

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7



PROJECT LOCATION



2 AERIAL LOCATION MAP
X-4001 SCALE 1:5000



OVERALL SITE PLAN
 X-001 SCALE 1:1250

SITE

B-1		B-2		B-3		B-4		B-5		B-6		B-7		B-8		B-9		B-10		B-11		B-12		B-13		B-14		B-15		B-16		B-17		B-18		B-19		B-20		B-21		B-22		B-23		B-24		B-25		B-26		B-27		B-28		B-29		B-30		B-31		B-32		B-33		B-34		B-35		B-36		B-37		B-38		B-39		B-40		B-41		B-42		B-43		B-44		B-45		B-46		B-47		B-48		B-49		B-50		B-51		B-52		B-53		B-54		B-55		B-56		B-57		B-58		B-59		B-60		B-61		B-62		B-63		B-64		B-65		B-66		B-67		B-68		B-69		B-70		B-71		B-72		B-73		B-74		B-75		B-76		B-77		B-78		B-79		B-80		B-81		B-82		B-83		B-84		B-85		B-86		B-87		B-88		B-89		B-90		B-91		B-92		B-93		B-94		B-95		B-96		B-97		B-98		B-99		B-100	
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PEAKRIDGE
GROUP

[illegible]



1
X-A002

KEY PLAN
N.T.S.

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investec
INVESTED CALGARY
SUITE 300, 404 A AVENUE SW
CALGARY, AB T2P 0P9
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2026-04-10

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PERMIT NO. AC 16144
FOR CONSTRUCTION PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

No.	Revised	Date
1.	ISSUED FOR PLOT	2026-04-10
2.	ISSUED FOR PLOT	2026-04-10
3.	ISSUED FOR PLOT	2026-04-10
4.	ISSUED FOR PLOT	2026-04-10

Client



PEAKRIDGE GROUP

PEAKRIDGE GROUP
102 SOUTHBRIDGE ST
OKOTOKS, AB T1L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT

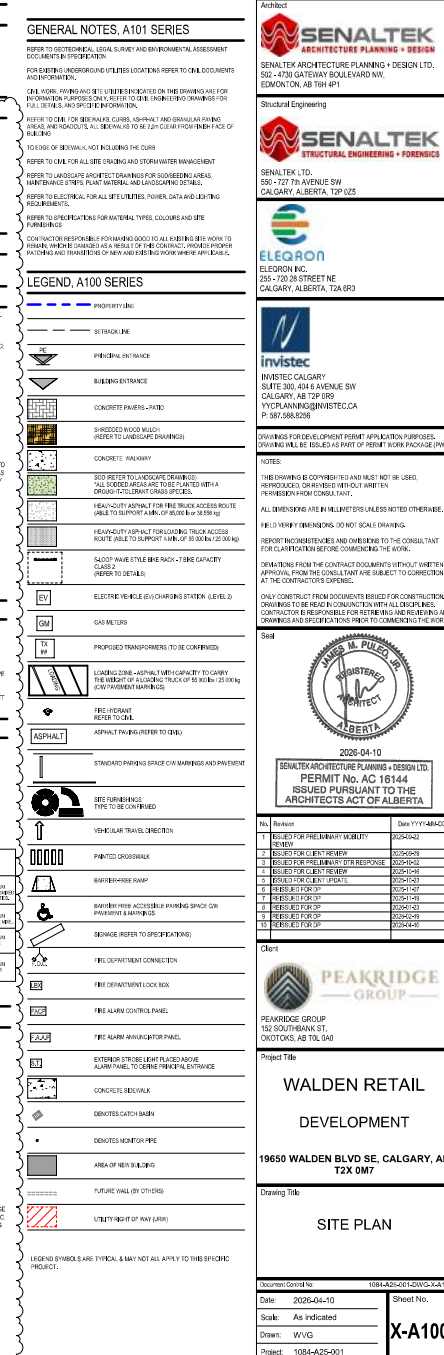
19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

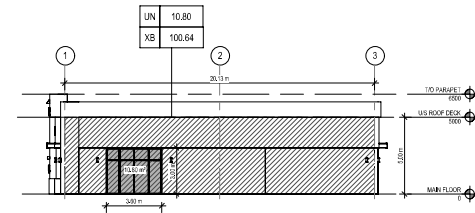
EXISTING SITE PHOTOS

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Drawn:	IMA	
Project:	19654-2025-001	

