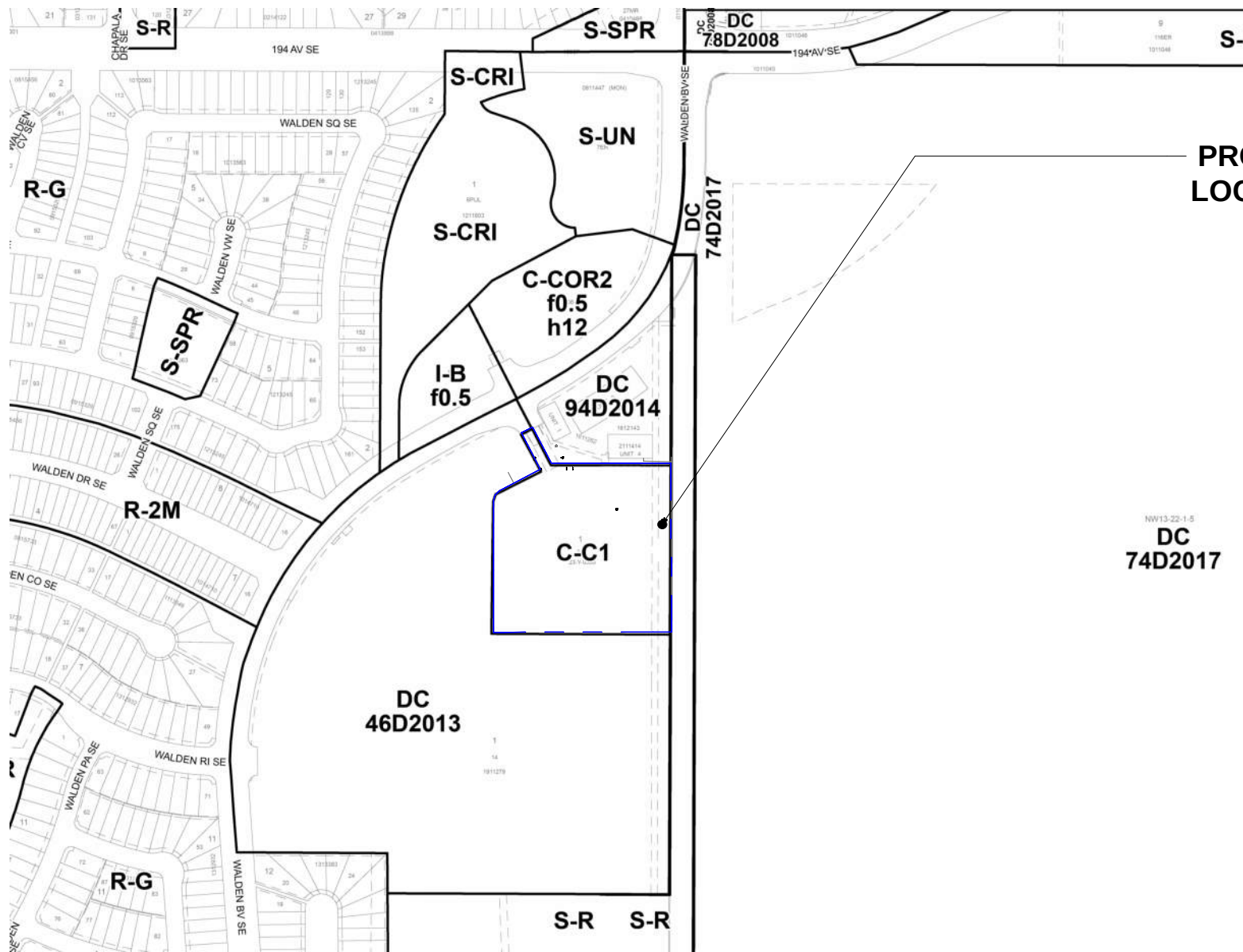


WALDEN RETAIL DEVELOPMENT

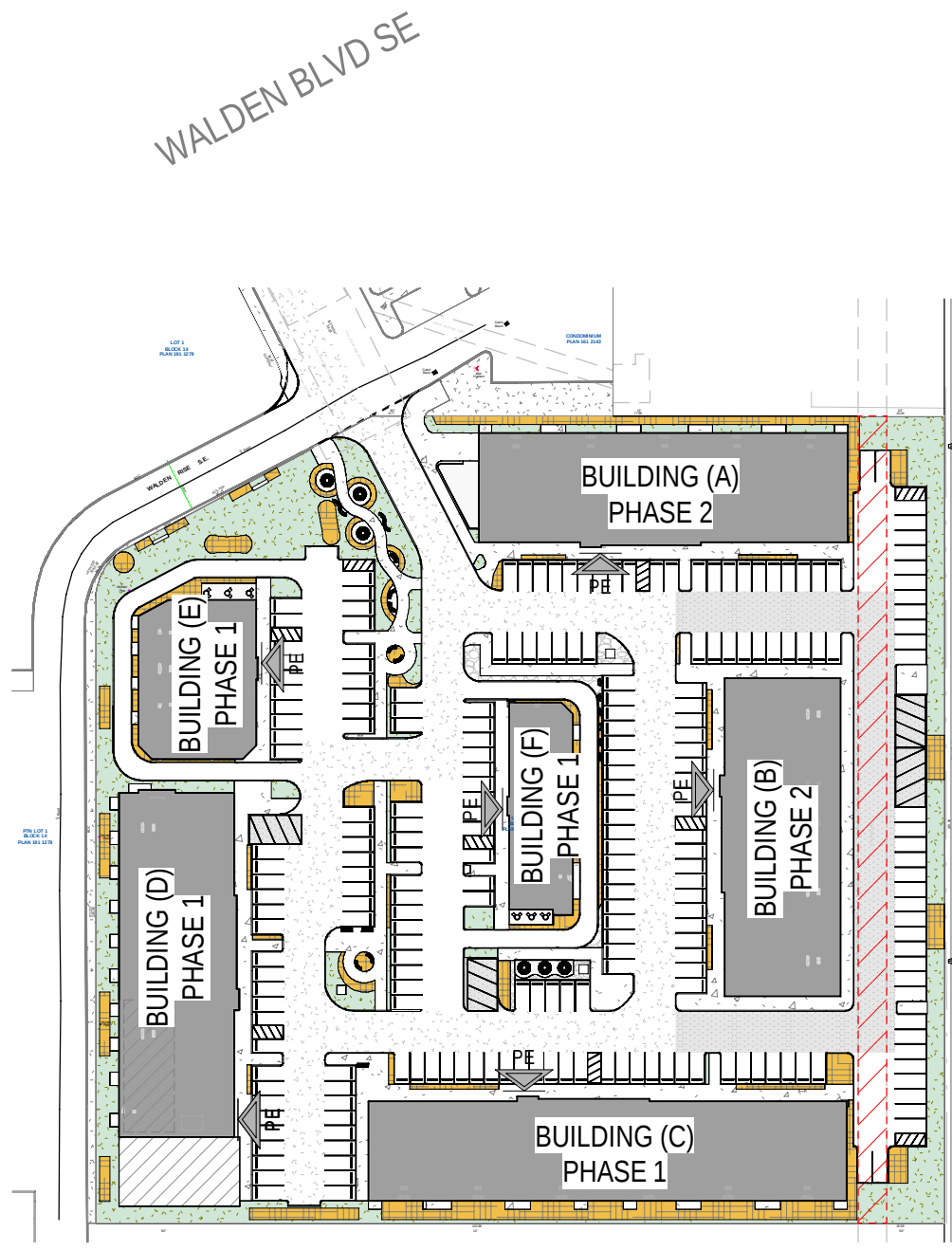
19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7



PROJECT LOCATION



AERIAL LOCATION MAP



OVERALL SITE PLAN

DRAWING LIST

SITE

- X-A001 COVER SHEET & PROJECT INFORMATION
- X-A002 EXISTING SITE PHOTOS
- X-A006 FIRE TRUCK & LOADING VEHICLE SWEEP PATH
- X-A100 SITE PLAN
- X-A101 SITE SECTIONS AND LINE-OF-SIGHT
- X-A102 MOLOKS DETAILS
- X-A103 SITE DETAILS
- X-A104 FREESTANDING SIGN DETAILS

BUILDING (A)

- A-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (A)
- A-A210 CONSTRUCTION FLOOR PLAN BUILDING (A)
- A-A240 ROOF PLAN BUILDING (A)
- A-A400 EXTERIOR ELEVATIONS BUILDING (A)
- A-A401 EXTERIOR ELEVATIONS BUILDING (A)
- A-A500 BUILDING SECTIONS BUILDING (A)

BUILDING (B)

- B-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (B)
- B-A210 CONSTRUCTION FLOOR PLAN BUILDING (B)
- B-A240 ROOF PLAN BUILDING (B)
- B-A400 EXTERIOR ELEVATIONS BUILDING (B)
- B-A500 BUILDING SECTIONS BUILDING (B)

BUILDING (C)

- C-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (C)
- C-A210 CONSTRUCTION FLOOR PLAN BUILDING (C)
- C-A240 ROOF PLAN BUILDING (C)
- C-A400 EXTERIOR ELEVATIONS BUILDING (C)
- C-A500 BUILDING SECTIONS BUILDING (C)

BUILDING (D)

- D-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (D)
- D-A210 CONSTRUCTION FLOOR PLAN BUILDING (D)
- D-A240 ROOF PLAN BUILDING (D)
- D-A400 EXTERIOR ELEVATIONS BUILDING (D)
- D-A500 BUILDING SECTIONS BUILDING (D)

BUILDING (E)

- E-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (E)
- E-A210 CONSTRUCTION FLOOR PLAN BUILDING (E)
- E-A240 ROOF PLAN BUILDING (E)
- E-A400 EXTERIOR ELEVATIONS BUILDING (E)
- E-A500 BUILDING SECTIONS BUILDING (E)

BUILDING (F)

- F-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (F)
- F-A210 CONSTRUCTION FLOOR PLAN BUILDING (F)
- F-A240 ROOF PLAN BUILDING (F)
- F-A400 EXTERIOR ELEVATIONS BUILDING (F)
- F-A500 BUILDING SECTIONS BUILDING (F)

ELECTRICAL

- E01 SYMBOLS LEGEND & DRAWINGS LIST
- E02 SITE LIGHTING CALCULATIONS
- E03 SITE LIGHTING CALCS W/ ISO LINES
- E11 SITE LIGHTING PLAN
- E21 LIGHTING DETAILS

CIVIL

- C10 SERVICING PLAN
- C20 GRADING PLAN
- C21 SURFACE IMPROVEMENT PLAN

LANDSCAPING

- L-100 KEY PLAN
- L-101 LANDSCAPE PLAN - NORTH
- L-102 LANDSCAPE PLAN - SOUTH
- L-501 PLANTING DETAILS



PROJECT TEAM

ARCHITECT:



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CLIENT:



PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

PROJECT INFORMATION

ADDRESS:
19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

LEGAL DESCRIPTION:
LOT: 1
BLOCK: 15
PLAN: 2412397

PARCEL AREA:
221,555 SF (2.06 ha)

PROJECT SCOPE OF WORK:

THIS PROJECT PROPOSES A NEW COMMERCIAL DEVELOPMENT OF SIX BUILDINGS. ONE BUILDING IS TWO STOREYS AND FIVE BUILDINGS ARE ONE STOREY. MAJOR OCCUPANCY BEING GROUP E, GROUP A-2 AND GROUP D.

OWNER:
PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

ZONING BYLAW INFORMATION

CITY HAVING JURISDICTION:
CITY OF CALGARY

ZONING:
COMMERCIAL - COMMUNITY 1 (C-C1) DISTRICT

FLOOR AREA RATIO:
MAXIMUM FOR BUILDINGS = 1.0

BUILDING HEIGHT:
MAXIMUM HEIGHT = 10.0 METERS | PROJECT HEIGHT = 10.0 METERS (BYLAW 744 - MEASURED FROM GRADE AND EXCLUDING ANCILLARY STRUCTURES, I.E., ELEVATOR HOUSING, MECHANICAL PENTHOUSE)

ADJACENT PARCELS:
FRONT NE = DIRECT CONTROL (DC) / COMMERCIAL - COMMUNITY 2 (C-C2) DISTRICT / STORAGE FACILITY
FRONT NW, SIDE AND REAR = DIRECT CONTROL (DC) / SPECIAL PURPOSE - COMMUNITY INSTITUTION (S-CI)

FRONT SETBACK:
3.0 METERS

REAR SETBACK:
3.0 METERS

SIDE SETBACK:
3.0 METERS

LANDSCAPING IN SETBACK AREAS:
SOFT SURFACED LANDSCAPED AREA, MUST PROVIDE MINIMUM OF 1.0 TREE AND 2.0 SHRUBS PER 35.0 SQ. M. (OR 50.0 SQ. M. WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM. REFER TO LANDSCAPE DRAWINGS FOR DETAILS AND A100)

LANDSCAPING FOR LARGE PARKING AREA:
FOR PARKING AREA EXCEEDING 5,000 SQ. M. LANDSCAPED AREAS MUST BE PROVIDED AT A RATIO OF 0.150 SQ. M. FOR EVERY 1.0 SQ. M. OF THE TOTAL SURFACED AREA.

PERMITTED USES:

- a.) SIGN - CLASS A, CLASS B, CLASS D
- b.) PARK
- c.) UTILITIES

DISCRETIONARY USES:

- 1.) CATERING SERVICE - MINOR
- 2.) CONVENIENCE FOOD STORE
- 3.) FINANCIAL INSTITUTION
- 4.) FITNESS CENTRE
- 5.) HEALTH CARE SERVICE
- 6.) HOME BASED CHILD CARE - CLASS 1
- 7.) LIBRARY / MUSEUM
- 8.) OFFICE
- 9.) VETERINARY / PET CARE SERVICE
- 10.) PRINT CENTRE
- 11.) RETAIL AND CONSUMER SERVICE
- 12.) SUPERMARKET / SPECIALTY FOOD STORE
- 13.) RESTAURANT - FOOD SERVICE ONLY
- 14.) VEHICLE RENTAL - MINOR
- 15.) RESTAURANT - LICENSED (IF PUBLIC AREA IS LESS THAN 150.0 SQ. M.)
- 16.) RESTAURANT - LICENSED (IF THE PUBLIC AREA IS GREATER THAN 150.0 SQ. M.)
- 17.) AMUSEMENT ARCADE
- 18.) ARTIST'S STUDIO
- 19.) AUTO SERVICE - MINOR (CAR WASH - SINGLE
- 20.) BREWERY / WINERY / DISTILLERY / CANNABIS STORE
- 21.) CHILD CARE SERVICE - DAY CARE
- 22.) DRINKING ESTABLISHMENT - SMALL / MEDIUM
- 23.) DRIVE THROUGH
- 24.) DWELLING UNIT
- 25.) GAS BAR - GAS STATION
- 26.) INDOOR RECREATION FACILITY
- 27.) LIQUOR STORE
- 28.) LIVE WORK UNIT
- 29.) ADDICTION TREATMENT
- 30.) OUTDOOR CAFE
- 31.) PARKING LOT - GRADE
- 32.) PLACE OF WORSHIP
- 33.) POWER GENERATION FACILITY - SMALL
- 34.) SEASONAL SALES AREA
- 35.) SOCIAL ORGANIZATION
- 36.) URBAN AGRICULTURE
- 37.) UTILITY BUILDING
- 38.) SIGN - CLASS C, CLASS E

REQUIRED MOTOR VEHICLE PARKING STALLS:

CITY OF CALGARY LAND USE BYLAW AMENDED THE C-C1 DISTRICT ZONING TO ELIMINATE MINIMUM PARKING REQUIREMENTS. SEE A100 - SITE PLAN FOR PARKING CALCULATION.

PROPOSED STALLS = 233 (BARRIER FREE PARKING STALLS = 12)

REQUIRED LOADING STALLS:

1.0 LOADING STALLS PER 9300.0 SQUARE METERS

REQUIRED LOADING STALLS = 2

PROPOSED LOADING STALLS = 4

REQUIRED BICYCLE STALLS - CLASS 2:

TOTAL CLASS 2 BICYCLE PARKING STALLS REQUIRED = 25 (PER SENTENCES IP2007.165, 185, 204, 246 & 286.1)

PROPOSED CLASS 2 STALLS = 28

BUILDING CODE INFORMATION

PROJECT OVERVIEW: THIS PROJECT PROPOSES A TWO PHASED CONSTRUCTION
PHASE 1: BUILDINGS C, D, E & F
PHASE 2: BUILDINGS A & B

BUILDING A: FOOTPRINT = 1,235 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREY)	GROUND FLOOR = 10 CRUS / RETAIL AND CONSUMER SERVICE SUITES
BUILDING B: FOOTPRINT = 1,140 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREY)	GROUND FLOOR = 9 CRUS / RETAIL AND CONSUMER SERVICE SUITES
BUILDING C: FOOTPRINT = 1,454 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREY)	GROUND FLOOR = 12 CRUS / RETAIL AND CONSUMER SERVICE SUITES
BUILDING D: FOOTPRINT = 1,220 SQ. M. BUILDING HEIGHT = 10 M (2 STOREYS)	GROUND FLOOR = 9 CRUS SECOND FLOOR = DAYCARE
BUILDING E: FOOTPRINT = 557 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREY)	GROUND FLOOR = 3 CRUS + DRIVE-THRU
BUILDING F: FOOTPRINT = 402 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREY)	GROUND FLOOR = 3 CRUS + DRIVE-THRU

CONSTRUCTION REQUIREMENTS PER NBC 2023AE 3.2.2.

BUILDING INFO.	ARTICLE	COMMENT
BUILDING A BUILDING AREA: 1,235 SM STOREYS: 1		
FIRST: A2	3.2.2.25	
FIRST: D	3.2.2.62	
FIRST: E	3.2.2.68 (MOST RESTRICTIVE)	

BUILDING INFO.	ARTICLE	COMMENT
BUILDING B BUILDING AREA: 1,140 SM STOREYS: 1		
FIRST: A2	3.2.2.25	
FIRST: D	3.2.2.62	
FIRST: E	3.2.2.68 (MOST RESTRICTIVE)	

BUILDING INFO.	ARTICLE	COMMENT
BUILDING C BUILDING AREA: 1,454 SM STOREYS: 1		
FIRST: A2	3.2.2.25	
FIRST: D	3.2.2.62	
FIRST: E	3.2.2.68 (MOST RESTRICTIVE)	

CONSTRUCTION REQUIREMENTS PER NBC 2023AE 3.2.2.

BUILDING INFO.	ARTICLE	COMMENT
BUILDING D BUILDING AREA: 1,220 SM STOREYS: 2		
FIRST: A2	3.2.2.26	
FIRST: D	3.2.2.65	
FIRST: E	3.2.2.71 (MOST RESTRICTIVE)	
SECOND: A2	3.2.2.28	

BUILDING INFO.	ARTICLE	COMMENT
BUILDING E BUILDING AREA: 557 SM STOREYS: 1		
FIRST: A2	3.2.2.25	
FIRST: D	3.2.2.64	
FIRST: E	3.2.2.70 (MOST RESTRICTIVE)	

BUILDING INFO.	ARTICLE	COMMENT
BUILDING F BUILDING AREA: 402 SM STOREYS: 1		
FIRST: A2	3.2.2.25	
FIRST: D	3.2.2.64	
FIRST: E	3.2.2.70 (MOST RESTRICTIVE)	

MAJOR OCCUPANCY FIRE SEPARATIONS:

PER NBC-2023AE TABLE 3.1.3.1:
GROUP D to GROUP E = 0 HOUR FRR FIRE SEPARATION (SMOKE SEPARATION)
GROUP A-2 to GROUP D = 1 HOUR FRR FIRE SEPARATION
GROUP A-2 to GROUP E = 2 HOUR FRR FIRE SEPARATION

Architect



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Structural Engineering



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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
6	ISSUED FOR DP	2025-11-07
7	REISSUED FOR DP	2025-11-19
8	REISSUED FOR DP	2026-01-23
10	REISSUED FOR DP	2026-04-10

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

COVER SHEET & PROJECT
INFORMATION

Document Control No: 1084-A25-001-DWG-X-A001

Date: 2026-04-10

Scale: As indicated

Drawn: RYS & MA

Project: 1084-A25-001

Sheet No.

X-A001



EXISTING SITE CONDITIONS (A)



EXISTING SITE CONDITIONS (B)



EXISTING SITE CONDITIONS (C)



1

X-A002

KEY PLAN
N.T.S.

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ELEQRON INC.
255 - 720 28 STREET NE
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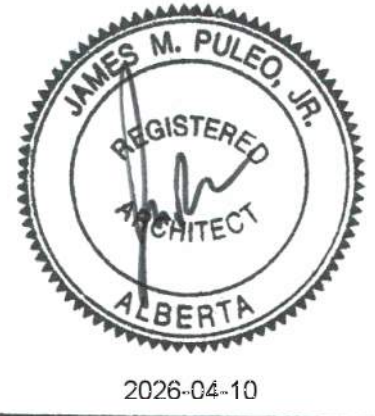
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Seal


2026-04-10

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10	REISSUED FOR DP	2026-04-10

Client

**PEAKRIDGE**
GROUP

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

**WALDEN RETAIL
DEVELOPMENT**

**19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7**

Drawing Title

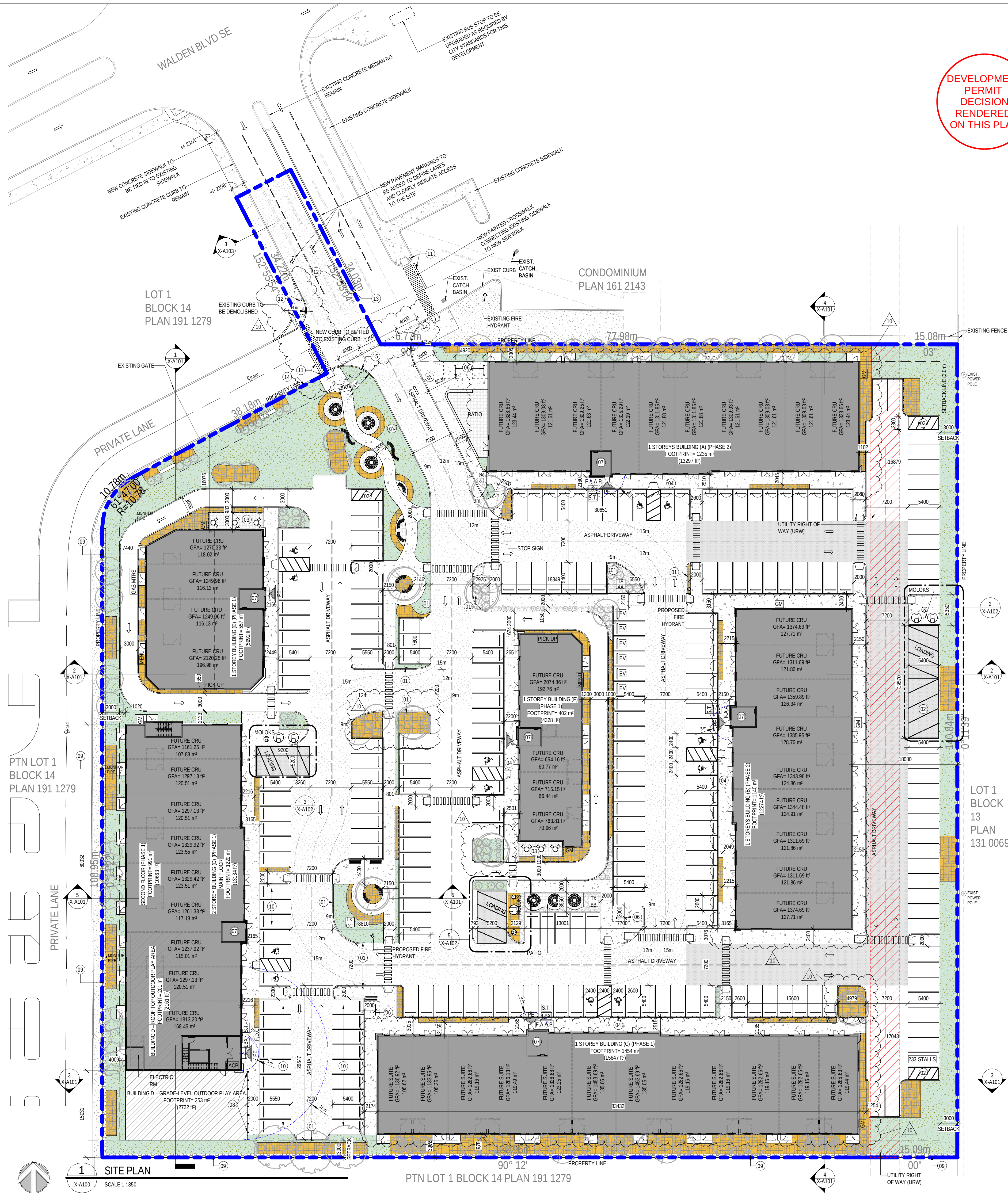
EXISTING SITE PHOTOS

Document Control No:

1084-A25-001-DWG-X-A002

Date:	2026-04-10	Sheet No.
Scale:	N.T.S.	X-A002
Drawn:	MA	
Project:	1084-A25-001	

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

LEGAL DESCRIPTION

LOT: 1
BLOCK: 15
PLAN: 2412397
AUTHORITY HAVING JURISDICTION: CITY OF CALGARY
SITE PLAN BASED ON SURVEY PREPARED BY: TOTAL GEOMATICS & CONSULTING INC.
DATE: JANUARY 15, 2025
FILE NO.: TG25-00050P

SITE PLAN / BUILDING STATISTICS

TOTAL AREA OF SITE (APPROXIMATELY) =		221,555 SF (2.06 ha)
BUILDING (A)	GROUND FLOOR AREA	= 13,297 SF (1235 SM)
BUILDING (B)	GROUND FLOOR AREA	= 12,274 SF (1140 SM)
BUILDING (C)	GROUND FLOOR AREA	= 15,647 SF (1454 SM)
BUILDING (D)	GROUND FLOOR AREA	= 13,134 SF (1220 SM)
BUILDING (E)	SECOND FLOOR AREA	= 10,683 SF (991 SM)
BUILDING (F)	GROUND FLOOR AREA	= 5,392 SF (501 SM)
BUILDING (G)	GROUND FLOOR AREA	= 4,328 SF (402 SM)
BUILDING GROSS AREA	=	75,335 SF (6,999 SM)
FOOTPRINT BUILDING AREA	=	64,672 SF (6,008 SM)
FAR = 0.34		

BUILDING SETBACK REQUIREMENT

FRONT YARD: 3.00 m
SIDE YARD: 3.00 m
REAR YARD: 3.00 m

PARKING REQUIREMENTS

FOR THE PURPOSES OF DETERMINING APPROPRIATE VEHICLE PARKING STALL QUANTITIES FOR GENERAL HEALTH CARE, RETAIL AND CONSUMER SERVICE AND DRIVE-THRU USES, FOR WHICH THE CITY OF CALGARY DOES NOT STIPULATE A MINIMUM QUANTITY OF VEHICLE PARKING STALLS, THE CITY OF AIRBORNE LAND USE BYLAW 8-01016, SECTION 4.4, TABLE 5 WAS REFERENCED.

