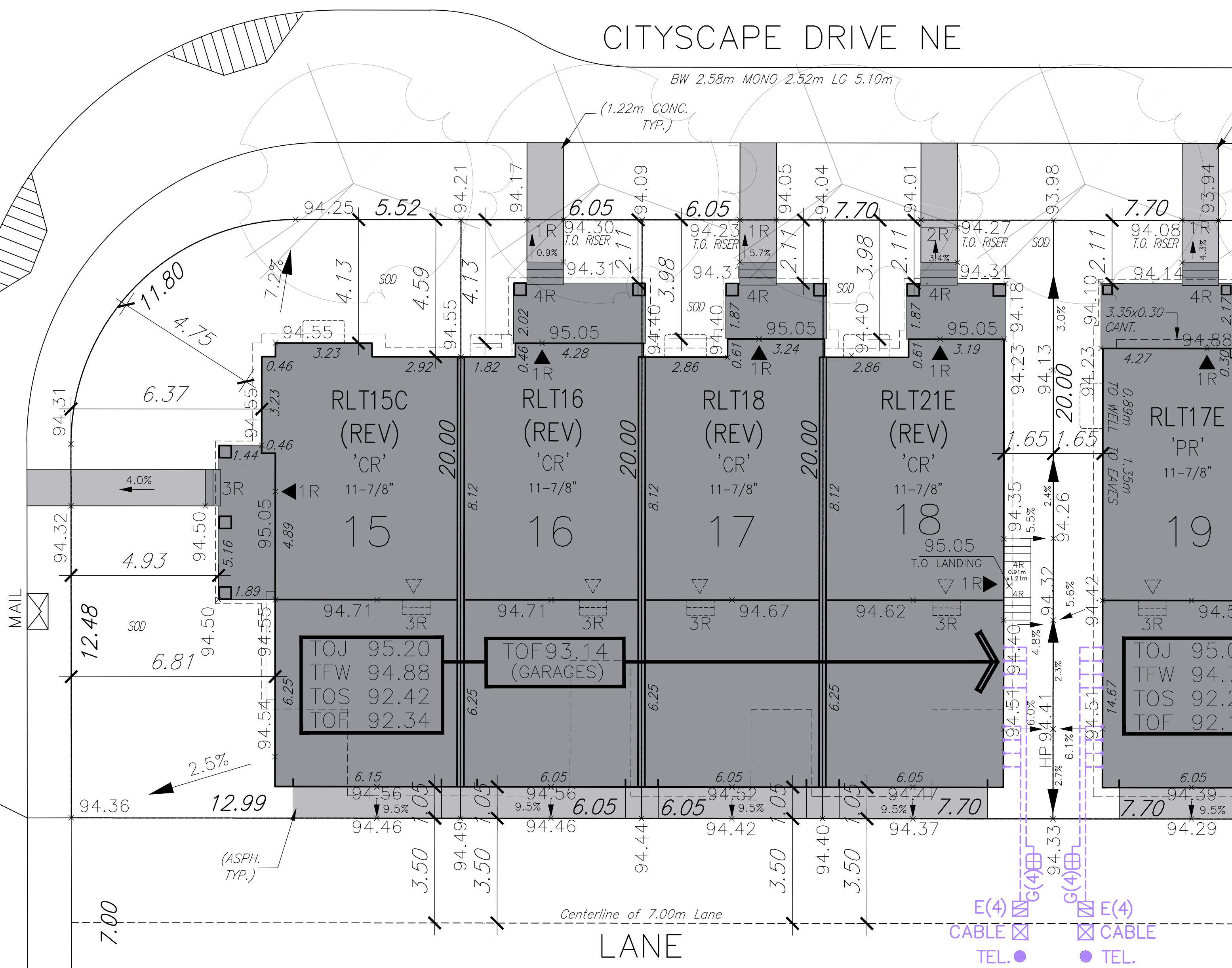
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Checked By CW

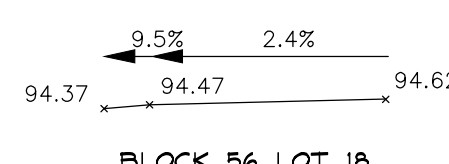
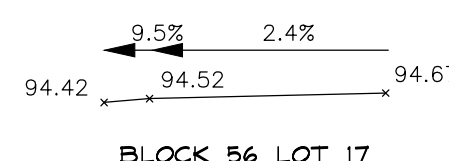
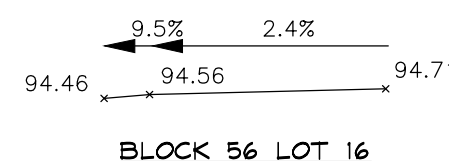
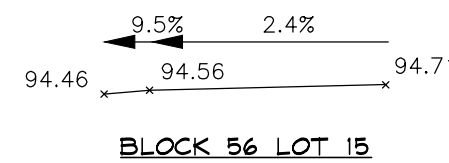
BLOCK 56 LOTS 15-18
SITE PLAN

CITYSCAPE DRIVE NE

CITYLINE GARDENS NE



SITE PLAN
SCALE: 1:100

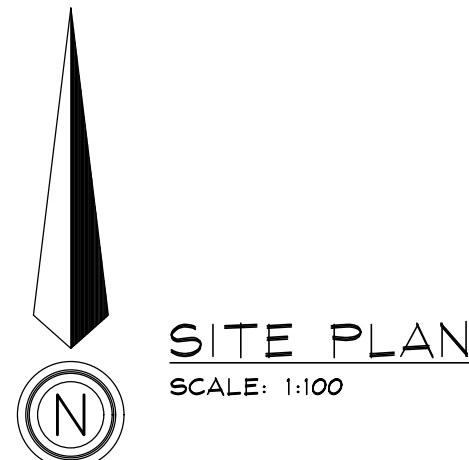
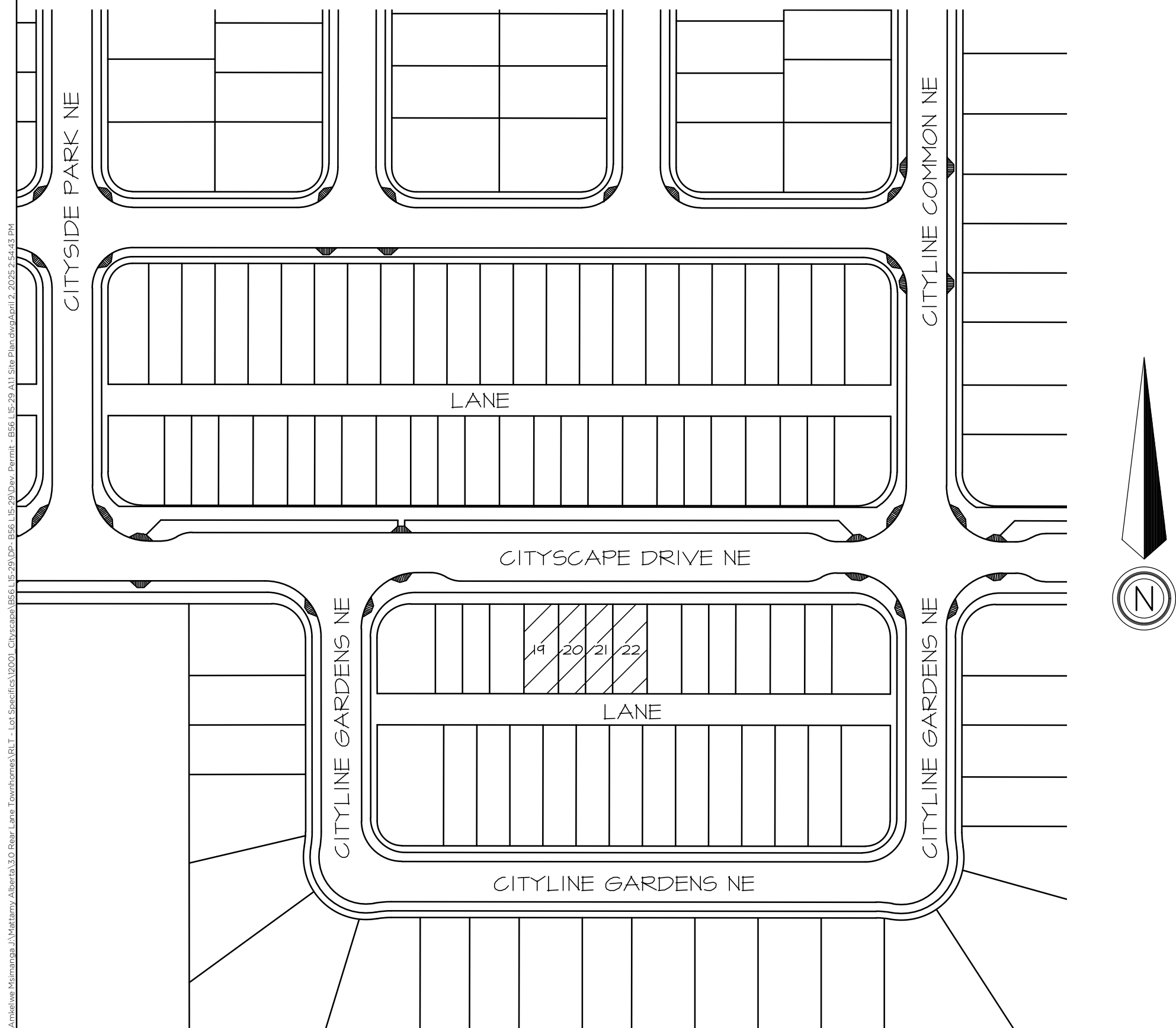
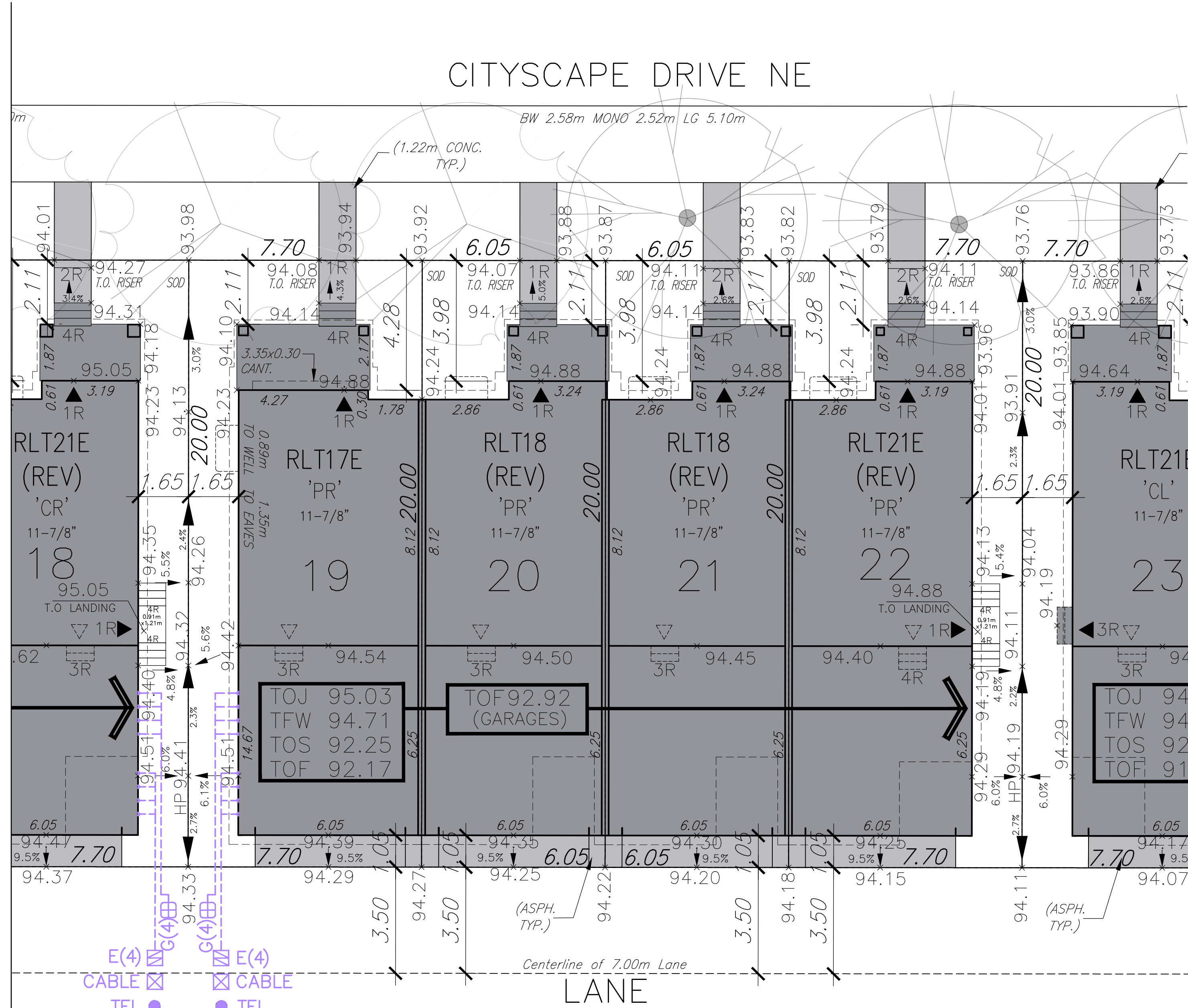