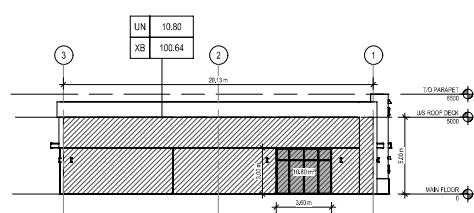
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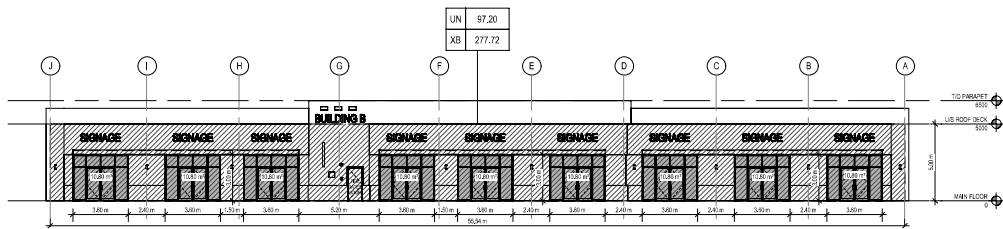
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No.	Revision	Date	YYYY-MM-DD
1	REVISED FOR DP	2025-04-10	
2	REVISED FOR DP	2025-04-10	
3	REVISED FOR DP	2025-04-10	
4	REVISED FOR DP	2025-04-10	
5	REVISED FOR DP	2026-04-10	
Client PEAKRIDGE GROUP PEAKRIDGE GROUP 152 SOUTHAM ST. OKOTOKS, AB T0L 0A0			
Project Title WALDEN RETAIL DEVELOPMENT BUILDING (A) 19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7			
Drawing Title OPENING CONNECTION WITH SPATIAL SEPARATION BUILDING (A)			
Drawing Control No. 0000-04-00-00-0000-0000-0000-0000			
Date:	2026-04-10	Sheet No.	
Drawn:	As indicated	A-A007	
Project:	MAKZ		
Drawn:	1004-225-001		



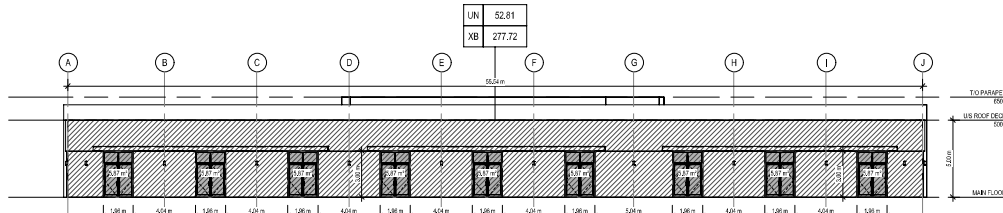
1 SOUTH ELEVATION - EXPOSING BUILDING FACE
SCALE 1:150



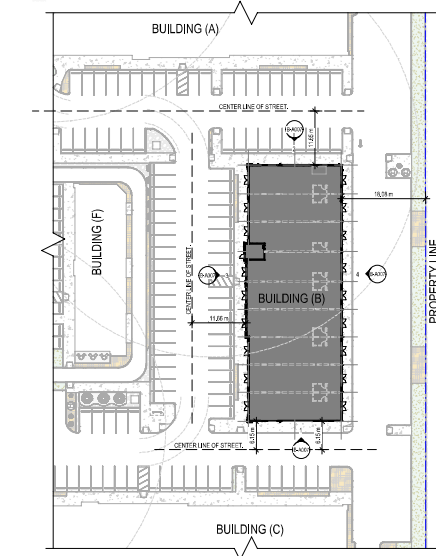
2 NORTH ELEVATION - EXPOSING BUILDING FACE
SCALE 1:150



3 WEST ELEVATION - EXPOSING BUILDING FACE
SCALE 1:150



4 EAST ELEVATION - EXPOSING BUILDING FACE
SCALE 1:150



5 KEY PLAN
SCALE 1:300

GENERAL NOTES, A007

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LEGEND, A007 SERIES

- FIRE DEPARTMENT CONNECTION
- PACING STREET
- UNPROTECTED OPENING (UP)
- UNPROTECTED BUILDING FACE (UBF)
- SPECIAL SEPARATION (SS)
- PERIMETER ENTRANCE
- BUILDING SECTION REFERENCE
- BUILDING ELEVATION REFERENCE
- FIRE HYDRANT SUPPLY
- FIRE ROUTE
- TRAILING ENTRANCE

