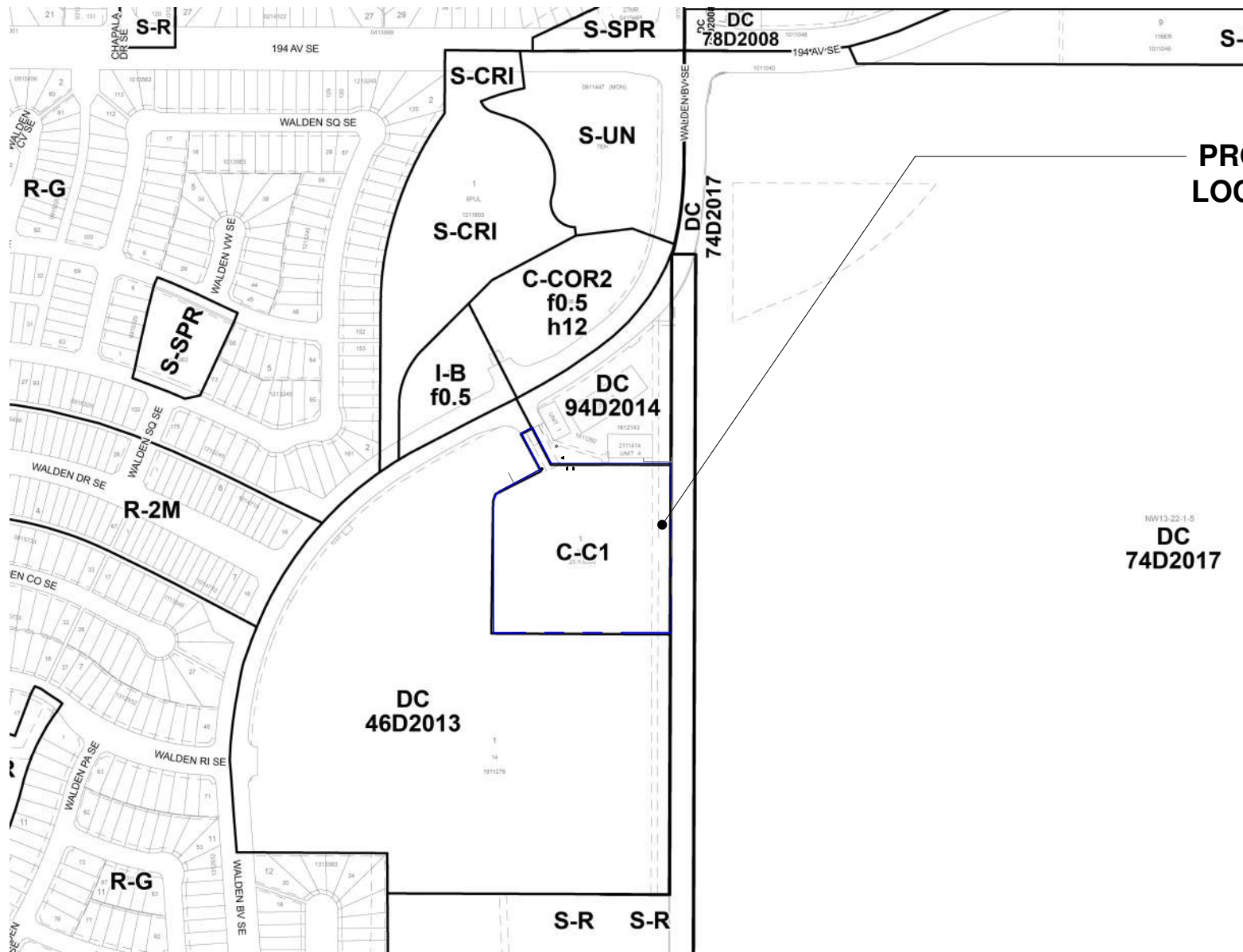


PRELIMINARY - NOT FOR CONSTRUCTION

WALDEN RETAIL DEVELOPMENT

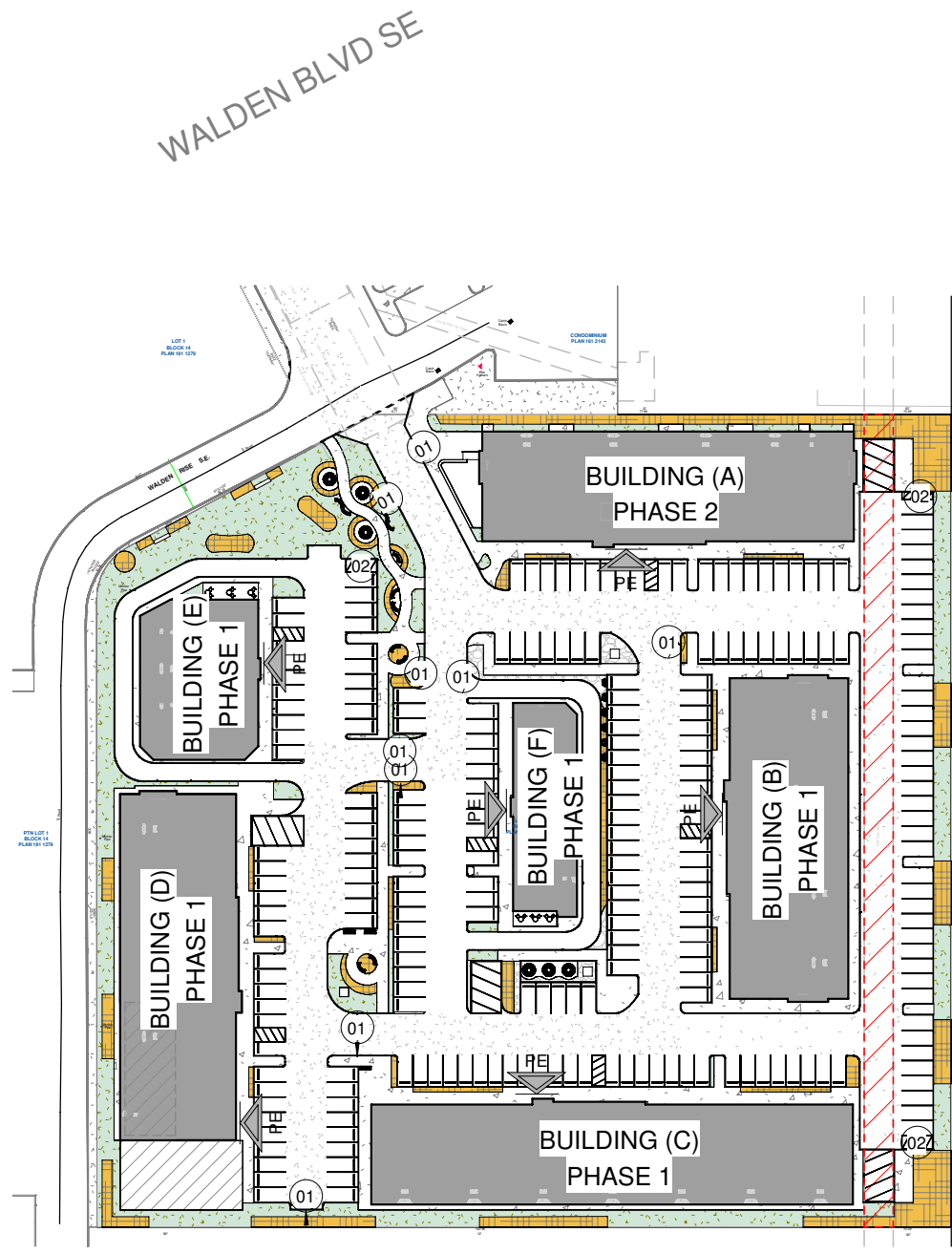
19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7



PROJECT LOCATION



AERIAL LOCATION MAP



OVERALL SITE PLAN

DRAWING LIST

SITE

- X-A001 COVER SHEET & PROJECT INFORMATION
- X-A002 EXISTING SITE PHOTOS
- X-A006 FIRE TRUCK & LOADING VEHICLE SWEEP PATH
- X-A100 SITE PLAN
- X-A101 SITE SECTIONS AND LINE-OF-SIGHT
- X-A102 MOLOKS DETAILS
- X-A103 SITE DETAILS
- X-A104 FREESTANDING SIGN DETAILS

BUILDING (A)