GARAGE SLAB & DRIVEWAY SECTIONS

SCALE: 1:200

KEY SITE PLAN
SCALE: 1:1000

BLOCK 56 SITE AREA CALCULATIONS															
MUNICIPAL ADDRESS	COVERAGE WITH PORCH (SQ. FT.)	COVERAGE WITH PORCH (SQ. M.)	GROSS FLOOR AREA (SQ. FT.)	GROSS FLOOR AREA (SQ. M.)	LOT AREA (SQ. M.)	LOT AREA (HECTARES)	COVERAGE PERCENTAGE	UNITS PER HECTARE	FLOOR AREA RATIO	GREEN SPACE (SQ. M.)	PERCENT OF GREEN SPACE PER TOTAL LOT AREA	HARD LANDSCAPED AREA (SQ.M.)	PORCH COVERAGE (SQ. M.)	BALCONY AREA (SQ. M.)	TOTAL AMENITY SPACE PROVIDED
LOT 15 173 CITYLINE GARDENS N.E. UNIT RLT15C-REV	1080 SF	100.34 SM	1412 SF	131.18 SM	248.16 SM	0.02 HA	40			135.93 SM	55%	11.89 SM	9.10 SM	7.90 SM	7.20 SM
LOT 16 9084 CITYSCAPE DRIVE N.E. UNIT RLT16-REV	1046 SF	97.18 SM	1342 SF	124.68 SM	121.00 SM	0.01 HA	80			14.89 SM	12%	8.93 SM	8.93 SM	12.26 SM	11.64 SM
LOT 17 9080 CITYSCAPE DRIVE N.E. UNIT RLT17-REV	1019 SF	94.67 SM	1380 SF	128.21 SM	121.00 SM	0.01 HA	78			17.40 SM	14%	8.93 SM	5.85 SM	7.62 SM	7.31 SM
LOT 18 9076 CITYSCAPE DRIVE N.E. UNIT RLT18-REV	1018 SF	94.58 SM	1412 SF	131.18 SM	153.94 SM	0.02 HA	61			51.01 SM	33%	8.35 SM	9.10 SM	7.90 SM	7.12 SM
TOTAL	4163 SF	386.76 SM	5546 SF	515.24 SM	644.10 SM	0.06 HA	60	93	0.80	219.24 SM	34%	38.10 SM	32.98 SM	35.68 SM	33.27 SM



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 - 4.0M FROM STREET LIGHTS
 - 3.5M FROM TRANSFORMERS
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- LP LIGHT POLE
 - H HYDRANT
 - TRANSFORMER
 - WATER SERVICE
 - DOUBLE STM. CONNECTION
 - SINGLE STM. CONNECTION
 - CATCH BASIN
 - EXTERIOR DOOR LOCATION
 - (R= No. OF RISERS)
 - SIDE WINDOW LOCATION
 - SWALE DIRECTION
 - STREET SIGN
 - CABLE TELEVISION PEDESTAL
 - BELL PEDESTAL
 - GROUND FLOOR
 - TOJ TOP OF JOISTS
 - TOFW TOP OF FOUNDATION WALL
 - TOS TOP OF SLAB
 - TOF TOP OF FOOTING
 - TOFF TOP OF FOOTING AT FRONT
 - TOFR TOP OF FOOTING AT REAR
 - W.O.D. WALK OUT DECK
 - W.O.B. WALK OUT BASEMENT
 - H HYDRO SERVICE LATERAL
 - 1.5m BLACK VINYL CHAIN LINK FENCE
 - EMBANKMENT 3:1 SLOPE
 - PROPOSED VALVE
 - SUPER MAIL BOX
 - PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
 - REVERSE PLAN
 - RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
 - RETAINING WALL
 - ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
 - WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
 - THIS LOT CONTAINS ENGINEERED FILL
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LOT INFORMATION

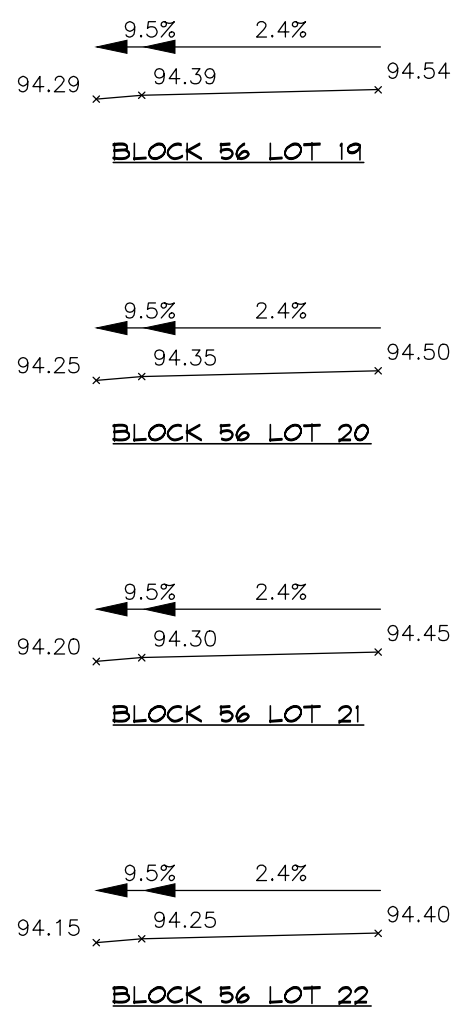
LEGAL ADDRESS:
BLOCK 56, L19-22

S.E. 1/4 SEC. 22, TWP. 25, RGE. 29, W. 4th M.
AND THE
S.E. 1/4 SEC. 23, TWP. 25, RGE. 29, W. 4th M.

LAND USE DESIGNATION:
DC 260D2019

OWNER NAME & ADDRESS:
MATTAMY HOMES
2583-29th STREET N.E.
CALGARY, ALBERTA, T1Y 7B5

TREE PLANTING SCHEDULE B56 L19-22				
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QTY
	Fraxinus pennsylvanica 'Penny'	Foothills Green Ash	60mm cal.	2
	Alnus hirsuta 'Harbin'	Prairie Horizon Manchurian Alder	60mm cal.	2



GARAGE SLAB & DRIVEWAY SECTIONS
SCALE: 1:200

BLOCK 56 SITE AREA CALCULATIONS																
MUNICIPAL ADDRESS	COVERAGE WITH PORCH (SQ. FT.)	COVERAGE WITH PORCH (SQ. M.)	GROSS FLOOR AREA (SQ. FT.)	GROSS FLOOR AREA (SQ. M.)	LOT AREA (SQ. M.)	LOT AREA (HECTARES)	COVERAGE PERCENTAGE	UNITS PER HECTARE	FLOOR AREA RATIO	GREEN SPACE (SQ. M.)	PERCENT OF GREEN SPACE PER TOTAL LOT AREA	HARD LANDSCAPED AREA (SQ.M.)	PORCH COVERAGE (SQ. M.)	BALCONY AREA (SQ. M.)	TOTAL AMENITY SPACE PROVIDED	NUMBER OF PARKING STALLS PROVIDED
LOT 19 9072 CITYSCAPE DRIVE N.E. UNIT RLT17E	1046 SF	97.18 SM	1496 SF	138.98 SM	153.94 SM	0.02 HA	63			48.41 SM	31%	8.35 SM	9.01 SM	0.00 SM	7.32 SM	2
LOT 20 9068 CITYSCAPE DRIVE N.E. UNIT RLT18-REV	1019 SF	94.67 SM	1380 SF	128.21 SM	121.00 SM	0.01 HA	78			17.40 SM	14%	8.93 SM	5.85 SM	7.62 SM	7.31 SM	2
LOT 21 9064 CITYSCAPE DRIVE N.E. UNIT RLT18-REV	1019 SF	94.67 SM	1380 SF	128.21 SM	121.00 SM	0.01 HA	78			17.40 SM	14%	8.93 SM	5.85 SM	7.62 SM	7.31 SM	2
LOT 22 9060 CITYSCAPE DRIVE N.E. UNIT RLT21E-REV	1018 SF	94.58 SM	1373 SF	127.56 SM	153.94 SM	0.02 HA	61			51.01 SM	33%	8.35 SM	5.76 SM	7.80 SM	7.12 SM	2
TOTAL	4102 SF	381.09 SM	5629 SF	522.95 SM	549.88 SM	0.05 HA	69	109	0.95	134.23 SM	24%	34.56 SM	26.47 SM	23.04 SM	29.06 SM	8

Q4A
ARCHITECT

Q4 ARCHITECT (ALBERTA) INC.

Office #29
1206 20 Avenue SE
Calgary, Alberta
T2G 1M6

T. 403.735.1130
E. info@q4architects.com

Corporate Permit No.

Architect's Seal

The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work.

Drawings are NOT to be scaled. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.

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1 ISSUED FOR DEVELOPMENT PERMIT 2025.04.03 AM
Issued / Revision Chart