TOTAL MOTOR VEHICLE PARKING STALLS RECOMMENDED = 2200
GENERAL HEALTH CARE = 3 PER 100 SQ. M. (GUPA)
GENERAL RETAIL = 2.5 PER 100 SQ. M. (GUPA)
RESTAURANT = 12.0 STALLS PER 100M GROSS FLOOR AREA OF SEATING AREA PLUS MINIMUM OF 3 STAFF PARKING STALLS. (GUPA)

MINIMUM QUANTITY OF DAYCARE DROP-OFF / PICK-UP STALLS PER CITY OF CALGARY LAND USE BYLAW 1P2007 SENTENCE 165
DAYCARE (MAX. 210 CHILDREN) = 1 PER 10 CHILDREN = 21 STALLS
TOTAL MOTOR VEHICLE PARKING STALLS PROVIDED = 2233

FOR THE PURPOSES OF CALCULATING THE NUMBER OF BARRIER FREE DESIGNATED STALLS, BYLAW SENTENCE 121.1 TABLE 1.2 WAS REFERENCED TO DETERMINE THE TOTAL NUMBER OF STALLS AND NBC-AE(23) TABLE 3.8.2.5 WAS REFERENCED TO DETERMINE THE DESIGNATED PARKING SPACES FOR USE BY PERSONS WITH PHYSICAL DISABILITIES.
MINIMUM MOTOR VEHICLE PARKING SPACES FOR CALCULATING REQUIRED BARRIER FREE PARKING STALLS PER BYLAW TABLE 1.2 = 241
DESIGNATED PARKING SPACES REQUIRED FOR USE BY PERSONS WITH PHYSICAL DISABILITIES, PER NBC-AE(23) TABLE 3.8.2.5 = 6
TOTAL BARRIER FREE PARKING STALLS PROVIDED = 12

TOTAL CLASS 2 BICYCLE PARKING STALLS REQUIRED = 26 (PER SENTENCES 1P2007 165, 185, 204, 246 & 286.1)
TOTAL CLASS 2 BICYCLE PARKING STALLS PROVIDED = 4 BIKE RACKS WITH 7 BIKES EACH = 28

CLASS 1 BICYCLE PARKING STALLS NOT REQUIRED, PER PART 4, DIVISION 2, DEFINED USES

LANDSCAPE REQUIREMENTS

SOFT SURFACED LANDSCAPED AREA MUST PROVIDE MINIMUM OF 1.0 TREE AND 2.0 SHRUBS PER 30.0 SQ. M. (OR 50.0 SQ. M. WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM. (REFER TO LANDSCAPE DRAWINGS)

MINIMUM AREA OF LANDSCAPED AREAS WITHIN SURFACE PARKING AREA (ISLANDS, STRIPS) = 0.15 SQ. M. FOR EVERY 1.0 SQ. M. OF TOTAL PARKING, DRIVE AISLE, VEHICULAR ACCESS PAVED AREAS

LANDSCAPING REQUIRED = 15% OF (221,555 SQ. FT. - 64,672 SQ. FT.) = 23,552 SQ. FT.
PROVIDED LANDSCAPING = 3,003 SQ. M. / 32,324 SQ. FT.

WASTE REQUIREMENTS

PROJECT AREA: 0.008 MP
CITY PARAMETER: 3.0 M / 1,000 M / WEEK
TOTAL WEEKLY WASTE: 3.0 x (6,008 + 1,000) = 3.0 x 6,008 = 18,02 MP / WEEK

WEEKLY VOLUMES:
(ASSUMED SPLIT: ORGANICS 15%, RECYCLABLES 45%, GARBAGE 40%, RECYCLABLES (45%) = 0.45 x 18,02 = 8,11 MP / WEEK
WASTE (40%) = 0.40 x 18,02 = 7,21 MP / WEEK

SUMMARY OF WASTES PROVIDED				
STREAM	APPROX. WEEKLY VOLUME (M3)	UNITS	CAPACITY PROVIDED	NOTES
(W) WASTE	7.21	5.0 m³	3	15 m³
(R) RECYCLING	8.11	5.0 m³	2	10 m³
(O) ORGANIC	2.70	1.3 m³	4	5.2 m³
(G) GREASE	0.375	800 L	1	0.8 m³
TOTAL WEEKLY WASTE VOLUME REQUIRED	18.40 m³			31 m³

SITE KEYNOTES

- CONTRACTOR TO INSTALL NO PARKING ANYTIME / FIRE LANE SIGNAGE (REFER TO X-A103 SITE DETAILS SHEET)
- NO PARKING ZONE
- PATIO: FENCE BY OTHERS
- CONTRACTOR TO INSTALL "BARRIER FREE PARKING" SIGN (INSTALLED AT ALL RELEVANT LOCATIONS) (REFER TO SITE SIGNAGE DETAIL)
- BICYCLE PARKING STALLS — CLASS 2 (7 BIKES CAPACITY) (REFER TO X-A103 SITE DETAILS SHEET)
- SERVICE ROOM WILL CONTAIN ELECTRICAL AND WATER ENTRY
- CONTRACTOR TO INSTALL BOLLARDS
- LANDSCAPE WALL: MAXIMUM HEIGHT NOT TO EXCEED 1.2 M. REFER TO CIVIL DRAWINGS
- CONTRACTOR TO INSTALL SIGNAGE DEDICATED TO "DROP-OFF AND PICK-UP" USE ASSOCIATED WITH THE CHILD CARE SERVICE AT EACH VEHICLE PARKING STALL DESIGNATED FOR PICK-UP/DROP-OFF ON THE APPROVED PARKING. SIGNAGE SHALL BE ORIENTED TOWARDS THE PARKING STALL AND BE VISIBLE TO TRAFFIC, AND SHALL RESTRICT GENERAL PARKING DURING PEAK CHILD CARE OPERATING TIMES TO FACILITATE EFFECTIVE DROP-OFF AND PICK-UP.
- CONTRACTOR TO PROVIDE STOP BARS, AND STOP SIGN AT THE STOP BARS BEFORE THE CROSSWALKS (REFER TO X-A103 SITE DETAILS SHEET)
- CONTRACTOR TO INSTALL DO NOT ENTER SIGNAGE (REFER TO X-A103 SITE DETAILS SHEET)
- CONTRACTOR TO INSTALL KEEP RIGHT OF MEDIAN SIGNAGE (REFER TO X-A103 SITE DETAILS SHEET)
- CONTRACTOR TO INSTALL PEDESTRIAN CROSSING SIGNAGE AT EACH CROSS WALK (REFER TO X-A103 SITE DETAILS SHEET)
- CONTRACTOR TO PROVIDE TURN RIGHT LANE DESIGNATION SIGNAGE AND HAZARD SIGNAGE TO BE INSTALLED AT INTERSECTION

GENERAL NOTES, A101 SERIES

REFER TO GEOTECHNICAL, LEGAL SURVEY AND ENVIRONMENTAL ASSESSMENT DOCUMENTS IN SPECIFICATION
FOR EXISTING UNDERGROUND UTILITIES LOCATIONS REFER TO CIVIL DOCUMENTS AND INFORMATION.
CIVIL WORK, PAVING AND SITE UTILITIES INDICATED ON THIS DRAWING ARE FOR INFORMATION PURPOSES ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR FULL DETAILS, AND SPECIFIC INFORMATION.
REFER TO CIVIL FOR SIDEWALKS, CURBS, ASPHALT AND GRANULAR PAVING AREAS, AND ROAD CUTS. ALL SIDEWALKS TO BE 2.0m CLEAR FROM FINISH FACE OF BUILDING
TO EDGE OF SIDEWALK, NOT INCLUDING THE CURB
REFER TO CIVIL FOR ALL SITE GRADING AND STORM WATER MANAGEMENT
REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR SOOSEEDING AREAS, MAINTENANCE STRIPS, PLANT MATERIAL AND LANDSCAPING DETAILS.
REFER TO ELECTRICAL FOR ALL SITE UTILITIES, POWER, DATA AND LIGHTING REQUIREMENTS.
REFER TO SPECIFICATIONS FOR MATERIAL TYPES, COLOURS AND SITE FURNISHINGS
CONTRACTOR RESPONSIBLE FOR MAKING GOOD TO ALL EXISTING SITE WORK TO REMAIN, WHICH IS DAMAGED AS A RESULT OF THIS CONTRACT, PROVIDE PROPER PATCHING AND TRANSITIONS OF NEW AND EXISTING WORK WHERE APPLICABLE.

LEGEND, A100 SERIES

---	PROPERTY LINE
---	SETBACK LINE
PE	PRINCIPAL ENTRANCE
BE	BUILDING ENTRANCE
CP	CONCRETE PAVERS - PATIO
SM	SHREDDED WOOD MULCH (REFER TO LANDSCAPE DRAWINGS)
CC	CONCRETE WALKWAY
SD	SOD (REFER TO LANDSCAPE DRAWINGS) *ALL SODDED AREAS ARE TO BE PLANTED WITH A DROUGHT-TOLERANT GRASS SPECIES.
HA	HEAVY-DUTY ASPHALT FOR FIRE TRUCK ACCESS ROUTE (ABLE TO SUPPORT A MIN. OF 85,000 lbs or 38,556 kg)
HL	HEAVY-DUTY ASPHALT FOR LOADING TRUCK ACCESS ROUTE (ABLE TO SUPPORT A MIN. OF 55,000 lbs / 25,000 kg)
SW	5-LOOP WAVE STYLE BIKE RACK - 7 BIKE CAPACITY CLASS 2 (REFER TO DETAILS)
EV	ELECTRIC VEHICLE (EV) CHARGING STATION (LEVEL 2)
GM	GAS METERS
TX ##	PROPOSED TRANSFORMERS (TO BE CONFIRMED)
LD	LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 lbs / 25,000 kg (C/W PAVEMENT MARKINGS)
HY	FIRE HYDRANT REFER TO CIVIL
AS	ASPHALT PAVING (REFER TO CIVIL)
SP	STANDARD PARKING SPACE C/W MARKINGS AND PAVEMENT
ST	SITE FURNISHINGS TYPE TO BE CONFIRMED
VD	VEHICULAR TRAVEL DIRECTION
PR	PAINTED CROSSWALK
BR	BARRIER-FREE RAMP
BA	BARRIER FREE ACCESSIBLE PARKING SPACE C/W PAVEMENT & MARKINGS
SG	SIGNAGE (REFER TO SPECIFICATIONS)
FD	FIRE DEPARTMENT CONNECTION
LB	FIRE DEPARTMENT LOCK BOX
FA	FIRE ALARM CONTROL PANEL
FAA	FIRE ALARM ANNUNCIATOR PANEL
ST	EXTERIOR STROBE LIGHT PLACED ABOVE ALARM PANEL TO DEFINE PRINCIPAL ENTRANCE
CS	CONCRETE SIDEWALK
CB	DENOTES CATCH BASIN
MP	DENOTES MONITOR PIPE
AN	AREA OF NEW BUILDING
FW	FUTURE WALL (BY OTHERS)
UR	UTILITY RIGHT OF WAY (URW)

LEGEND SYMBOLS ARE TYPICAL & MAY NOT ALL APPLY TO THIS SPECIFIC PROJECT.

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No.	Revision	Date YYYY-MM-DD
1	ISSUED FOR PRELIMINARY MOBILITY REVIEW	2025-09-22
2	ISSUED FOR CLIENT REVIEW	2025-09-29
3	ISSUED FOR PRELIMINARY DTR RESPONSE	2025-10-02
4	ISSUED FOR CLIENT REVIEW	2025-10-16
5	ISSUED FOR CLIENT UPDATE	2025-10-23
6	REISSUED FOR DP	2025-11-07
7	REISSUED FOR DP	2025-11-19
8	REISSUED FOR DP	2026-01-23
9	REISSUED FOR DP	2026-02-19
10	REISSUED FOR DP	2026-04-10

Client

PEAKRIDGE GROUP

PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

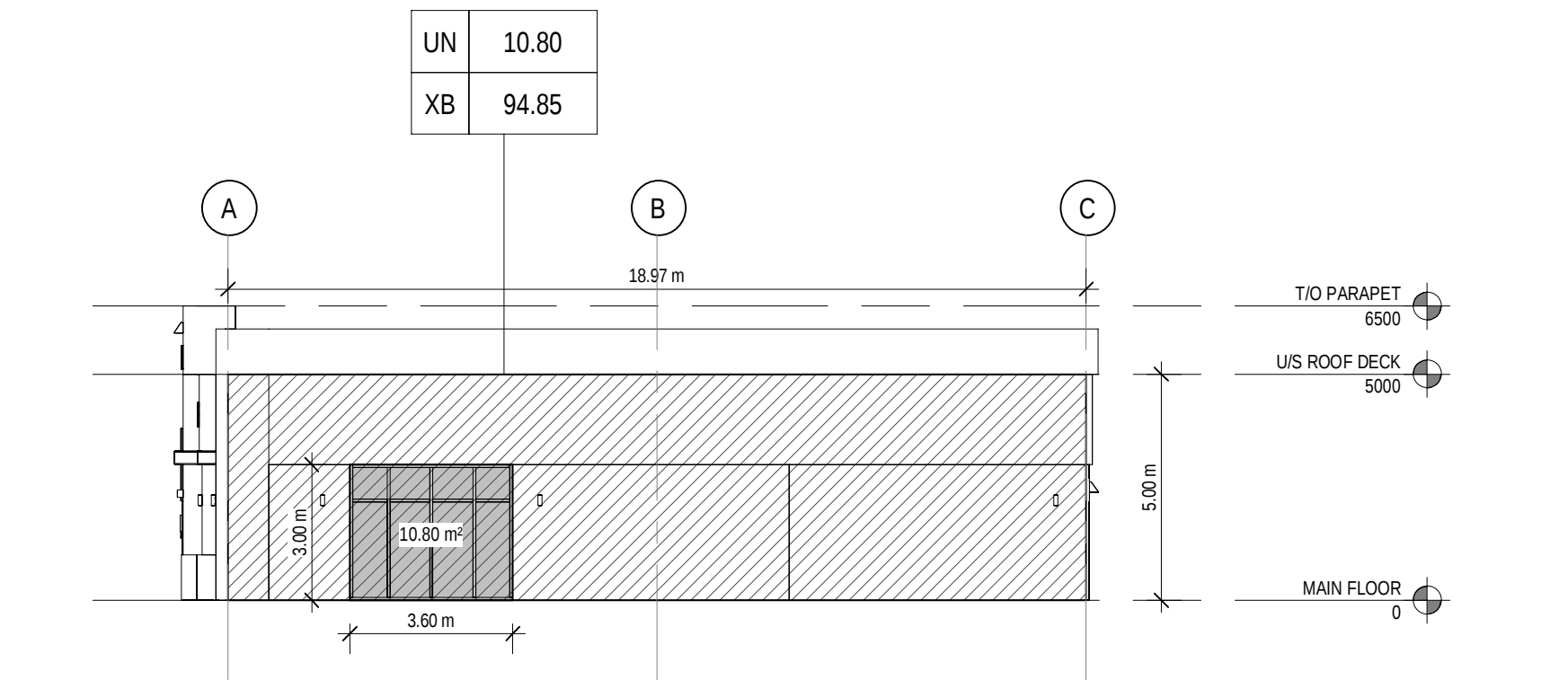
Drawing Title

SITE PLAN

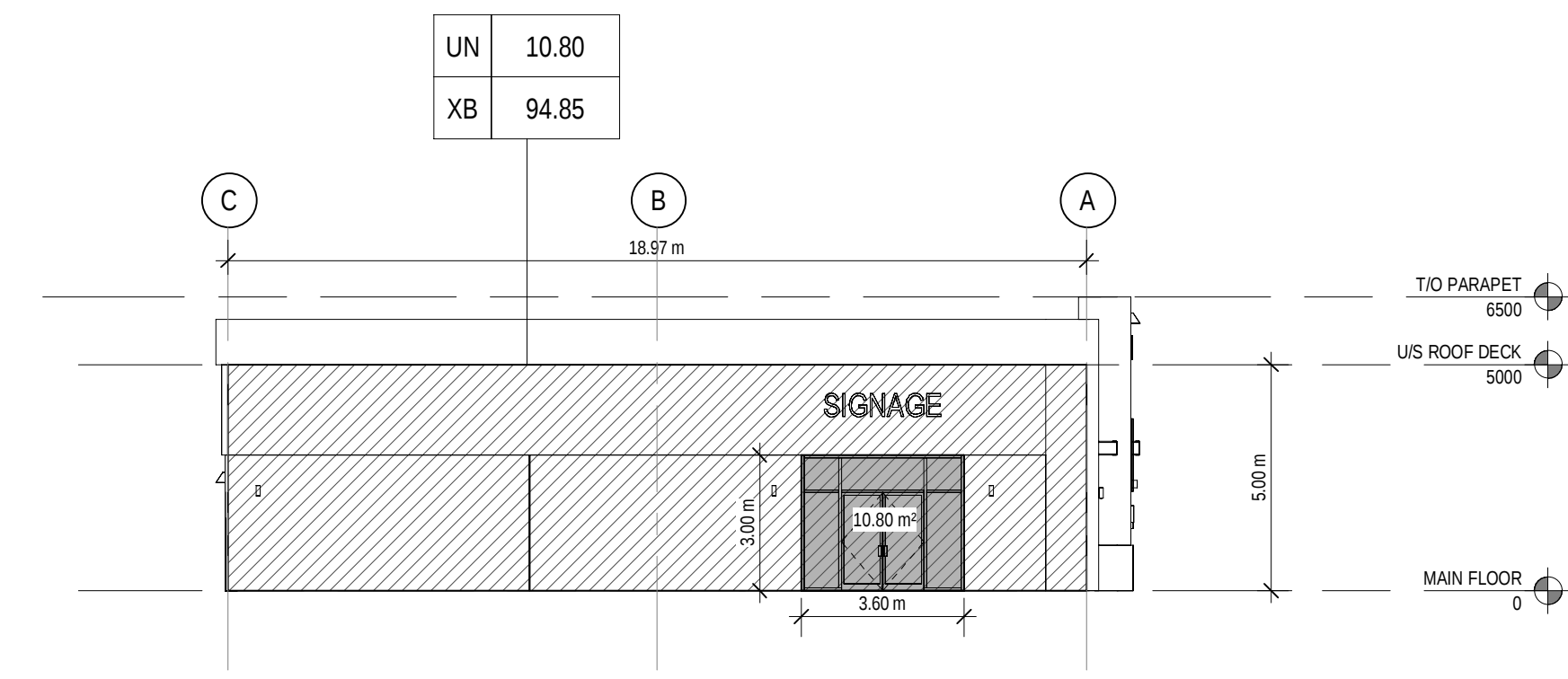
Document Control No:	1084-A25-001-DWG-X-A100
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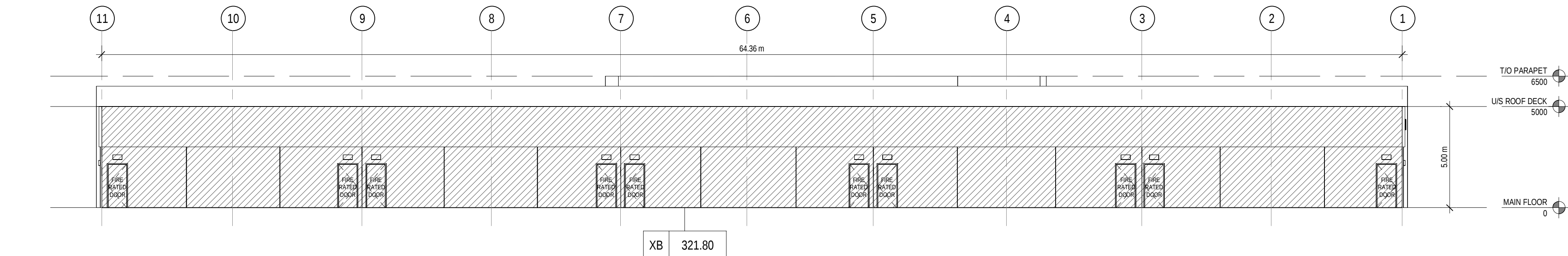
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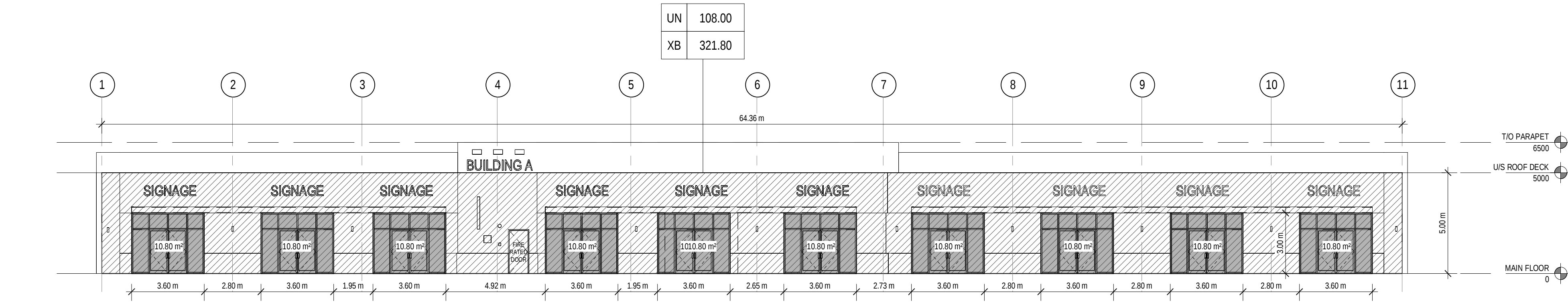
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A-A007 SCALE 1 : 150



2 WEST ELEVATION - EXPOSING BUILDING FACE
A-A007 SCALE 1 : 150

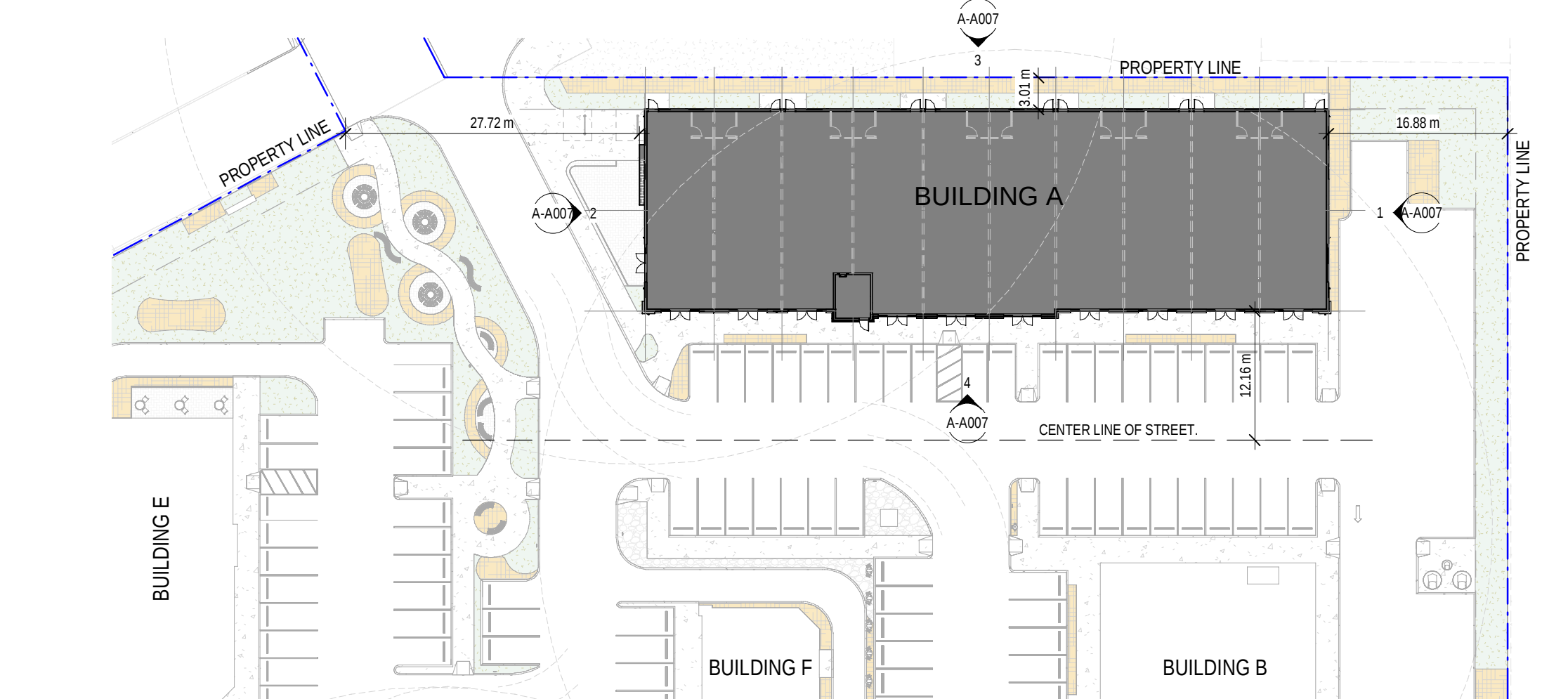


3 NORTH ELEVATION - EXPOSING BUILDING FACE
A-A007 SCALE 1 : 150



4 SOUTH ELEVATION - EXPOSING BUILDING FACE
A-A007 SCALE 1 : 150

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E												
TABLE 3.2.3.1.C (NBC-2023AE) AREA OF UNPROTECTED OPENING									TABLE 3.2.3.7. (NBC-2023AE) CONSTRUCTION OF EXPOSED BUILDING FACE			
ELEV #	BUILDING FACE	OCCUPANCY CLASSIFICATION	COMPARTMENT	LIMITING DISTANCE	AREA OF E.B.F m	RATIO (U/H OR H/L)	PROP. AREA OF UPO	ALLOWED UPO	FRR	TYPE OF CONST.	TYPE OF CLADDING	WALL ASSEMBLY
1	EAST	GROUP E	MAIN FLOOR	16.88m > 16m TO P.L.	94.85 < 100	3.8 : 1 (3.1 TO 10 : 1)	N/A	100%	N/A	N/A	N/A	REFER TO CONSTRUCTION ASSEMBLIES
2	WEST	GROUP E	MAIN FLOOR	27.72 > 16m TO P.L.	94.85 < 100	3.8 : 1 (3.1 TO 10 : 1)	N/A	100%	N/A	N/A	N/A	
3	NORTH	GROUP E	MAIN FLOOR	3.01 < 3m TO P.L.	321.8 < 350	13 : 1 (OVER 10 : 1)	0%	5%	2HR	Noncombustible	Noncombustible	
4	SOUTH	GROUP E	MAIN FLOOR	> 9m TO C.L. OF STREET PER ABC-2023 - 3.2.3.10 (2)	321.8 < 350	13 : 1 (OVER 10 : 1)	N/A	100%	N/A	N/A	N/A	
P.L. I.L. UPO E.B.F C.L.	PROPERTY LINE IMAGINARY LINE UNPROTECTED OPENING EXPOSING BUILDING FACE CENTER LINE											



5 KEY PLAN
A-A007 SCALE 1 : 500

GENERAL NOTES, A007

THIS DRAWING ILLUSTRATES IN SCHEMATIC, THE BUILDING CODE ANALYSIS AND REQUIREMENTS FOR THE PROJECT INCLUDING FIRE PROTECTION, SPATIAL, AND ROOM REQUIREMENTS, EXISTING, OCCUPANCIES AND BARRIER FREE DESIGN.

THE BUILDING CODE COMPLIANCE INFORMATION PRESENTED ON THIS DRAWING IS AN OVERVIEW FOR INFORMATION PURPOSES AND IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL AND ENGINEERING DOCUMENTS.

COLOURED VERSION OF THIS DRAWINGS MAY BE PROVIDED FOR INFORMATION AND COORDINATION PURPOSES.

FOR FIRE PROTECTION AND SPRINKLERED AREAS OR DETAILS REFER TO MECHANICAL/ELECTRICAL DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL WORK IN FULL ACCORDANCE WITH THE LATEST EDITION, INCLUDING ALL REVISIONS, OF APPLICABLE CODES AND REGULATIONS OF FEDERAL, PROVINCIAL, OR LOCAL APPLICATION, IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.