- A-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (A)
- A-A210 MAIN AND SECOND FLOOR CONSTRUCTION PLANS BUILDING (A)
- A-A240 ROOF PLAN BUILDING (A)
- A-A400 EXTERIOR ELEVATIONS BUILDING (A)
- A-A401 EXTERIOR ELEVATIONS BUILDING (A)
- A-A500 BUILDING SECTIONS BUILDING (A)

BUILDING (B)

- B-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (B)
- B-A210 MAIN AND SECOND FLOOR CONSTRUCTION PLAN BUILDING (B)
- B-A240 ROOF PLAN BUILDING (B)
- B-A400 EXTERIOR ELEVATIONS BUILDING (B)
- B-A401 EXTERIOR ELEVATIONS BUILDING (B)
- B-A500 BUILDING SECTIONS BUILDING (B)

BUILDING (C)

- C-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (C)
- C-A210 CONSTRUCTION FLOOR PLAN BUILDING (C)
- C-A240 ROOF PLAN BUILDING (C)
- C-A400 EXTERIOR ELEVATIONS BUILDING (C)
- C-A500 BUILDING SECTIONS BUILDING (C)

BUILDING (D)

- D-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (D)
- D-A210 CONSTRUCTION FLOOR PLANS BUILDING (D)
- D-A240 ROOF PLAN BUILDING (D)
- D-A400 EXTERIOR ELEVATIONS BUILDING (D)
- D-A500 BUILDING SECTIONS BUILDING (D)

BUILDING (E)

- E-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (E)
- E-A210 CONSTRUCTION FLOOR PLAN BUILDING (E)
- E-A240 ROOF PLAN BUILDING (E)
- E-A400 EXTERIOR ELEVATIONS BUILDING (E)
- E-A500 BUILDING SECTIONS BUILDING (E)

BUILDING (F)

- F-A007 UNPROTECTED OPENING & SPATIAL SEPARATION BUILDING (F)
- F-A210 CONSTRUCTION FLOOR PLAN BUILDING (F)
- F-A240 ROOF PLAN BUILDING (F)
- F-A400 EXTERIOR ELEVATIONS BUILDING (F)
- F-A500 BUILDING SECTIONS BUILDING (F)

ELECTRICAL

- E0.1 SYMBOLS LEGEND & DRAWINGS LIST
- E0.2 SITE LIGHTING CALCULATIONS
- E0.3 SITE LIGHTING CALCS W/ ISO LINES
- E1.1 SITE LIGHTING PLAN
- E2.1 LIGHTING DETAILS

CIVIL

- C1.0 SERVICING PLAN
- C2.0 GRADING PLAN

LANDSCAPING

- L-100 KEY PLAN
- L-101 LANDSCAPE PLAN - NORTH
- L-102 LANDSCAPE PLAN - SOUTH
- L-501 PLANTING DETAILS



PROJECT TEAM

ARCHITECT:



SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.
502 - 4730 GATEWAY BOULEVARD NW,
EDMONTON, AB, T6H 4P1

P: 587.487.4573
E: ARCHITECTURE@SENALTEK.COM

STRUCTURAL ENGINEERING



SENALTEK LTD.
550 - 727 7th AVENUE SW
CALGARY, ALBERTA, T2P 0Z5

MECHANICAL AND ELECTRICAL ENGINEERING:



ELEQRON INC.
255 - 720 28 STREET NE
CALGARY, ALBERTA, T2A 6R3

CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE:



INVESTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
YYCPLANNING@INVESTEC.CA
P: 587.588.8256

CLIENT:



PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

PROJECT INFORMATION

ADDRESS:
19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7
LEGAL DESCRIPTION:
LOT: 1
BLOCK: 15
PLAN: 2412397

PARCEL AREA:
COMMERCIAL - COMMUNITY 1 (C-C1) DISTRICT

PROJECT SCOPE OF WORK:
THIS PROJECT PROPOSES A NEW COMMERCIAL DEVELOPMENT OF SIX BUILDINGS. THREE BUILDINGS ARE TWO STOREYS AND THREE BUILDINGS ARE ONE STOREY. MAJOR OCCUPANCY BEING GROUP E, GROUP A-2 AND GROUP D.

OWNER:
PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

ZONING BYLAW INFORMATION

CITY/HAVING JURISDICTION:
CITY OF CALGARY

ZONING:
COMMERCIAL - COMMUNITY 1 (C-C1) DISTRICT

FLOOR AREA RATIO:
MAXIMUM FOR BUILDINGS = 1.0

BUILDING HEIGHT:
MAXIMUM HEIGHT = 10.0 METERS | PROJECT HEIGHT = 10.0 METERS (BYLAW 744: MEASURED FROM GRADE AND EXCLUDING ANGULAR STRUCTURES, I.E. ELEVATOR HOUSING, MECHANICAL PENTHOUSE)

USE AREA:
MAXIMUM USE AREA = 1400.0 SQ.M.

ADJACENT PARCELS:
FRONT N/E = DIRECT CONTROL (DC) / COMMERCIAL - COMMUNITY 2 (C-C2) DISTRICT / STORAGE FACILITY
FRONT N/W, SIDE AND REAR = DIRECT CONTROL (DC) / SPECIAL PURPOSE - COMMUNITY INSTITUTION (S-CI)

FRONT SETBACK:
3.0 METERS

REAR SETBACK:
3.0 METERS

SIDE SETBACK:
3.0 METERS

LANDSCAPING IN SETBACK AREAS:
SOFT SURFACED LANDSCAPED AREA MUST PROVIDE MINIMUM OF 1.0 TREE AND 2.0 SHRUBS PER 35.0 SQ.M. (OR 50.0 SQ.M. WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM).
REFER TO LANDSCAPE DRAWINGS FOR DETAILS AND A100.

LANDSCAPING FOR LARGE PARKING AREA:
FOR PARKING AREA EXCEEDING 5,000 SQ. M. LANDSCAPED AREAS MUST BE PROVIDED AT A RATIO OF 0.150 SQ. M. FOR EVERY 1.0 SQ. M. OF THE TOTAL SURFACED AREA.

PERMITTED USES:

- a.) SIGN - CLASS A, CLASS B, CLASS D
- b.) PARK
- c.) UTILITIES

DISCRETIONARY USES:

- 1.) CATERING SERVICE - MINOR
- 2.) CONVENIENCE FOOD STORE
- 3.) FINANCIAL INSTITUTION
- 4.) FITNESS CENTRE
- 5.) HEALTH CARE SERVICE
- 6.) HOME BASED CHILD CARE - CLASS 1
- 7.) LIBRARY / MUSEUM
- 8.) OFFICE
- 9.) VETERINARY / PET CARE SERVICE
- 10.) PRINT CENTRE
- 11.) RETAIL AND CONSUMER SERVICE
- 12.) SUPERMARKET / SPECIALTY FOOD STORE
- 13.) RESTAURANT - FOOD SERVICE ONLY
- 14.) VEHICLE RENTAL - MINOR
- 15.) RESTAURANT - LICENSED (IF PUBLIC AREA IS LESS THAN 1500 SQ. M.)
- 16.) RESTAURANT - LICENSED (IF THE PUBLIC AREA IS GREATER THAN 1500 SQ. M.)
- 17.) AMUSEMENT ARCADE
- 18.) ARTIST'S STUDIO
- 19.) AUTO SERVICE - MINOR (CAR WASH - SINGLE
- 20.) BREWERY / WINERY / DISTILLERY / CANNABIS STORE
- 21.) CHILD CARE SERVICE - DAY CARE
- 22.) DRINKING ESTABLISHMENT - SMALL / MEDIUM
- 23.) DRIVE THROUGH
- 24.) DWELLING UNIT
- 25.) GAS BAR - GAS STATION
- 26.) INDOOR RECREATION FACILITY
- 27.) LOUOR STORE
- 28.) LIVE WORK UNIT
- 29.) ADDITION TREATMENT
- 30.) OUTDOOR CAFE
- 31.) PARKING LOT - GRADE
- 32.) PLACE OF WORSHIP
- 33.) POWER GENERATION FACILITY - SMALL
- 34.) SEASONAL SALES AREA
- 35.) SOCIAL ORGANIZATION
- 36.) URBAN AGRICULTURE
- 37.) UTILITY BUILDING
- 38.) SIGN - CLASS C, CLASS E

VARIANCE REQUEST:

- 1.) BUILDING B: SECOND FLOOR DAYCARE USE (AS PLANNED ORIGINALLY), FOR THIS SUBMISSION THE DAYCARE HAS NOW BEEN RELOCATED TO BUILDING D AS REQUESTED.
- 2.) TWO FREESTANDING SIGNS (CLASS C)