CITYSCAPE PHASE 19

BLOCK 56 - LOTS 15-29 REAR LANE TOWNHOMES

Calgary, AB

Mattamy Homes
Calgary Division

Project No. 12001

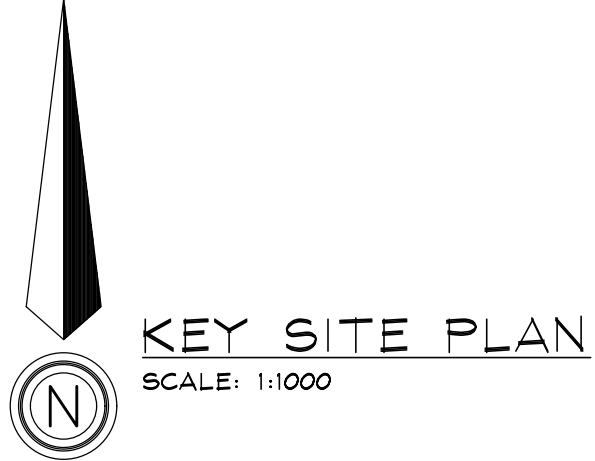
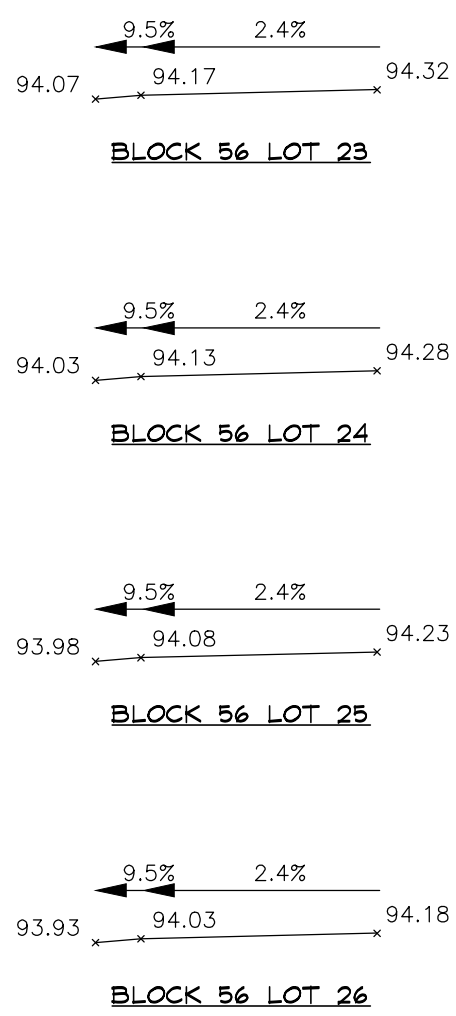
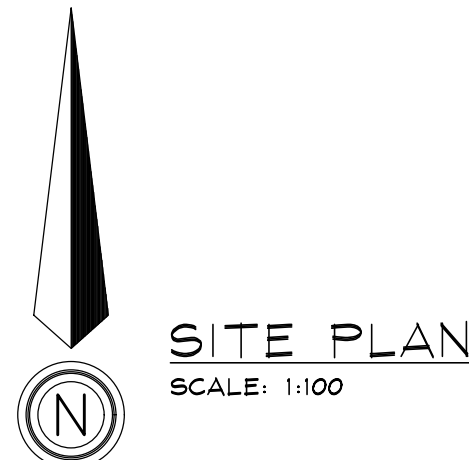
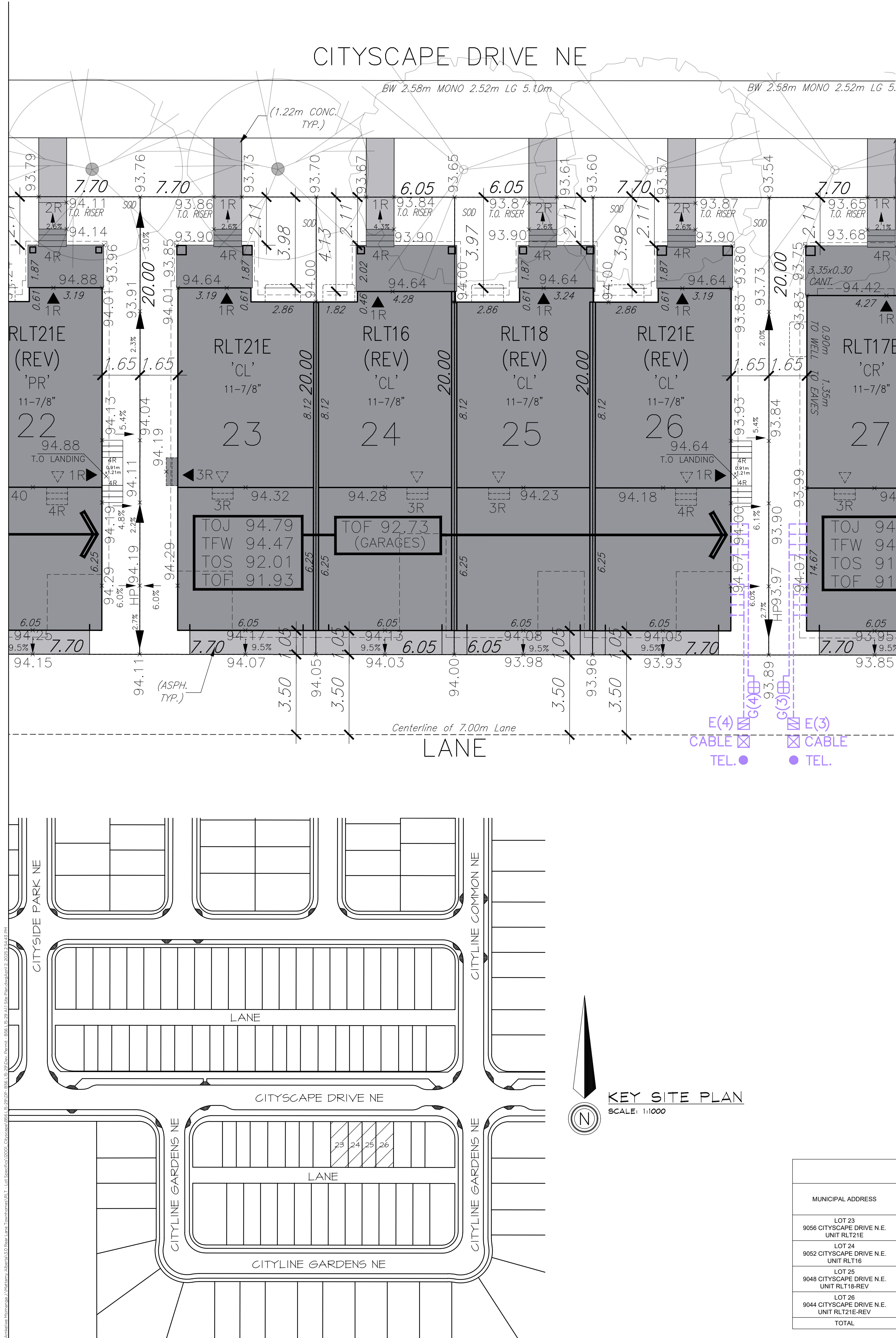
Scale AS NOTED

Drawn By AM

Checked By CW

BLOCK 56 LOTS 19-22 SITE PLAN

A1.2



BLOCK 56 SITE AREA CALCULATIONS																
MUNICIPAL ADDRESS	COVERAGE WITH PORCH (SQ. FT.)	COVERAGE WITH PORCH (SQ. M.)	GROSS FLOOR AREA (SQ. FT.)	GROSS FLOOR AREA (SQ. M.)	LOT AREA (SQ. M.)	LOT AREA (HECTARES)	COVERAGE PERCENTAGE	UNITS PER HECTARE	FLOOR AREA RATIO	GREEN SPACE (SQ. M.)	PERCENT OF GREEN SPACE PER TOTAL LOT AREA	HARD LANDSCAPED AREA (SQ. M.)	PORCH COVERAGE (SQ. M.)	BALCONY AREA (SQ. M.)	TOTAL AMENITY SPACE PROVIDED	NUMBER OF PARKING STALLS PROVIDED
LOT 23 9056 CITYSCAPE DRIVE N.E. UNIT RLT21E	1018 SF	94.58 SM	1373 SF	127.56 SM	153.94 SM	0.02 HA	61	109	0.92	51.01 SM	33%	8.35 SM	5.76 SM	7.80 SM	7.12 SM	2
LOT 24 9052 CITYSCAPE DRIVE N.E. UNIT RLT16	1046 SF	97.18 SM	1342 SF	124.68 SM	121.00 SM	0.01 HA	80			14.89 SM	12%	8.94 SM	8.36 SM	12.26 SM	11.64 SM	2
LOT 25 9048 CITYSCAPE DRIVE N.E. UNIT RLT18-REV	1019 SF	94.67 SM	1380 SF	128.21 SM	121.00 SM	0.01 HA	78			17.40 SM	14%	8.93 SM	5.85 SM	7.62 SM	7.31 SM	2
LOT 26 9044 CITYSCAPE DRIVE N.E. UNIT RLT21E-REV	1018 SF	94.58 SM	1373 SF	127.56 SM	153.94 SM	0.02 HA	61			51.01 SM	33%	8.35 SM	5.76 SM	7.80 SM	7.12 SM	2
TOTAL	4101 SF	381.00 SM	5468 SF	507.99 SM	549.88 SM	0.05 HA	69			134.32 SM	24%	34.57 SM	25.73 SM	35.48 SM	33.19 SM	8

GENERAL NOTES

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LEGEND

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- H HYDRANT
- TRANSFORMER
- WATER SERVICE
- DOUBLE STM. CONNECTION
- SINGLE STM. CONNECTION
- CATCH BASIN
- EXTERIOR DOOR LOCATION
- (R= No. OF RISERS)
- SIDE WINDOW LOCATION
- SWALE DIRECTION
- STREET SIGN
- CABLE TELEVISION PEDESTAL
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- GROUND FLOOR
- TOJ TOP OF JOISTS
- TOFW TOP OF FOUNDATION WALL
- TOS TOP OF SLAB
- TOF TOP OF FOOTING
- TOFF TOP OF FOOTING AT FRONT
- TOFR TOP OF FOOTING AT REAR
- W.O.D. WALK OUT DECK
- W.O.B. WALK OUT BASEMENT
- HYDRO SERVICE LATERAL
- 1.5m BLACK VINYL CHAIN LINK FENCE
- EMBANKMENT 3:1 SLOPE
- PROPOSED VALVE
- SUPER MAIL BOX
- REVERSE PLAN
- RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
- RETAINING WALL
- ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
- WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
- THIS LOT CONTAINS ENGINEERED FILL
- LOT GRADING HAS BEEN REVIEWED AND APPROVED BY ENGINEER

LOT INFORMATION

LEGAL ADDRESS:
BLOCK 56, LOTS 23-26

S.E. 1/4 SEC. 22, TWP. 25, RGE. 29, W. 4th M.
AND THE
S.E. 1/4 SEC. 23, TWP. 25, RGE. 29, W. 4th M.

LAND USE DESIGNATION:
DC 260D2019

OWNER NAME & ADDRESS:
MATTAMY HOMES
2583-29th STREET N.E.
CALGARY, ALBERTA, T1Y 7B5

TREE PLANTING SCHEDULE B56 L23-26				
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QTY
	<i>Alnus Hirsuta 'Harbin'</i>	Prairie-Horizon Manchurian Alder	60mm cal.	1
	<i>Ulmus Americana</i>	American Elm	60mm cal.	2

Q4A

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Corporate Permit No.

Architect's Seal

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Issued / Revision Chart

CITYSCAPE PHASE 19

**BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES**

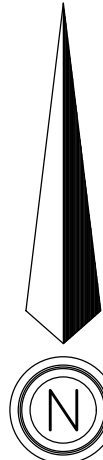
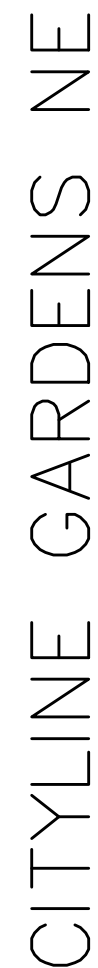
Calgary, AB

**Mattamy Homes
Calgary Division**

Project No. 12001
Scale AS NOTED
Drawn By AM
Checked By CW

**BLOCK 56 LOTS 23-26
SITE PLAN**

A1.3



SITE PLAN NOTE

1. SITE GRADING INFORMATION PROVIDED ON THIS PLAN IS FOR REFERENCE ONLY AND MUST BE REVIEWED BY A REGISTERED ENGINEER TO ENSURE IT MEETS THE REQUIREMENTS OF THE BUILDING GRADE PLAN

LOT INFORMATION
LEGAL ADDRESS: BLOCK 56, LOTS 27-29 S. E. $\frac{1}{4}$ SEC.22, TWP.25, RGE.29, W. 4th M. AND THE S. E. $\frac{1}{4}$ SEC.23, TWP.25, RGE.29, W. 4th M. LAND USE DESIGNATION: DC 260D2019 OWNER NAME & ADDRESS: MATTAMY HOMES 2583-29 STREET N.E. CALGARY, ALBERTA, T1Y 7B5