LEGEND, A007 SERIES (MAY NOT APPLY)

	FIRE DEPARTMENT CONNECTION
	FACING STREET
	UNPROTECTED OPENINGS / (m²)
	EXPOSING BUILDING FACE / AREA (m²)
	SPECIAL SEPARATION (m)
	PRINCIPAL ENTRANCE
	BUILDING SECTION REFERENCE
	BUILDING ELEVATION REFERENCE
	FIRE HYDRANT/WATER SUPPLY
	FIRE ROUTE
	BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

	FIRST FLOOR
	SECOND FLOOR
	STAIRS
	WINDOWS

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4	REISSUED FOR DP	2026-04-10

Client

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT BUILDING (A)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

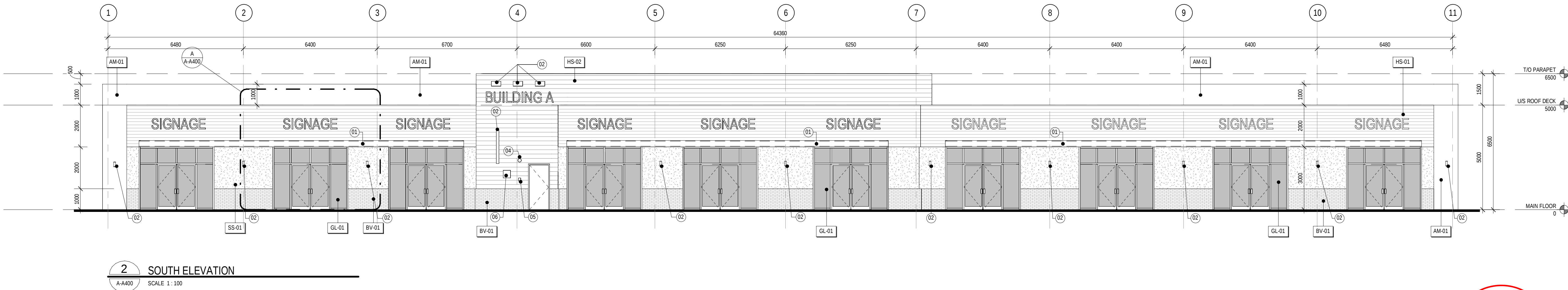
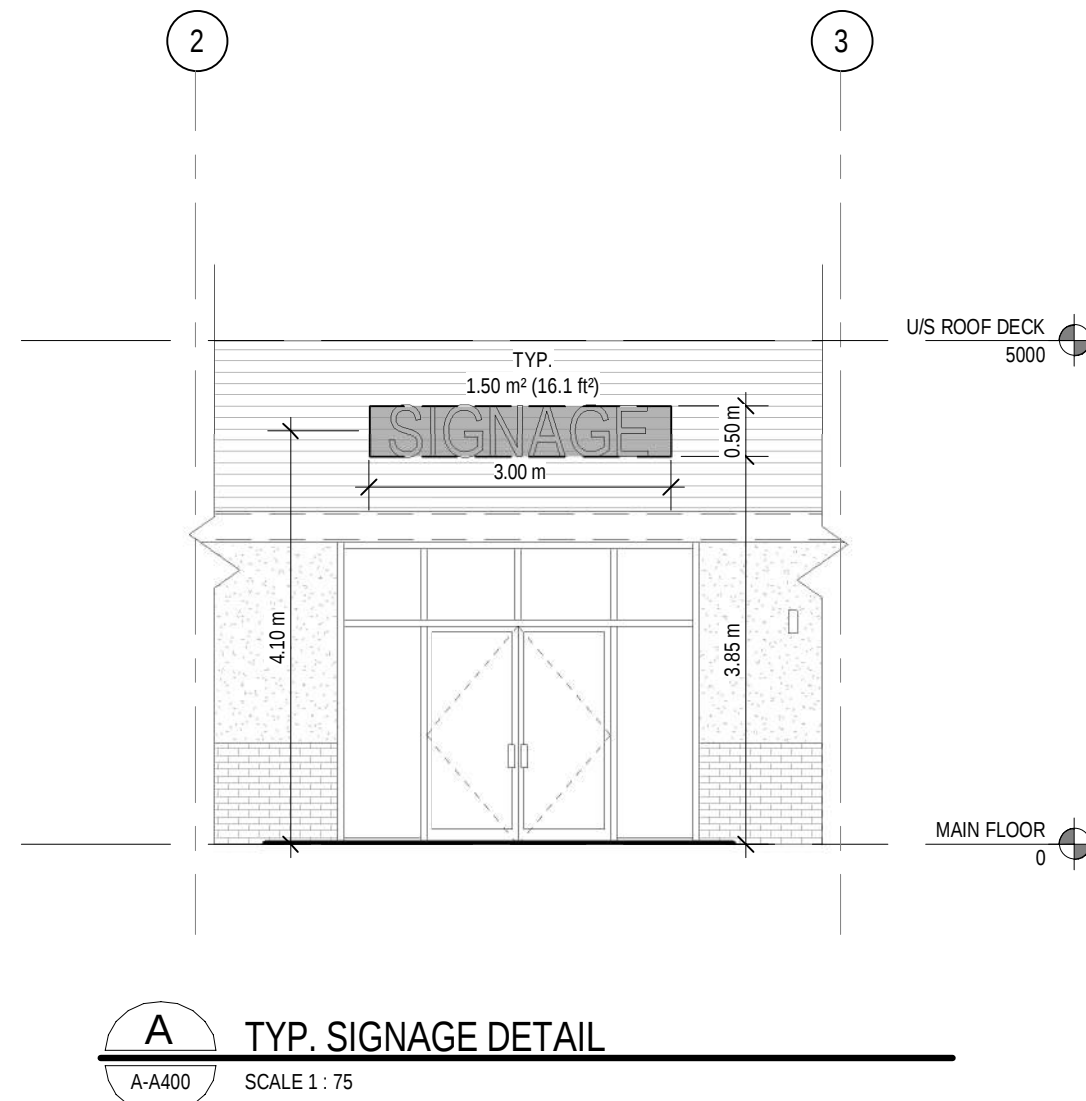
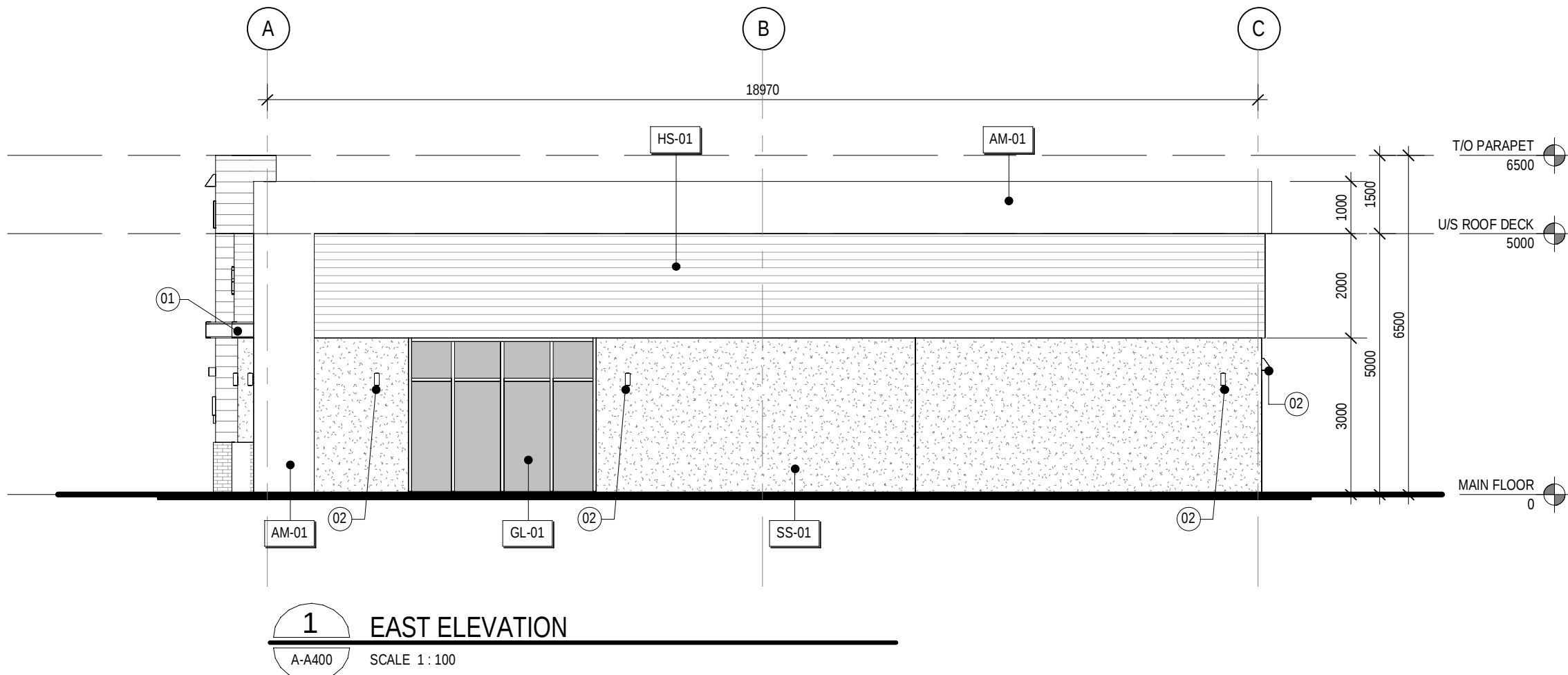
Drawing Title

UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (A)

Document Control No: 1084-A25-001-DWG-A-A007

Date: 2026-04-10
Scale: As indicated
Drawn: MA,ZK
Project: 1084-A25-001

Sheet No.
A-A007



EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR GRAY
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME. COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : RED COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CM 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS. FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-01	Prefinished Architectural Metal type
BV-01	Brick Veneer type
CM-01	Concrete Unit Masonry type
EC-01	Exposed Architectural Concrete Finish type
EP-01	Exterior Paint Colour
ES-01	Exterior Stain type
HS-01	Prefinished Metal Siding, Horizontal Type
LV-01	Prefinished Aluminum Louve unit
MB-01	Masonry Accent Band type
MF-01	Prefinished Metal Fascia type
MP-01	Metal Composite Panel System type
MS-01	Prefinished Metal Soffit type
MV-01	Masonry Veneer type
PC-01	Precast Concrete Unit type
PP-01	Prefinished Composite Board/Panel type
PR-01	Prefinished Metal roofing type
PRG	Cement Parapet
SS-01	Exterior Stucco type
VS-01	Prefinished Metal Siding, Vertical type
WD-01	Wood Panel/Trim type

ELEVATION KEYNOTES

- STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- FIRE DEPARTMENT CONNECTION
- STROBE LIGHT
- LOCKBOX

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FASCIA SIGNS (SIGN - CLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

GENERAL NOTES, A400

400 SERIES DRAWINGS ILLUSTRATE: ELEVATIONS & THE ARCHITECTURAL BUILDING AESTHETICS WORK DESCRIBED HEREIN INCLUDES, BUT IS NOT LIMITED TO EXTERIOR BUILDING MATERIALS, FINISHES, DOORS & WINDOWS, ROOFING SURFACES, FLASHINGS, TRIMS AND OTHER RELATED WORK.

FOR EXTERIOR WINDOWS & GLAZING REFER TO WINDOW SCHEDULE IN SPECIFICATIONS.

FOR EXTERIOR DOORS & FRAMES REFER TO DOOR SCHEDULE IN SPECIFICATIONS.

ALL EXPOSED METAL SURFACES AND/OR COMPONENTS WHICH ARE NOT PREFINISHED ARE TO BE PAINTED W/ EXTERIOR PAINT FORMULA. REFER TO SPECIFICATIONS.

ALL MECHANICAL LOUVRES ARE TO BE PROVIDED BY ARCHITECTURAL SPECIALTIES; REFER TO SPECIFICATIONS. REFER TO MECHANICAL FOR ALL DUCTING & FREE AREA REQUIREMENTS.

ALL MECHANICAL/ELECTRICAL FIXTURES AND/OR EQUIPMENT IS SHOWN FOR INFORMATION PURPOSES. REFER TO RELATED DISCIPLINES FOR SPECIFICATIONS & DETAILS. COORDINATE ALL WORK EXPOSED TO EXTERIOR WITH ARCHITECTURE DRAWINGS TO SUIT BUILDING LINES & APPEARANCE.

IN GENERAL, ALL EXTERIOR FINISHES SHALL BE PROVIDED PLUMB, WITH ALL FASTENERS REGULARLY SPACED & IN TRUE ALIGNMENT, WITH NEAT CORNERS, TRANSITIONS & CLOSURE.

ALL WORK MUST BE PROVIDED WEATHER TIGHT & CALLED THROUGHOUT, CAULKING COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GT*	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
GL01.1	GLAZED FRAME NO. REFER TO SCHEDULE
D101.1	NEW DOOR NO. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOPFLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 FIN MAIN FLOOR SLAB	BUILDING ELEVATION REFERENCE
1 A101	SECTION NO. DRAWING NO. / BUILDING SECTION REFERENCE
1 A101	DETAIL NO. DRAWING NO. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVER
	GLAZING AREA

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2026-04-10

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Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (A)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (A)

Document Control No: 1084-A25-001-DWG-A-A400

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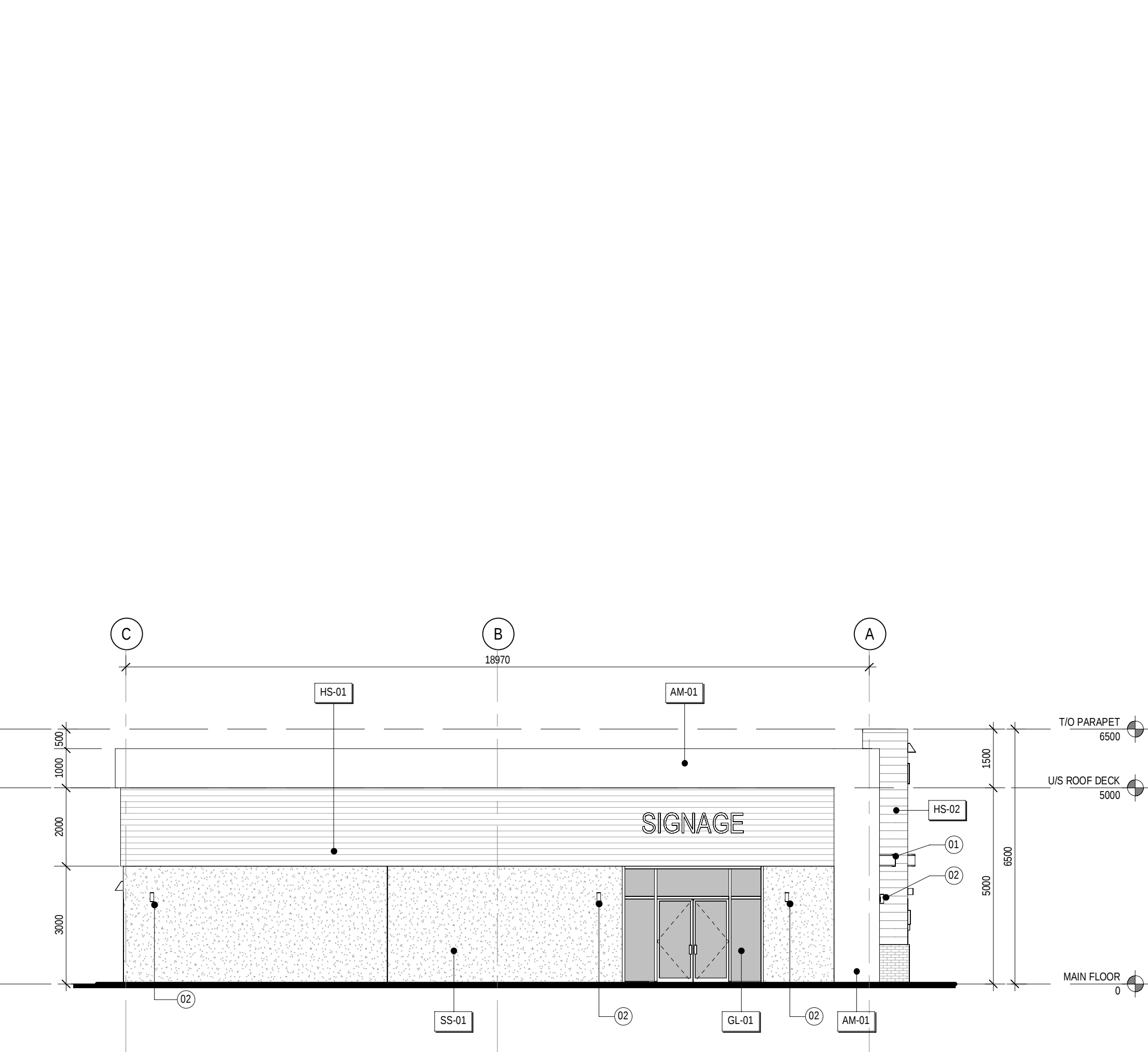
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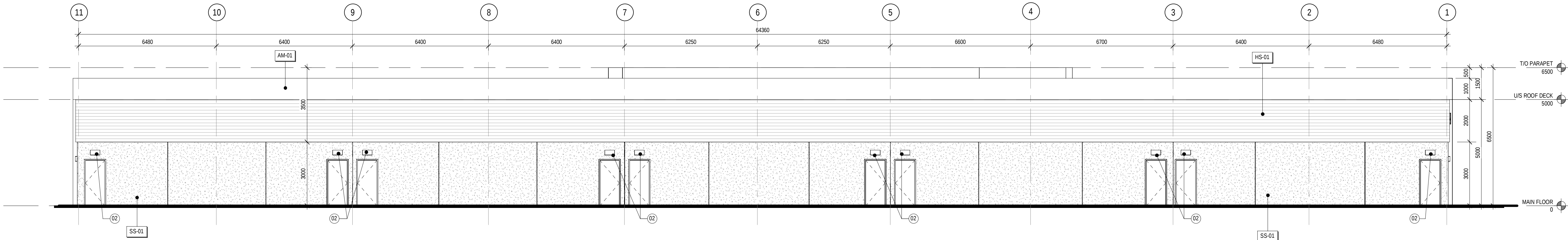
Sheet No.

A-A400

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



1 WEST ELEVATION
A-A401 SCALE 1 : 100



2 NORTH ELEVATION
A-A401 SCALE 1 : 100

EXTERIOR FINISH NOTES

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GENERAL NOTES, A400

400 SERIES DRAWINGS ILLUSTRATE: ELEVATIONS & THE ARCHITECTURAL BUILDING AESTHETICS WORK DESCRIBED HEREIN INCLUDES, BUT IS NOT LIMITED TO EXTERIOR BUILDING MATERIALS, FINISHES, DOORS & WINDOWS, ROOFING SURFACES, FLASHINGS, TRIMS AND OTHER RELATED WORK.

FOR EXTERIOR WINDOWS & GLAZING REFER TO WINDOW SCHEDULE IN SPECIFICATIONS.

FOR EXTERIOR DOORS & FRAMES REFER TO DOOR SCHEDULE IN SPECIFICATIONS.

ALL EXPOSED METAL SURFACES AND/OR COMPONENTS WHICH ARE NOT PREFINISHED ARE TO BE PAINTED W/ EXTERIOR PAINT FORMULA. REFER TO SPECIFICATIONS.

ALL MECHANICAL LOUVRES ARE TO BE PROVIDED BY ARCHITECTURAL SPECIALTIES; REFER TO SPECIFICATIONS. REFER TO MECHANICAL FOR ALL DUCTING & FREE AREA REQUIREMENTS.

ALL MECHANICAL/ELECTRICAL FIXTURES AND/OR EQUIPMENT IS SHOWN FOR INFORMATION PURPOSES. REFER TO RELATED DISCIPLINES FOR SPECIFICATIONS & DETAILS. COORDINATE ALL WORK EXPOSED TO EXTERIOR WITH ARCHITECTURE DRAWINGS TO SUIT BUILDING LINES & APPEARANCE.

IN GENERAL, ALL EXTERIOR FINISHES SHALL BE PROVIDED PLUMB, WITH ALL FASTENERS REGULARLY SPACED & IN TRUE ALIGNMENT, WITH NEAT CORNERS, TRANSITIONS & CLOSURE.

ALL WORK MUST BE PROVIDED WEATHER TIGHT & CAULKED THROUGHOUT, CAULKING COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GT*	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
GL01.1	GLAZED FRAME NO. REFER TO SCHEDULE
D101.1	NEW DOOR NO. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 FIN MAIN FLOOR SLAB	BUILDING ELEVATION REFERENCE
A101	SECTION NO. DRAWING NO. / BUILDING SECTION REFERENCE
A101	DETAIL NO. DRAWING NO. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVER
	GLAZING AREA

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Seal



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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
1	REISSUED FOR DP	2025-11-07
2	REISSUED FOR DP	2025-11-19
3	REISSUED FOR DP	2026-01-23
4	REISSUED FOR DP	2026-04-10

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (A)

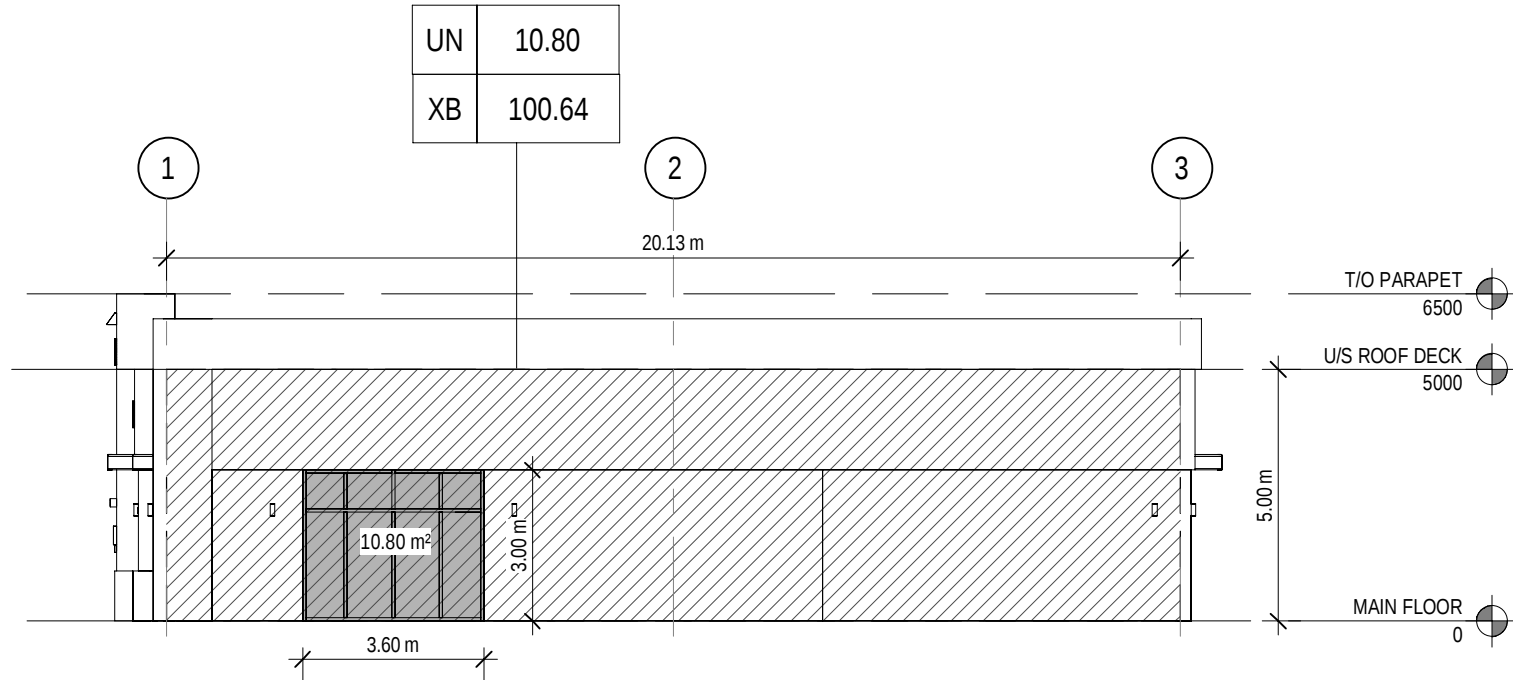
19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

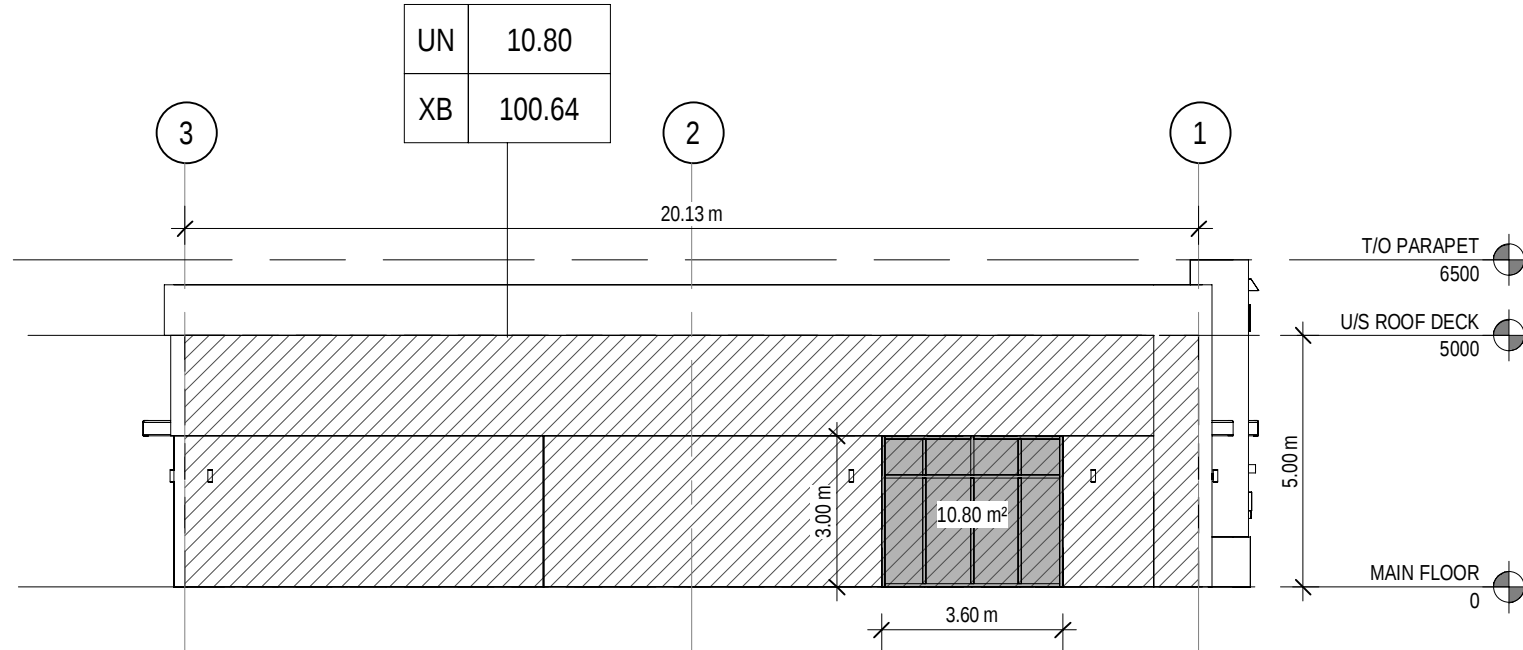
EXTERIOR ELEVATIONS
BUILDING (A)

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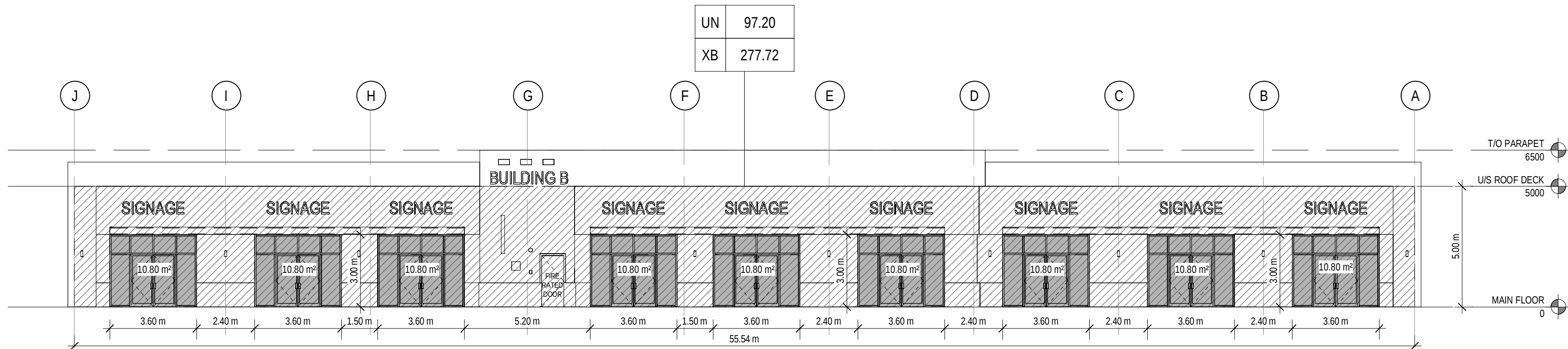
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