REQUIRED MOTOR VEHICLE PARKING STALLS:

CITY OF CALGARY LAND USE BYLAW AMENDED THE C-C1 DISTRICT ZONING TO ELIMINATE MINIMUM PARKING REQUIREMENTS. SEE A100 - SITE PLAN FOR PARKING CALCULATION

PROPOSED STALLS = 232 (BARRIER FREE PARKING STALLS = 12)

REQUIRED LOADING STALLS:

1.0 LOADING STALLS PER 9300.0 SQUARE METERS

REQUIRED LOADING STALLS = 2

PROPOSED LOADING STALLS = 4

REQUIRED BICYCLE STALLS - CLASS 1:

OFFICE USE 1.0 PER 1000.0 SQ. M. (GUFA) = 4

REQUIRED BICYCLE STALLS - CLASS 2:

5% OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS = 12

PROPOSED CLASS 2 STALLS = 45

BUILDING CODE INFORMATION

PROJECT OVERVIEW: THIS PROJECT PROPOSES A TWO PHASED CONSTRUCTION
PHASE 1: BUILDINGS B, C, D, E & F
PHASE 2: BUILDING A

BUILDING A: FOOTPRINT = 1,241 SQ. M. BUILDING HEIGHT = 10 M (2 STOREYS)	GROUND FLOOR = 9 CRUS SECOND FLOOR = OFFICE SPACE
BUILDING B: FOOTPRINT = 1,161 SQ. M. BUILDING HEIGHT = 10 M (2 STOREYS)	GROUND FLOOR = 8 CRUS SECOND FLOOR = OFFICE SPACE
BUILDING C: FOOTPRINT = 1,453 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREY)	GROUND FLOOR = 14 CRUS / OFFICE SUITES
BUILDING D: FOOTPRINT = 1,221 SQ. M. BUILDING HEIGHT = 10 M (2 STOREYS)	GROUND FLOOR = 9 CRUS SECOND FLOOR = DAYCARE
BUILDING E: FOOTPRINT = 557 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREYS)	GROUND FLOOR = 3 CRUS + DRIVE-THRU
BUILDING F: FOOTPRINT = 402 SQ. M. BUILDING HEIGHT = 6.5 M (1 STOREYS)	GROUND FLOOR = 3 CRUS + DRIVE-THRU

CONSTRUCTION REQUIREMENTS FOR BUILDINGS A, B, C, D (GROUND FLOOR MERCHANTS):

- NBC-2023AE: 3.2.2.68 GROUP E, UP TO 3 STOREYS, SPRINKLERED
- IF 2 STOREYS; BUILDING AREA NOT MORE THAN 3,600 SQ. M.
- NON-COMBUSTIBLE AND/OR COMBUSTIBLE CONSTRUCTION PERMITTED
- FLOOR ASSEMBLIES: NOT LESS THAN 45 MIN FRR REQUIRED
- MEZZANINES: IF OF COMBUSTIBLE CONSTRUCTION NOT LESS THAN 45 MIN FRR REQUIRED
- LOADBEARING ASSEMBLIES: NON-COMBUSTIBLE CONSTRUCTION OR NOT LESS THAN 45 MIN FRR REQUIRED
- SPRINKLERS REQUIRED THROUGHOUT

CONSTRUCTION REQUIREMENTS FOR BUILDINGS A & B (SECOND FLOOR BUSINESS + PERSONAL SERVICES):

- NBC-2023AE: 3.2.2.68 GROUP D, UP TO 3 STOREYS, SPRINKLERED
- IF 2 STOREYS; BUILDING AREA NOT MORE THAN 3,200 SQ. M.
- NON-COMBUSTIBLE AND/OR COMBUSTIBLE CONSTRUCTION PERMITTED
- FLOOR ASSEMBLIES: NOT LESS THAN 45 MIN FRR REQUIRED
- MEZZANINES: IF OF COMBUSTIBLE CONSTRUCTION NOT LESS THAN 45 MIN FRR REQUIRED
- LOADBEARING ASSEMBLIES: NON-COMBUSTIBLE CONSTRUCTION OR NOT LESS THAN 45 MIN FRR REQUIRED
- SPRINKLERS REQUIRED THROUGHOUT

CONSTRUCTION REQUIREMENTS FOR BUILDING D (SECOND FLOOR DAYCARE):

- NBC-2023AE: 3.2.2.26, GROUP A, DIVISION 2, UP TO 2 STOREYS, INCREASED AREA, SPRINKLERED
- 2 STOREY; BUILDING AREA NOT MORE THAN 2,400 SQ. M.
- NON-COMBUSTIBLE AND/OR COMBUSTIBLE CONSTRUCTION PERMITTED
- FLOOR ASSEMBLIES: NOT LESS THAN 45 MIN FRR REQUIRED
- MEZZANINES: IF OF COMBUSTIBLE CONSTRUCTION NOT LESS THAN 45 MIN FRR REQUIRED
- LOADBEARING ASSEMBLIES: NON-COMBUSTIBLE CONSTRUCTION, NOT LESS THAN 45 MIN FRR REQUIRED
- SPRINKLERS REQUIRED THROUGHOUT

CONSTRUCTION REQUIREMENTS FOR BUILDING F (DRIVE-THRU):

- NBC-2023AE: 3.2.2.25, GROUP A, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED
- IF 2 STOREYS; BUILDING AREA NOT MORE THAN 1,600 SQ. M.
- 1 STOREY, FACING 1 STREET; BUILDING AREA NOT MORE THAN 2,000 SQ. M.
- 1 STOREY, FACING 2 STREETS; BUILDING AREA NOT MORE THAN 2,000 SQ. M.
- NON-COMBUSTIBLE AND/OR COMBUSTIBLE CONSTRUCTION PERMITTED
- FLOOR ASSEMBLIES: NOT LESS THAN 45 MIN FRR REQUIRED
- MEZZANINES: IF OF COMBUSTIBLE CONSTRUCTION NOT LESS THAN 45 MIN FRR REQUIRED
- ROOF ASSEMBLIES: NOT LESS THAN 45 MIN FRR REQUIRED
- LOADBEARING ASSEMBLIES: NON-COMBUSTIBLE CONSTRUCTION, NOT LESS THAN 45 MIN FRR REQUIRED

CONSTRUCTION REQUIREMENTS FOR BUILDINGS E (MERCHANTS):

- NBC-2023AE: 3.2.2.70, GROUP E, UP TO 3 STOREYS
- 1 STOREY, FACING 1 STREET; BUILDING AREA NOT MORE THAN 1,000 SQ. M.
- NON-COMBUSTIBLE AND/OR COMBUSTIBLE CONSTRUCTION PERMITTED
- FLOOR ASSEMBLIES: NOT LESS THAN 45 MIN FRR REQUIRED
- MEZZANINES: IF OF COMBUSTIBLE CONSTRUCTION NOT LESS THAN 45 MIN FRR REQUIRED
- LOADBEARING ASSEMBLIES: NON-COMBUSTIBLE CONSTRUCTION, NOT LESS THAN 45 MIN FRR REQUIRED

MAJOR OCCUPANCY FIRE SEPARATIONS:

PER NBC-AE(2) TABLE 3.1.3.1:

GROUP D is GROUP E = 0 HOUR FRR FIRE SEPARATION

GROUP A-2 is GROUP D = 1 HOUR FRR FIRE SEPARATION

GROUP A-2 to GROUP E = 2 HOUR FRR FIRE SEPARATION

Architect



SENALTEK ARCHITECTURE PLANNING + DESIGN LTD.
502 - 4730 GATEWAY BOULEVARD NW,
EDMONTON, AB T6H 4P1

Structural Engineering



SENALTEK LTD.
550 - 727 7th AVENUE SW
CALGARY, ALBERTA, T2P 0Z5



ELEQRON INC.
255 - 720 28 STREET NE
CALGARY, ALBERTA, T2A 6R3



INVESTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
YYCPLANNING@INVESTEC.CA
P: 587.588.8256

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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
6	REISSUED FOR DP	2025-11-07
7	REISSUED FOR DP	2025-11-19

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

COVER SHEET & PROJECT INFORMATION

Document Control No: 1084-A25-001-DWG-X-A001

Date: 2025-11-19

Scale: As indicated

Drawn: RYS & MA

Project: 1084-A25-001

Sheet No.

X-A001

Noted Drawings
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



EXISTING SITE CONDITIONS (A)



EXISTING SITE CONDITIONS (B)



EXISTING SITE CONDITIONS (C)

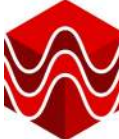


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X-A002

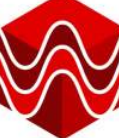
KEY PLAN
N.T.S.