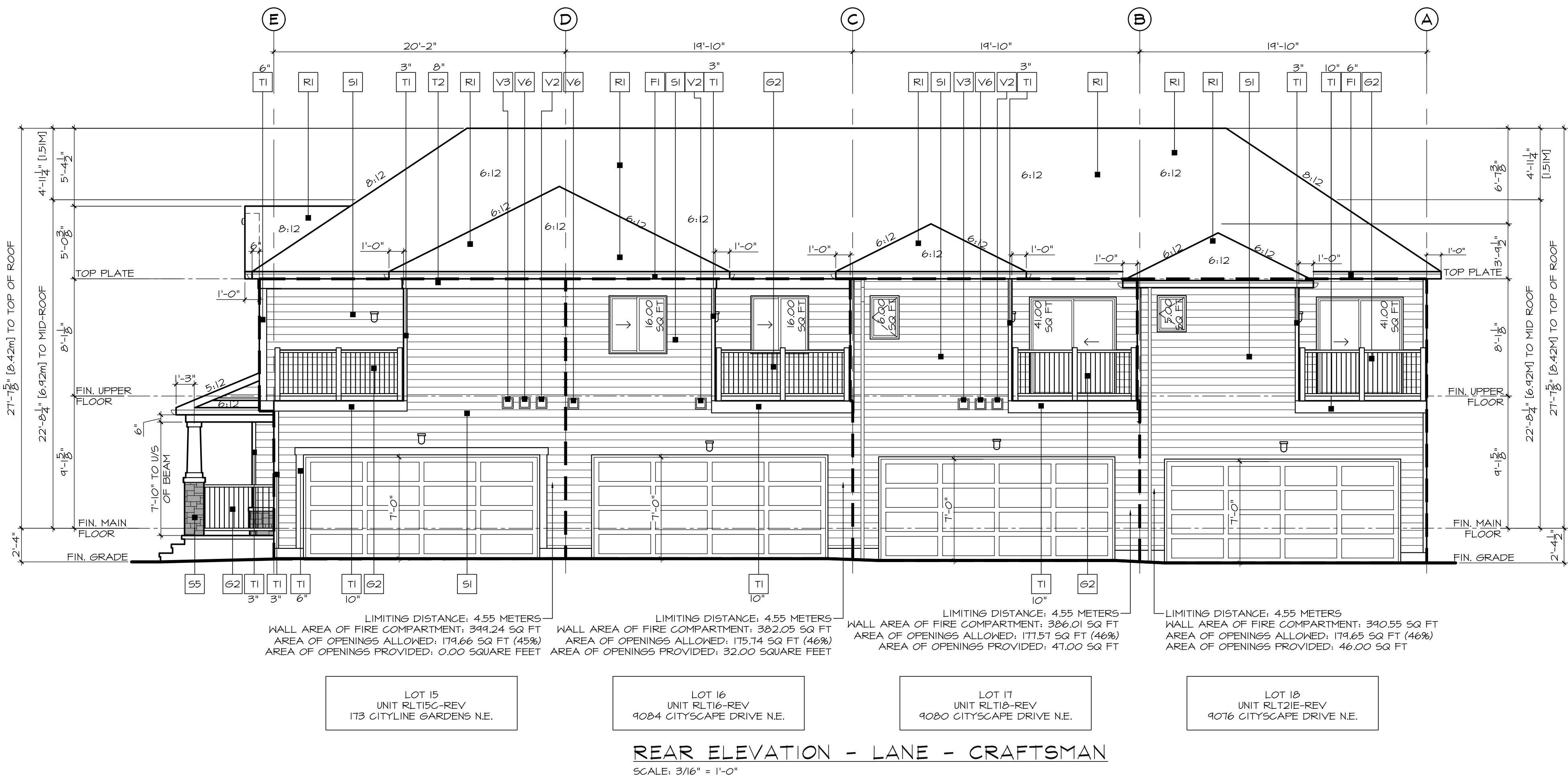
[illegible]

A1.4

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FRONT ELEVATION - CITYSCAPE DRIVE NE - CRAFTSMAN
SCALE: 3/16" = 1'-0"



REAR ELEVATION - LANE - CRAFTSMAN
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
#	DENOTES NOTE LOCATION ON PLAN
ROOFING:	
R1	ASPHALT SHINGLES
R2	STANDING SEAM METAL ROOF
SIDING:	
S1	HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2	SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3	BOARD AND BATTEN SIDING
S4	PANEL SIDING (NON-COMBUSTIBLE)
S5	MANUFACTURED STONE SIDING
S6	MANUFACTURED BRICK SIDING
TRIMS AND PANELS:	
T1	TRIM
T2	FRIEZE BOARD
T3	RESERVED
T4	SMART PLY (PORCH ONLY)
T5	3" SMART TRIM (PORCH ONLY)
DECK CLADDING:	
D1	SMARTBOARD TRIMS
FASCIA:	
F1	PRE-FINISHED ALUMINUM CLAD FASCIA
F2	TIMBER FASCIA
F3	FIBER CEMENT FASCIA
GUADRAILS:	
G1	42" PRESSURE TREATED WOOD HANDRAIL WITH MAX. 4" SPACING BETWEEN PICKETS
G2	42" PRE-FINISHED ALUMINUM RAILING
G3	42" PRE-FINISHED ALUMINUM RAILING WITH GLASS PANEL
ACCESSORIES:	
A1	18" WIDE SHUTTER
A2	24" x 14" RECTANGLE LOUVER
VENT LOCATIONS:	
V1	FURNACE EXHAUST
V2	POWDER BATH FAN EXHAUST
V3	RANGE EXHAUST (ROOF JACK IF APPLICABLE)
V4	HRV INTAKE (SOFFIT MOUNTED IF APPLICABLE)
V5	HRV EXHAUST
V6	DRYER EXHAUST
NOTE:	
1.	FOR MORE INFORMATION SEE ELEVATION DETAILS ON SHEET A5.1
ELEVATION NOTE	
1. FOR THERMAL TRANSMITTANCE VALUES OF WINDOWS AND DOORS SEE PERFORMANCE ENERGY MODEL CALCULATIONS.	
2. ALL WINDOWS, FOR ALL UNITS, TO BE PROVIDED WITH TRIPLE PANE GLAZING.	
3. MAIN, ENSUITE, AND FUTURE BATHS FAN TIED INTO HRV	

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1 ISSUED FOR DEVELOPMENT PERMIT 2025.04.03 AM
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CITYSCAPE PHASE 19

**BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES**

'CRAFTSMAN'

Calgary, AB

**Mattamy Homes
Calgary Division**

Project No. 12001

Scale 3/16" = 1'-0"

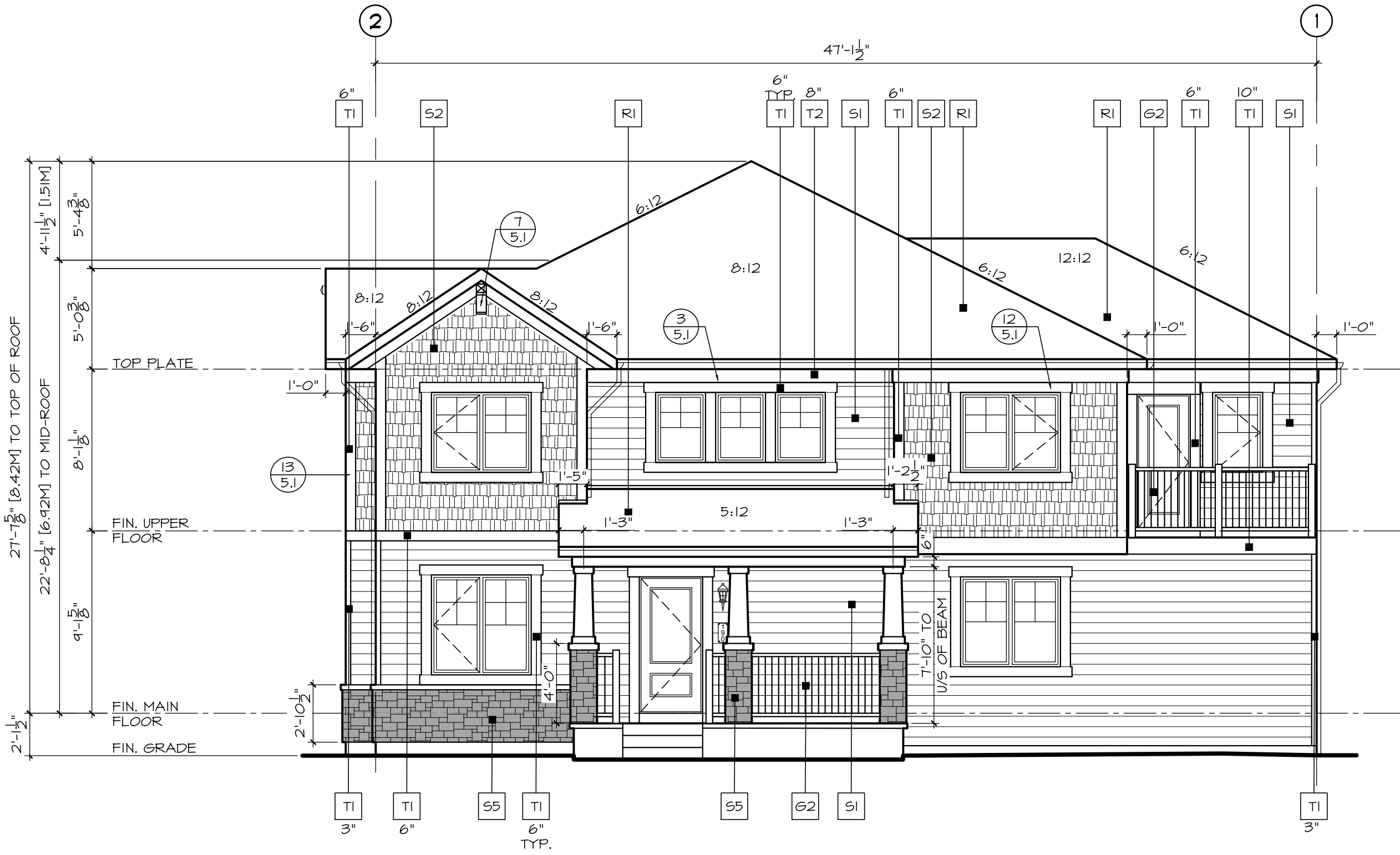
Drawn By AM

Checked By CW

**ELEVATIONS
BLOCK 56
LOTS 15-18**

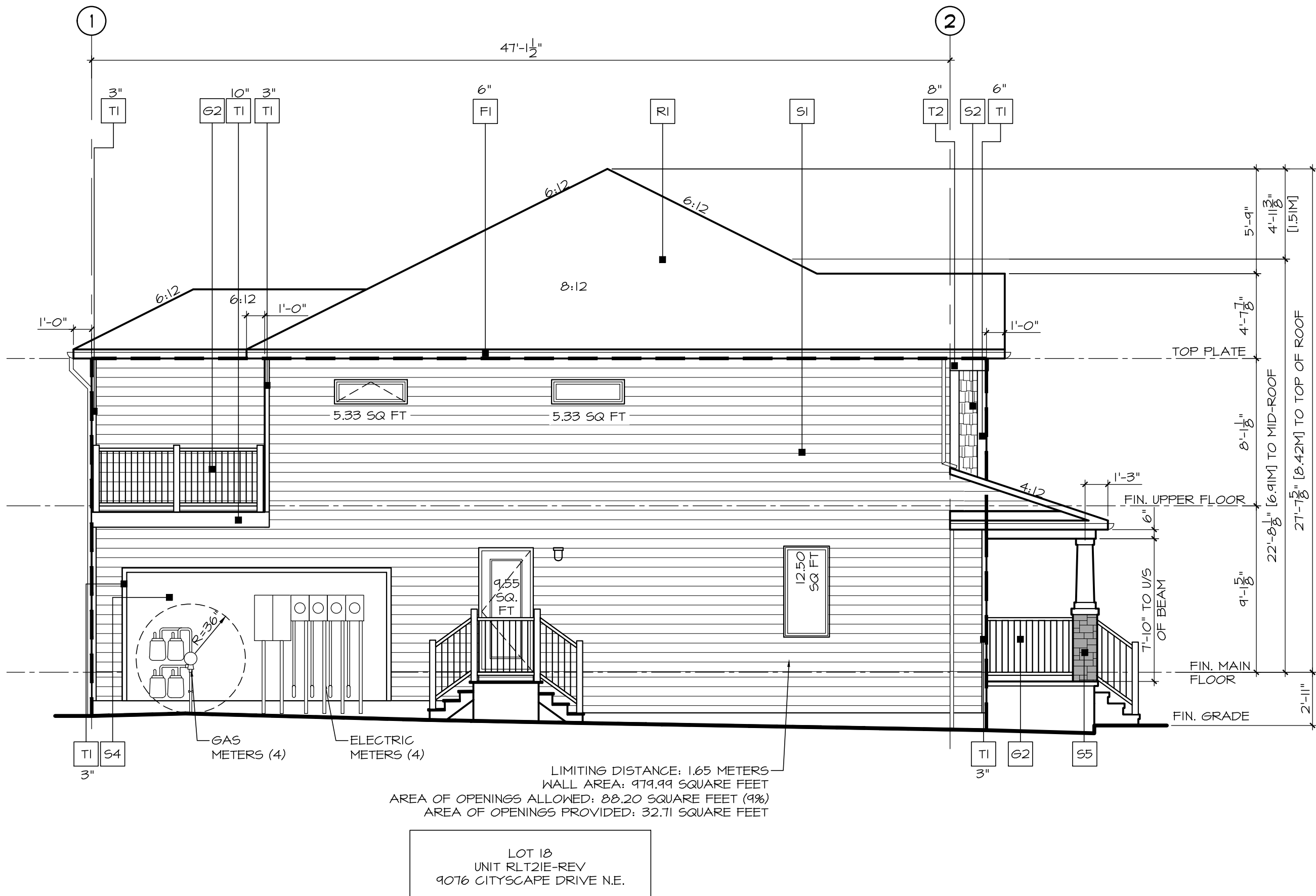
A2.5

Architects: Q4 Architect (Alberta) Inc. 1206 20 Avenue SE, Calgary, Alberta T2G 1M6. Phone: 403.735.1130. Email: info@q4architects.com. Project: 173 Cityline Gardens NE. Date: 2025.04.03 AM.