EXPOSING BUILDING FACE LEGEND

- FIRST FLOOR
- SECOND FLOOR
- STAIRS
- MECHS

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E									
TABLE 2.2.3.1.C (NBC-2023AM) AREA OF UNPROTECTED OPENING					TABLE 2.2.3.2 (NBC-2023AM) CONSTRUCTION OF EXPOSED BUILDING FACE				
ELEV.	BUILDING FACE	OCCUPANCY CLASSIFICATION	COMPARTMENT	UNITING DETAILS	AREA OF FLOOR (m ²)	WIND (m/s or mph)	PROX. AREA OF UPO	ALLOWED UPO	PROT.
1	SOUTH	GROUP E	MAIN FLOOR	6.00m x 6m TO CL OF STREET	36.00m x 1.00m	1.4 (3.1 TO 10.1)	16.20%	15%	2ND
2	NORTH	GROUP E	MAIN FLOOR	> 9M TO CL OF STREET	< 150	1.4 (3.1 TO 10.1)	16.20%	100%	NA
3	WEST	GROUP E	MAIN FLOOR	> 9M TO CL OF STREET	< 350	1.4 (3.1 TO 10.1)	16.20%	100%	NA
4	EAST	GROUP E	MAIN FLOOR	> 9M TO CL OF STREET	< 350	1.4 (3.1 TO 10.1)	16.20%	100%	NA

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ELEGARON
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CALGARY, ALBERTA, T2A 0R3

invistec
INVISTEC CALGARY
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CALGARY, AB T2P 0R3
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P: 587.588.2256

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SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.
PERMIT No. AC 18144
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

No. Review	Drawn By	2026-04-10
1. REVIEWED FOR DP	1. REVIEWED FOR DP	2026-04-10
2. REVIEWED FOR DP	2. REVIEWED FOR DP	2026-04-10
3. REVIEWED FOR DP	3. REVIEWED FOR DP	2026-04-10
4. REVIEWED FOR DP	4. REVIEWED FOR DP	2026-04-10

Client

PEAKRIDGE GROUP
PEAKRIDGE GROUP
152 SOUTHWIND ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT BUILDING (B)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (B)

Document Control	1004-A2026-00000-0000	Sheet No.
Date	2026-04-10	B-A007
Scale	As Indicated	
Drawn	NA	
Project	1004-A205-001	



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investec
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403.268.2020

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2026-04-10

SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.

PERMIT NO. AC 16144

ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

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No.	Revision	Date	Drawn/Checked
1	ISSUED FOR PERMIT	2026-04-10	_____
2	ISSUED FOR PERMIT	2026-04-10	_____
3	ISSUED FOR PERMIT	2026-04-10	_____
4	ISSUED FOR PERMIT	2026-04-10	_____

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PEAKRIDGE GROUP

PEAKRIDGE GROUP
125 SOUTHBRIDGE ST.
OKOTOK, AB T0A 0A1

Sheet No. _____

Project Title

WALDEN REDEVELOPMENT BUILDING (C)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Sheet No. _____

Drawing Title

UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (C)

Sheet No. _____

Document Control No.

Date: 2026-04-10

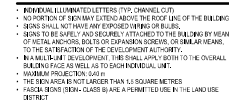
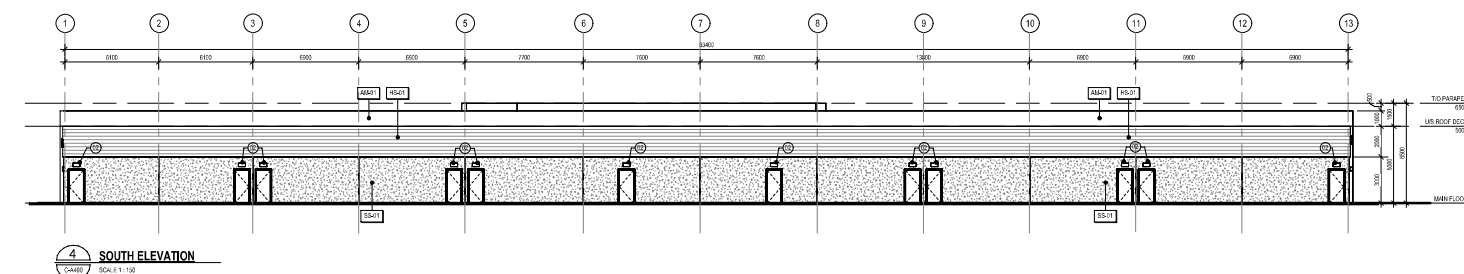
Scale: As Indicated