Architect

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Structural Engineering

**SENALTEK**
STRUCTURAL ENGINEERING + FORENSICS

SENALTEK LTD.
550 - 727 7th AVENUE SW
CALGARY, ALBERTA, T2P 0Z5

**ELEQRON**

ELEQRON INC.
255 - 720 28 STREET NE
CALGARY, ALBERTA, T2A 6R3

**investec**

INVISTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
YYCPLANNING@INVISTEC.CA
P: 587.588.8256

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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
6	REISSUED FOR DP	2025-11-07
7	REISSUED FOR DP	2025-11-19

Client

**PEAKRIDGE GROUP**

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

**WALDEN RETAIL
DEVELOPMENT**

**19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7**

Drawing Title

EXISTING SITE PHOTOS

Document Control No:

1084-A25-001-DWG-X-A002

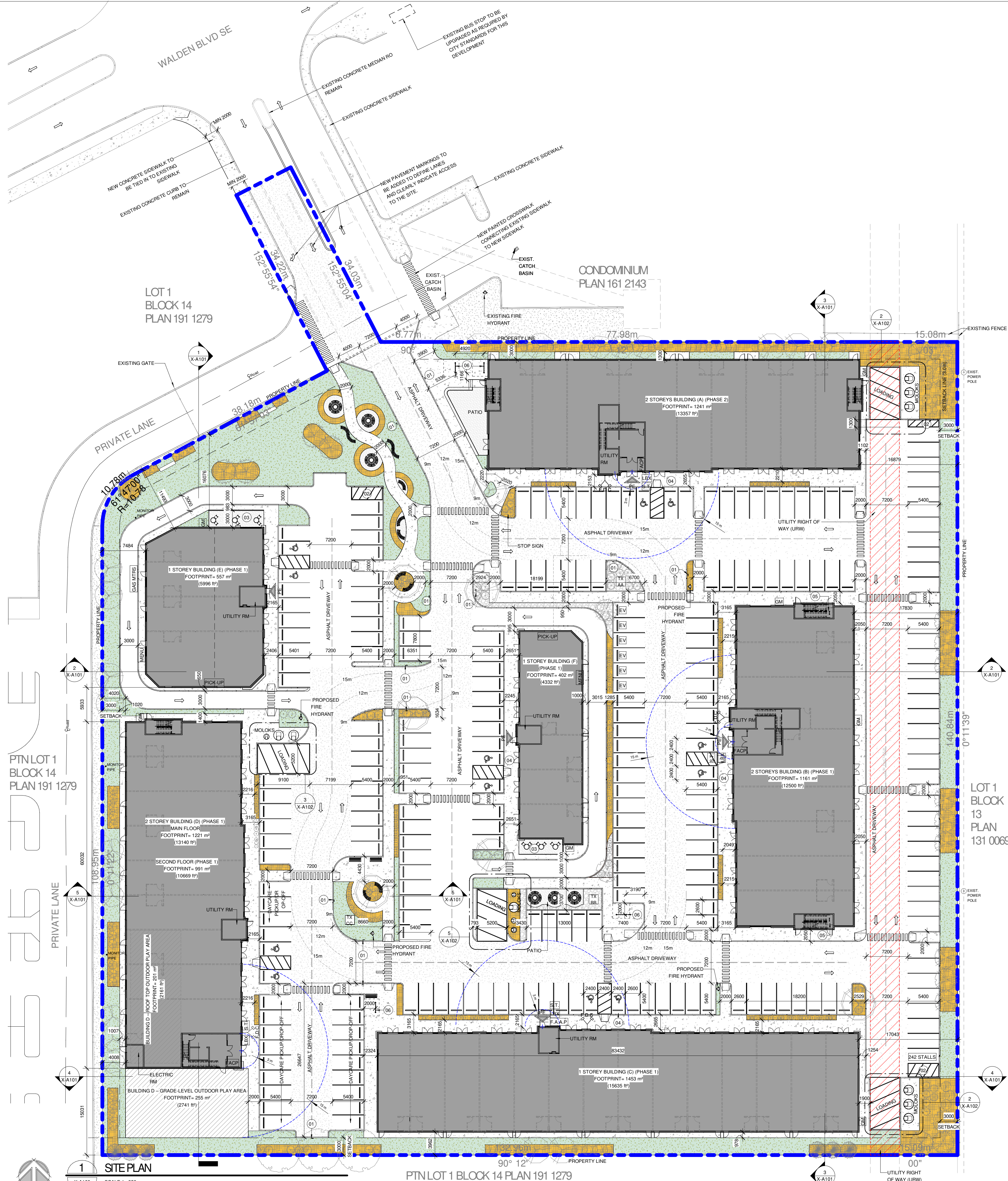
Date:	2025-11-19	Sheet No.
Scale:	N.T.S.	X-A002
Drawn:	MA	
Project:	1084-A25-001	

AMENDED DRAWINGS

DP No: DP2025-03987 Date Received: NOV 25 2025

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

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LEGAL DESCRIPTION

LOT: 1
BLOCK: 15
PLAN: 241297
AUTHORITY HAVING JURISDICTION: THE CITY OF CALGARY
SITE PLAN BASED ON SURVEY PREPARED BY: TOTAL GEOMATICS & CONSULTING INC.
DATE: JANUARY 15, 2025
FILE No.: T025-00050P

SITE PLAN / BUILDING STATISTICS

TOTAL AREA OF SITE (APPROXIMATELY)	=	221,555 SF (2.06 ha)
BUILDING (A)	GROUND FLOOR AREA	= 13,357 SF (1241 SM)
BUILDING (B)	GROUND FLOOR AREA	= 12,500 SF (1161 SM)
BUILDING (C)	GROUND FLOOR AREA	= 13,635 SF (1243 SM)
BUILDING (D)	GROUND FLOOR AREA	= 13,140 SF (1221 SM)
BUILDING (E)	GROUND FLOOR AREA	= 5,996 SF (557 SM)
BUILDING (F)	GROUND FLOOR AREA	= 4,332 SF (403 SM)
BUILDING GROSS AREA	=	101,483 SF (9,428 SM)
FOOTPRINT BUILDING AREA	=	84,958 SF (8,035 SM)
FAR	=	0.45

BUILDING SETBACK REQUIREMENT

FRONT YARD: 3.00 m
SIDE YARD: 3.00 m
REAR YARD: 3.00 m

PARKING REQUIREMENTS

FOR THE PURPOSES OF DETERMINING APPROPRIATE VEHICLE PARKING STALL QUANTITIES FOR OFFICE, GENERAL HEALTH CARE, RETAIL, AND DRIVE-THRU USES, FOR WHICH THE CITY OF CALGARY DOES NOT STIPULATE A MINIMUM QUANTITY OF VEHICLE PARKING STALLS, THE CITY OF ALBERTA LAND USE BYLAW 501/2016, SECTION 4.4, TABLE 5 WAS REFERENCED.

TOTAL MOTOR VEHICLE PARKING STALLS RECOMMENDED = +222
OFFICES & GENERAL HEALTH CARE = 3 PER 100 SQ. M. (GUPA)
GENERAL RETAIL = 2.5 PER 100 SQ. M. (GUPA)
RESTAURANT = 5 PER DRIVE THROUGH (GUPA)

MINIMUM QUANTITY OF DAYCARE DROP-OFF / PICK-UP STALLS PER CITY OF CALGARY LAND USE BYLAW 192007 SENTENCE 165
DAYCARE (MAX. 210 CHILDREN) = 1 PER 10 CHILDREN = 21 STALLS

TOTAL MOTOR VEHICLE PARKING STALLS PROVIDED = 241

FOR THE PURPOSES OF CALCULATING THE NUMBER OF BARRIER FREE DESIGNATED STALLS BYLAW SENTENCE 101.1 TABLE 1 WAS REFERENCED TO DETERMINE THE TOTAL NUMBER OF STALLS AND NB: AE(23) TABLE 3.8.2.5 WAS REFERENCED TO DETERMINE THE DESIGNATED PARKING SPACES FOR USE BY PERSONS WITH PHYSICAL DISABILITIES.