LOT 15
UNIT RL15C-REV
173 CITYLINE GARDENS NE.

RIGHT SIDE ELEVATION - CITYLINE GARDENS NE - CRAFTSMAN
SCALE: 3/16" = 1'-0"



LOT 18
UNIT RL18C-REV
173 CITYLINE GARDENS NE.

LEFT SIDE ELEVATION - CRAFTSMAN
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
#	DENOTES NOTE LOCATION ON PLAN
ROOFING:	
R1	ASPHALT SHINGLES
R2	STANDING SEAM METAL ROOF
SIDING:	
S1	HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2	SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3	BOARD AND BATTEN SIDING
S4	PANEL SIDING (NON-COMBUSTIBLE)
S5	MANUFACTURED STONE SIDING
S6	MANUFACTURED BRICK SIDING
TRIMS AND PANELS:	
T1	TRIM
T2	FRIEZE BOARD
T3	RESERVED
T4	SMART PLY (PORCH ONLY)
T5	3" SMART TRIM (PORCH ONLY)
DECK CLADDING:	
D1	SMARTBOARD TRIMS
FASCIA:	
F1	PRE-FINISHED ALUMINUM CLAD FASCIA
F2	TIMBER FASCIA
F3	FIBER CEMENT FASCIA
GUADRAILS:	
G1	42" PRESSURE TREATED WOOD HANDRAIL WITH MAX. 4" SPACING BETWEEN PICKETS
G2	42" PRE-FINISHED ALUMINUM RAILING
G3	42" PRE-FINISHED ALUMINUM RAILING WITH GLASS PANEL
ACCESSORIES:	
A1	18" WIDE SHUTTER
A2	24" x 14" RECTANGLE LOUVER
VENT LOCATIONS:	
V1	FURNACE EXHAUST
V2	POWDER BATH FAN EXHAUST
V3	RANGE EXHAUST (ROOF JACK IF APPLICABLE)
V4	HRV INTAKE (SOFFIT MOUNTED IF APPLICABLE)
V5	HRV EXHAUST
V6	DRYER EXHAUST
NOTE:	
1.	FOR MORE INFORMATION SEE ELEVATION DETAILS ON SHEET A5.1
ELEVATION NOTE	
1. FOR THERMAL TRANSMITTANCE VALUES OF WINDOWS AND DOORS SEE PERFORMANCE ENERGY MODEL CALCULATIONS.	
2. ALL WINDOWS, FOR ALL UNITS, TO BE PROVIDED WITH TRIPLE PANE GLAZING.	
3. MAIN, ENSUITE, AND FUTURE BATHS FAN TIED INTO HRV	

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CITYSCAPE PHASE 19

BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES

'CRAFTSMAN'

Calgary, AB

Mattamy Homes
Calgary Division

Project No. 12001

Scale 3/16" = 1'-0"

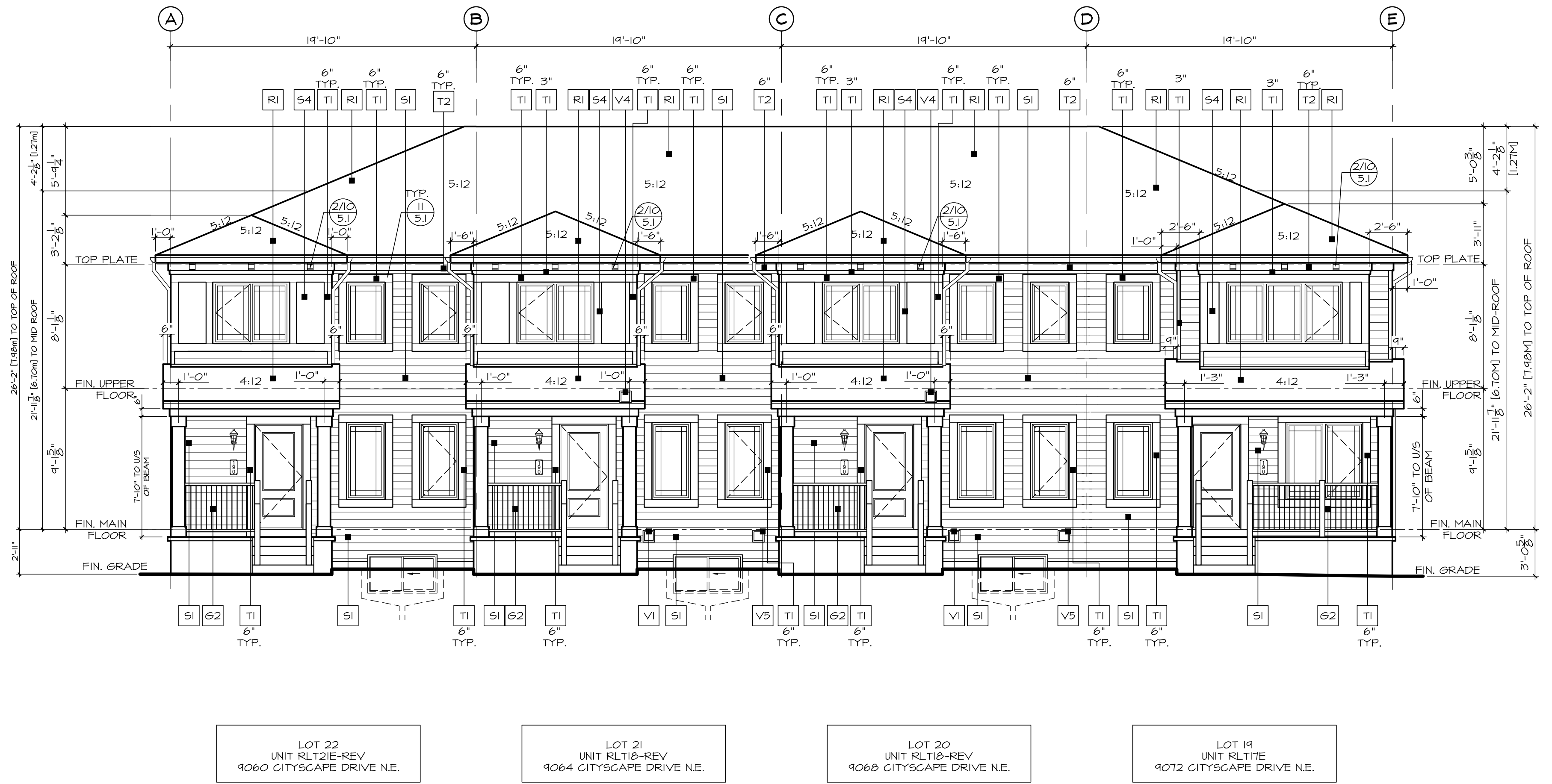
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Checked By CW

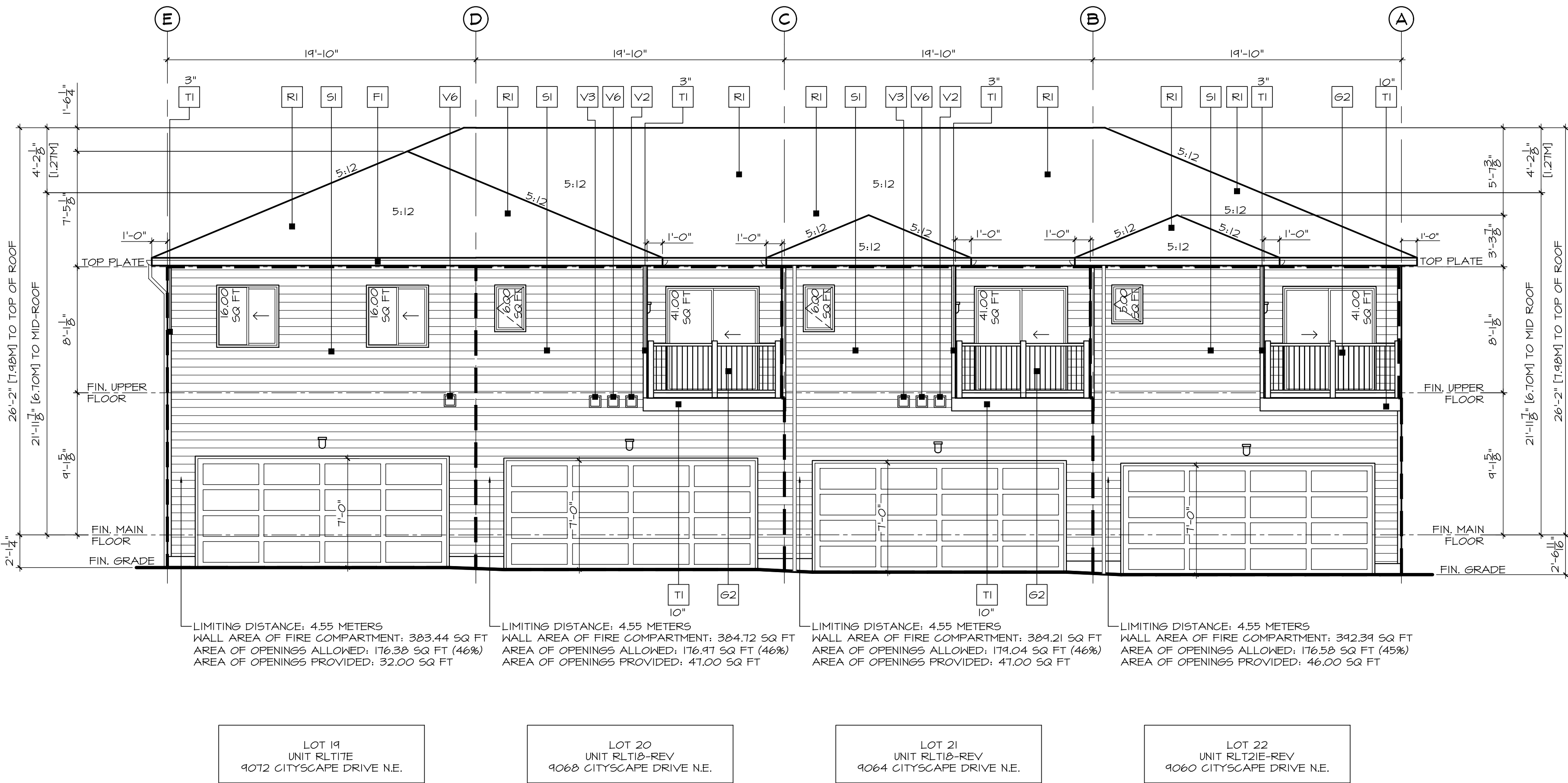
ELEVATIONS
LOTS 15-18

A2.6

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FRONT ELEVATION - CITYSCAPE DRIVE NE - PRAIRIE
SCALE: 3/16" = 1'-0"



REAR ELEVATION - LANE - PRAIRIE
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND

DENOTES NOTE LOCATION ON PLAN

ROOFING:

R1. ASPHALT SHINGLES
R2. STANDING SEAM METAL ROOF

SIDING:

S1. HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2. SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3. BOARD AND BATTEN SIDING
S4. PANEL SIDING (NON-COMBUSTIBLE)
S5. MANUFACTURED STONE SIDING
S6. MANUFACTURED BRICK SIDING

TRIMS AND PANELS:

T1. TRIM
T2. FRIEZE BOARD
T3. RESERVED
T4. SMART PLY (PORCH ONLY)
T5. 3" SMART TRIM (PORCH ONLY)

DECK CLADDING:

D1. SMARTBOARD TRIMS

FASCIA:

F1. PRE-FINISHED ALUMINUM CLAD FASCIA
F2. TIMBER FASCIA
F3. FIBER CEMENT FASCIA

GUADRAILS:

G1. 42" PRESSURE TREATED WOOD HANDRAIL WITH MAX. 4" SPACING BETWEEN PICKETS
G2. 42" PRE-FINISHED ALUMINUM RAILING
G3. 42" PRE-FINISHED ALUMINUM RAILING WITH GLASS PANEL

ACCESSORIES:

A1. 18" WIDE SHUTTER
A2. 24" x 14" RECTANGLE LOUVER

VENT LOCATIONS:

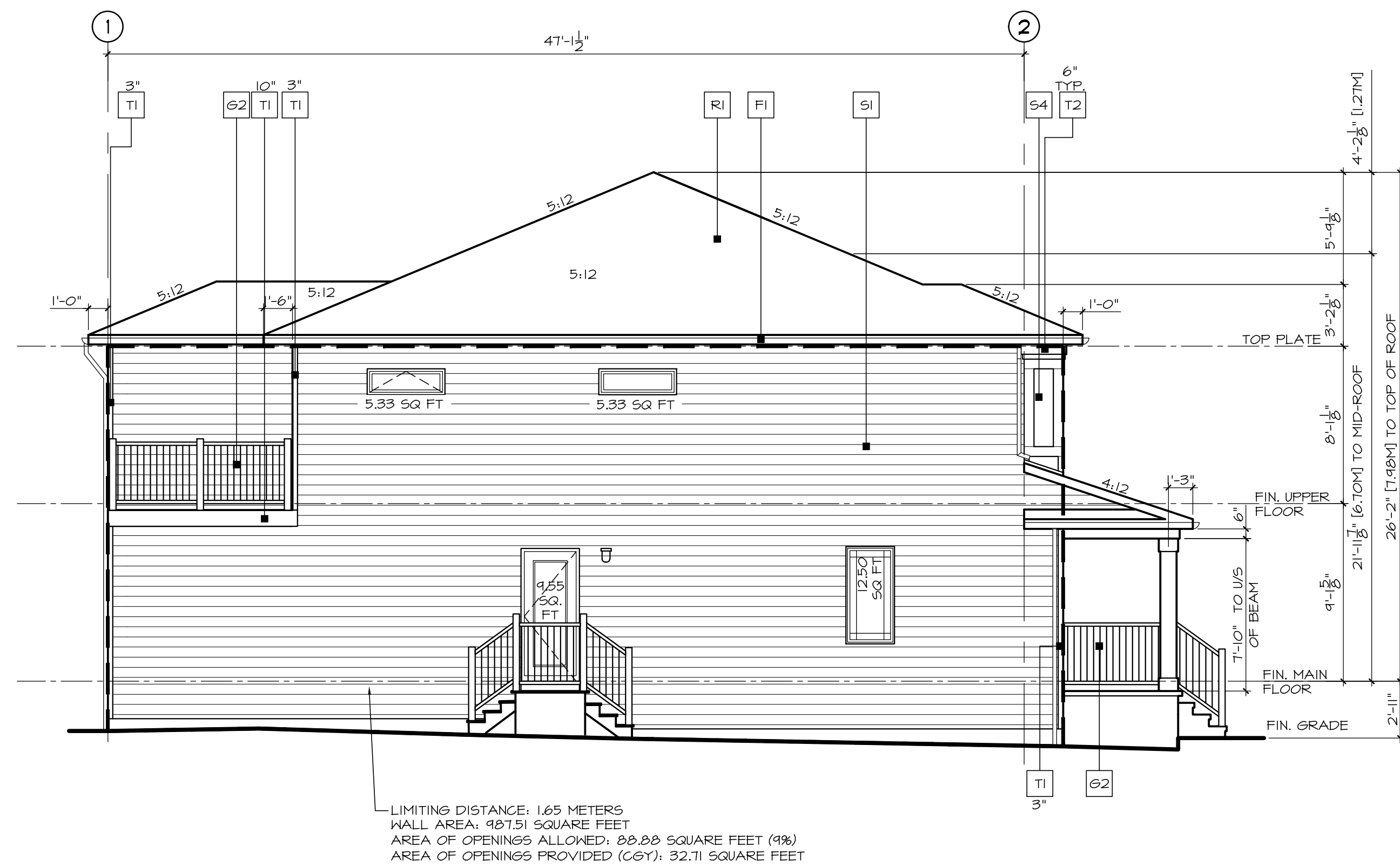
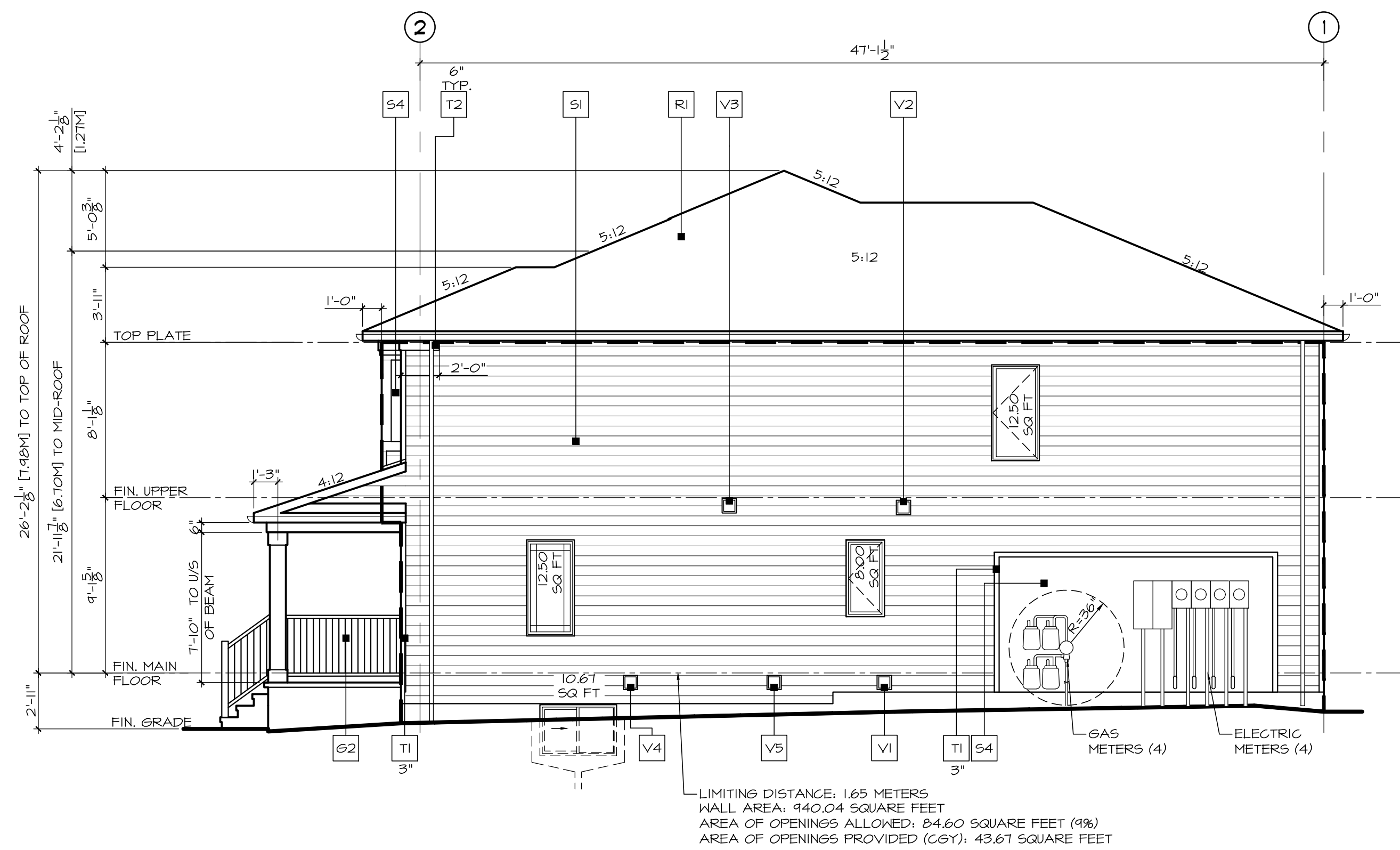
V1. FURNACE EXHAUST
V2. POWDER BATH FAN EXHAUST
V3. RANGE EXHAUST (ROOF JACK IF APPLICABLE)
V4. HRV INTAKE (SOFFIT MOUNTED IF APPLICABLE)
V5. HRV EXHAUST
V6. DRYER EXHAUST

NOTE:

1. FOR MORE INFORMATION SEE ELEVATION DETAILS ON SHEET A5.1

ELEVATION NOTE

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MATERIAL LEGEND	
#	DENOTES NOTE LOCATION ON PLAN
ROOFING:	
R1	ASPHALT SHINGLES
R2	STANDING SEAM METAL ROOF
SIDING:	
S1	HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2	SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3	BOARD AND BATTEN SIDING
S4	PANEL SIDING (NON-COMBUSTIBLE)
S5	MANUFACTURED STONE SIDING
S6	MANUFACTURED BRICK SIDING
TRIMS AND PANELS:	
T1	TRIM
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T5	3" SMART TRIM (PORCH ONLY)
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D1	SMARTBOARD TRIMS
FASCIA:	
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F3	FIBER CEMENT FASCIA
GUADRAILS:	
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G2	42" PRE-FINISHED ALUMINUM RAILING
G3	42" PRE-FINISHED ALUMINUM RAILING WITH GLASS PANEL
ACCESSORIES:	
A1	18" WIDE SHUTTER
A2	24" x 24" RECTANGLE LOUVER
VENT LOCATIONS:	
V1	FURNACE EXHAUST
V2	POWDER BATH PAN EXHAUST
V3	RANGE EXHAUST (ROOF JACK IF APPLICABLE)
V4	HRV INTAKE (SOFFIT MOUNTED IF APPLICABLE)
V5	HRV EXHAUST
V6	DRYER EXHAUST
NOTE:	
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CITYSCAPE PHASE 19

**BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES**

'PRAIRIE'

Calgary, AB

**Mattamy Homes
Calgary Division**

Project No. 12001

Scale 3/16" - 1'-0"