Drawn: _____

Project: 1084-025-001

Sheet No. _____

C-A007



SYMBOL	DESCRIPTION
	BUILDING ELEVATION REFERENCE
	SECTION NO.
	DRAWING NO. / FOLLOWING SECTION REFERENCE
	DETAIL NO.
	DRAWING NO. / FOLLOW SECTION REFERENCE
	GARAGE LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS / FOOTING BEGIN
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF STRUCTURAL / ROOFSPACE
	WIND-RESISTED MECHANICAL LOUVER
	GLAZING AREA

Seal



2026-04-10

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Document Control No:		1084-A25-001-DWG-C-A400
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Project:	1084-A25-001	

C-A400

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SUITE 300, 404 A AVENUE SW
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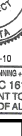
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SEAL



2026-06-30

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PERMIT NO. AC 16144
ISSUED PURSUANT TO THE
REGISTERED ACT OF ALBERTA,

No.	Revision	Date	BY/TITLE/NO
1	REVISED FOR SP	2025/05/01	
2	REVISED FOR SP	2025/05/01	
3	REVISED FOR SP	2025/05/16	
4	REVISED FOR SP	2025/06/01	
4	REVISED FOR SP	2026/06/01	

Client

**PEAKRIDGE GROUP**

PEAKRIDGE GROUP
135 SOUTHFRANK ST.
OKOTOKS, AB T0L 0A0

Project Title

**WALDEN RETAIL
DEVELOPMENT
BUILDING (D)**

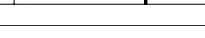
19550 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

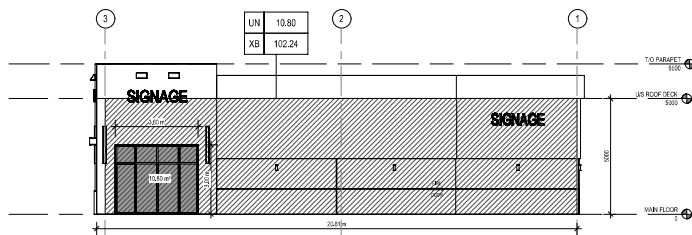
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**UNPROTECTED OPENING &
SPATIAL SEPARATION
BUILDING (D)**

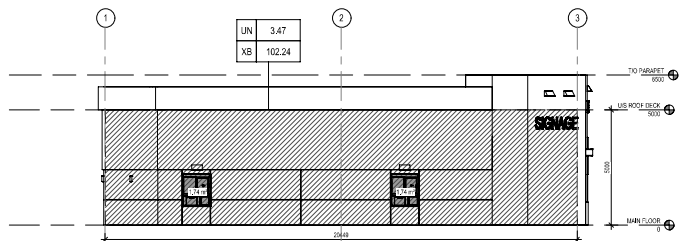
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D-A007

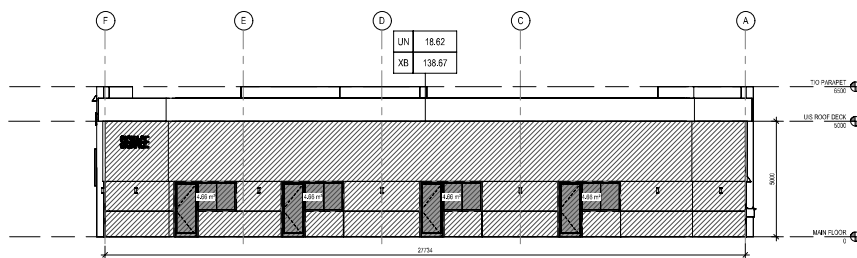




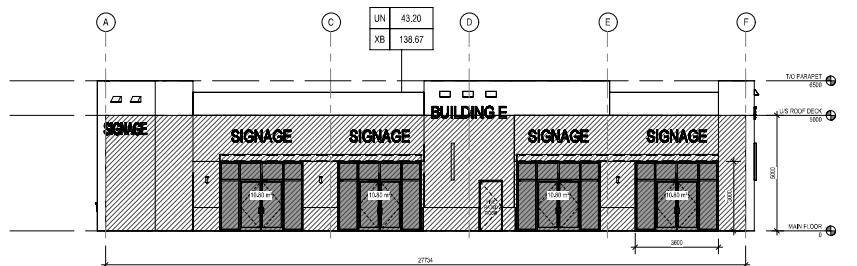
1 NORTH ELEVATION - EXPOSING BUILDING FACE