MINIMUM MOTOR VEHICLE PARKING SPACES CALCULATED, PER BYLAW TABLE 1.2 = 222

DESIGNATED PARKING SPACES REQUIRED FOR USE BY PERSONS WITH PHYSICAL DISABILITIES, PER NB: AE(23) TABLE 3.8.2.5 = 6

TOTAL BARRIER FREE PARKING STALLS PROVIDED = +12

TOTAL CLASS 2 BICYCLE PARKING STALLS REQUIRED = 26 (PER SENTENCES 192007 165, 185, 246, 286.1)

TOTAL CLASS 2 BICYCLE PARKING STALLS PROVIDED = 4 BIKE RACKS WITH 7 BIKES EACH = 28

TOTAL CLASS 1 BICYCLE PARKING STALLS REQUIRED = 1 STALL PER 100 SQ. M. OF OFFICE GUPA (SENTENCE 192007 246) = 3

TOTAL CLASS 1 BICYCLE PARKING STALLS PROVIDED = 4

LANDSCAPE REQUIREMENTS

SOFT SURFACED LANDSCAPED AREA MUST PROVIDE MINIMUM OF 1.0 TREE AND 2.0 SHRUBS PER 35.0 SQ. M. (OR 50.0 SQ. M. WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM. (REFER TO LANDSCAPE DRAWINGS)

MINIMUM AREA OF LANDSCAPED AREAS WITHIN SURFACE PARKING AREA (ISLANDS, STRIPS) = 0.15 SQ. M. FOR EVERY 1.0 SQ. M. OF TOTAL PARKING, DRIVE AISLE, VEHICULAR ACCESS PAVED AREAS

LANDSCAPING REQUIRED = 15% OF (221,555 SF - 84,951 SF) = 23,491 SF
PROVIDED LANDSCAPING = 2,640 SQ. M. / 28,400 SQ. FT.

WASTE REQUIREMENTS

PROJECT AREA: 6,034 M²
CITY PARAMETER: 3.0 M³ / 1,000 M² / WEEK
TOTAL WEEKLY WASTE:
3.0 * (6,034 / 1,000) = 3.0 * 6.034 = 18.10 M³ / WEEK

WEEKLY VOLUMES:
(ASSUMED SPLIT: ORGANICS 15%, RECYCLABLES 45%, GARBAGE 40%, GREASE 0.375 M³ / 375 L)
ORGANICS (15%) = 0.15 * 18.10 = 2.72 M³ / WEEK
RECYCLABLES (45%) = 0.45 * 18.10 = 8.15 M³ / WEEK
WASTE (40%) = 0.40 * 18.10 = 7.24 M³ / WEEK

SUMMARY OF MUCKS PROVIDED

STREAM	APPROX. WEEKLY VOLUME (M ³)	UNIT CAPACITY	UNITS PROVIDED	TOTAL CAPACITY PROVIDED	NOTES
(W) WASTE	7.24	5.0 m ³	6	30 m ³	MUCKING CLASSIC 5 m ³ (OR APPROVED EQUIVALENT) TO ACCOMMODATE MINIMUM WEEKLY WASTE VOLUME, SUITABLE FOR MIXED WASTE, PAPER, CARDBOARD, AND PLASTICS.
(R) RECYCLING	8.15	5.0 m ³	3	15 m ³	MUCKING CLASSIC 5 m ³ (OR APPROVED EQUIVALENT) TO ACCOMMODATE MINIMUM WEEKLY WASTE VOLUME, SUITABLE FOR MIXED.
(O) ORGANIC	2.72	1.3 m ³	3	3.9 m ³	MUCKING CLASSIC 1.3 m ³ (OR APPROVED EQUIVALENT) TO ACCOMMODATE MINIMUM WEEKLY WASTE VOLUME, SUITABLE FOR BIOWASTE, GLASS, METAL, PAPER.
(G) GREASE	0.375	800 L	1	0.8 m ³	MUCKING CLASSIC 800 L (OR APPROVED EQUIVALENT) TO ACCOMMODATE MINIMUM WEEKLY WASTE VOLUME, SUITABLE FOR COOKING OIL.
TOTAL WEEKLY WASTE VOLUME REQUIRED	18.10 m ³			TOTAL WEEKLY WASTE VOLUME PROVIDED	49.7 m ³

SITE KEYNOTES

- (01) NO PARKING ANYTIME / FIRE LANE SIGNAGE. (REFER TO X-A103 SITE DETAILS SHEET)
- (02) NO PARKING ZONE
- (03) PATIO. FENCE BY OTHERS
- (04) "BARRIER FREE PARKING" SIGN (INSTALLED AT ALL RELEVANT LOCATIONS) (REFER TO SITE SIGNAGE DETAIL)
- (05) BICYCLE PARKING STALLS — CLASS 1 (TWO BIKES CAPACITY) LOCATED IN BUILDING B (REFER TO X-A103 SITE DETAILS SHEET)
- (06) BICYCLE PARKING STALLS — CLASS 2 (7 BIKES CAPACITY) (REFER TO X-A103 SITE DETAILS SHEET)

GENERAL NOTES, A101 SERIES

REFER TO GEOTECHNICAL, LEGAL SURVEY AND ENVIRONMENTAL ASSESSMENT DOCUMENTS IN SPECIFICATION
FOR EXISTING UNDERGROUND UTILITIES LOCATIONS REFER TO CIVIL DOCUMENTS AND INFORMATION.
CIVIL WORK, PAVING AND SITE UTILITIES INDICATED ON THIS DRAWING ARE FOR INFORMATION PURPOSES ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR FULL DETAILS, AND SPECIFIC INFORMATION.
REFER TO CIVIL FOR SIDEWALKS, CURBS, ASPHALT AND GRANULAR PAVING AREAS, AND ROADWAYS
REFER TO CIVIL FOR ALL SITE GRADING AND STORM WATER MANAGEMENT
REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR SOOSEEDING AREAS, MAINTENANCE STRIPS, PLANT MATERIAL AND LANDSCAPING DETAILS.
REFER TO ELECTRICAL FOR ALL SITE UTILITIES, POWER, DATA AND LIGHTING REQUIREMENTS.
REFER TO SPECIFICATIONS FOR MATERIAL TYPES, COLOURS AND SITE FURNISHINGS
CONTRACTOR RESPONSIBLE FOR MAKING GOOD TO ALL EXISTING SITE WORK TO REMAIN, WHICH IS DAMAGED AS A RESULT OF THIS CONTRACT. PROVIDE PROPER PATCHING AND TRANSITIONS OF NEW AND EXISTING WORK WHERE APPLICABLE.

LEGEND, A100 SERIES

---	PROPERTY LINE
---	SETBACK LINE
PE	PRINCIPAL ENTRANCE
---	BUILDING ENTRANCE
---	CONCRETE PAVERS - PATIO
---	SHREDDED WOOD MULCH (REFER TO LANDSCAPE DRAWINGS)
---	CONCRETE WALKWAY
---	SOD (REFER TO LANDSCAPE DRAWINGS) *ALL SODDED AREAS ARE TO BE PLANTED WITH A DROUGHT-TOLERANT GRASS SPECIES.
---	HEAVY DUTY ASPHALT FOR FIRE TRUCK ACCESS ROUTE (ABLE TO SUPPORT A MIN. OF 85,000 lb or 38,556 kg)
---	HEAVY DUTY ASPHALT FOR LOADING TRUCK ACCESS ROUTE (ABLE TO SUPPORT A MIN. OF 55,000 lb or 25,000 kg)
---	5-LOOP WAVE STYLE BIKE RACK - 7 BIKE CAPACITY CLASS 2 (REFER TO DETAILS)
EV	ELECTRIC VEHICLE (EV) CHARGING STATION (LEVEL 2)
GM	GAS METERS
TX ##	PROPOSED TRANSFORMERS (TO BE CONFIRMED)
LOADING	LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55,000 lb / 25,000 kg (C/W PAVEMENT MARKINGS)
---	FIRE HYDRANT REFER TO CIVIL
ASPHALT	ASPHALT PAVING (REFER TO CIVIL)
---	STANDARD PARKING SPACE C/W MARKINGS AND PAVEMENT
---	SITE FURNISHINGS TYPE TO BE CONFIRMED
---	VEHICULAR TRAVEL DIRECTION
---	PAINTED CROSSWALK
---	BARRIER-FREE RAMP
---	BARRIER-FREE ACCESSIBLE PARKING SPACE C/W PAVEMENT MARKINGS
---	SIGNAGE (REFER TO SPECIFICATIONS)
---	FIRE DEPARTMENT CONNECTION
LBX	FIRE DEPARTMENT LOCK BOX
FACP	FIRE ALARM CONTROL PANEL
FAAP	FIRE ALARM ANNUNCIATOR PANEL
ST	EXTERIOR STROBE LIGHT PLACED ABOVE ALARM PANEL TO DEFINE PRINCIPAL ENTRANCE
---	CONCRETE SIDEWALK
---	DENOTES CATCH BASIN
---	DENOTES MONITOR PIPE
---	AREA OF NEW BUILDING
---	FUTURE WALL (BY OTHERS)
---	UTILITY RIGHT OF WAY (URW)

LEGEND SYMBOLS ARE TYPICAL & MAY NOT ALL APPLY TO THIS SPECIFIC PROJECT.