Drawn By AM

Checked By **CW**

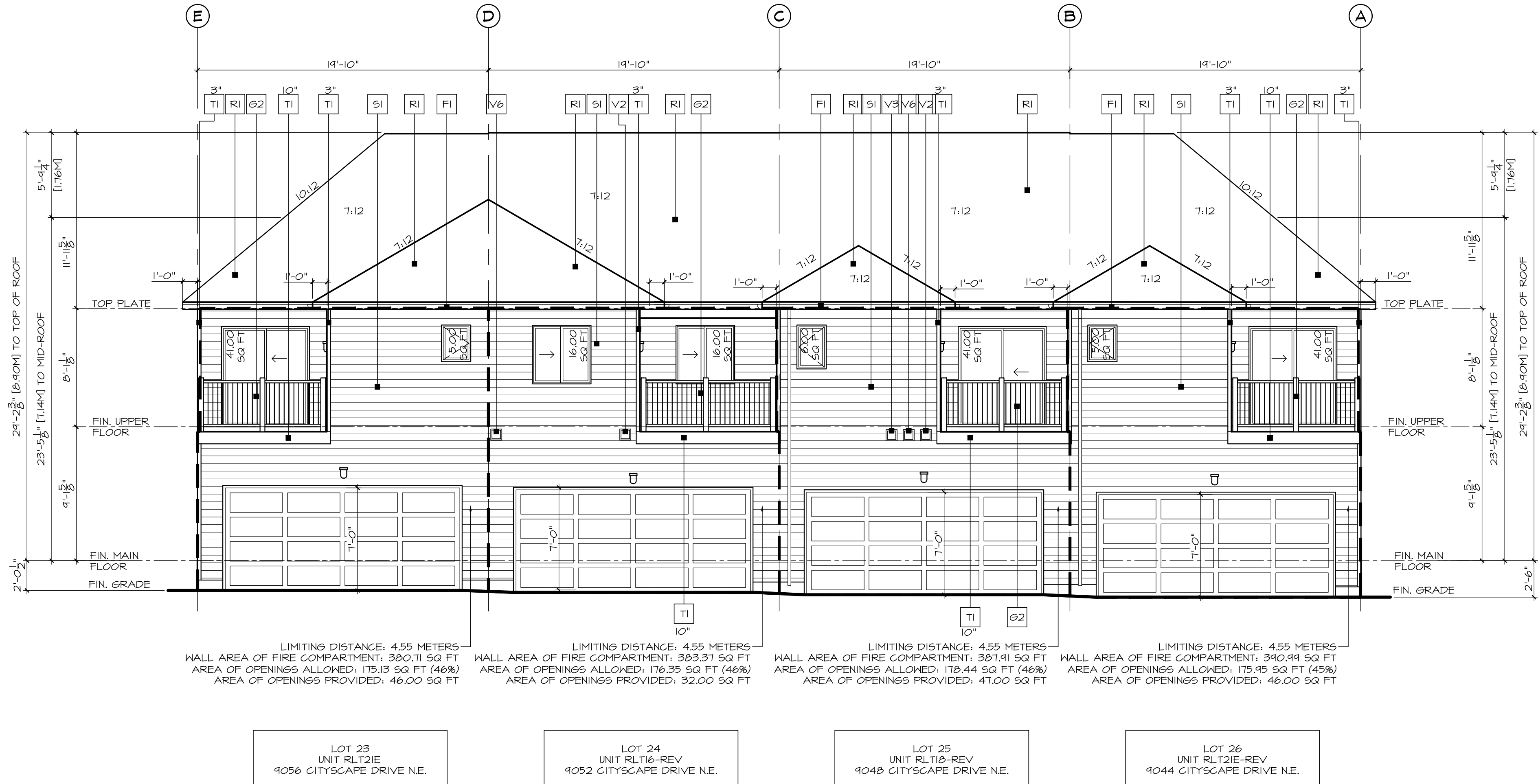
ELEVATIONS LOTS 19-22

A3.6

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FRONT ELEVATION - CITYSCAPE DRIVE N.E. - COLONIAL
SCALE: 3/16" = 1'-0"



REAR ELEVATION - LANE - COLONIAL
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
#	DENOTES NOTE LOCATION ON PLAN
ROOFING:	
R1	ASPHALT SHINGLES
R2	STANDING SEAM METAL ROOF
SIDING:	
S1	HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2	SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3	BOARD AND BATTEN SIDING
S4	PANEL SIDING (NON-COMBUSTIBLE)
S5	MANUFACTURED STONE SIDING
S6	MANUFACTURED BRICK SIDING
TRIMS AND PANELS:	
T1	TRIM
T2	FRIEZE BOARD
T3	RESERVED
T4	SMART PLY (PORCH ONLY)
T5	3" SMART TRIM (PORCH ONLY)
DECK CLADDING:	
D1	SMARTBOARD TRIMS
FASCIA:	
F1	PRE-FINISHED ALUMINUM CLAD FASCIA
F2	TIMBER FASCIA
F3	FIBER CEMENT FASCIA
GUADRAILS:	
G1	42" PRESSURE TREATED WOOD HANDRAIL WITH MAX. 4" SPACING BETWEEN PICKETS
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G3	42" PRE-FINISHED ALUMINUM RAILING WITH GLASS PANEL
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V2	POWDER BATH FAN EXHAUST
V3	RANGE EXHAUST (ROOF JACK IF APPLICABLE)
V4	HRV INTAKE (SOFFIT MOUNTED IF APPLICABLE)
V5	HRV EXHAUST
V6	DRYER EXHAUST
NOTE:	
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CITYSCAPE PHASE 19

BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES

'COLONIAL'

Calgary, AB

Mattamy Homes
Calgary Division

Project No. 12001

Scale 3/16" = 1'-0"

Drawn By AM

Checked By CW

ELEVATIONS
BLOCK 56
LOTS 23-26

A4.5



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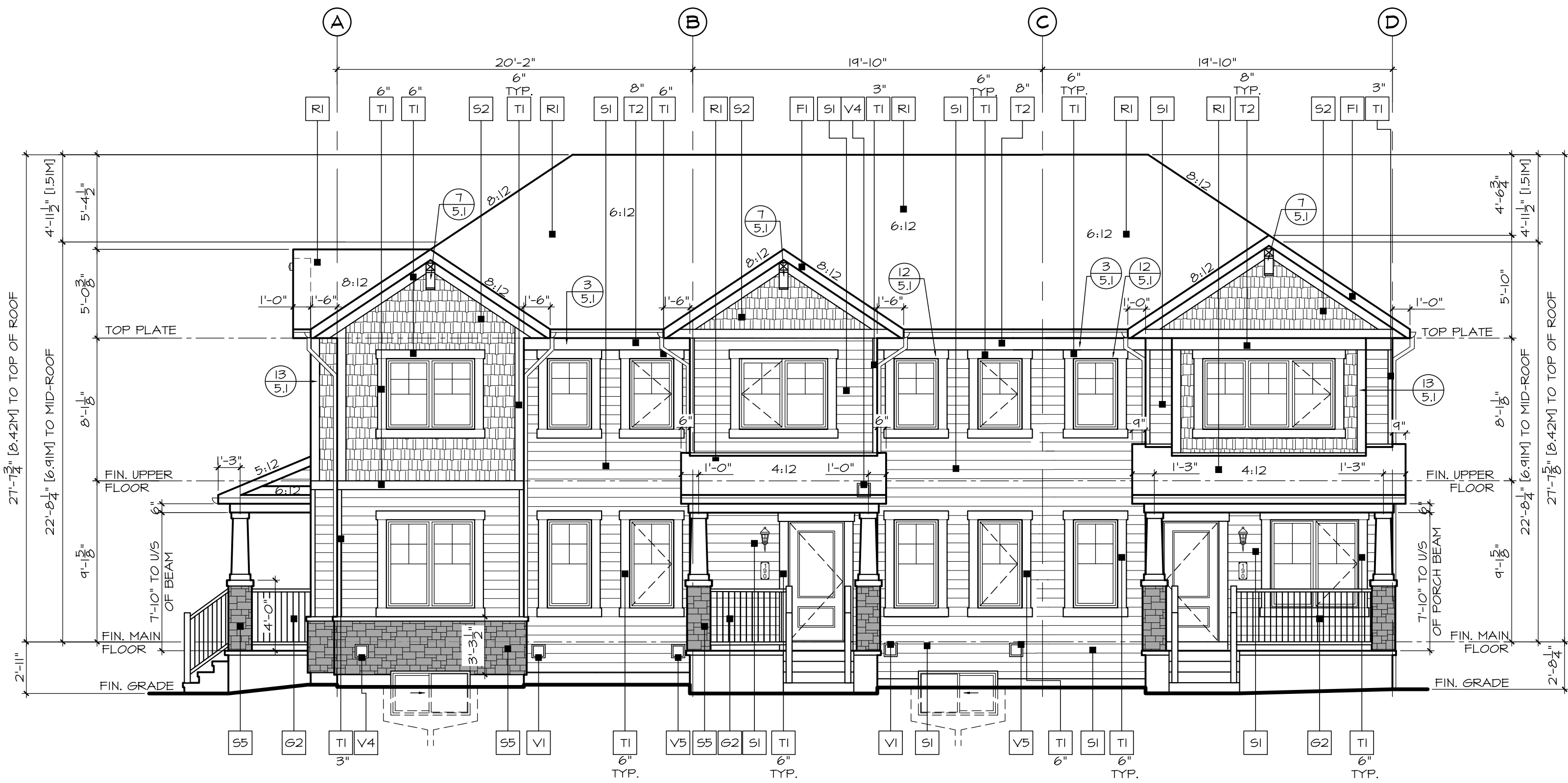
ELEVATIONS

BLOCK 56

LOTS 23-26

A4.6

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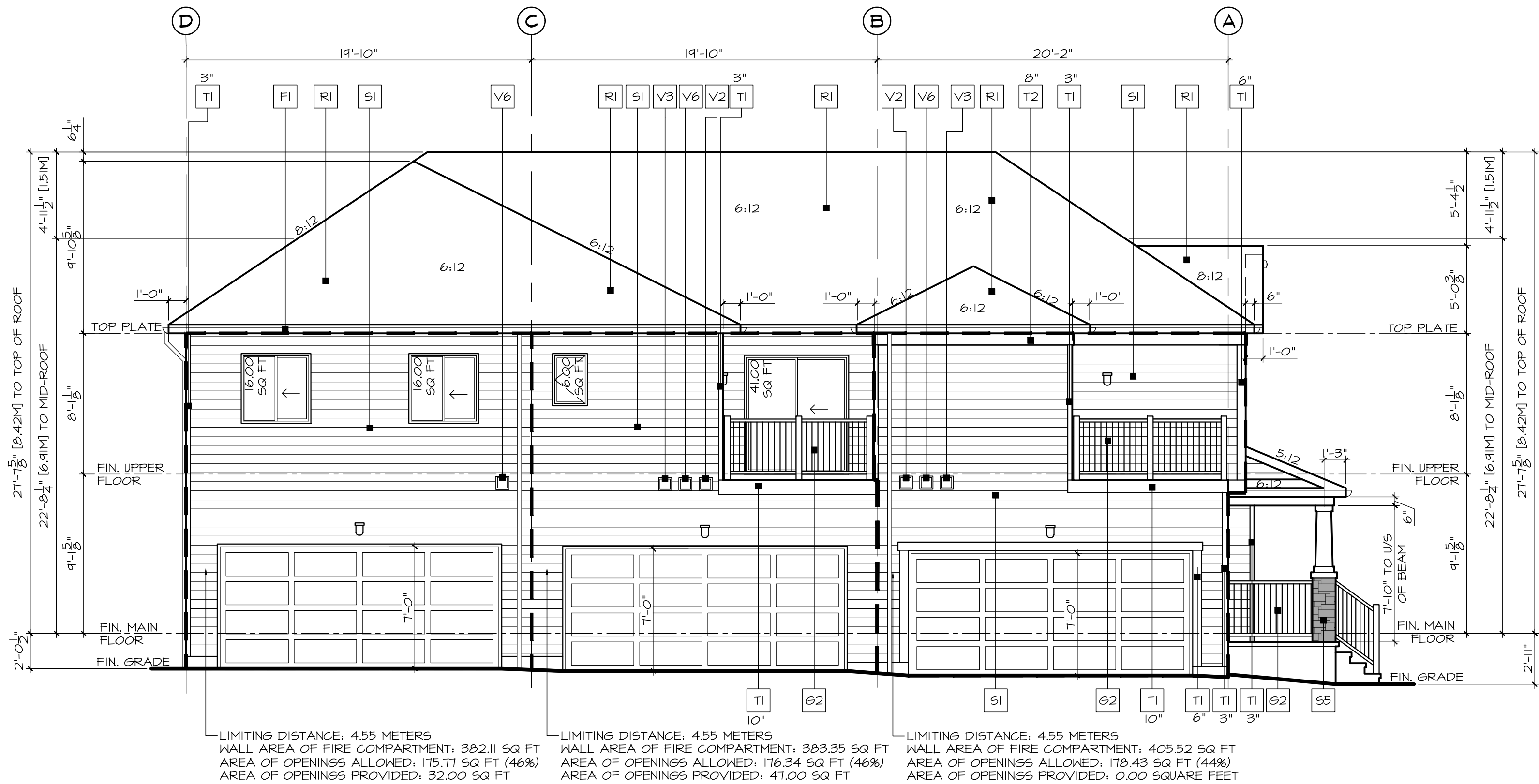


LOT 29
UNIT RLTI5C
11 CITYLINE GARDENS NE.

LOT 28
UNIT RLTI8-REV
9036 CITYSCAPE DRIVE NE.