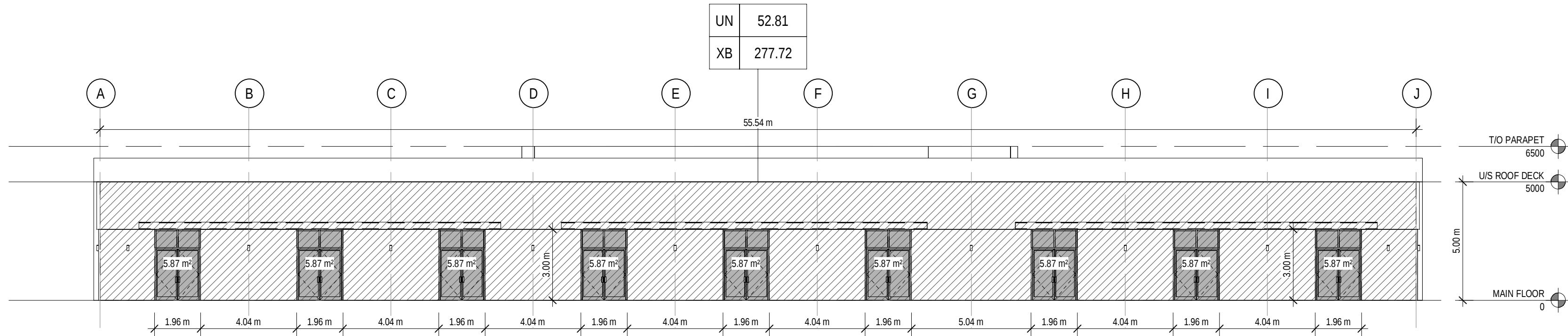
1 SOUTH ELEVATION - EXPOSING BUILDING FACE



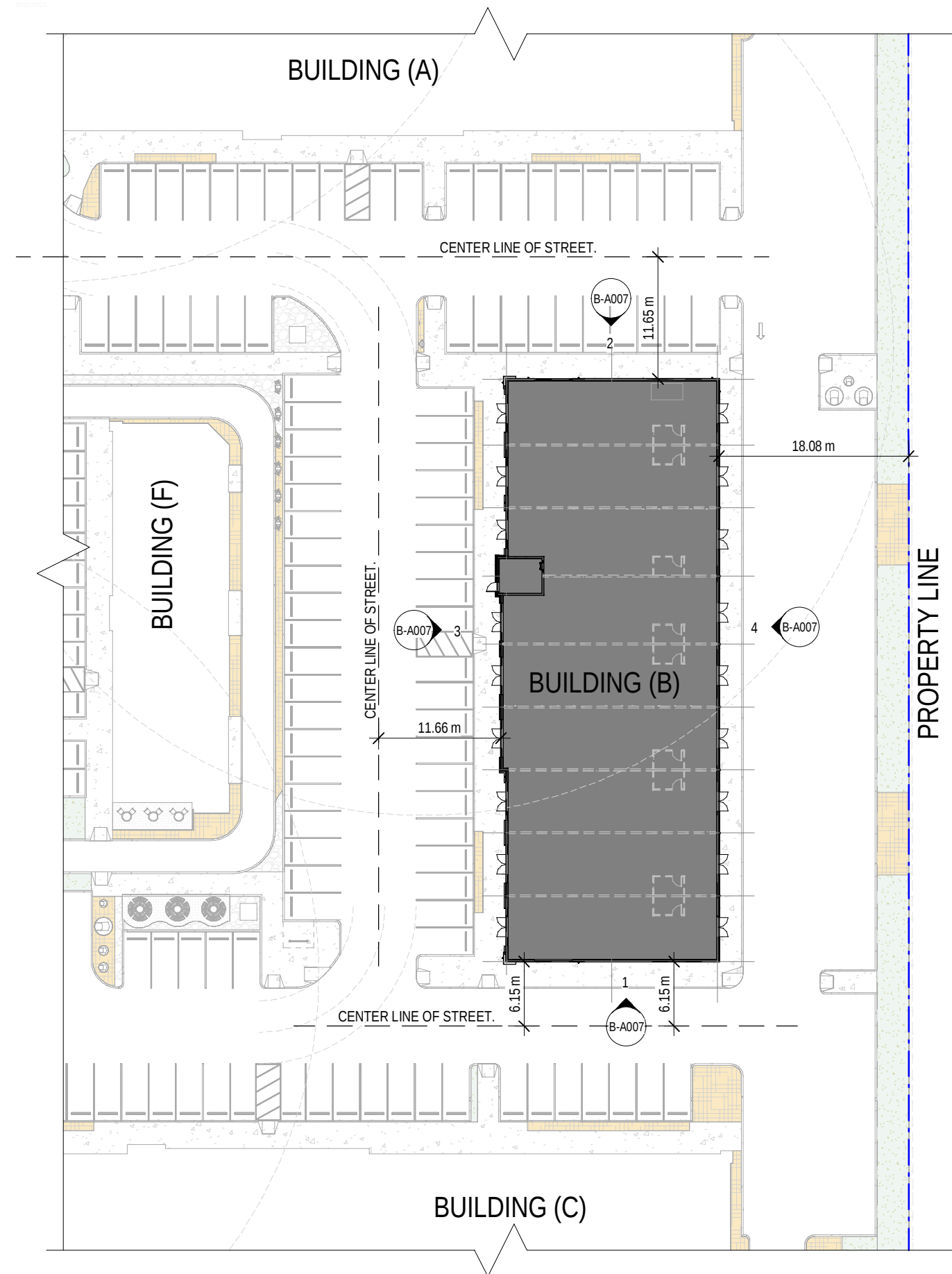
2 NORTH ELEVATION - EXPOSING BUILDING FACE



3 WEST ELEVATION - EXPOSING BUILDING FACE



4 EAST ELEVATION - EXPOSING BUILDING FACE



5 KEY PLAN

GENERAL NOTES, A007

THIS DRAWING ILLUSTRATES IN SCHEMATIC, THE BUILDING CODE ANALYSIS AND REQUIREMENTS FOR THE PROJECT INCLUDING FIRE PROTECTION, SPATIAL AND ROOM REQUIREMENTS, EXISTING, OCCUPANCIES AND BARRIER FREE DESIGN.

THE BUILDING CODE COMPLIANCE INFORMATION PRESENTED ON THIS DRAWING IS AN OVERVIEW FOR INFORMATION PURPOSES AND IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL AND ENGINEERING DOCUMENTS.

COLOURED VERSION OF THIS DRAWINGS MAY BE PROVIDED FOR INFORMATION AND COORDINATION PURPOSES.

FOR FIRE PROTECTION AND SPRINKLER AREAS OR DETAILS REFER TO MECHANICAL/ELECTRICAL DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL WORK IN FULL ACCORDANCE WITH THE LATEST EDITION, INCLUDING ALL REVISIONS, OF APPLICABLE CODES AND REGULATIONS OF FEDERAL, PROVINCIAL, OR LOCAL APPLICATION, IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.

LEGEND, A007 SERIES

(MAY NOT APPLY)

	FIRE DEPARTMENT CONNECTION
	FACING STREET
	UNPROTECTED OPENINGS / (m²)
	EXPOSING BUILDING FACE / AREA (m²)
	SPECIAL SEPARATION (m)
	PRINCIPAL ENTRANCE
	BUILDING SECTION REFERENCE
	BUILDING ELEVATION REFERENCE
	FIRE HYDRANT/WATER SUPPLY
	FIRE ROUTE
	BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

	FIRST FLOOR
	SECOND FLOOR
	STAIRS
	WINDOWS

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E

TABLE 3.2.3.1.C (NBC-2023AE) AREA OF UNPROTECTED OPENING								TABLE 3.2.3.7. (NBC-2023AE) CONSTRUCTION OF EXPOSED BUILDING FACE				
ELEV #	BUILDING FACE	OCCUPANCY CLASSIFICATION	COMPARTMENT	LIMITING DISTANCE	AREA OF E.B.F m ²	RATIO (L/H OR H/L)	PROP. AREA OF UPO	ALLOWED UPO	FRR	TYPE OF CONST.	TYPE OF CLADDING	WALL ASSEMBLY
1	SOUTH	GROUP E	MAIN FLOOR	6.15m > 6m TO C.L. OF STREET	100.64 < 150	4 : 1 (3 : 1 TO 10 : 1)	10.73%	13%	2HR	Combustible Encapsulated mass timber, or Noncombustible	Noncombustible	REFER TO CONSTRUCTION ASSEMBLIES
2	NORTH	GROUP E	MAIN FLOOR	> 9m TO C.L. OF STREET PER ABC-2023 - 3.2.3.10.(2)	< 150	4 : 1 (3 : 1 TO 10 : 1)	16.07%	100%	NA	N/A	N/A	
3	WEST	GROUP E	MAIN FLOOR	> 9m TO C.L. OF STREET PER ABC-2023 - 3.2.3.10.(2)	< 350	11 : 1 (OVER 10 : 1)	NA	100%	NA	N/A	N/A	
4	EAST	GROUP E	MAIN FLOOR	>18m TO P.L.	277.72 < 350	11 : 1 (OVER 10 : 1)	19.02%	43%	1HR	Combustible Encapsulated mass timber, or Noncombustible	Noncombustible	

P.L. PROPERTY LINE
I.L. IMAGINARY LINE
UPO UNPROTECTED OPENING
E.B.F. EXPOSING BUILDING FACE
C.L. CENTER LINE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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Seal



2026-04-10

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Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (B)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

UNPROTECTED OPENING
& SPATIAL SEPARATION
BUILDING (B)

Document Control No: 1084-A25-001-DWG-B-A007

Date: 2026-04-10

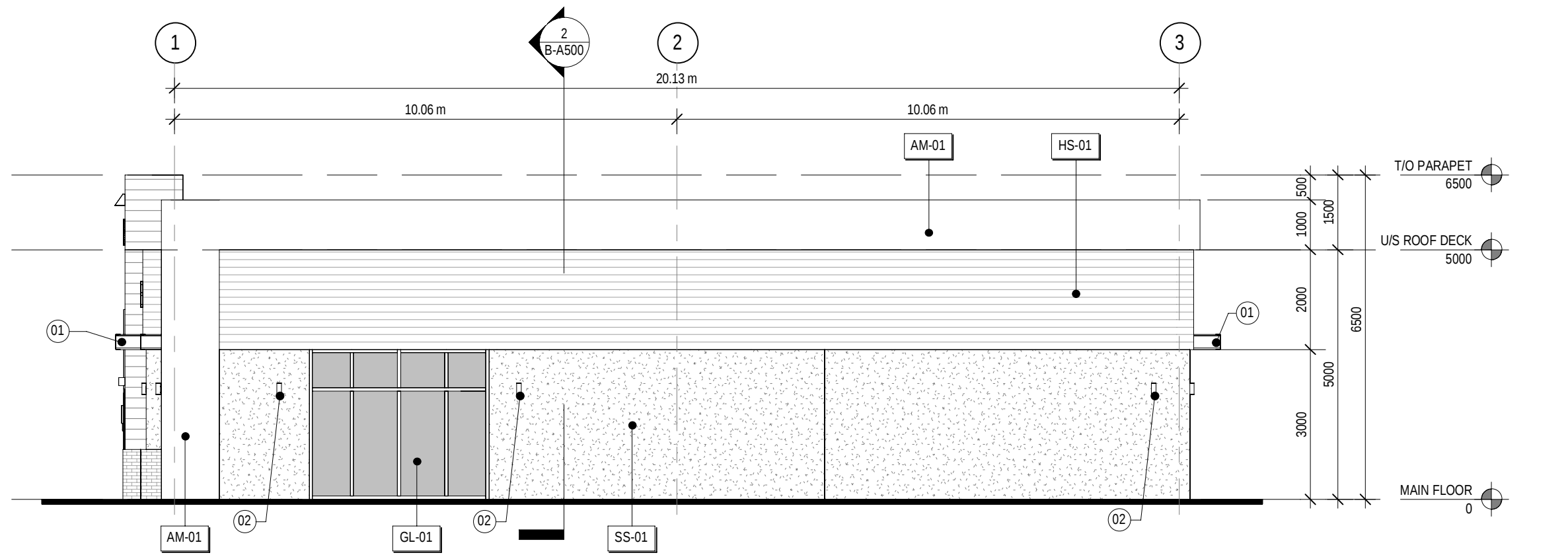
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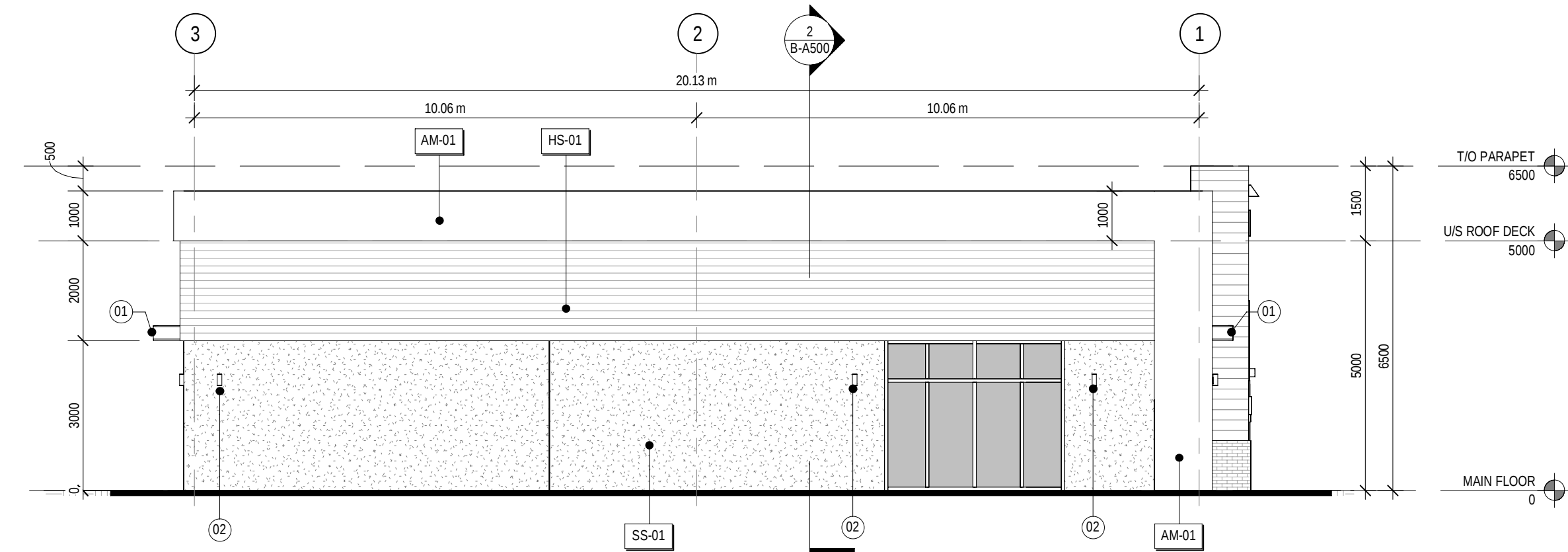
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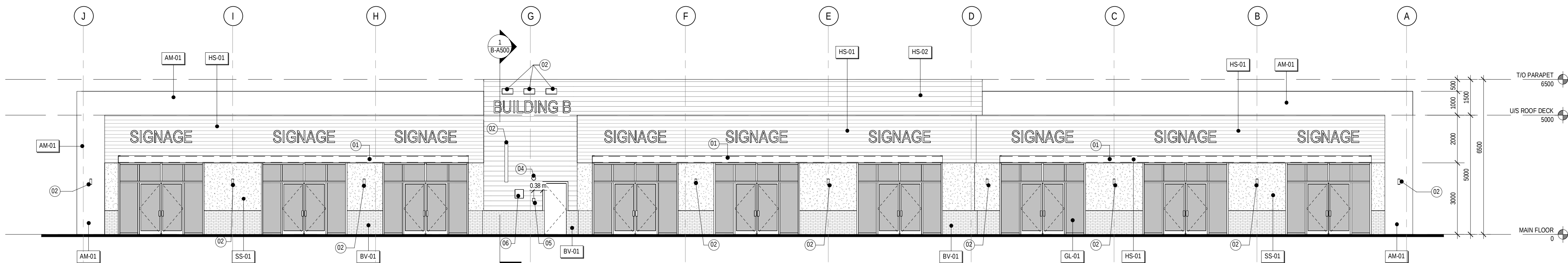
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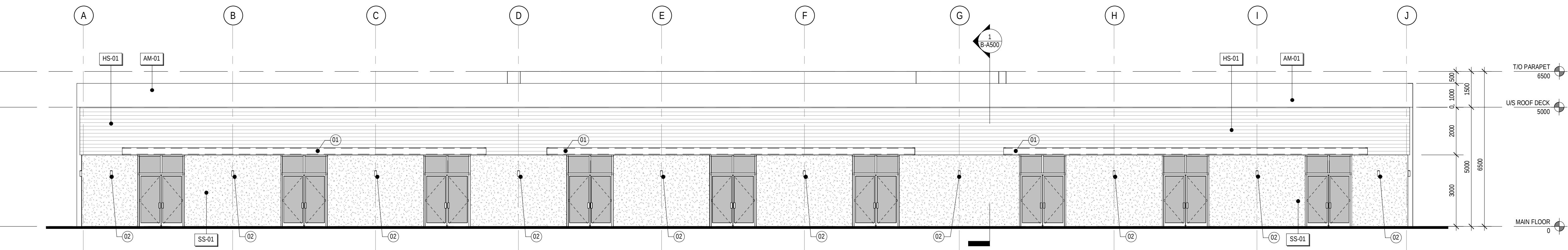
1 SOUTH ELEVATION
B-A400 SCALE 1 : 100



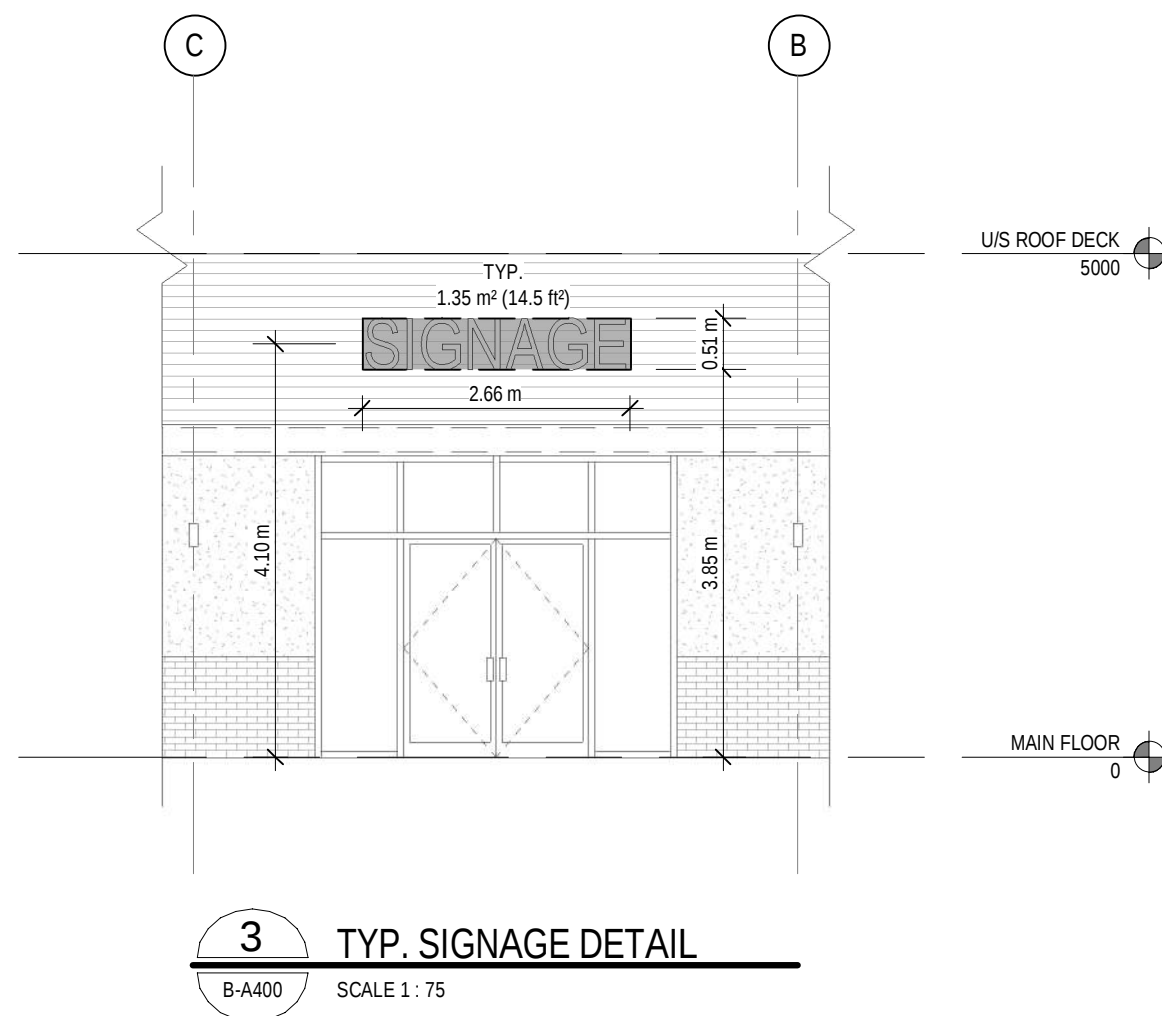
5 NORTH ELEVATION
B-A400 SCALE 1 : 100



2 WEST ELEVATION
B-A400 SCALE 1 : 100



4 EAST ELEVATION
B-A400 SCALE 1 : 100



3 TYP. SIGNAGE DETAIL
B-A400 SCALE 1 : 75

EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR GRAY
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	<varies>
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CW 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS, FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-00 Prefinished Architectural Metal type
BV-00 Brick Veneer type
CM-00 Concrete Unit Masonry type
EC-00 Exposed Architectural Concrete Finish type
EP-00 Exterior Paint Colour
ES-00 Exterior Stair type
HS-00 Prefinished Metal Siding, Horizontal Type
LV-00 Prefinished Aluminum Louvre unit
MF-00 Prefinished Metal Fascia type
MP-00 Metal Composite Panel System type
MS-00 Prefinished Metal Soffit type
MV-00 Masonry Veneer type
PC-00 Precast Concrete Unit type
PP-00 Prefinished Composite Board/Panel type
PR-00 Prefinished Metal roofing type
PRG-00 Cement Parging
SS-00 Exterior Stucco type
VS-00 Prefinished Metal Siding, Vertical type
WD-00 Wood Panel/Trim type

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FASCIA SIGNS (SIGN - GLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

ELEVATION KEY NOTES

- (01) STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- (02) WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- (03) FIRE DEPARTMENT CONNECTION
- (04) STROBE LIGHT
- (05) LOCKBOX
- (06) FAAP

GENERAL NOTES, A400

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LEGEND, A400 SERIES

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XX-00	EXTERIOR FINISHES/MATERIALS
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GT9	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
2	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MARK FLOOR SLAB	BUILDING ELEVATION REFERENCE
1 A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
1 A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

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Seal



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Client



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152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (B)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (B)

Document Control No: 1084-A25-001-DWG-B-A400

Date: 2026-04-10

Scale: As indicated

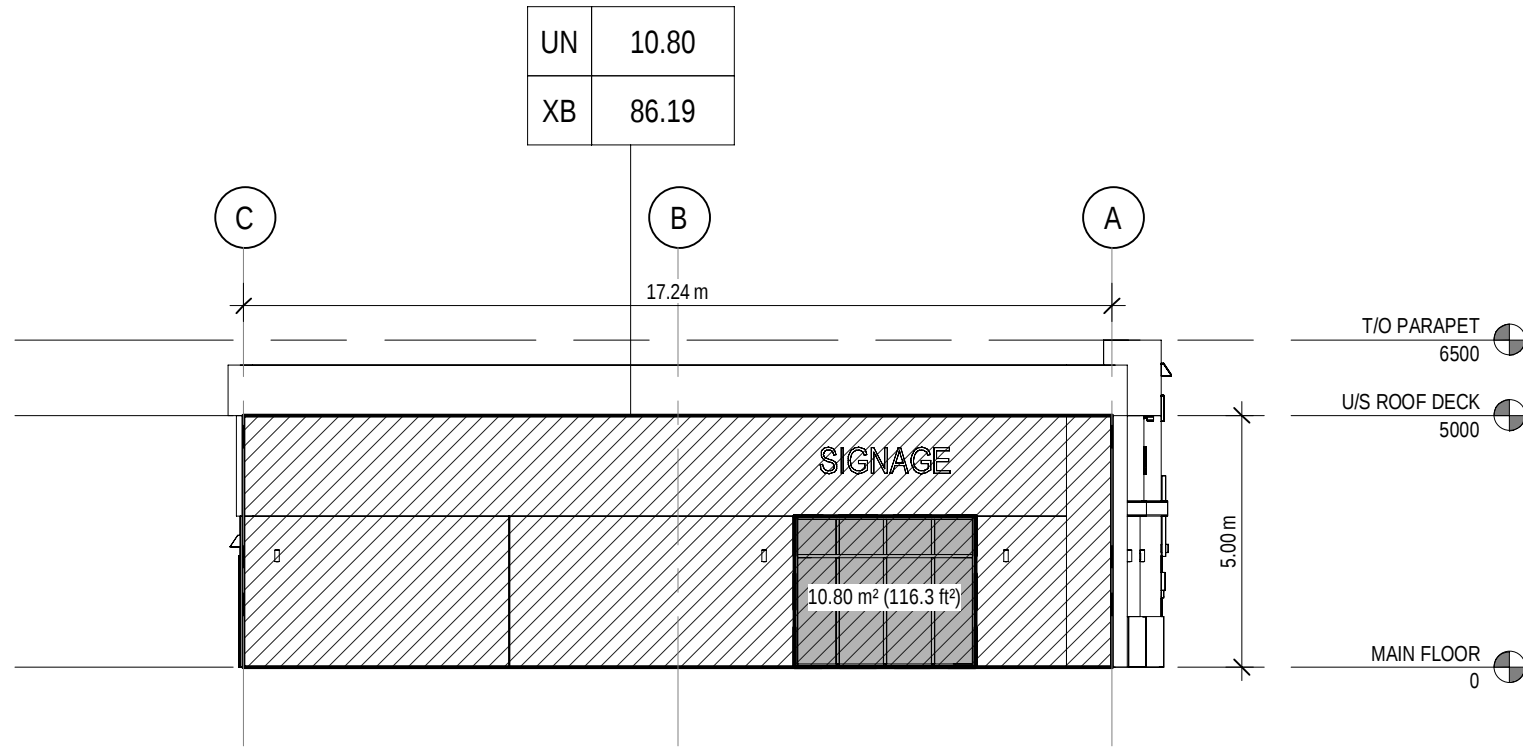
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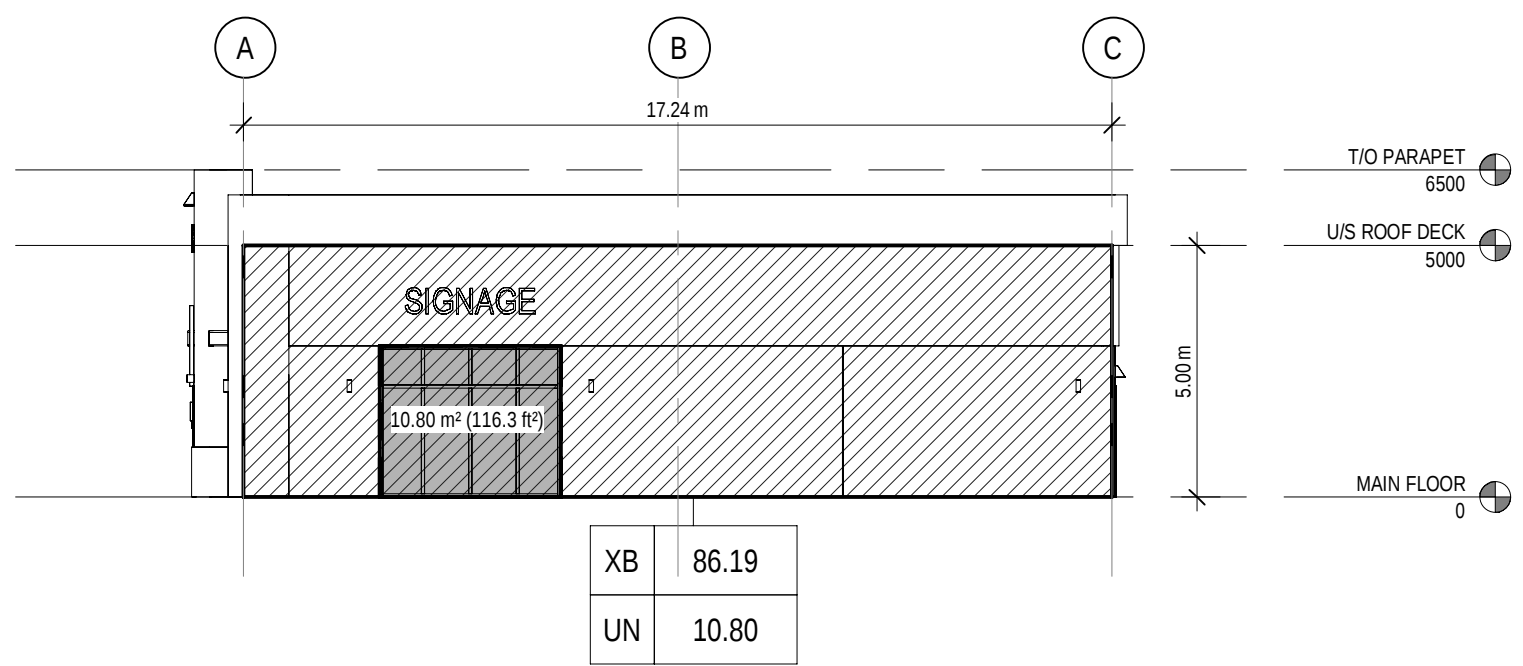
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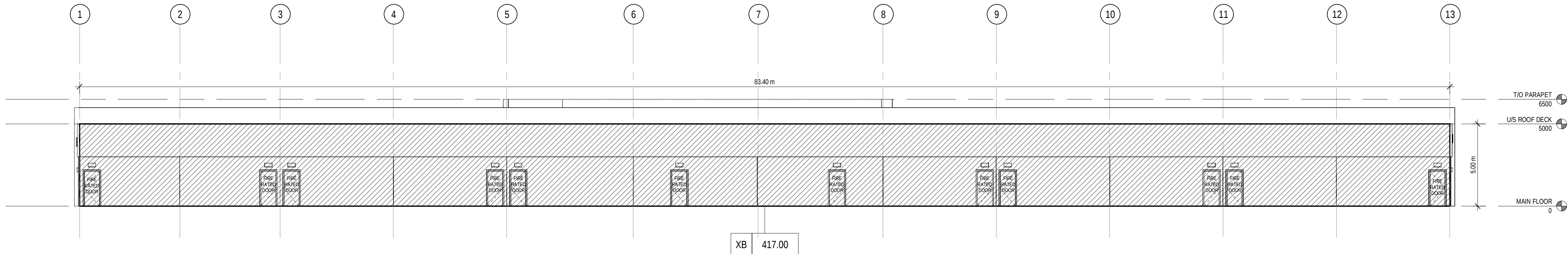
DEVELOPMENT
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DECISION
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ON THIS PLAN