2 SOUTH ELEVATION - EXPOSING BUILDING FACE



3 WEST ELEVATION - EXPOSING BUILDING FACE



4 EAST ELEVATION - EXPOSING BUILDING FACE

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E									
TABLE 3.2.3.1.C (NBC-2023AE) AREA OF UNPROTECTED OPENING					TABLE 3.2.3.7 (NBC-2023AE) CONSTRUCTION OF EXPOSED BUILDING FACE				
ELEV #	BUILDING FACE	LIMITING DISTANCE	AREA OF E.B.F. m²	RATIO (L/H OR H/L)	PROP. AREA OF UPD	ALLOWED UPD	FRR	TYPE OF CONST.	TYPE OF CLADDING
1	NORTH	11.40 > 11m TO PL	102.24 < 100	4:1 (3:1 TO 10:1)	10.86 %	35 %	14R	Compatible: Exposed metal frame, or Noncombustible	Noncombustible
2	SOUTH	2.87m > 2.5m TO L.L. BETWEEN BUILDINGS	102.24 < 100	4:1 (3:1 TO 10:1)	3.59 %	5 %	24R	Noncombustible	Noncombustible
3	WEST	7.57m > 7m TO PL	138.67 < 100	6.6:1 (3:1 TO 10:1)	13.43 %	35 %	24R	Compatible: Exposed metal frame, or Noncombustible	Noncombustible
4	EAST	> 6m TO C.L. OF STREET (N/A TO 10:1 TO 10:1)	138.67 < 100	6.6:1 (3:1 TO 10:1)	N/A	100 %	N/A	N/A	N/A

PL: PROPERTY LINE
L.L.: LOWEST LINE
UPD: UNPROTECTED OPENING
E.B.F.: EXPOSING BUILDING FACE
C.L.: CENTERLINE

GENERAL NOTES: A007

THE DRAWINGS, EXCEPT AS NOTED, SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE (NBC) AND THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND THE NATIONAL ELECTRICAL CODE (NEC).

THE BUILDING CODE COMPLIANCE INFORMATION PRESENTED ON THIS DRAWING IS FOR INFORMATION PURPOSES ONLY AND IS NOT TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS. THE BUILDING CODE COMPLIANCE INFORMATION PRESENTED ON THIS DRAWING IS FOR INFORMATION PURPOSES ONLY AND IS NOT TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS.

FOR THE PROTECTION AND SPATIAL SEPARATION AREAS ON DETAILS REFER TO MECHANICAL/ELECTRICAL DRAWINGS.

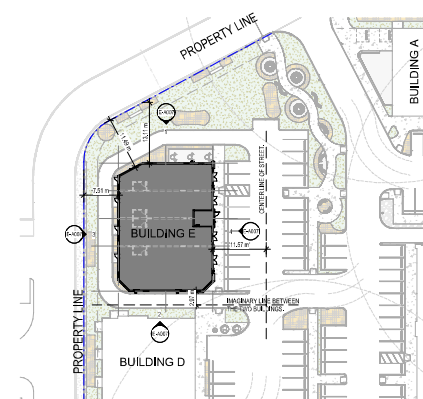
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO BE IN COMPLIANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS OF THE CITY OF CALGARY, THE PROVINCE OF ALBERTA, AND THE COUNTRY OF CANADA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO BE IN COMPLIANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS OF THE CITY OF CALGARY, THE PROVINCE OF ALBERTA, AND THE COUNTRY OF CANADA.