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CALGARY, ALBERTA, T2A 6R3

investec

INVESTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
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P: 587.588.8256

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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
1	ISSUED FOR PRELIMINARY MOBILITY REVIEW	2025-09-22
2	ISSUED FOR CLIENT REVIEW	2025-09-29
3	ISSUED FOR PRELIMINARY DTR RESPONSE	2025-10-02
4	ISSUED FOR CLIENT REVIEW	2025-10-16
5	ISSUED FOR CLIENT UPDATE	2025-10-23
6	REISSUED FOR DP	2025-11-07
7	REISSUED FOR DP	2025-11-19

Client

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

SITE PLAN

Document Control No:

1084-A25-001-DWG-X-A100

Date:

2025-11-19

Scale:

As indicated

Drawn:

WVG

Project:

1084-A25-001

Sheet No.

X-A100

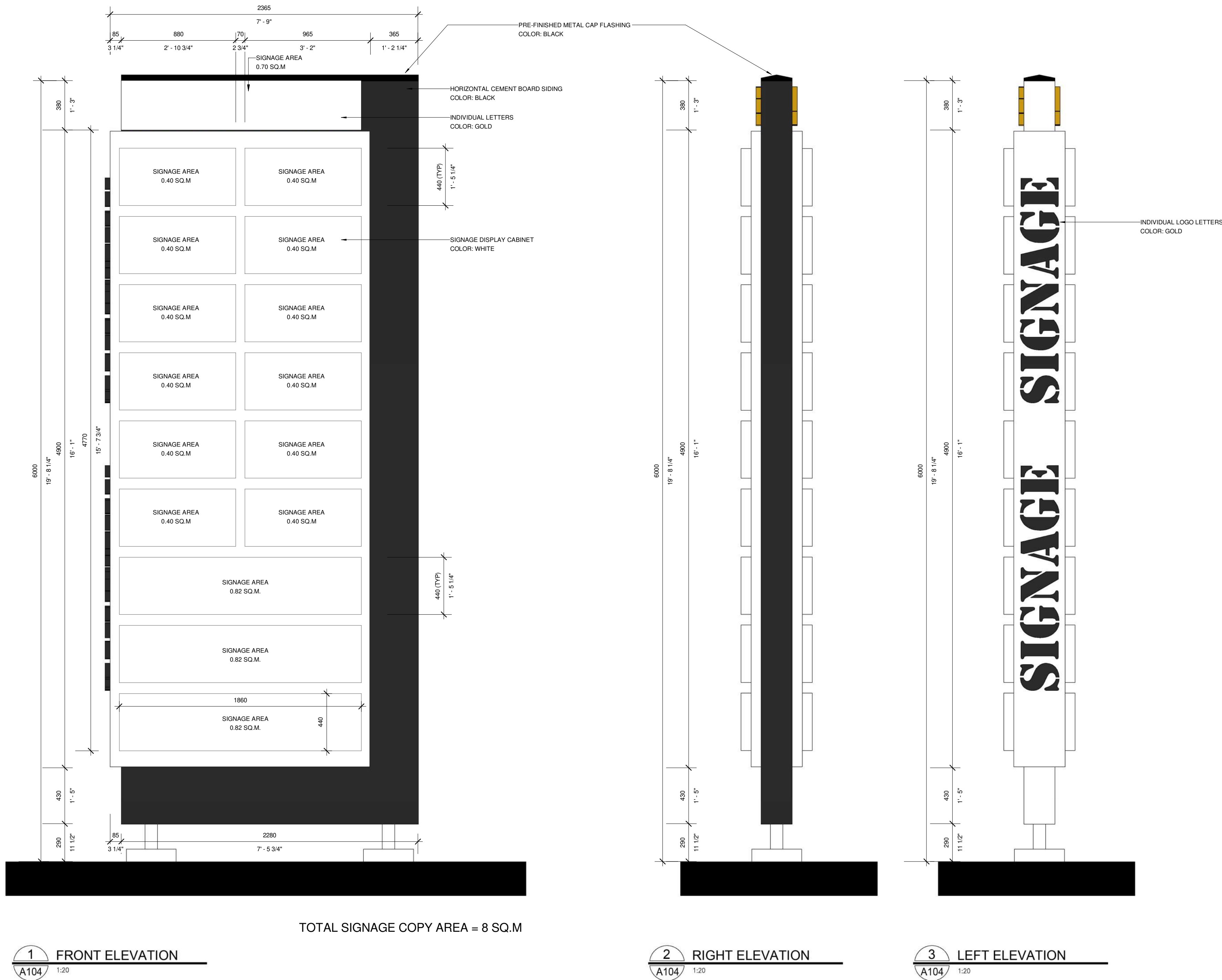
AMENDED DRAWINGS

DP No. Date Received

DP2025-03987 NOV 25 2025

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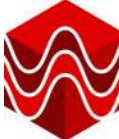


NOTE:
FREESTANDING STRUCTURE BY OTHERS, STAMPED SHOP DRAWING SUBMITTALS TO BE PROVIDED TO DESIGN TEAM FOR REVIEW/APPROVALS

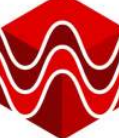
4 ORTHOGRAPHIC VIEW (1)
A104 N.T.S.

5 ORTHOGRAPHIC VIEW (2)
A104 N.T.S.

AMENDED DRAWINGS
DP No. Date Received
DP2025-03987 NOV 25 2025
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CALGARY, ALBERTA, T2A 6R3

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INVISTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
YYCPLANNING@INVISTEC.CA
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2025-11-19

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0	ISSUED FOR DP	2025-07-04
6	REISSUED FOR DP	2025-11-07
7	REISSUED FOR DP	2025-11-19