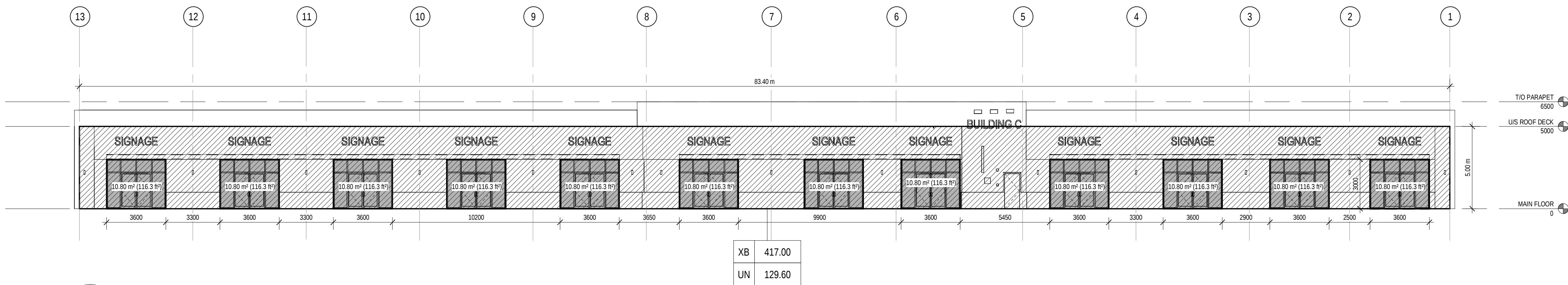
1 EAST ELEVATION - EXPOSING BUILDING FACE
C-A007 SCALE 1:150



2 WEST ELEVATION - EXPOSING BUILDING FACE
C-A007 SCALE 1:150



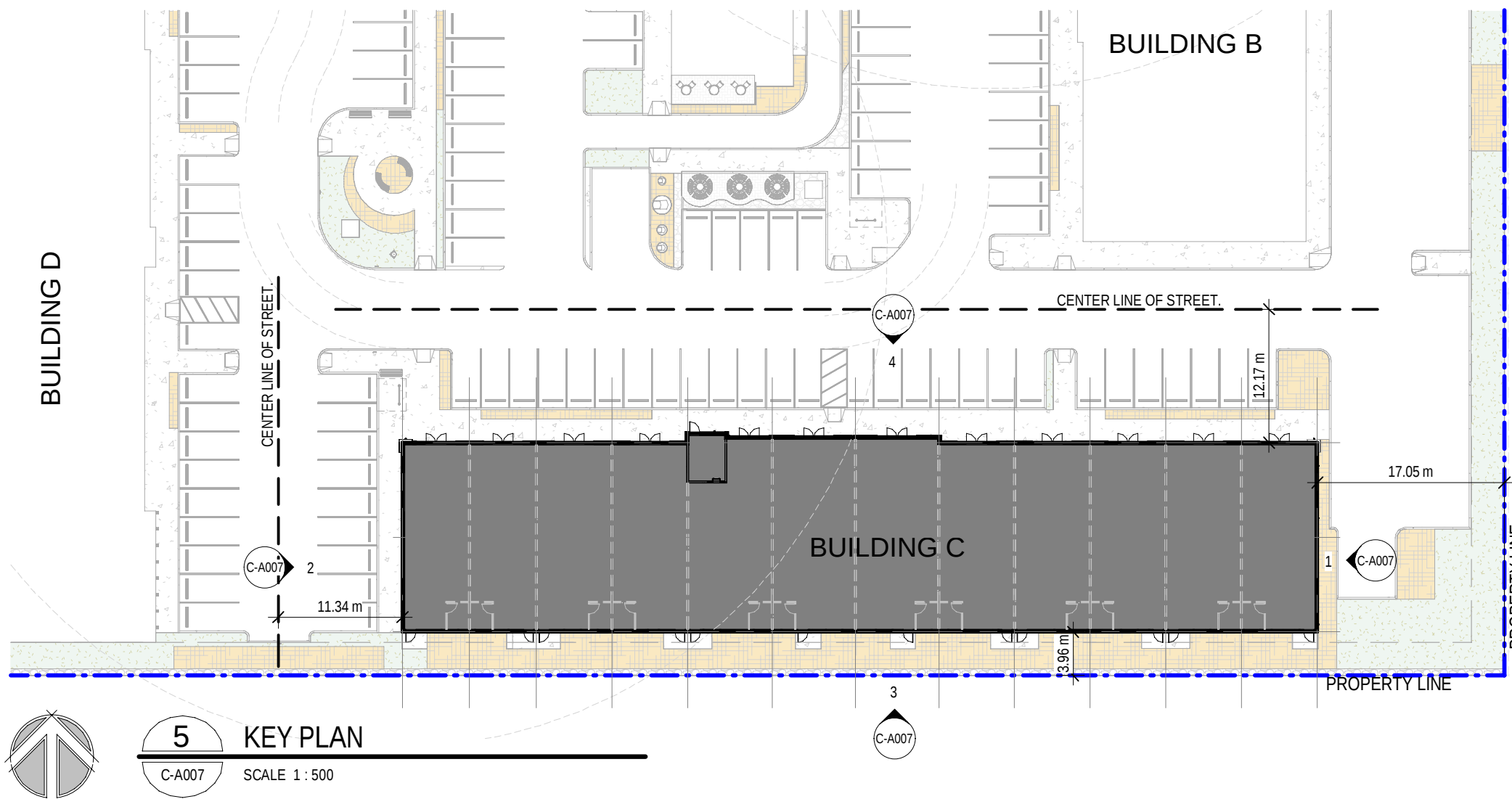
3 SOUTH ELEVATION - EXPOSING BUILDING FACE
C-A007 SCALE 1:150



4 NORTH ELEVATION - EXPOSING BUILDING FACE
C-A007 SCALE 1:150

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E											
TABLE 3.2.3.1.C (NBC-2023AE) AREA OF UNPROTECTED OPENING						TABLE 3.2.3.7. (NBC-2023AE) CONSTRUCTION OF EXPOSED BUILDING FACE					
ELEV #	BUILDING FACE	COMPARTMENT	LIMITING DISTANCE	AREA OF E.B.F m ₂	RATIO (L/H OR HL)	PROP. AREA OF UPO	ALLOWED UPO	FRR	TYPE OF CONST.	TYPE OF CLADDING	WALL ASSEMBLY
1	EAST	MAIN FLOOR	17.05m > 16m TO P.L.	86.19 < 100	3.5 : 1 (3 : 1 TO 10 : 1)	12.53%	100%	N/A	N/A	N/A	REFER TO CONSTRUCTION ASSEMBLIES
2	WEST	MAIN FLOOR	> 9m TO C.L. OF STREET PER ABC-2023-3.2.3.10 (2)	< 100	3.5 : 1 (3 : 1 TO 10 : 1)	12.53%	100%	N/A	N/A	N/A	
3	SOUTH	MAIN FLOOR	3.96m > 3m TO P.L.	417 > 500	16.5 : 1 (OVER 10 : 1)	0 %	5%	2HR	Noncombustible	Noncombustible	
4	NORTH	MAIN FLOOR	> 9m TO C.L. OF STREET PER ABC-2023-3.2.3.10 (2)	> 500	16.5 : 1 (OVER 10 : 1)	31.08%	100%	N/A	N/A	N/A	

P.L. PROPERTY LINE
I.L. IMAGINARY LINE
UPO UNPROTECTED OPENING
E.B.F. EXPOSING BUILDING FACE
C.L. CENTER LINE



5 KEY PLAN
C-A007 SCALE 1:500

GENERAL NOTES, A007

THIS DRAWING ILLUSTRATES IN SCHEMATIC, THE BUILDING CODE ANALYSIS AND REQUIREMENTS FOR THE PROJECT INCLUDING FIRE PROTECTION, SPATIAL AND ROOM REQUIREMENTS, EXISTING, OCCUPANCIES AND BARRIER FREE DESIGN.

THE BUILDING CODE COMPLIANCE INFORMATION PRESENTED ON THIS DRAWING IS AN OVERVIEW FOR INFORMATION PURPOSES AND IS TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL AND ENGINEERING DOCUMENTS.

COLOURED VERSION OF THIS DRAWINGS MAY BE PROVIDED FOR INFORMATION AND COORDINATION PURPOSES.

FOR FIRE PROTECTION AND SPRINKLER AREAS OR DETAILS REFER TO MECHANICAL/ELECTRICAL DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL WORK IN FULL ACCORDANCE WITH THE LATEST EDITION, INCLUDING ALL REVISIONS, OF APPLICABLE CODES AND REGULATIONS OF FEDERAL, PROVINCIAL OR LOCAL APPLICATION, IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. MEET OR EXCEED THE REQUIREMENTS OF SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.

LEGEND, A007 SERIES

(MAY NOT APPLY)

	FIRE DEPARTMENT CONNECTION
	FACING STREET
	UNPROTECTED OPENINGS / (m ²)
	EXPOSING BUILDING FACE / AREA (m ²)
	SPACIAL SEPARATION (m)
	PRINCIPAL ENTRANCE
	BUILDING SECTION REFERENCE
	BUILDING ELEVATION REFERENCE
	FIRE HYDRANT/WATER SUPPLY
	FIRE ROUTE
	BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

	FIRST FLOOR
	WINDOWS

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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DRAWING WILL BE ISSUED AS PART OF PERMIT WORK PACKAGE (PWP).

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4	REISSUED FOR DP	2026-04-10

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (C)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

UNPROTECTED OPENING
& SPATIAL SEPARATION
BUILDING (C)

Document Control No: 1084-A25-001-DWG-C-A007

Date: 2026-04-10

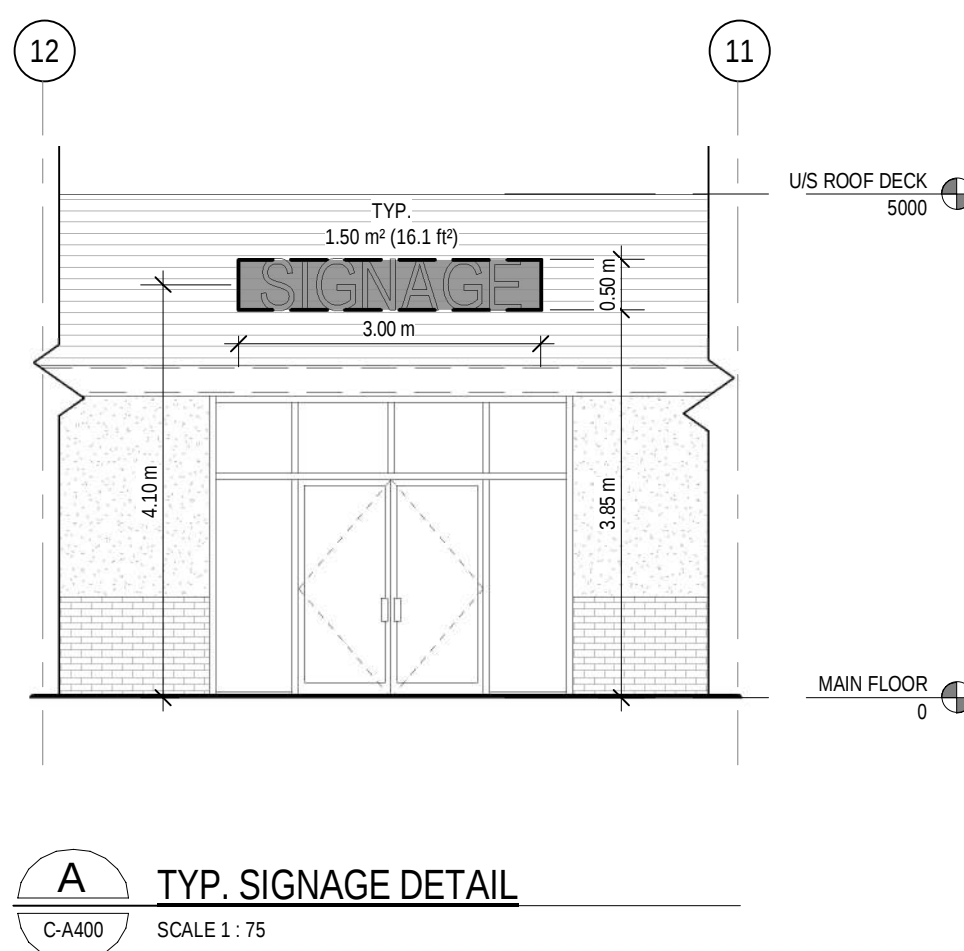
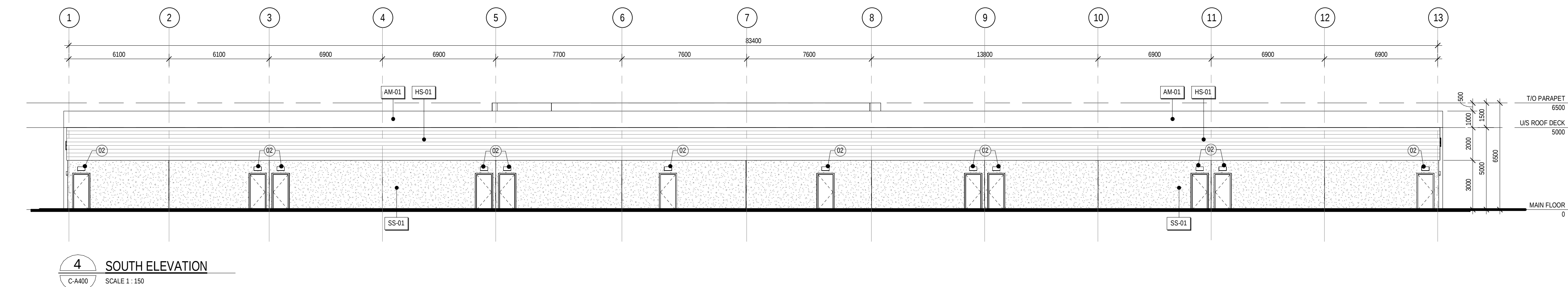
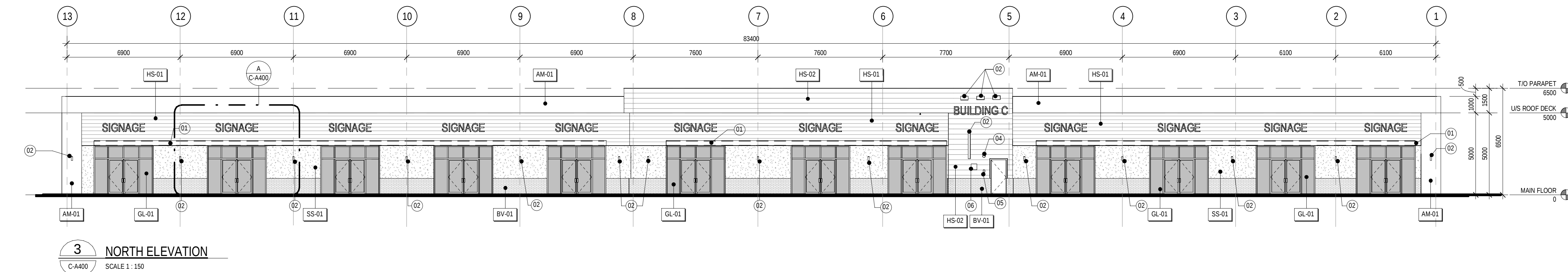
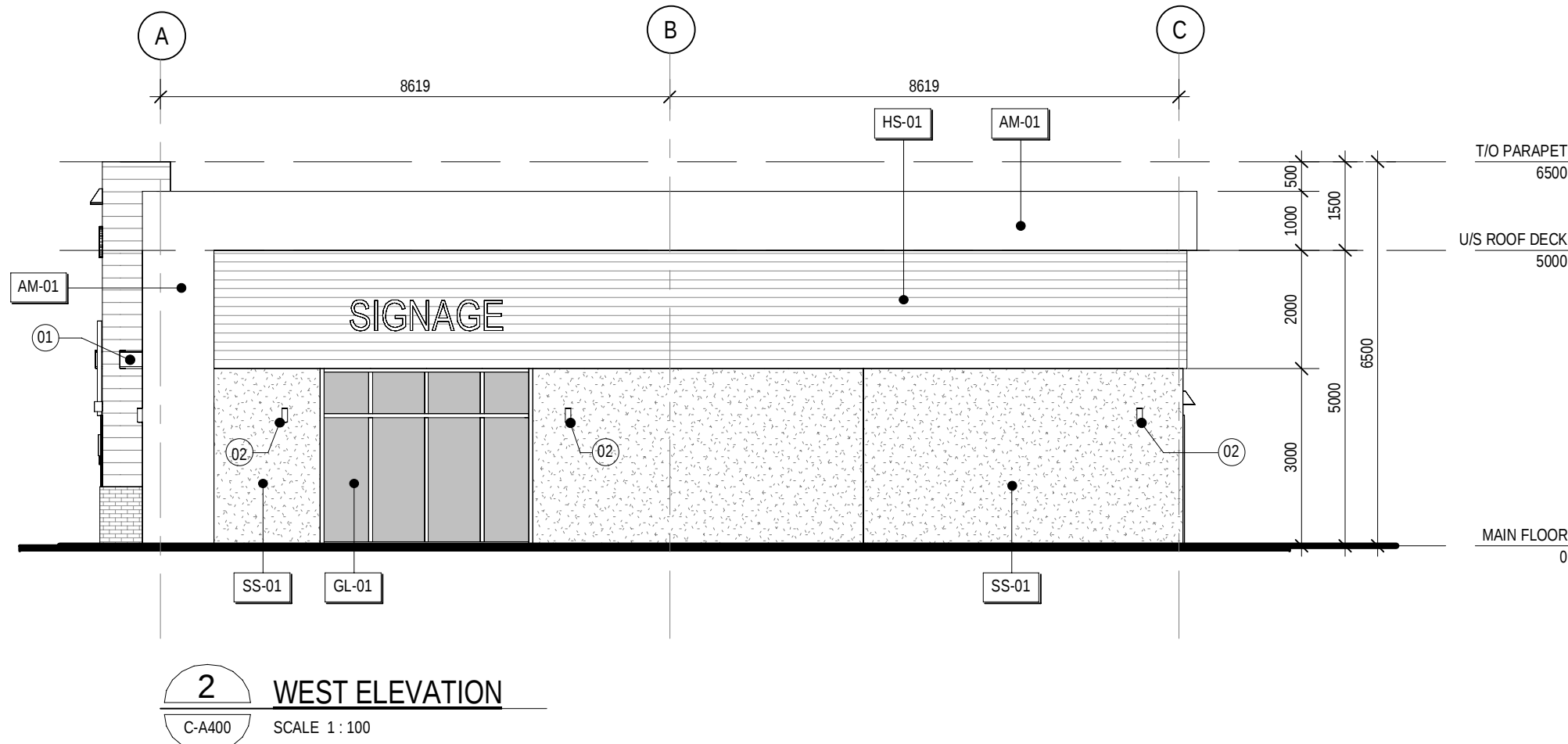
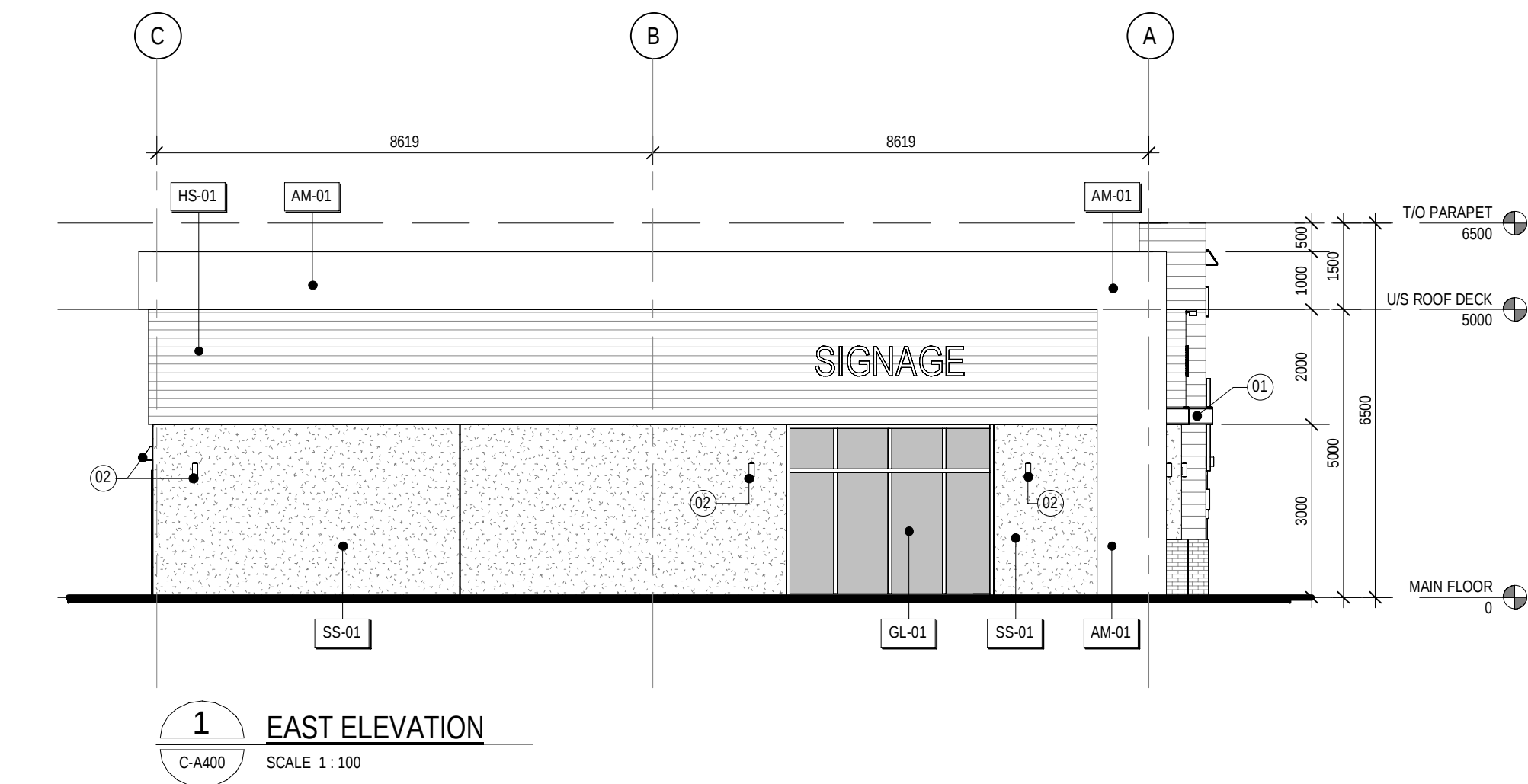
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Project: 1084-A25-001

Sheet No.