LOT 27
UNIT RLTI7E
9040 CITYSCAPE DRIVE NE.

FRONT ELEVATION - CITYSCAPE DRIVE NE - CRAFTSMAN
SCALE: 3/16" = 1'-0"



LOT 27
UNIT RLTI7E
9040 CITYSCAPE DRIVE NE.

LOT 28
UNIT RLTI8-REV
9036 CITYSCAPE DRIVE NE.

LOT 29
UNIT RLTI5C
11 CITYLINE GARDENS NE.

REAR ELEVATION - LANE - CRAFTSMAN
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
#	DENOTES NOTE LOCATION ON PLAN
ROOFING:	
R1	ASPHALT SHINGLES
R2	STANDING SEAM METAL ROOF
SIDING:	
S1	HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2	SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3	BOARD AND BATTEN SIDING
S4	PANEL SIDING (NON-COMBUSTIBLE)
S5	MANUFACTURED STONE SIDING
S6	MANUFACTURED BRICK SIDING
TRIMS AND PANELS:	
T1	TRIM
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DECK CLADDING:	
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ACCESSORIES:	
A1	18" WIDE SHUTTER
A2	24" x 14" RECTANGLE LOUVER
VENT LOCATIONS:	
V1	FURNACE EXHAUST
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V5	HRV EXHAUST
V6	DRYER EXHAUST
NOTE:	
1.	FOR MORE INFORMATION SEE ELEVATION DETAILS ON SHEET A5.1

ELEVATION NOTE	
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3.	MAIN, ENSUITE, AND FUTURE BATHS FAN TIED INTO HRV

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1 ISSUED FOR DEVELOPMENT PERMIT 2025.04.03 AM
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CITYSCAPE PHASE 19

**BLOCK 56 - LOTS 15-29
REAR LANE TOWNHOMES**

'CRAFTSMAN'

Calgary, AB

**Mattamy Homes
Calgary Division**

Project No. 12001

Scale 3/16" = 1'-0"

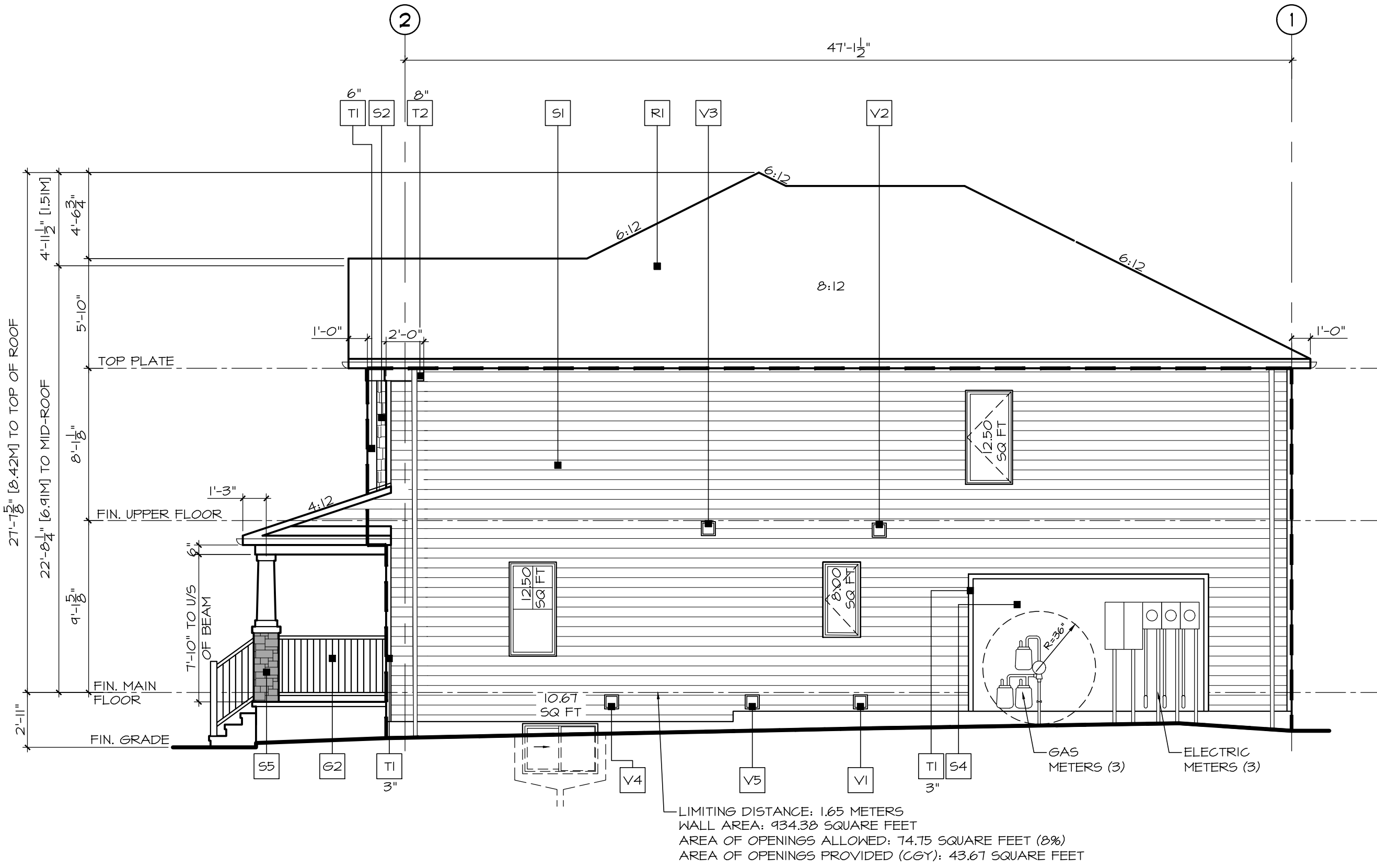
Drawn By AM

Checked By CW

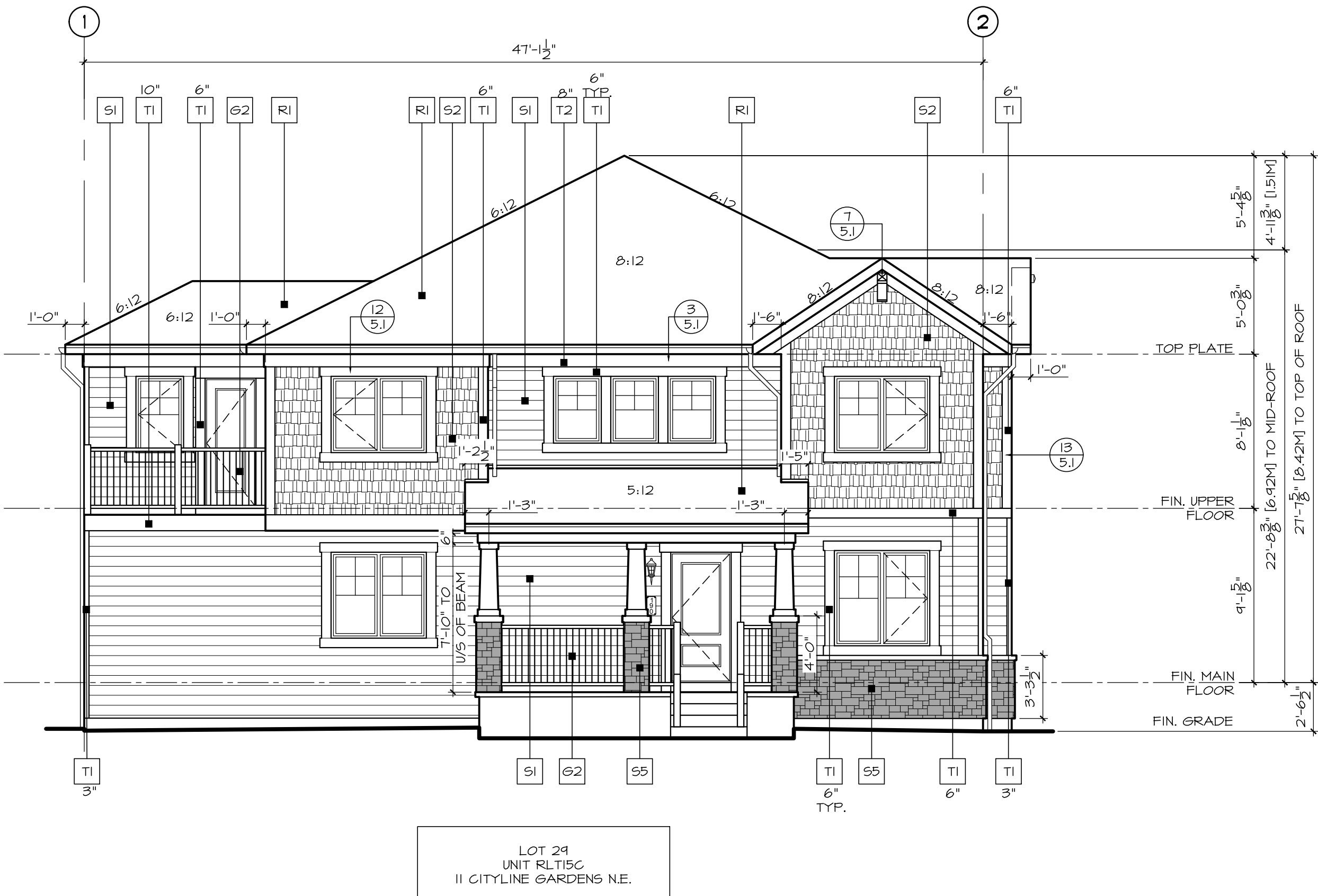
**ELEVATIONS
BLOCK 56
LOTS 27-29**

A5.5

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RIGHT SIDE ELEVATION - CRAFTSMAN
SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION - CITYLINE GARDENS NE - CRAFTSMAN
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
#	DENOTES NOTE LOCATION ON PLAN
ROOFING:	
R1	ASPHALT SHINGLES
R2	STANDING SEAM METAL ROOF
SIDING:	
S1	HORIZONTAL SIDING (NON-COMBUSTIBLE)
S2	SHAKE / SHINGLE SIDING (NON-COMBUSTIBLE)
S3	BOARD AND BATTEN SIDING
S4	PANEL SIDING (NON-COMBUSTIBLE)
S5	MANUFACTURED STONE SIDING
S6	MANUFACTURED BRICK SIDING
TRIMS AND PANELS:	
T1	TRIM
T2	FRIEZE BOARD
T3	RESERVED
T4	SMART PLY (PORCH ONLY)
T5	3" SMART TRIM (PORCH ONLY)
DECK CLADDING:	
D1	SMARTBOARD TRIMS
FASCIA:	
F1	PRE-FINISHED ALUMINUM CLAD FASCIA
F2	TIMBER FASCIA
F3	FIBER CEMENT FASCIA
GUADRAILS:	
G1	42" PRESSURE TREATED WOOD HANDRAIL WITH MAX. 4" SPACING BETWEEN PICKETS
G2	42" PRE-FINISHED ALUMINUM RAILING
G3	42" PRE-FINISHED ALUMINUM RAILING WITH GLASS PANEL
ACCESSORIES:	
A1	18" WIDE SHUTTER
A2	24" x 14" RECTANGLE LOUVER
VENT LOCATIONS:	
V1	FURNACE EXHAUST
V2	POWDER BATH FAN EXHAUST
V3	RANGE EXHAUST (ROOF JACK IF APPLICABLE)
V4	HRV INTAKE (SOFFIT MOUNTED IF APPLICABLE)
V5	HRV EXHAUST
V6	DRYER EXHAUST
NOTE:	
1.	FOR MORE INFORMATION SEE ELEVATION DETAILS ON SHEET A5.1
ELEVATION NOTE	
1. FOR THERMAL TRANSMITTANCE VALUES OF WINDOWS AND DOORS SEE PERFORMANCE ENERGY MODEL CALCULATIONS.	
2. ALL WINDOWS, FOR ALL UNITS, TO BE PROVIDED WITH TRIPLE PANE GLAZING.	
3. MAIN, ENSUITE, AND FUTURE BATHS FAN TIED INTO HRV	

Q4A
ARCHITECT

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Corporate Permit No.

Architect's Seal

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ELEVATIONS
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A5.6