LEGEND: A007 SERIES

- FIRE DEPARTMENT CONNECTION
- FACING STREET
- UNPROTECTED OPENING (U/O)
- UNPROTECTED BUILDING FACE (U/BF)
- SPECIAL SEPARATION (SS)
- PRINCIPAL ENTRANCE
- PARTIAL BUILDING PLAN ORIENTATION
- BUILDING SECTION REFERENCE
- BUILDING ELEVATION REFERENCE
- FIRE HYDRANT/WATER SUPPLY
- PER ROUTE
- BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

- MINI-ROOF
- WINDOWS



KEY PLAN

SCALE 1:500

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SENALTEK LTD.
100-727 7th Avenue SW
CALGARY, ALBERTA, T2P 0Z5

ELEGRON INC.
255-728-28 STREET NE
CALGARY, ALBERTA, T2A 0R3

INVISTEC CALGARY
SUITE 300, 4040 AVENUE SW
CALGARY, AB T2P 0R3
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P: 587.588.2256

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2026-04-10

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No.	Revised	Date
1	REVISED FOR TP	2024-11-28/2024
2	REVISED FOR TP	2024-11-28/2024
3	REVISED FOR TP	2024-11-28/2024
4	REVISED FOR TP	2024-11-28/2024
5	REVISED FOR TP	2024-11-28/2024
6	REVISED FOR TP	2024-11-28/2024
7	REVISED FOR TP	2024-11-28/2024
8	REVISED FOR TP	2024-11-28/2024
9	REVISED FOR TP	2024-11-28/2024
10	REVISED FOR TP	2024-11-28/2024

Client

PEAKRIDGE GROUP
1500-1000 STREET
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT BUILDING (E)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

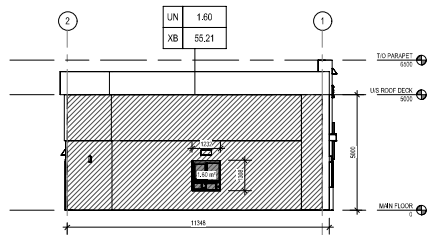
UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (E)

Document Control

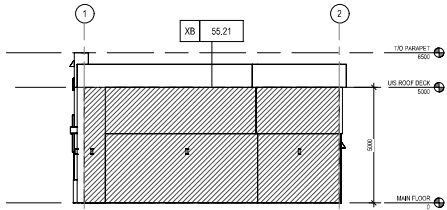
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Sheet No.

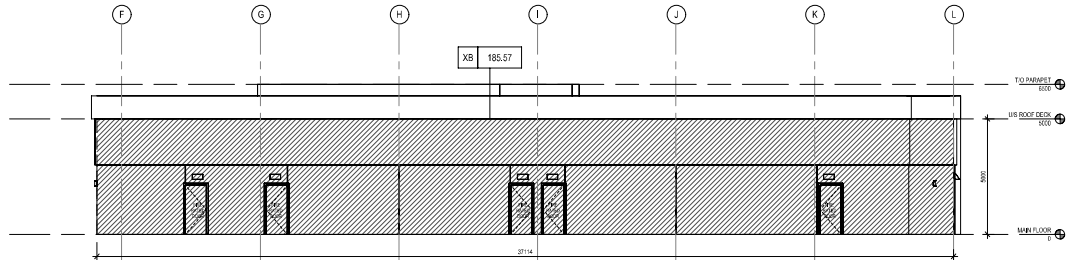
E-A007



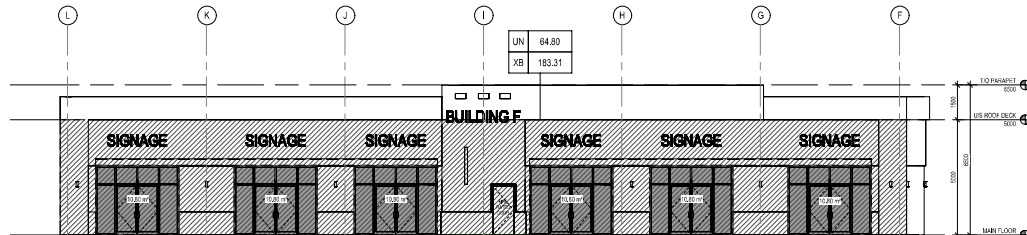
1 NORTH ELEVATION - EXPOSING BUILDING FACE
SCALE 1:100