C-A007



EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR BLACK
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : BLUE COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CW 13mm REVEALS AS SHOWN. REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS. FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-00	Prefinished Architectural Metal type
BV-00	Brick Veneer type
CM-00	Concrete Unit Masonry type
EC-00	Exposed Architectural Concrete Finish type
EP-00	Exterior Paint Colour
ES-00	Exterior Siding type
HS-00	Prefinished Metal Siding, Horizontal Type
LV-00	Prefinished Aluminum Louvre unit
MB-00	Masonry Accent Band type
MF-00	Prefinished Metal Fascia type
MP-00	Metal Composite Panel System type
MS-00	Prefinished Metal Soffit type
MV-00	Masonry Veneer type
PC-00	Precast Concrete Unit type
PP-00	Prefinished Composite Board/Panel type
PR-00	Prefinished Metal roofing type
PRG	Cement Plastering
SS-00	Exterior Stucco type
VS-00	Prefinished Metal Siding, Vertical type
WP-00	Wood Panel/Trim type

ELEVATION KEYNOTES

01	STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
02	WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
04	STROBE LIGHT
05	LOCKBOX
06	FAAP

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FASCIA SIGNS (SIGN-CLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

GENERAL NOTES, A400

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ALL WORK MUST BE PROVIDED WEATHER TIGHT & CAULKED THROUGHOUT, CAULKING COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GTF	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
?	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MAIN FLOOR SLAB	BUILDING ELEVATION REFERENCE
1 A101	SECTION No. / BUILDING SECTION REFERENCE
1 A101	DETAIL No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.
502 - 4730 GATEWAY BOULEVARD NW,
EDMONTON, AB T6H 4P1

Structural Engineering



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Client



PEAKRIDGE GROUP
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OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (C)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (C)

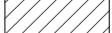
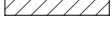
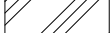
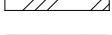
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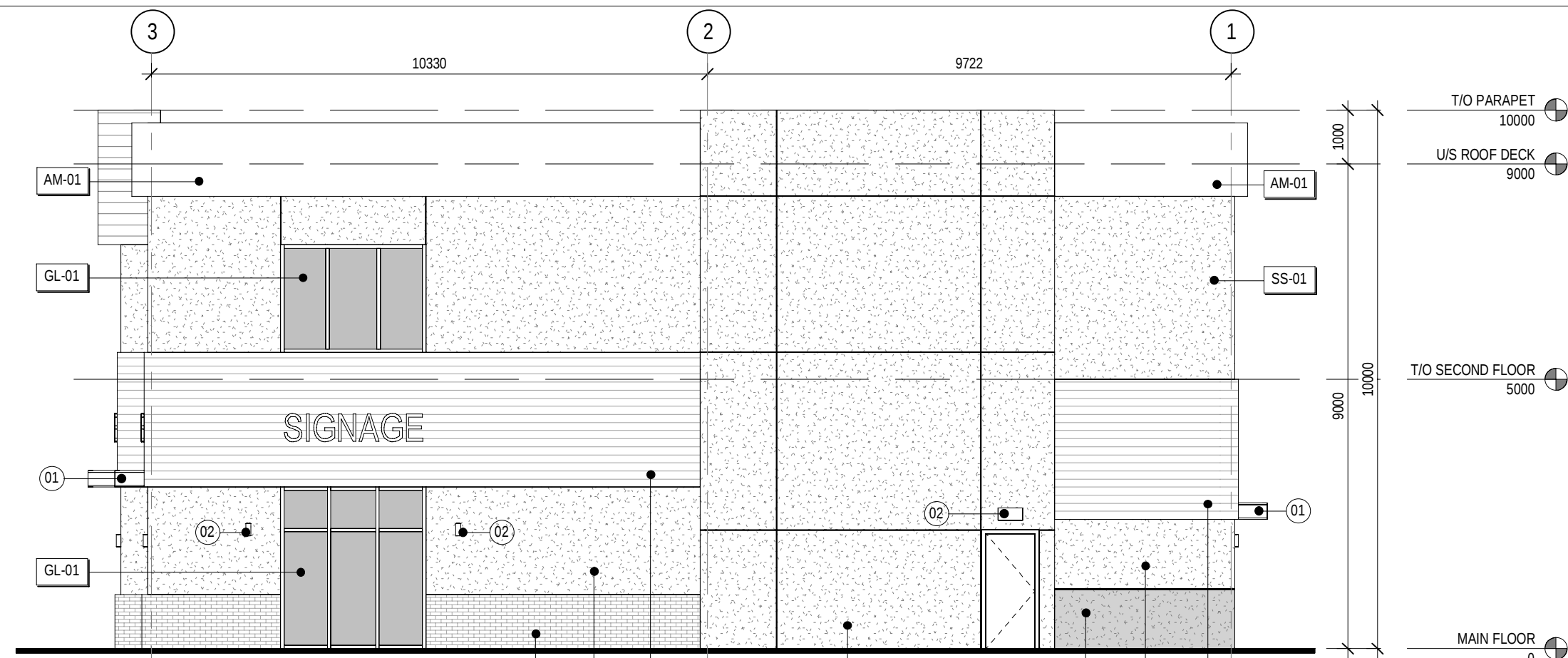


P.L	PROPERTY LINE
I.L	IMAGINARY LINE
UPO	UNPROTECTED OPENING
E.B.F	EXPOSING BUILDING FACE
C.L	CENTER LINE

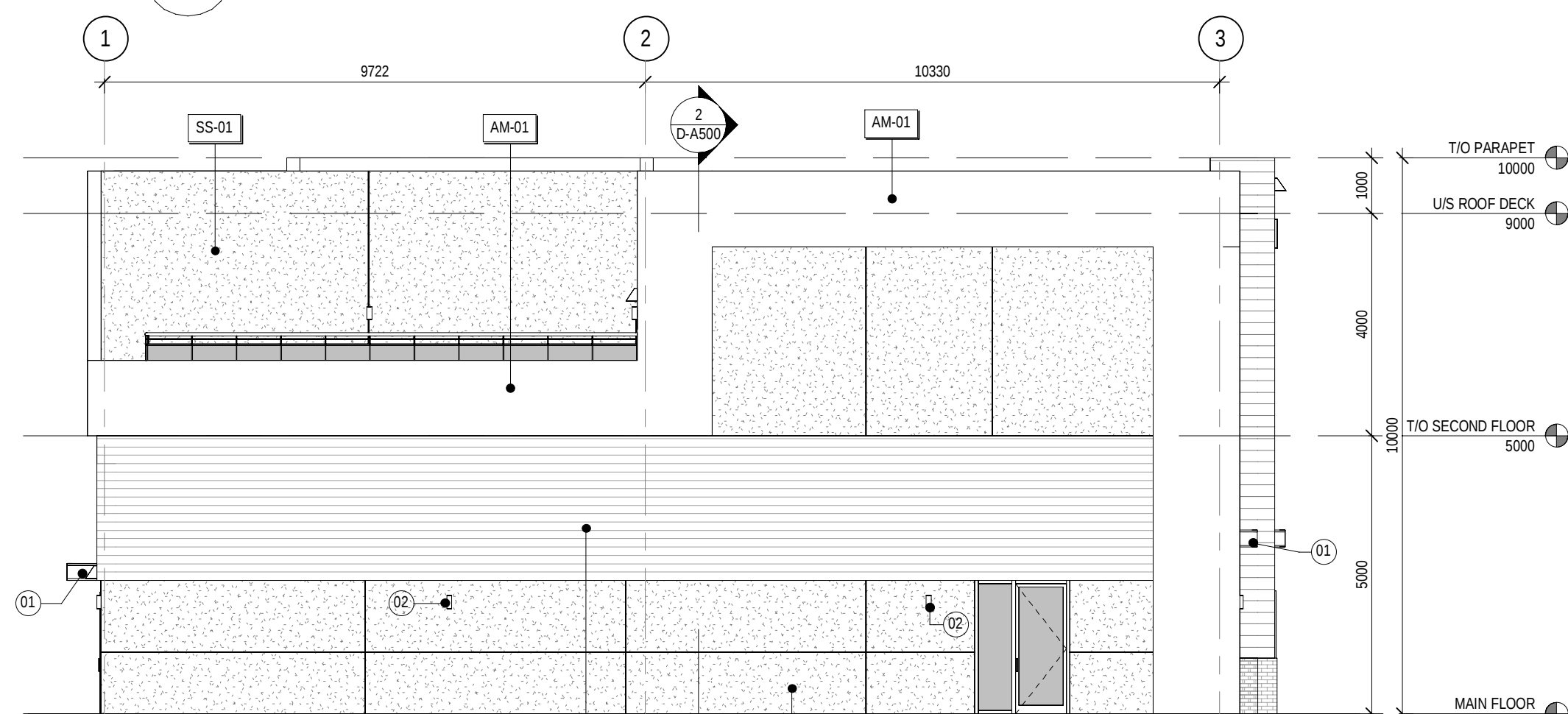
EXPOSING BUILDING FACE LEGEND

	FIRST FLOOR
	SECOND FLOOR
	STAIRS
	WINDOWS

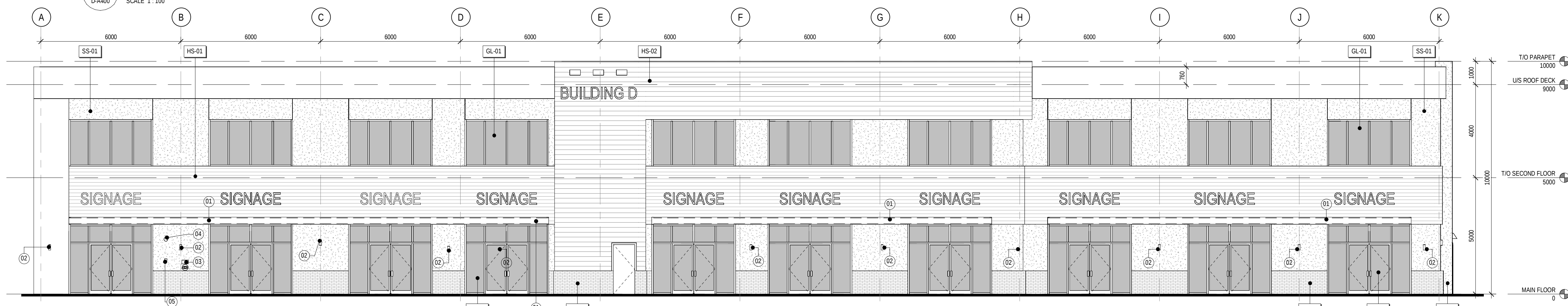




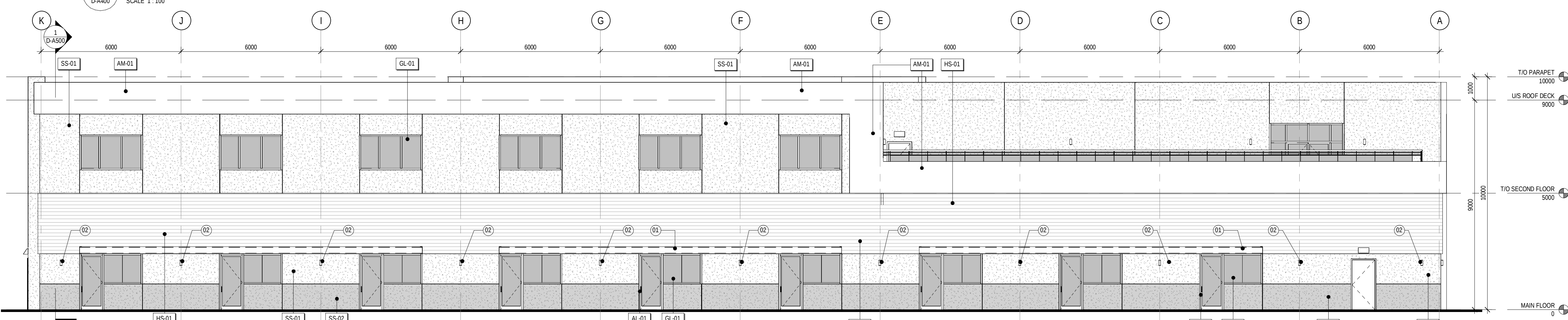
1 NORTH ELEVATION
D-A400 SCALE 1:100



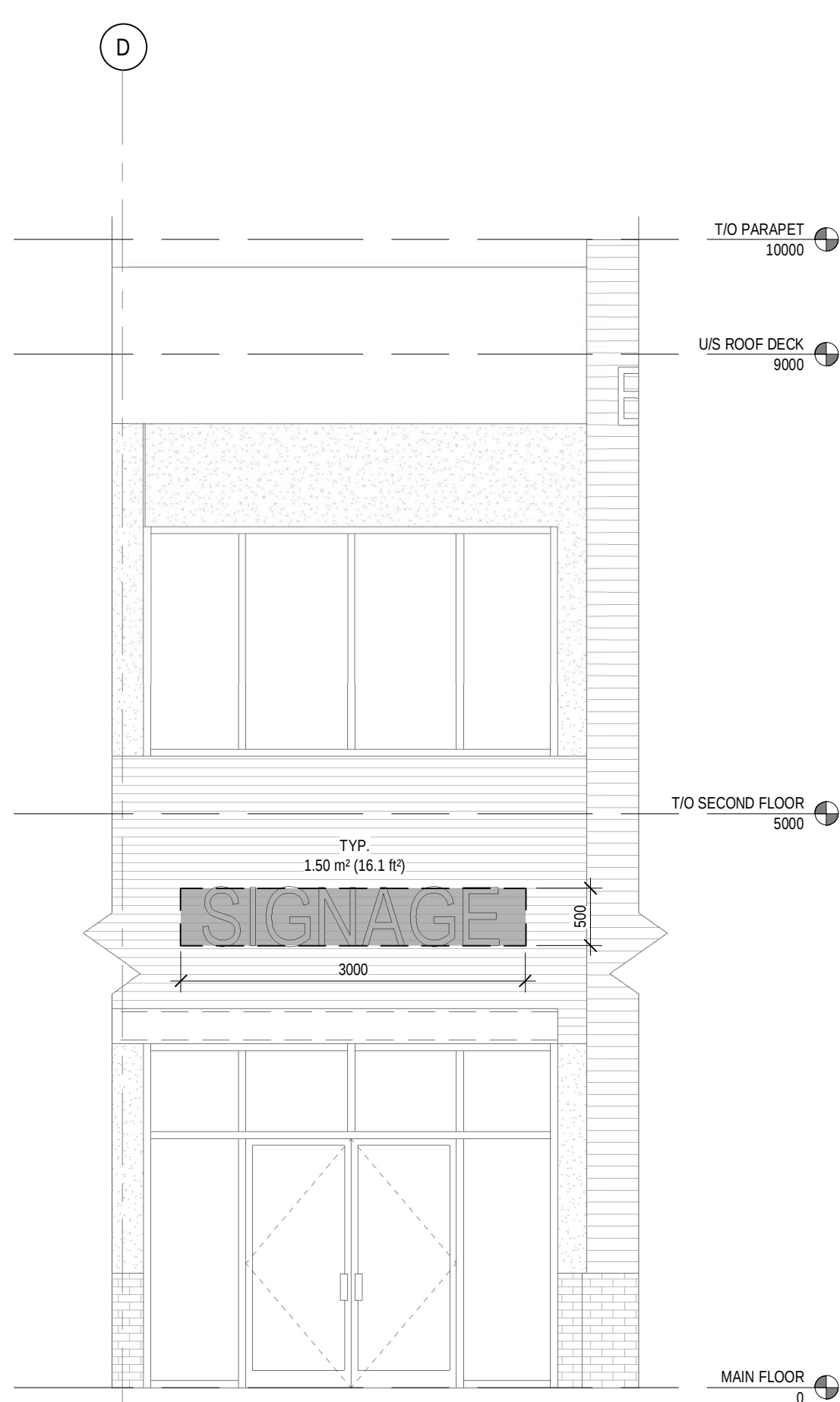
2 SOUTH ELEVATION
D-A400 SCALE 1:100



3 EAST ELEVATION
D-A400 SCALE 1:100



4 WEST ELEVATION
D-A400 SCALE 1:100



A TYP. SIGNAGE DETAIL
D-A400 SCALE 1:50

EXTERIOR FINISH NOTES

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- BV-01 THIN STONE VENEER (LIGHT GRAY)
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- HS-01 PRE-FINISHED HORIZONTAL METAL SIDING : BLUE COLOR
- HS-02 PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
- SS-01 VENTED RAINSCREEN EIFS SYSTEM CW 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS. FINISH COLOUR: WHITE
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- HS-00 Prefinished Metal Siding, Horizontal Type
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- MB-00 Masonry Accent Band type
- MF-00 Prefinished Metal Fascia type
- MP-00 Metal Composite Panel System type
- MS-00 Prefinished Metal Siding type
- MV-00 Masonry Veneer type
- PC-00 Precast Concrete Unit type
- PP-00 Prefinished Composite Board/Panel type
- PR-00 Prefinished Metal roofing type
- PRG Cement Parapet
- SS-00 Exterior Stucco type
- VS-00 Prefinished Metal Siding, Vertical type
- WD-00 Wood Panel/Trim type

ELEVATION KEYNOTES

- (01) STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- (02) WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- (03) FIRE DEPARTMENT CONNECTION
- (04) STROBE LIGHT
- (05) LOCKBOX

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LEGEND, A400 SERIES

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XX-00	EXTERIOR FINISHES/MATERIALS
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GT*	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOPFLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00	BUILDING ELEVATION REFERENCE
1 A101	SECTION No.
1 A101	DRAWING No. / BUILDING SECTION REFERENCE
1 A101	DETAIL No.
1 A101	DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

SENALTEK
ARCHITECTURE PLANNING + DESIGN

SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.
502 - 4730 GATEWAY BOULEVARD NW,
EDMONTON, AB T6H 4P1

Structural Engineering

SENALTEK
STRUCTURAL ENGINEERING + FORENSICS

ELEQRON

ELEQRON INC.
255 - 720 28 STREET NE
CALGARY, ALBERTA, T2A 6R3

investec

INVISTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
YYCPLANNING@INVISTEC.CA
P: 587.588.8256

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4	REISSUED FOR DP	2026-04-10

Client

PEAKRIDGE
GROUP

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (D)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (D)

Document Control No: 1084-A25-001-DWG-D-A400

Date: 2026-04-10

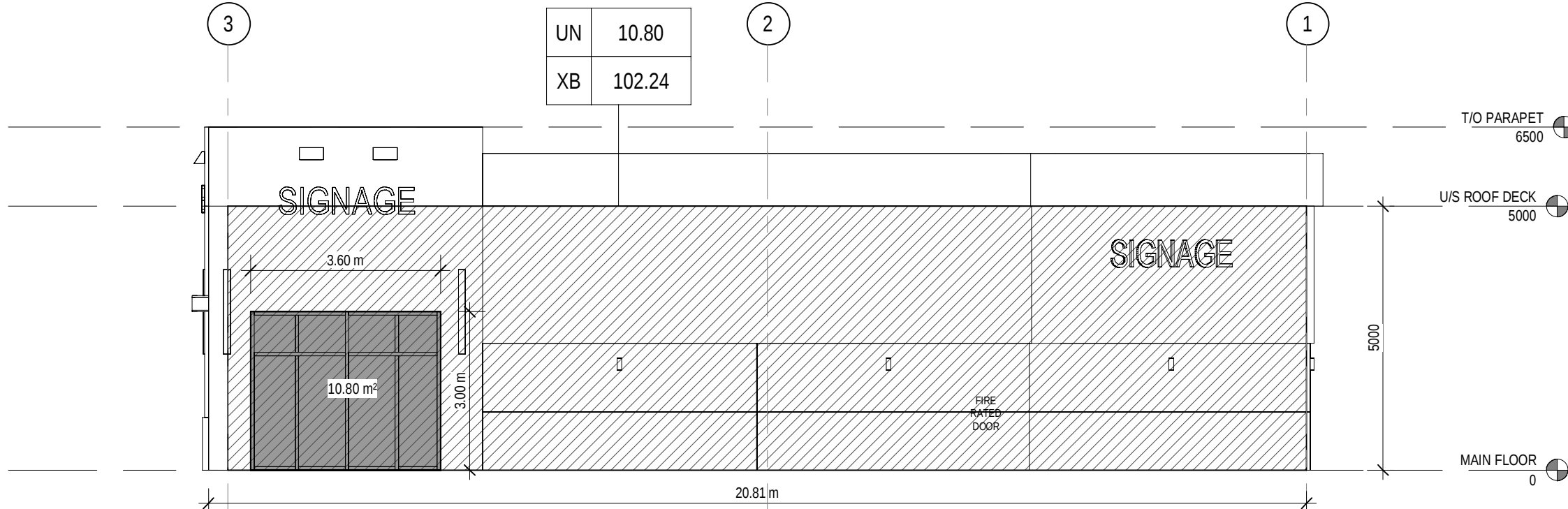
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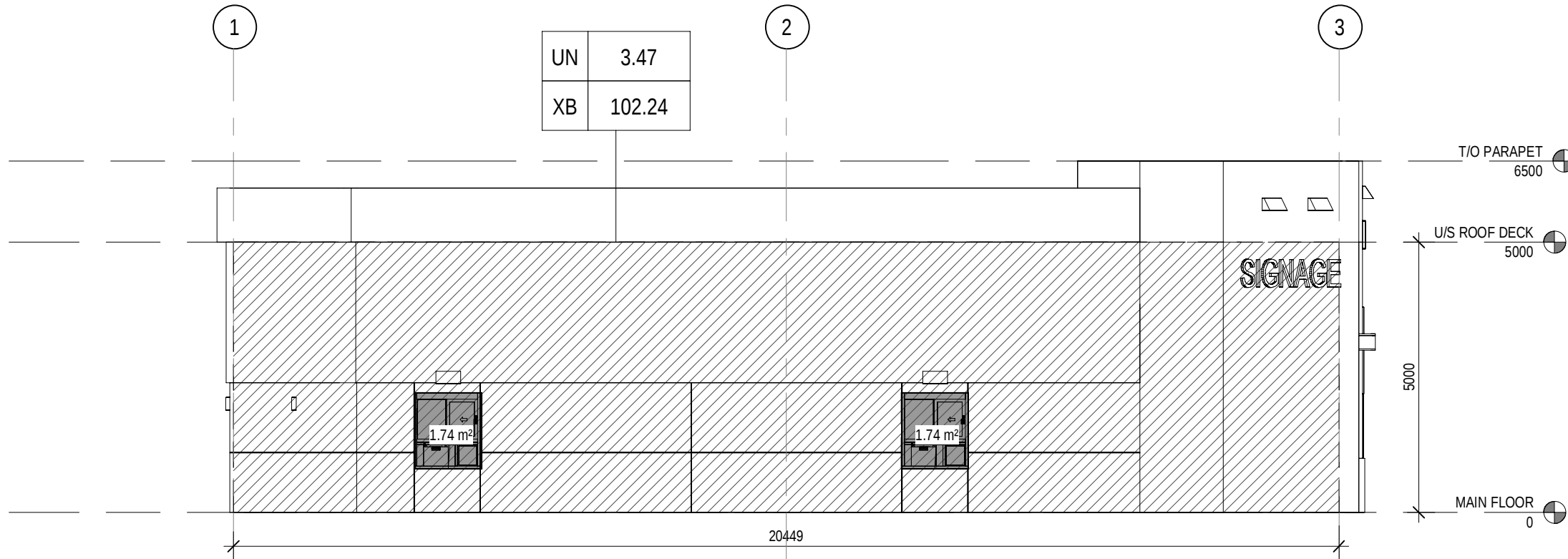
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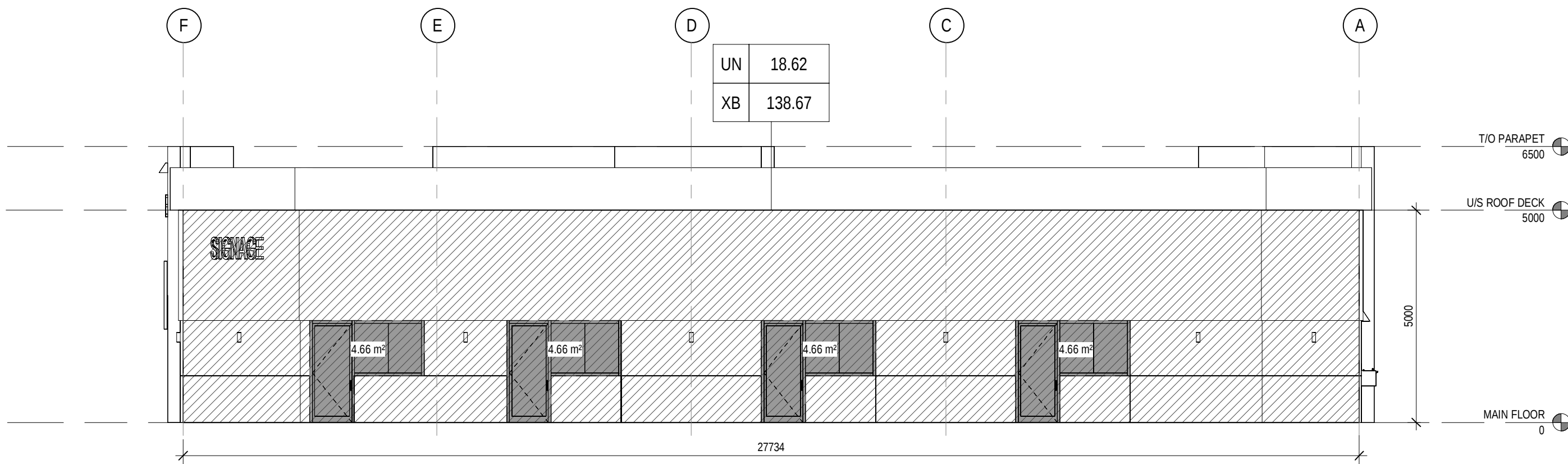
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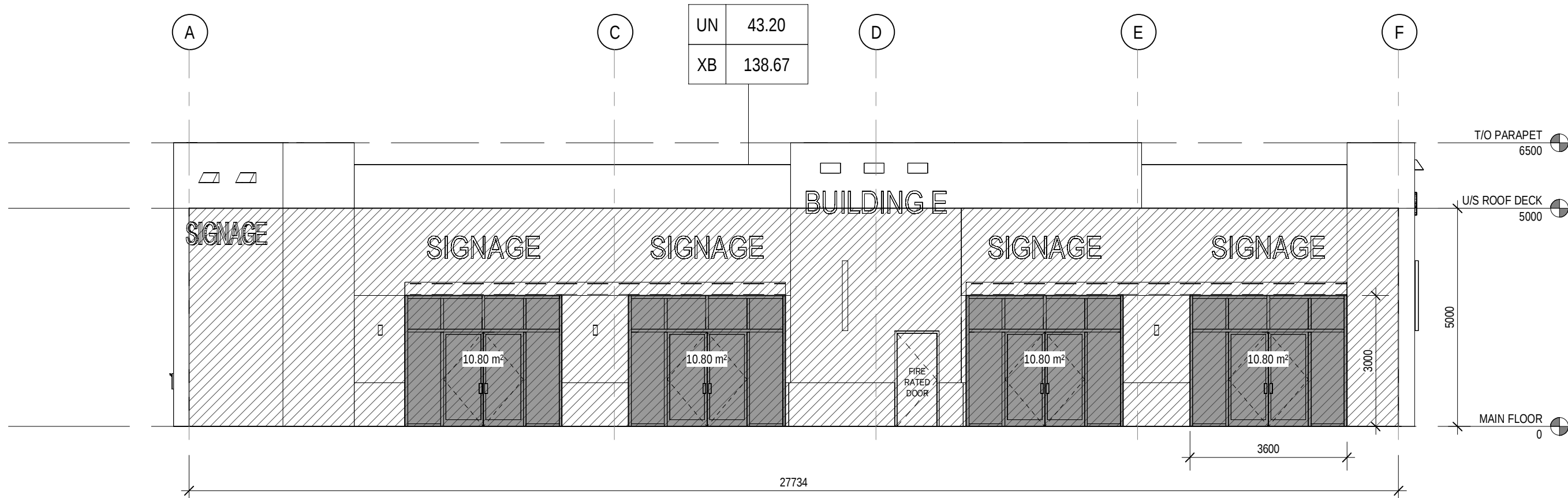
1 NORTH ELEVATION - EXPOSING BUILDING FACE
E-A007 SCALE 1:100



2 SOUTH ELEVATION - EXPOSING BUILDING FACE
E-A007 SCALE 1:100



3 WEST ELEVATION - EXPOSING BUILDING FACE
E-A007 SCALE 1:100



4 EAST ELEVATION - EXPOSING BUILDING FACE
E-A007 SCALE 1:100

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E										
TABLE 3.2.3.1.C (NBC-2023AE) AREA OF UNPROTECTED OPENING						TABLE 3.2.3.7. (NBC-2023AE) CONSTRUCTION OF EXPOSED BUILDING FACE				
ELEV #	BUILDING FACE	LIMITING DISTANCE	AREA OF E.B.F m²	RATIO (L/H OR H/L)	PROP. AREA OF UPO	ALLOWED UPO	FRR	TYPE OF CONST.	TYPE OF CLADDING	WALL ASSEMBLY
1	NORTH	11.49 > 11m TO P.L.	102.24 < 150	4 : 1 (3 : 1 TO 10 : 1)	10.56 %	36 %	1HR	Combustible, Encapsulated mass timber, or Noncombustible	Noncombustible	REFER TO CONSTRUCTION ASSEMBLIES
2	SOUTH	2.97m > 2.5m TO I.L. BETWEEN BUILDINGS	102.24 < 150	4 : 1 (3 : 1 TO 10 : 1)	3.39 %	5 %	2HR	Noncombustible	Noncombustible	
3	WEST	7.51m > 7m TO P.L.	138.67 < 150	5.5 : 1 (3 : 1 TO 10 : 1)	13.43 %	16 %	2HR	Combustible, Encapsulated mass timber, or Noncombustible	Noncombustible	
4	EAST	> 9m TO C.L. OF STREET PER ABC-2023 - 3.2.3.10.(2)	138.67 < 150	5.5 : 1 (3 : 1 TO 10 : 1)	N/A	100 %	N/A	N/A	N/A	