Client

**PEAKRIDGE GROUP**

PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

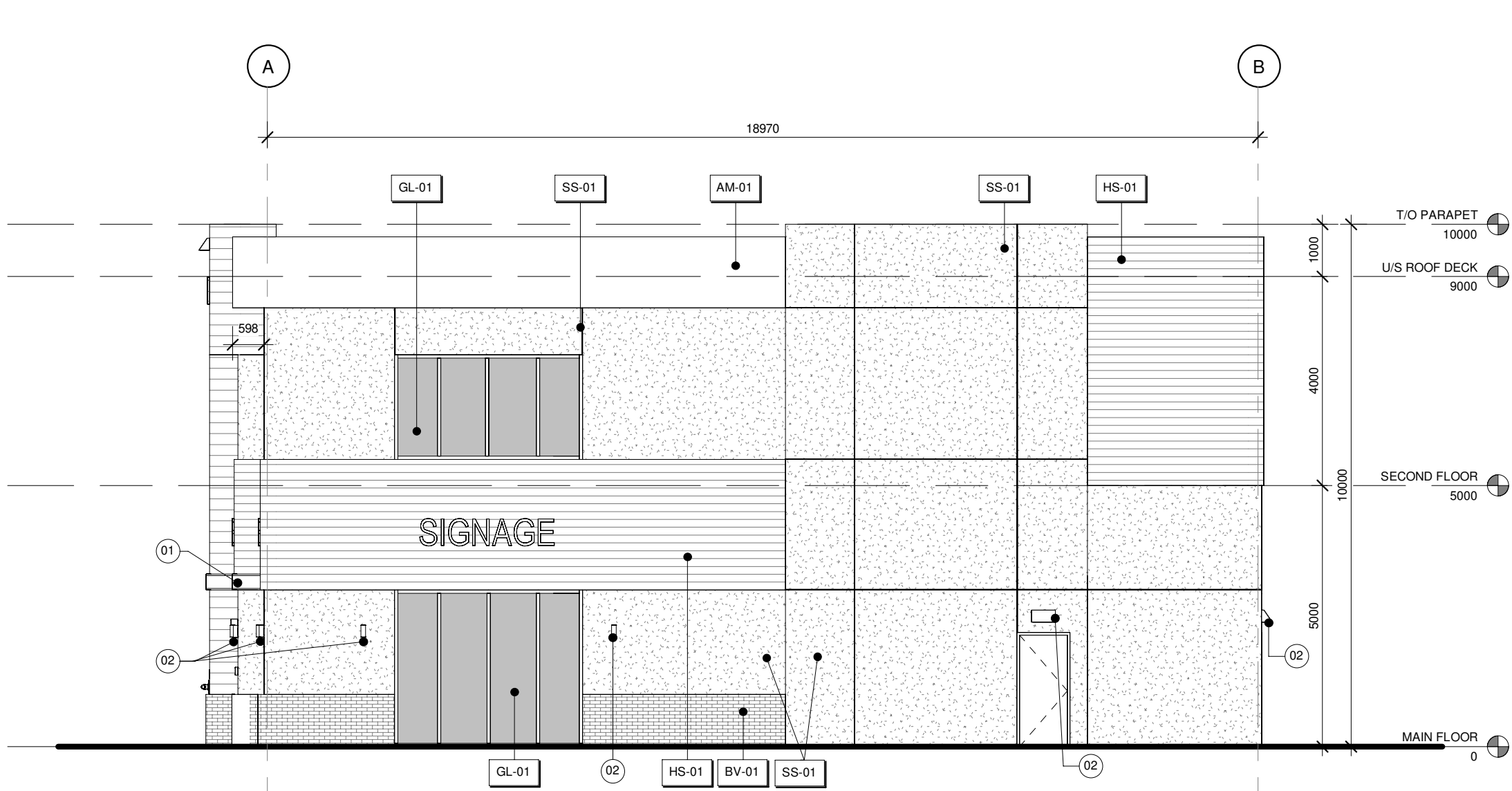
**WALDEN RETAIL
DEVELOPMENT**

**19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7**

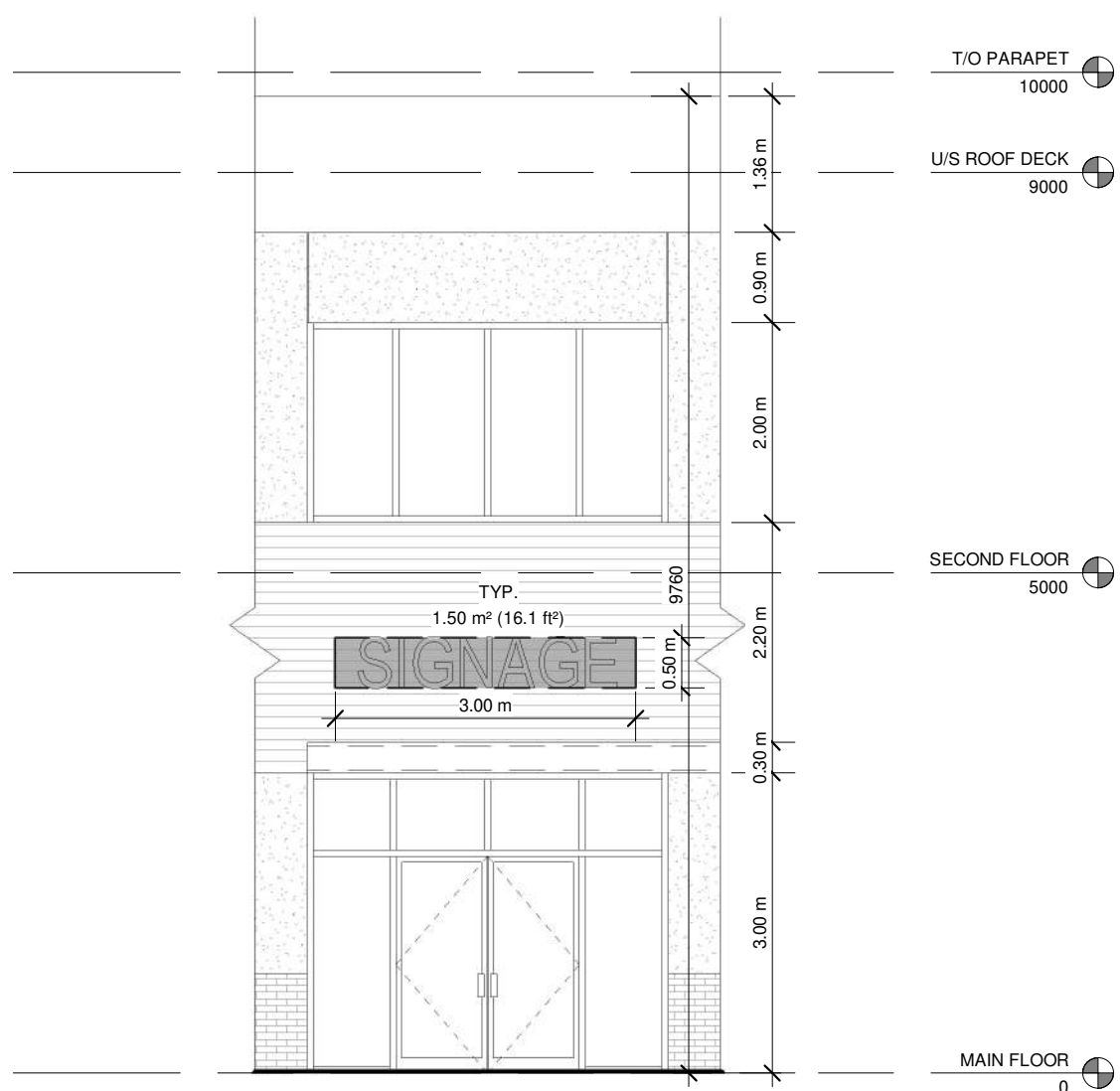
Drawing Title

**FREESTANDING SIGN
DETAILS**

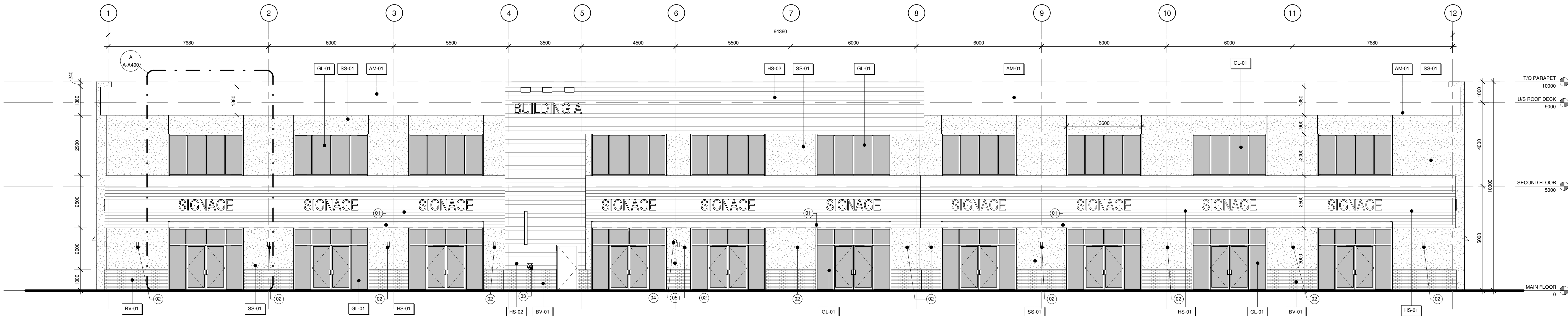
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Date: 2025-11-19	Sheet No.
Scale: AS SHOWN	X-A104
Drawn: MA	
Project: 1084-A25-001	



1 EAST ELEVATION
A-A400 SCALE 1 : 100



A TYP. SIGNAGE DETAIL
A-A400 SCALE 1 : 75



2 SOUTH ELEVATION
A-A400 SCALE 1 : 100

EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR GRAY
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : RED COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CW 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS, FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-00	Finished Architectural Metal type
BV-00	Brick Veneer type
CM-00	Concrete Unit Masonry type
EC-00	Exposed Architectural Concrete Finish type
EP-00	Exterior Paint Colour
ES-00	Exterior Stain type
HS-00	Prefinished Metal Siding, Horizontal Type
LV-00	Prefinished Aluminum Louvre unit
MB-00	Masonry Accent Band type
MF-00	Prefinished Metal Fascia type
MP-00	Metal Composite Panel System type
MS-00	Prefinished Metal Soffit type
MV-00	Masonry Veneer type
PC-00	Precast Concrete Unit type
PP-00	Prefinished Composite Board Panel type
PR-00	Prefinished Metal roofing type
PRG	Cement Parging
SS-00	Exterior Stucco type
VS-00	Prefinished Metal Siding, Vertical type
WD-00	Wood Panel/Trim type

ELEVATION KEYNOTES

- STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- FIRE DEPARTMENT CONNECTION
- STROBE LIGHT
- LOCKBOX

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
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- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FACIA SIGNS (SIGN - GLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

GENERAL NOTES, A400

400 SERIES DRAWINGS ILLUSTRATE: ELEVATIONS & THE ARCHITECTURAL BUILDING AESTHETICS WORK DESCRIBED HEREIN INCLUDES, BUT IS NOT LIMITED TO EXTERIOR BUILDING MATERIALS, FINISHES, DOORS & WINDOWS, ROOFING SURFACES, FLASHINGS, TRIMS AND OTHER RELATED WORK.