2 SOUTH ELEVATION - EXPOSING BUILDING FACE
SCALE 1:100



3 EAST ELEVATION - EXPOSING BUILDING FACE
SCALE 1:100



4 WEST ELEVATION - EXPOSING BUILDING FACE
SCALE 1:100

SPATIAL SEPARATION AND EXPOSURE PROTECTION FOR GROUP E									
TABLE 5.2.3.1.1 (IBC-2021) AREA OF UNPROTECTED OPENING					TABLE 5.2.3.1.2 (IBC-2021) CONSTRUCTION OF EXPOSED BUILDING FACE				
ELEV.	BUILDING FACE	UNITING DISTANCE	AREA OF SLAB	RATIO (L/H OR A/L)	PROP. AREA OF UPD	ALLOWED UPD	RFR	TYPE OF CONST.	TYPE OF CLADDING
1	NORTH	> 3m TO C.C. OF STREET	55.21 x 60	2:1 (LESS THAN 1:1)	0%	100%	NA	NA	NA
2	SOUTH	> 3m TO C.C. OF STREET	55.21 x 60	2:1 (LESS THAN 1:1)	0%	100%	NA	NA	NA
3	EAST	> 3m TO C.C. OF STREET	185.57 x 150	2:1 (2:1 TO 10:1)	0%	100%	NA	NA	NA
4	WEST	> 3m TO C.C. OF STREET	183.31 x 100	2:1 (2:1 TO 10:1)	0%	100%	NA	NA	NA

P.L. PROPERTY LINE
U.L. UNPROTECTED OPENING
S.L. SLAB
C.L. CENTERLINE

GENERAL NOTES, A007

THE DRAWING ILLUSTRATES A SCHEMATIC OF THE BUILDING COOR. ANALYSIS AND REQUIREMENTS FOR THE PROJECT INCLUDING PROTECTIVE DEVICES, AND PROTECTIVE DEVICES, INCLUDING OCCUPANCY AND PROTECTIVE DEVICES.

THE DRAWING ILLUSTRATES A SCHEMATIC OF THE BUILDING COOR. ANALYSIS AND REQUIREMENTS FOR THE PROJECT INCLUDING PROTECTIVE DEVICES, AND PROTECTIVE DEVICES, INCLUDING OCCUPANCY AND PROTECTIVE DEVICES.

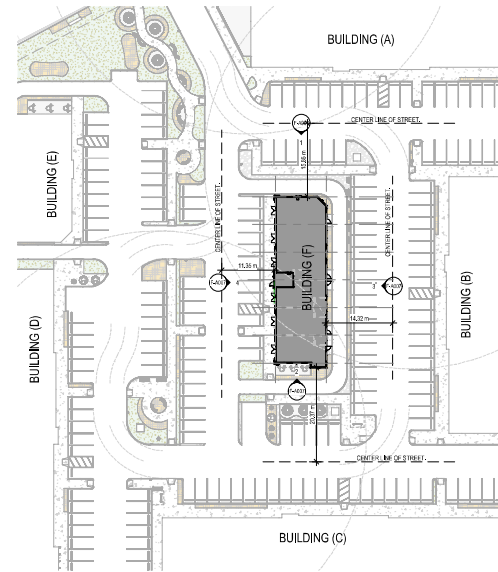
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LEGEND, A007 SERIES

- 1. FIRE SEPARATION CONNECTION
- 2. FACING STREET
- 3. UNPROTECTED OPENING (1/2)
- 4. EXPOSING BUILDING FACE (AREA 1/2)
- 5. SPACED SEPARATION (1/2)
- 6. PERMANENT ENTRANCE
- 7. BUILDING SECTION REFERENCE
- 8. BUILDING ELEVATION REFERENCE
- 9. FIRE HYDRANT WATER SUPPLY
- 10. FIRE ROUTE
- 11. BUILDING ENTRANCE

EXPOSING BUILDING FACE LEGEND

- 1. MAIN FLOOR
- 2. MEZANINE



5 KEY PLAN
SCALE 1:100

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502-4730 GATEWAY BOULEVARD NW.
EDMONTON, AB T6H 0T1

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STRUCTURAL ENGINEERING + FORENSICS
SENALTEK LTD.
350-727 7th AVENUE SW
CALGARY, ALBERTA, T2P 0Z5

ELEGRON
ELEGRON INC.
255-728 28 STREET NE
CALGARY, ALBERTA, T2A 0R3

invistec
INVISTEC CALGARY
SUITE 300, 4040 AVENUE SW
CALGARY, AB T2P 0R3
TYTOPLANNING@INVISTEC.CA
P: 587.588.8256

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No.	Revised	By	Date
1	REVISED FOR TOP	10/11/2020	
2	REVISED FOR TOP	10/11/2020	
3	REVISED FOR TOP	10/11/2020	
4	REVISED FOR TOP	10/11/2020	

Client

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT BUILDING (D)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (F)

Document Control

Date: 2025-04-10
Scale: As Indicated
Drawn: NA
Project: 1084-A26-001

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