P.L. PROPERTY LINE
I.L. IMAGINARY LINE
UPO UNPROTECTED OPENING
E.B.F. EXPOSING BUILDING FACE
C.L. CENTER LINE

GENERAL NOTES, A007

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LEGEND, A007 SERIES

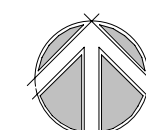
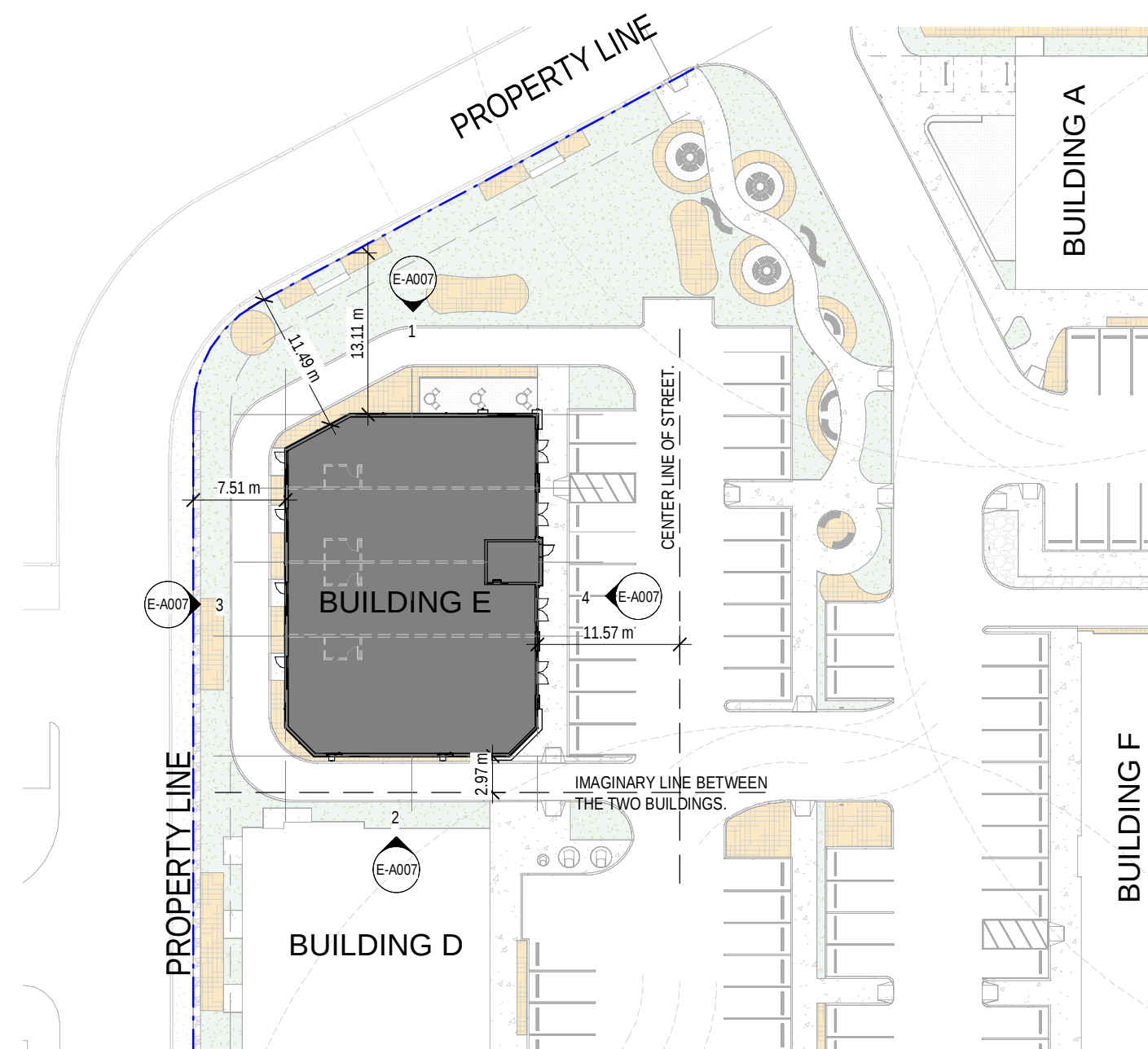
(MAY NOT APPLY)

	FIRE DEPARTMENT CONNECTION
	FACING STREET
	UNPROTECTED OPENINGS / (%)
	EXPOSING BUILDING FACE / AREA (m ²)
	SPACIAL SEPARATION (m)
	PRINCIPAL ENTRANCE
	PARTIAL BUILDING PLAN DESIGNATION
	BUILDING SECTION REFERENCE
	BUILDING ELEVATION REFERENCE
	FIRE HYDRANT/WATER SUPPLY
	FIRE ROUTE
	BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

	MAIN FLOOR
	WINDOWS

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



5 KEY PLAN
E-A007 SCALE 1:500

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No.	Revision	Date YYYY-MM-DD
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1	REISSUED FOR DP	2025-11-07
2	REISSUED FOR DP	2025-11-19
3	REISSUED FOR DP	2026-01-23
4	REISSUED FOR DP	2026-04-10

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (E)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

UNPROTECTED OPENING
& SPATIAL SEPARATION
BUILDING (E)

Document Control No: 1084-A25-001-DWG-E-A007

Date: 2026-04-10

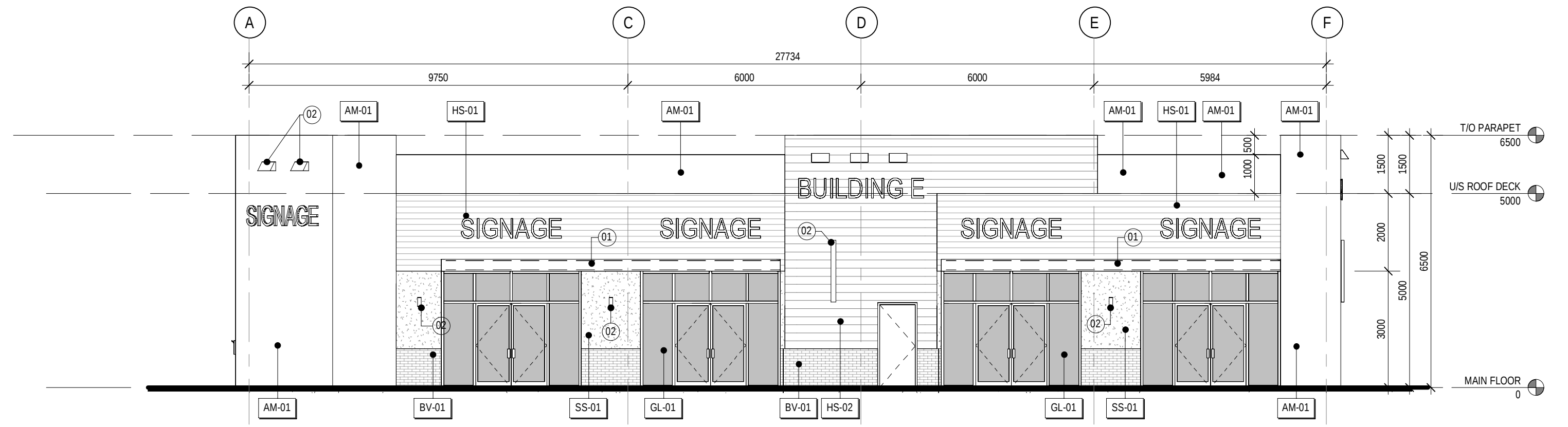
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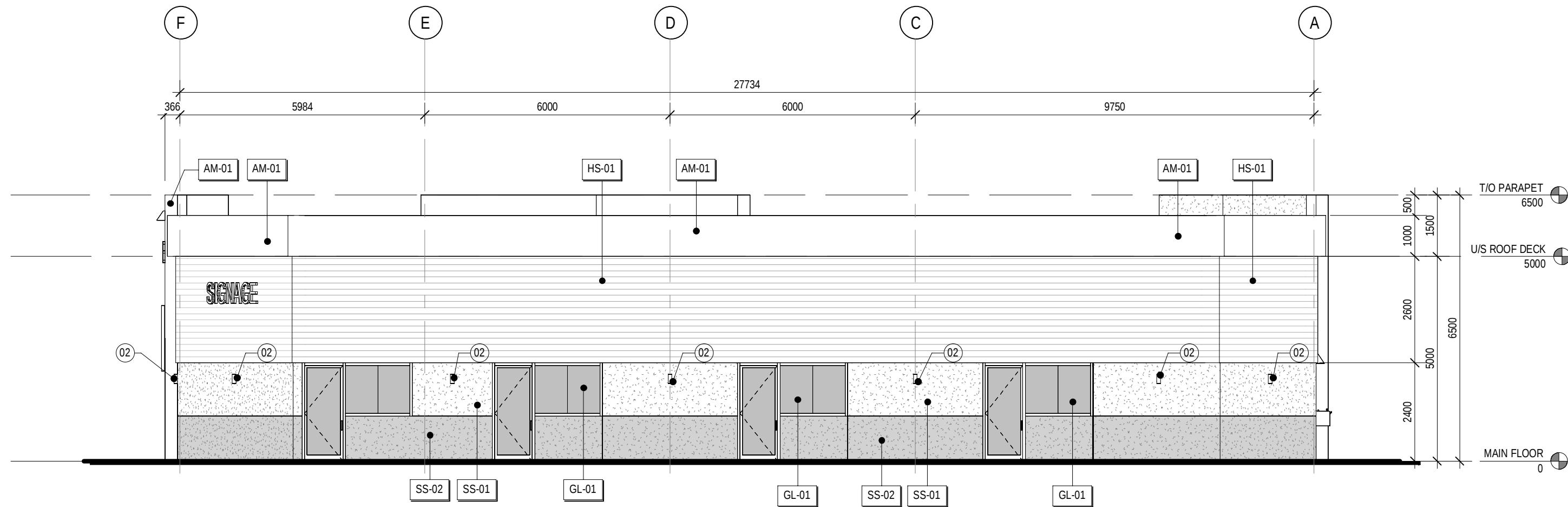
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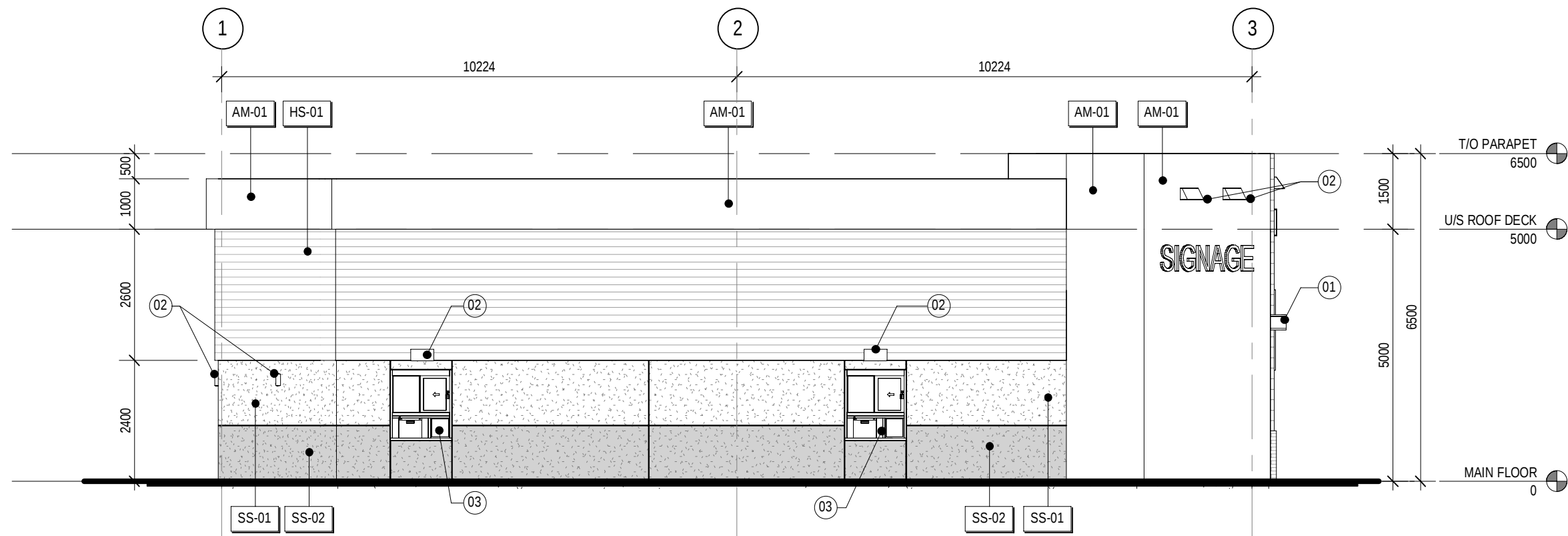
E-A007



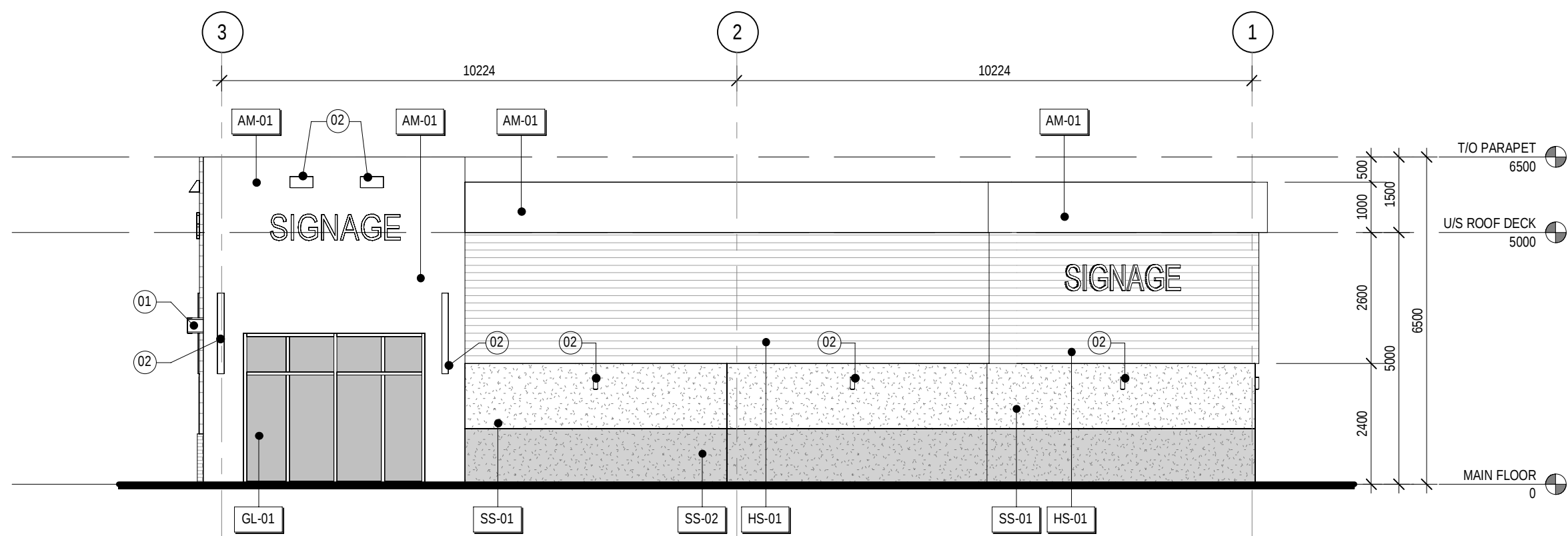
1 EAST ELEVATION
E-A400 SCALE 1 : 100



2 WEST ELEVATION
E-A400 SCALE 1 : 100



3 SOUTH ELEVATION
E-A400 SCALE 1 : 100



4 NORTH ELEVATION
E-A400 SCALE 1 : 100

EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR BLACK
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : BROWN COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EPS SYSTEM C/W 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS, FINISH COLOUR: WHITE
SS-02	VENTED RAINSCREEN EPS SYSTEM C/W 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS, FINISH COLOUR: GRAY

ELEVATION KEYNOTES

01	STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
02	WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
03	DRIVE-THRU PICK-UP WINDOW

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FASCIA SIGNS (SIGN - CLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

GENERAL NOTES, A400

400 SERIES DRAWINGS ILLUSTRATE ELEVATIONS & THE ARCHITECTURAL BUILDING AESTHETICS WORK DESCRIBED HEREIN INCLUDES, BUT IS NOT LIMITED TO EXTERIOR BUILDING MATERIALS, FINISHES, DOORS & WINDOWS, ROOFING SURFACES, FLASHINGS, TRIMS AND OTHER RELATED WORK.

FOR EXTERIOR WINDOWS & GLAZING REFER TO WINDOW SCHEDULE IN SPECIFICATIONS.

FOR EXTERIOR DOORS & FRAMES REFER TO DOOR SCHEDULE IN SPECIFICATIONS.

ALL EXPOSED METAL SURFACES AND/OR COMPONENTS WHICH ARE NOT PRE-FINISHED ARE TO BE PAINTED W/ EXTERIOR PAINT FORMULA. REFER TO SPECIFICATIONS.

ALL MECHANICAL LOUVERES ARE TO BE PROVIDED BY ARCHITECTURAL SPECIALTIES, REFER TO SPECIFICATIONS. REFER TO MECHANICAL FOR ALL DUCTING & FREE AREA REQUIREMENTS.

ALL MECHANICAL/ELECTRICAL FIXTURES AND/OR EQUIPMENT IS SHOWN FOR INFORMATION PURPOSES. REFER TO RELATED DISCIPLINES FOR SPECIFICATIONS & DETAILS. COORDINATE ALL WORK EXPOSED TO EXTERIOR WITH ARCHITECTURE DRAWINGS TO SUIT BUILDING LINES & APPEARANCE.

IN GENERAL, ALL EXTERIOR FINISHES SHALL BE PROVIDED PLUMB, WITH ALL FASTENERS REGULARLY SPACED & IN TRUE ALIGNMENT, WITH NEAT CORNERS, TRANSITIONS & CLOSURE.

ALL WORK MUST BE PROVIDED WEATHER TIGHT & CAULKED THROUGHOUT, CAULKING COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
G19	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
2	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP/FASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00	BUILDING ELEVATION REFERENCE
100.00	MARK FLOOR SLAB
A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
B	SURFACE BEYOND
D	OPEN THROUGH
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVER
	GLAZING AREA

EXTERIOR FINISHES ABBREVIATIONS

AM-00	Prefinished Architectural Metal type
BV-00	Brick Veneer type
CM-00	Concrete Unit Masonry type
EC-00	Exposed Architectural Concrete Finish type
EP-00	Exterior Paint Colour
ES-00	Exterior Stain type
HS-00	Prefinished Metal Siding, Horizontal Type
LV-00	Prefinished Aluminum Louvre unit
MB-00	Masonry Accent Band type
MF-00	Prefinished Metal Frieze type
MP-00	Metal Composite Panel System type
MS-00	Prefinished Metal Soffit type
MV-00	Masonry Veneer type
PC-00	Precast Concrete Unit type
PP-00	Prefinished Composite Board/Panel type
PR-00	Prefinished Metal roofing type
PRG	Cement Parapet
SS-00	Exterior Sluice type
VS-00	Prefinished Metal Siding, Vertical type
WD-00	Wood Panel Trim type

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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Seal



2026-04-10

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Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (E)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (E)

Document Control No: 1084-A25-001-DWG-E-A400

Date: 2026-04-10

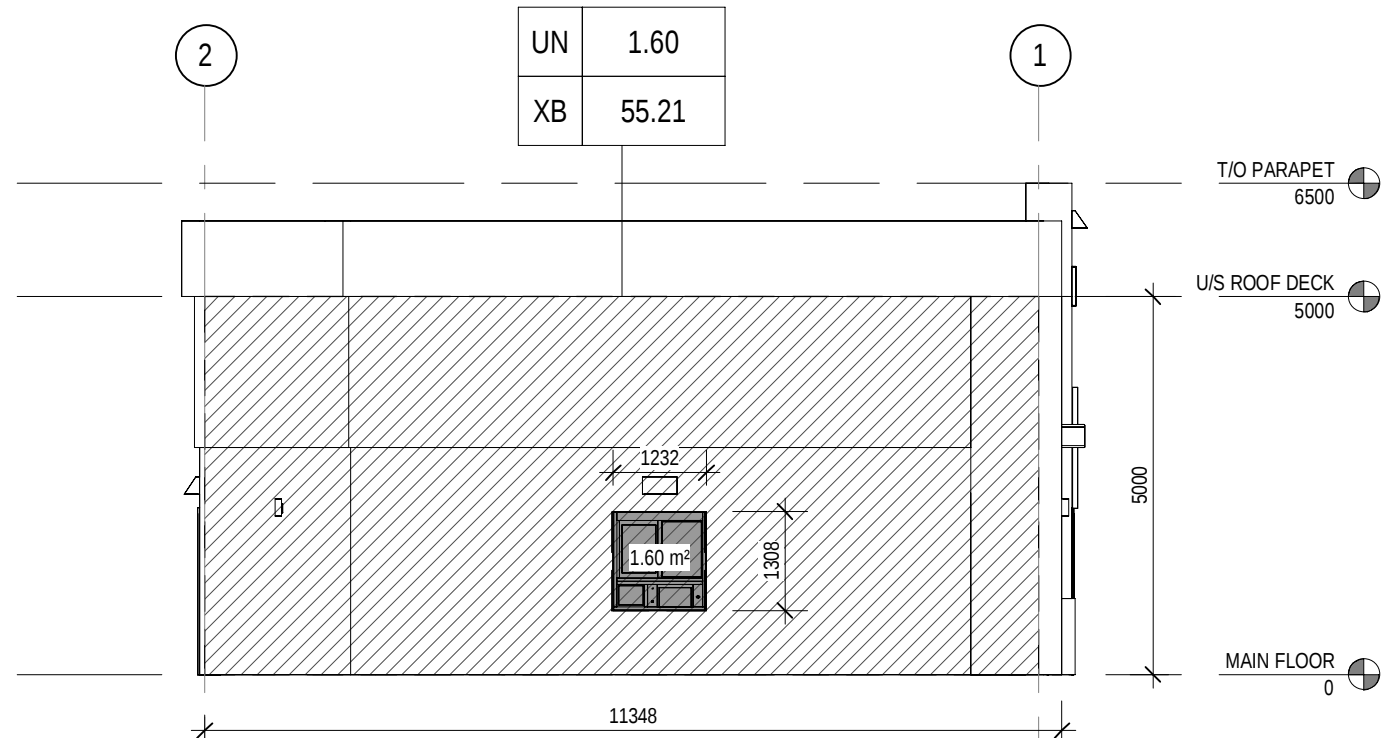
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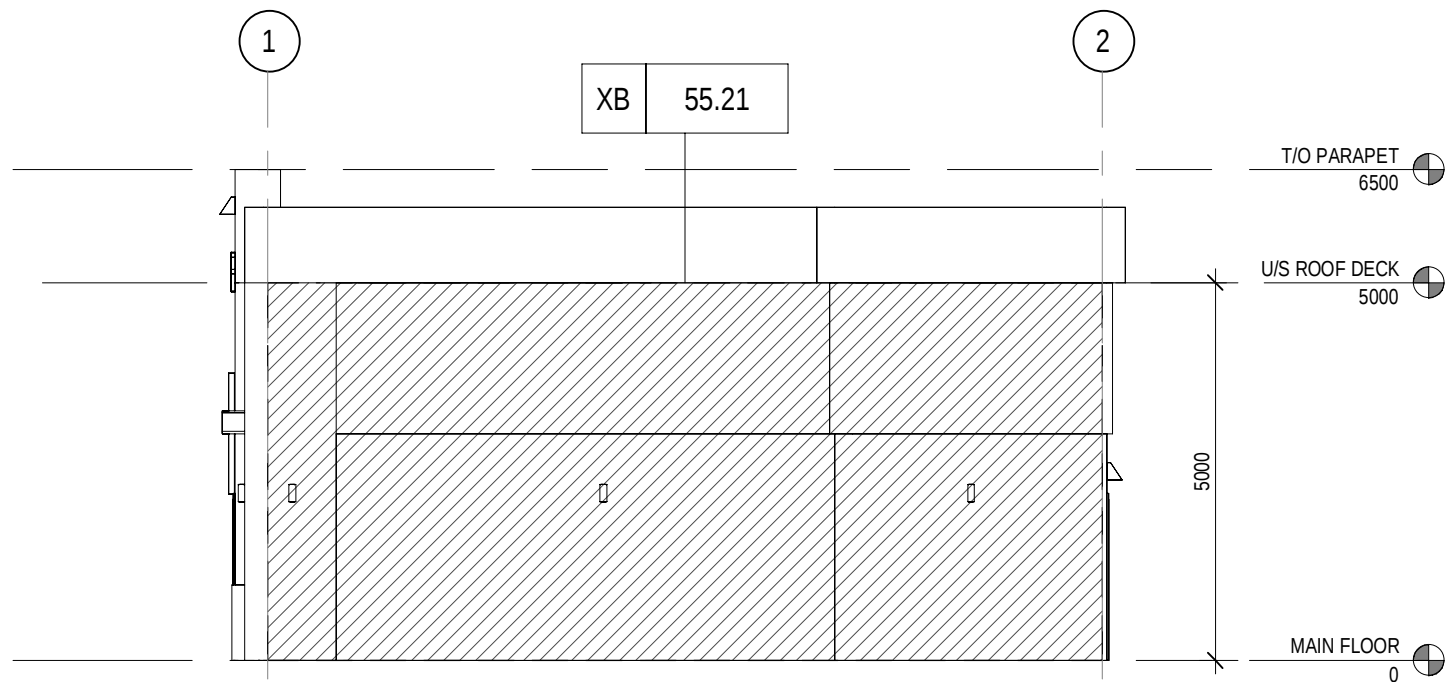
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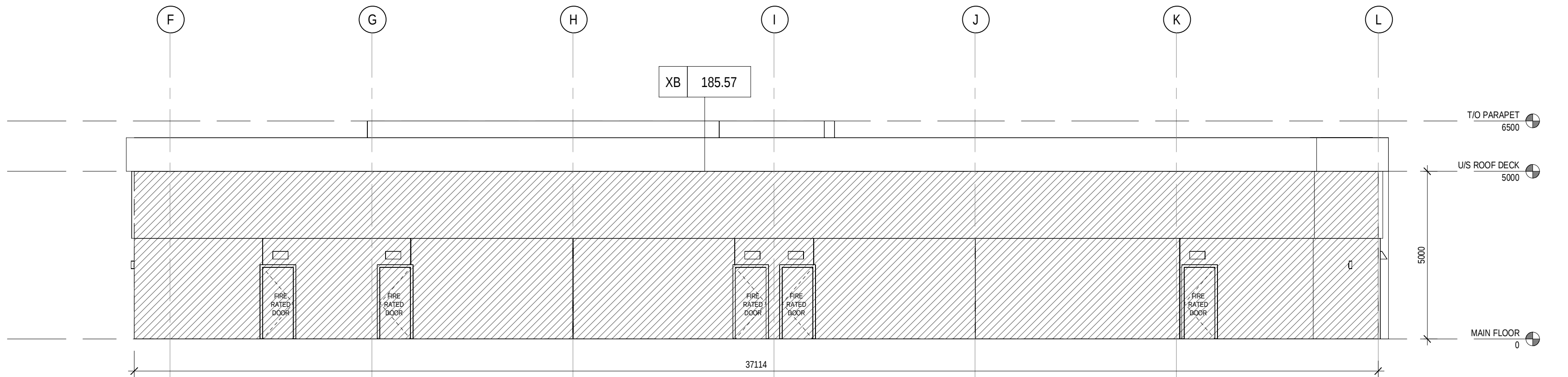
E-A400



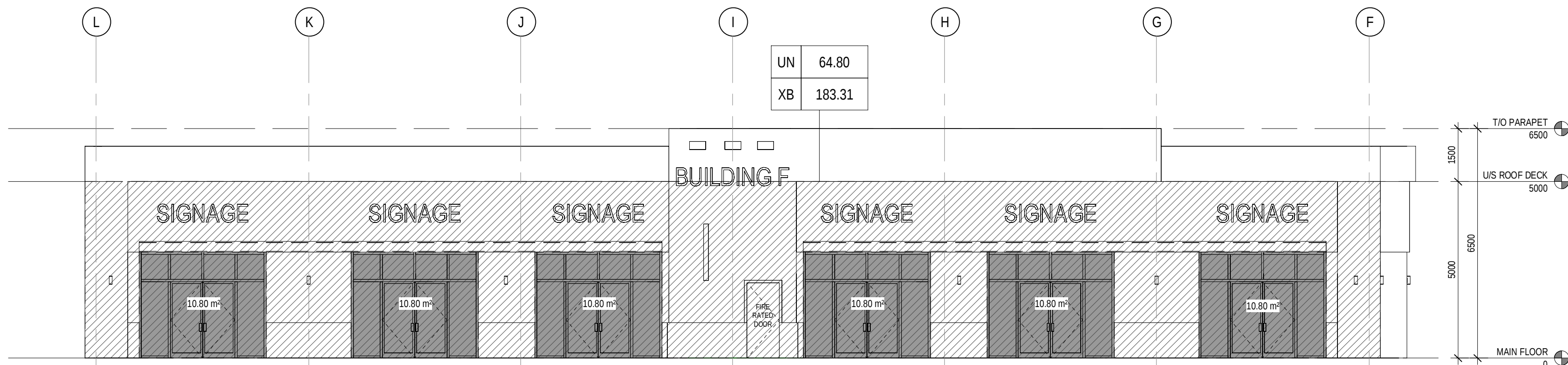
1 NORTH ELEVATION - EXPOSING BUILDING FACE
F-A007 SCALE 1 : 100



2 SOUTH ELEVATION - EXPOSING BUILDING FACE
F-A007 SCALE 1 : 100



3 EAST ELEVATION - EXPOSING BUILDING FACE
F-A007 SCALE 1 : 100

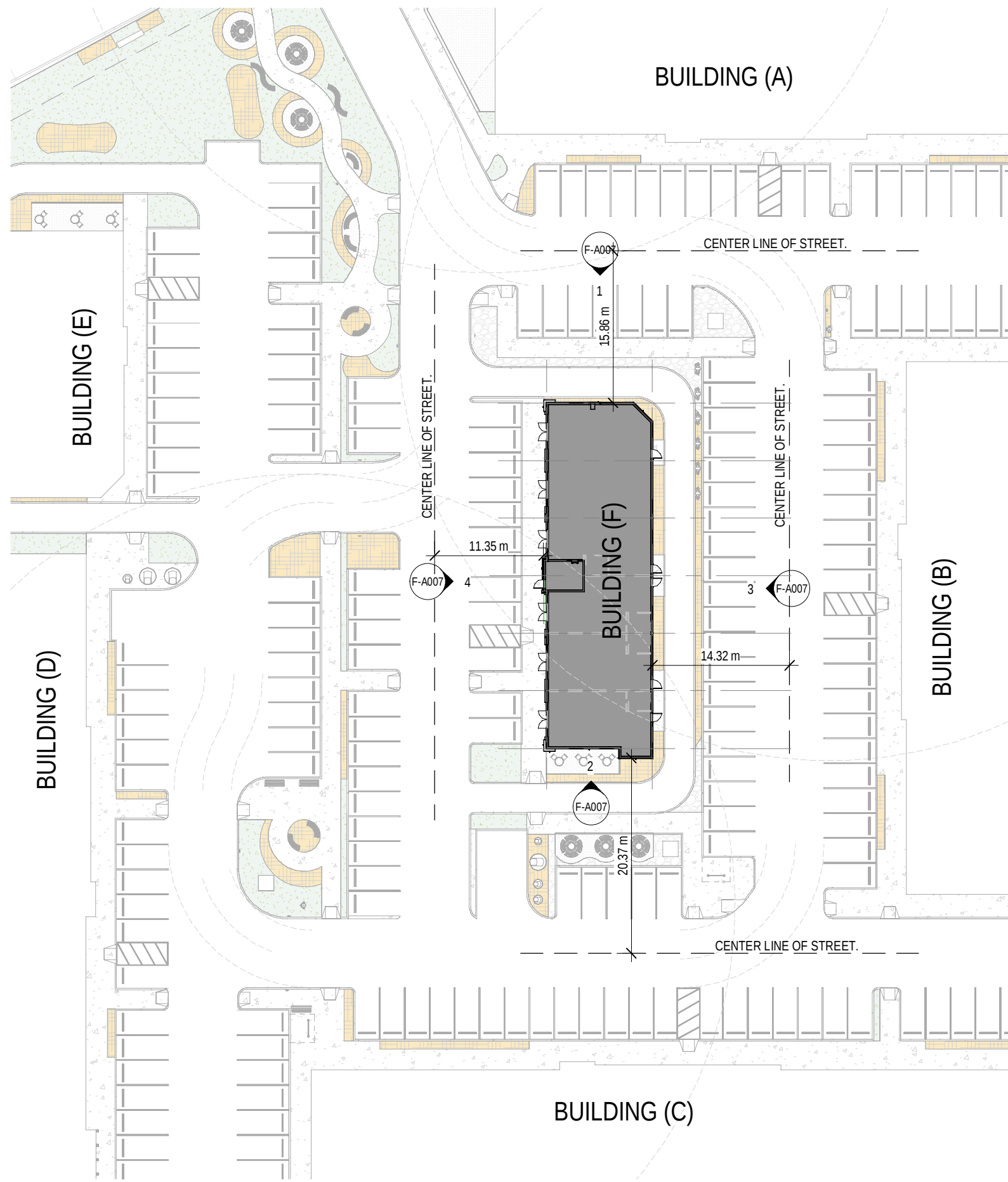


4 WEST ELEVATION - EXPOSING BUILDING FACE
F-A007 SCALE 1 : 100

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E										
TABLE 3.2.3.1.C (NBC 2023A6) AREA OF UNPROTECTED OPENING						TABLE 3.2.3.7. (NBC 2023A6) CONSTRUCTION OF EXPOSED BUILDING FACE				
ELEV #	BUILDING FACE	LIMITING DISTANCE	AREA OF E.B.F. (m²)	RATIO (L/H OR H/L)	PROP. AREA OF UPO	ALLOWED UPO	FRR	TYPE OF CONST.	TYPE OF CLADDING	WALL ASSEMBLY
1	NORTH	> 9m TO C.L. OF STREET PER ABC-2023-3.2.3.10 (2)	55.21 < 60	2 : 1 (LESS THAN 3 : 1)	0 %	100 %	N/A	N/A	N/A	REFER TO CONSTRUCTION ASSEMBLIES
2	SOUTH	> 9m TO C.L. OF STREET PER ABC-2023-3.2.3.10 (2)	55.21 < 60	2 : 1 (LESS THAN 3 : 1)	0 %	100 %	N/A	N/A	N/A	
3	EAST	> 9m TO C.L. OF STREET PER ABC-2023-3.2.3.10 (2)	185.57 > 150	6 : 1 (3 : 1 TO 10 : 1)	0 %	100 %	N/A	N/A	N/A	
4	WEST	> 9m TO C.L. OF STREET PER ABC-2023-3.2.3.10 (2)	183.31 > 150	6 : 1 (3 : 1 TO 10 : 1)	0 %	100 %	N/A	N/A	N/A	

P.L. PROPERTY LINE
I.L. IMAGINARY LINE
UPO UNPROTECTED OPENING
E.B.F. EXPOSING BUILDING FACE
C.L. CENTER LINE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



5 KEY PLAN
F-A007 SCALE 1 : 500

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LEGEND, A007 SERIES (MAY NOT APPLY)

F.D.C. FIRE DEPARTMENT CONNECTION

STREET FACING STREET

UN 25.4 UNPROTECTED OPENINGS / (m²)

XB 85 EXPOSING BUILDING FACE / AREA (m²)

SS= SPACIAL SEPARATION (m)

PE PRINCIPAL ENTRANCE

1 A101 BUILDING SECTION REFERENCE

1 A101 BUILDING ELEVATION REFERENCE

FIRE HYDRANT/WATER SUPPLY

FIRE ROUTE

BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

MAIN FLOOR

WINDOWS

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Seal

JAMES M. FULEO JR.
REGISTERED ARCHITECT
ALBERTA
2026-04-10

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4	REISSUED FOR DP	2026-04-10

Client

PEAKRIDGE GROUP

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT BUILDING (D)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (F)

Document Control No: 1084-A25-001-DWG-F-A007

Date: 2026-04-10

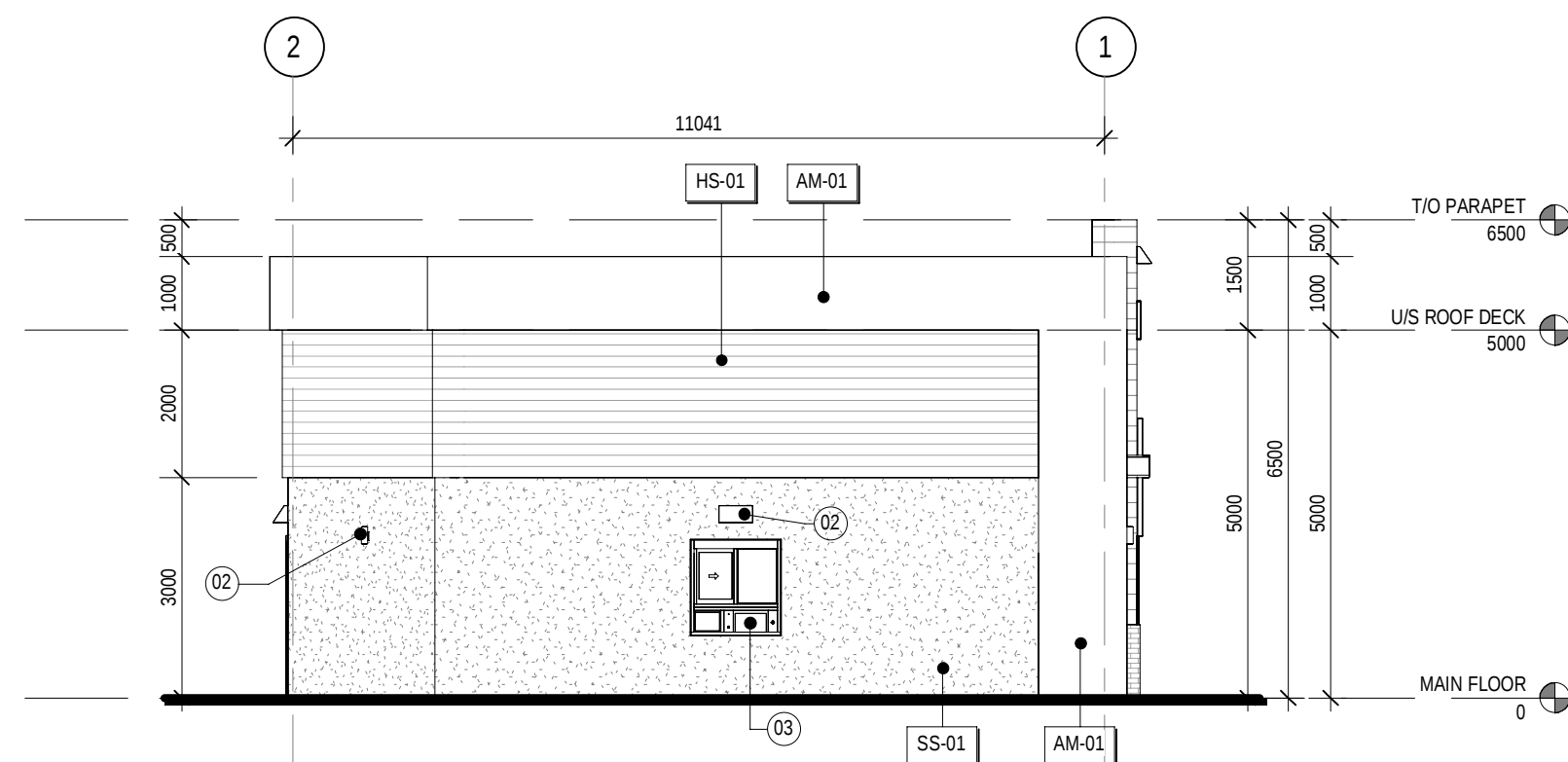
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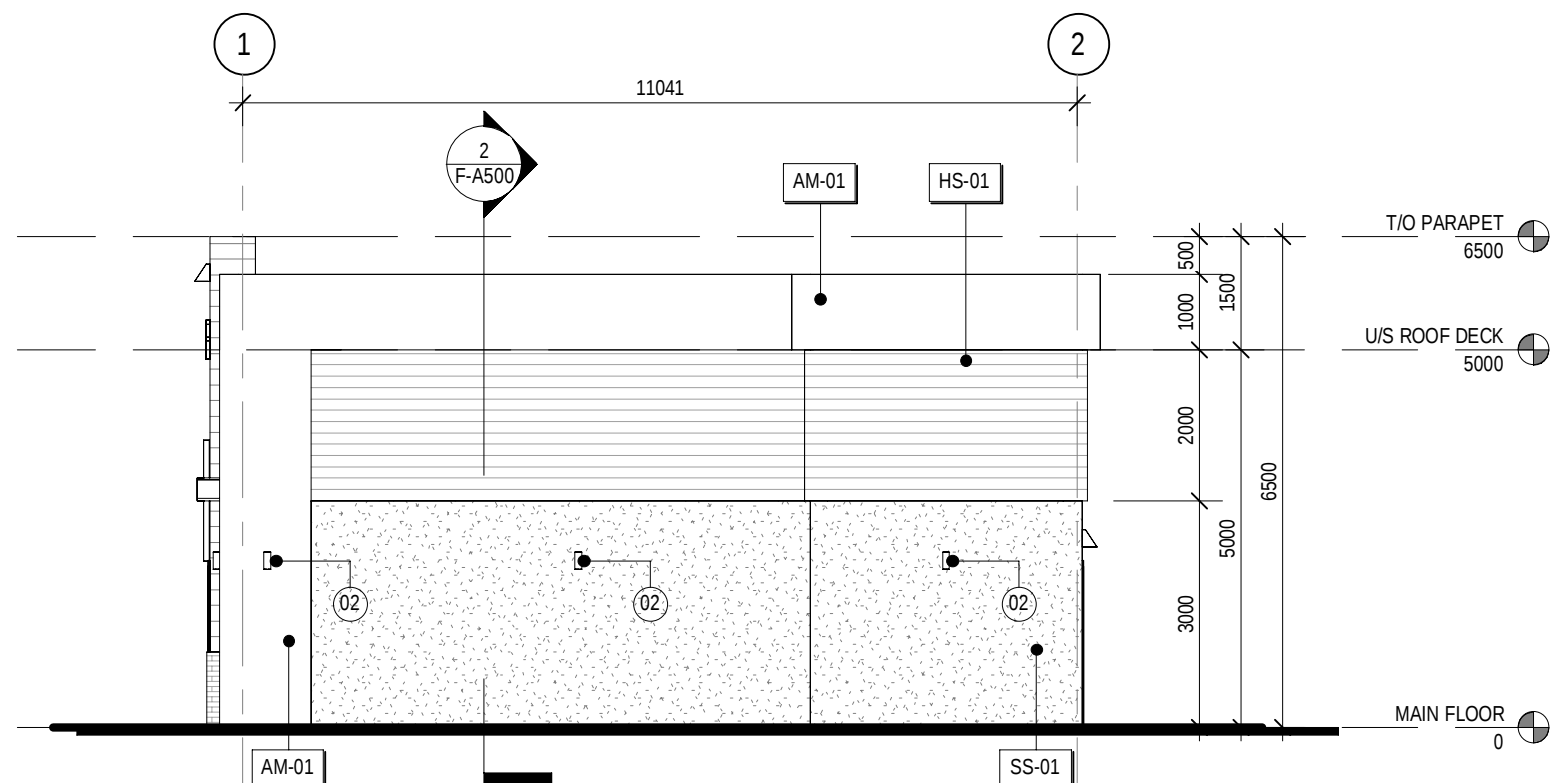
Project: 1084-A25-001

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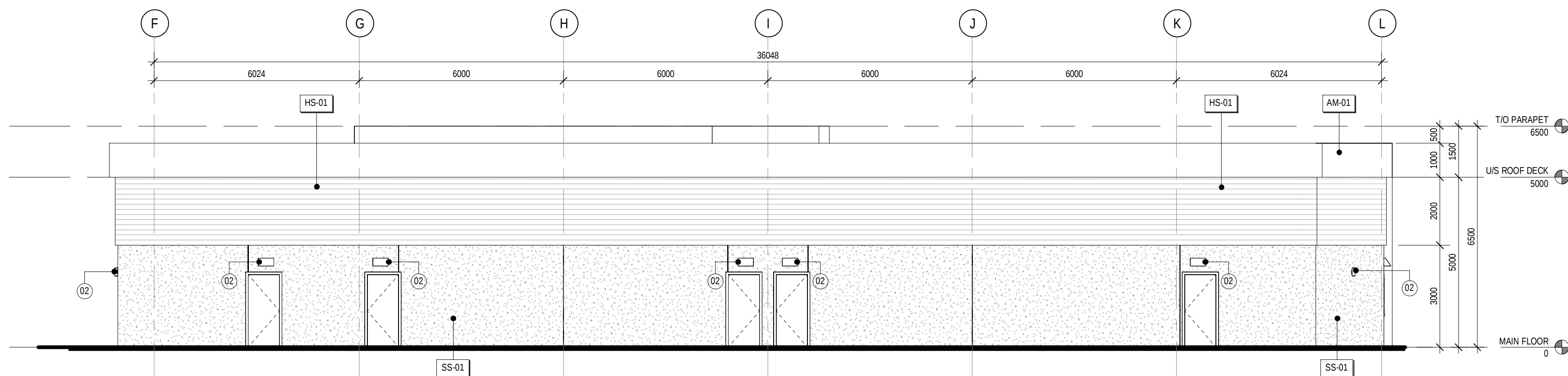
F-A007



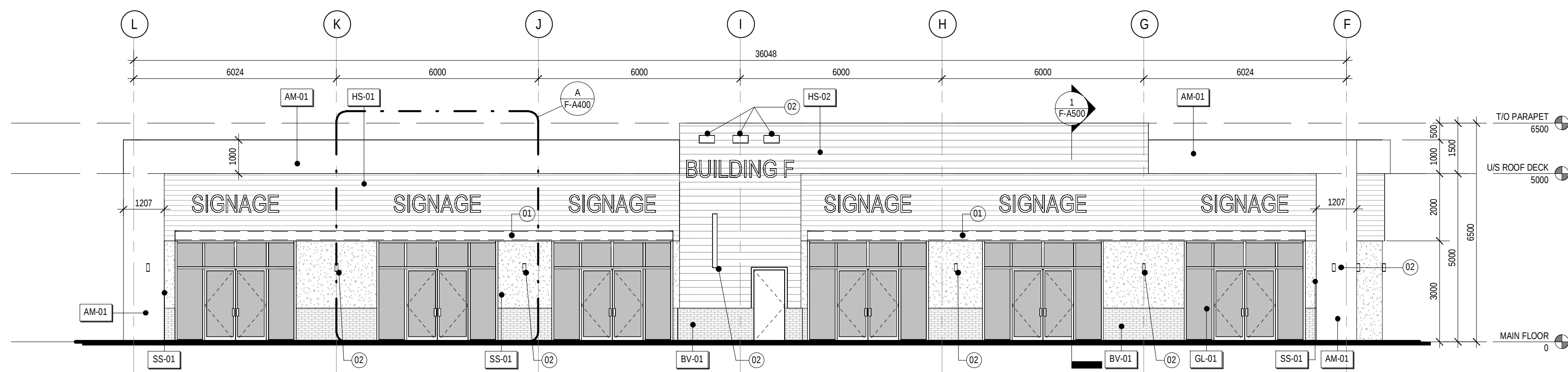
1 NORTH ELEVATION
F-A400 SCALE 1: 100



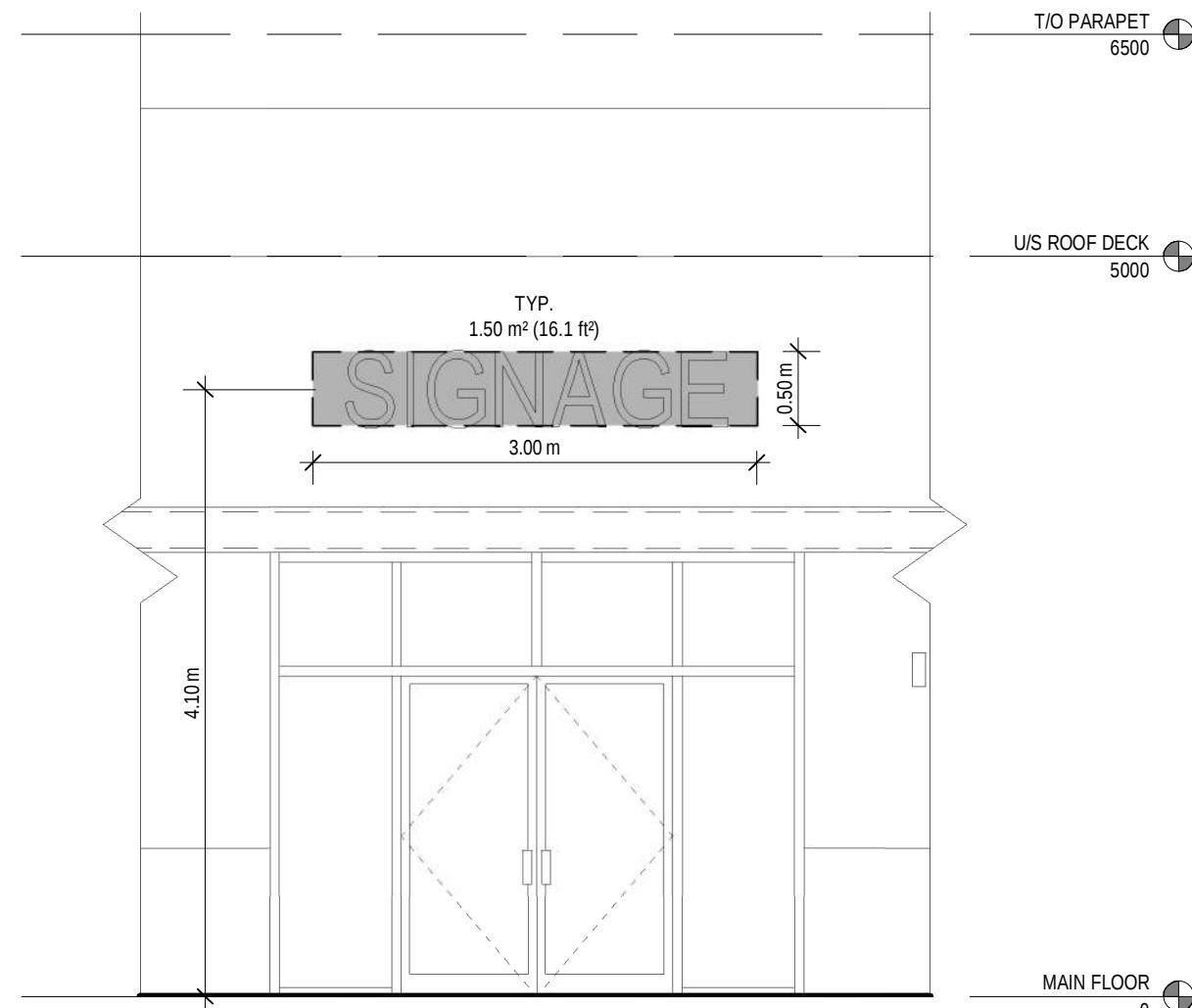
2 SOUTH ELEVATION
F-A400 SCALE 1: 100



3 EAST ELEVATION
F-A400 SCALE 1: 100



4 WEST ELEVATION
F-A400 SCALE 1: 100



A TYP. SIGNAGE DETAIL
F-A400 SCALE 1: 50

EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR BLACK
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : BLUE COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CMV 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS. FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-00	Prefinished Architectural Metal type
BV-00	Brick Veneer type
CM-00	Concrete Unit Masonry type
EC-00	Exposed Architectural Concrete Finish type
EP-00	Exterior Paint Colour
ES-00	Exterior Stain type
HS-00	Prefinished Metal Siding, Horizontal Type
LV-00	Prefinished Aluminum Louvre unit
MB-00	Masonry Accent Band type
MF-00	Prefinished Metal Fascia type
MP-00	Metal Composite Panel System type
MS-00	Prefinished Metal Soffit type
MV-00	Masonry Veneer type
PC-00	Precast Concrete Unit type
PR-00	Prefinished Composite Board/Panel type
PRG	Prefinished Metal roofing type
PRG	Cement Parging
SS-00	Exterior Stucco type
VS-00	Prefinished Metal Siding, Vertical type
WD-00	Wood Panel/Trim type

ELEVATION KEYNOTES

- (01) STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- (02) WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- (03) DRIVE-THRU PICK-UP WINDOW

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FACIA SIGNS (SIGN - GLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

GENERAL NOTES, A400

400 SERIES DRAWINGS ILLUSTRATE ELEVATIONS & THE ARCHITECTURAL BUILDING AESTHETICS WORK DESCRIBED HEREIN INCLUDES, BUT IS NOT LIMITED TO EXTERIOR BUILDING MATERIALS, FINISHES, DOORS & WINDOWS, ROOFING SURFACES, FLASHINGS, TRIMS AND OTHER RELATED WORK.

FOR EXTERIOR WINDOWS & GLAZING REFER TO WINDOW SCHEDULE IN SPECIFICATIONS.

FOR EXTERIOR DOORS & FRAMES REFER TO DOOR SCHEDULE IN SPECIFICATIONS.

ALL EXPOSED METAL SURFACES AND/OR COMPONENTS WHICH ARE NOT PREFINISHED ARE TO BE PAINTED W/ EXTERIOR PAINT FORMULA. REFER TO SPECIFICATIONS.

ALL MECHANICAL LOUVRES ARE TO BE PROVIDED BY ARCHITECTURAL SPECIALTIES; REFER TO SPECIFICATIONS. REFER TO MECHANICAL FOR ALL DUCTING & FREE AREA REQUIREMENTS.

ALL MECHANICAL/ELECTRICAL FIXTURES AND/OR EQUIPMENT IS SHOWN FOR INFORMATION PURPOSES. REFER TO RELATED DISCIPLINES FOR SPECIFICATIONS & DETAILS. COORDINATE ALL WORK EXPOSED TO EXTERIOR WITH ARCHITECTURE DRAWINGS TO SUIT BUILDING LINES & APPEARANCE.

IN GENERAL, ALL EXTERIOR FINISHES SHALL BE PROVIDED PLUMB, WITH ALL FASTENERS REGULARLY SPACED & IN TRUE ALIGNMENT, WITH NEAT CORNERS, TRANSITIONS & CLOSURE.

ALL WORK MUST BE PROVIDED WEATHER TIGHT & CALLED THROUGHOUT, CALLING OUT COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GTB	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOPFLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00	BUILDING ELEVATION REFERENCE
100.00	IN MAIN FLOOR SLAB
A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Architect



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DRAWINGS FOR DEVELOPMENT PERMIT APPLICATION PURPOSES.
DRAWING WILL BE ISSUED AS PART OF PERMIT WORK PACKAGE (PWP).

NOTES:

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ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
FIELD VERIFY DIMENSIONS. DO NOT SCALE DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING THE WORK.

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ONLY CONSTRUCT FROM DOCUMENTS ISSUED FOR CONSTRUCTION. DRAWINGS TO BE READ IN CONJUNCTION WITH ALL DISCIPLINES. CONTRACTOR IS RESPONSIBLE FOR RETRIEVING AND REVIEWING ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE WORK.

Seal



2026-04-10

SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.
PERMIT No. AC 16144
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

No.	Revision	Date YYYY-MM-DD
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4	REISSUED FOR DP	2026-04-10

Client



PEAKRIDGE GROUP
152 SOUTHRANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (D)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (F)

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