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IN GENERAL, ALL EXTERIOR FINISHES SHALL BE PROVIDED PLUMB, WITH ALL FASTENERS REGULARLY SPACED & IN TRUE ALIGNMENT, WITH NEAT CORNERS, TRANSITIONS & CLOSURE.

ALL WORK MUST BE PROVIDED WEATHER TIGHT & CALKED THROUGHOUT, CALKING COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE, SEE ELECTRICAL
GT#	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE (REFER TO DOOR SCHEDULE)
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00	BUILDING ELEVATION REFERENCE
1	SECTION No.
A101	DRAWING No. / BUILDING SECTION REFERENCE
1	DETAIL No.
A101	DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA



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Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (A)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (A)

Document Control No: 1084-A25-001-DWG-A-A400

Date: 2025-11-19

Scale: As indicated

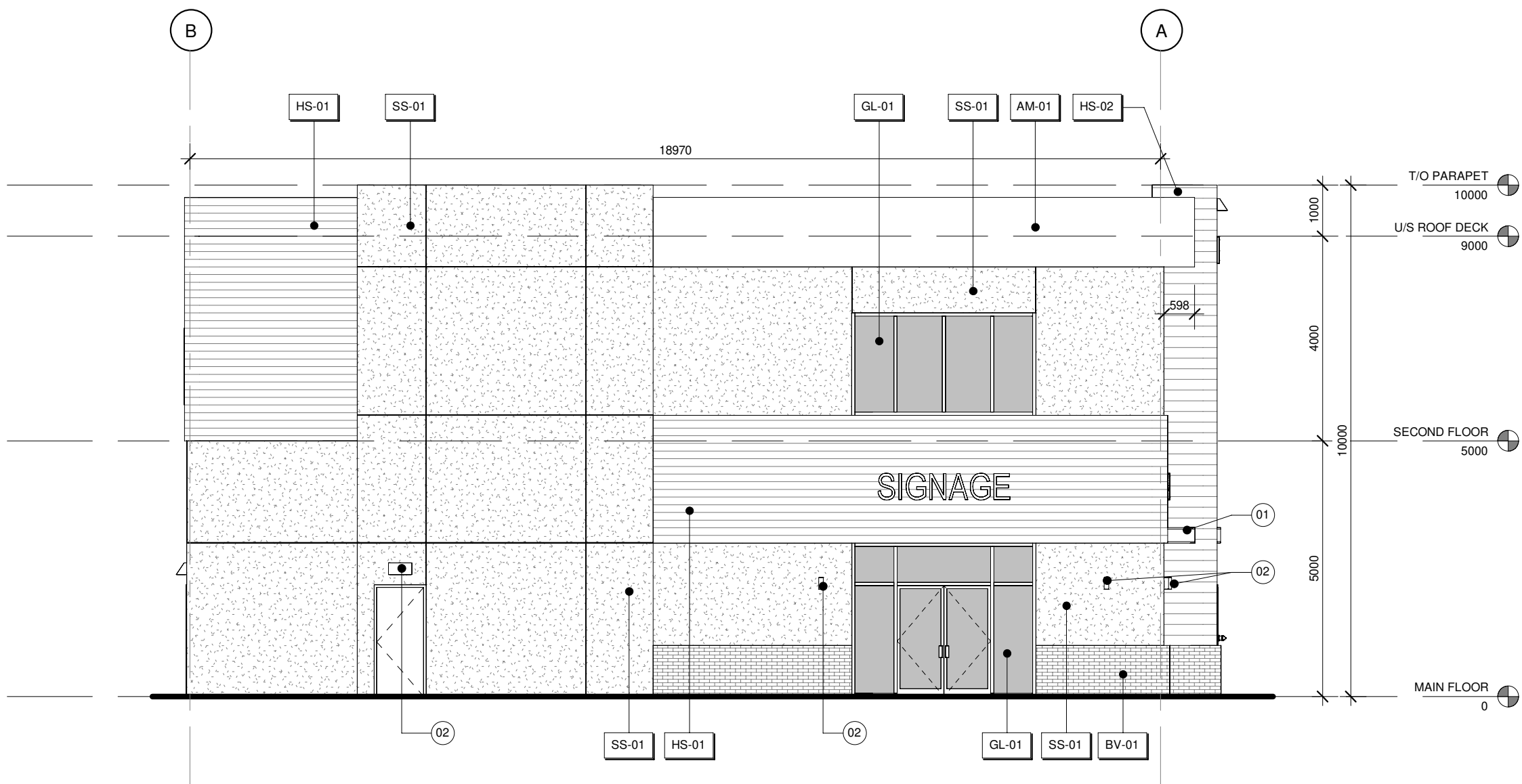
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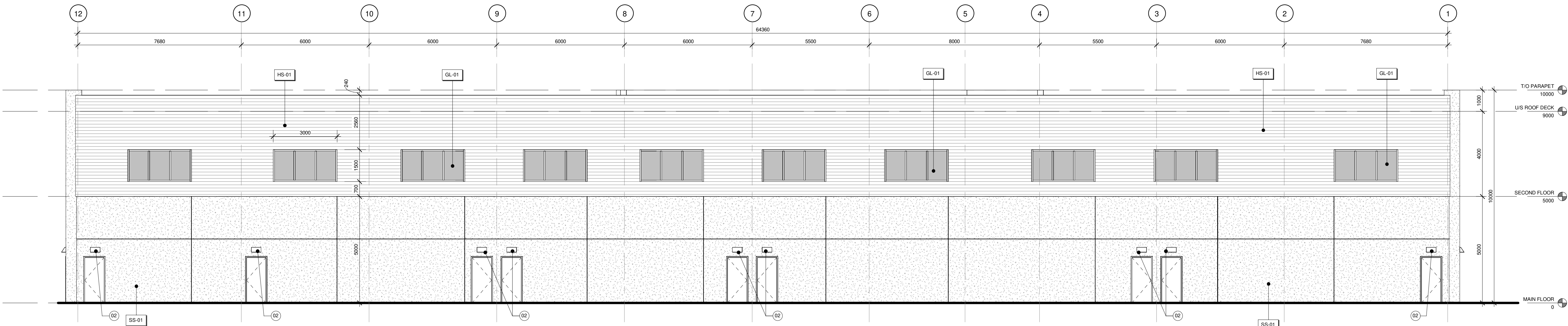
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A-A400

AMENDED DRAWINGS
DP No. Date Received
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



1 WEST ELEVATION
A-A401 SCALE 1 : 100



2 NORTH ELEVATION
A-A401 SCALE 1 : 100

EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR GRAY
BV-01	THIN STONE VENEER (LIGHT GRAY)
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PRG	Cement Parging
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ELEVATION KEYNOTES

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XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE, SEE ELECTRICAL
GT#	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE (REFER TO DOOR SCHEDULE)
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 FIN MAIN FLOOR SLAB	BUILDING ELEVATION REFERENCE
SECTION No. A101	DRAWING No. / BUILDING SECTION REFERENCE
DETAIL No. A101	DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA



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SENALTEK LTD.
550 - 727 7th AVENUE SW
CALGARY, ALBERTA, T2P 0Z5



ELEQRON INC.
255 - 720 28 STREET NE
CALGARY, ALBERTA, T2A 6R3



INVISTEC CALGARY
SUITE 300, 404 6 AVENUE SW
CALGARY, AB T2P 0R9
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P: 587.588.8256

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2025-11-19

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PERMIT No. AC 16144
ISSUED PURSUANT TO THE
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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
1	REISSUED FOR DP	2025-11-07
2	REISSUED FOR DP	2025-11-19

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (A)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (A)

Document Control No: 1084-A25-001-DWG-A-A401

Date: 2025-11-19

Scale: 1 : 100

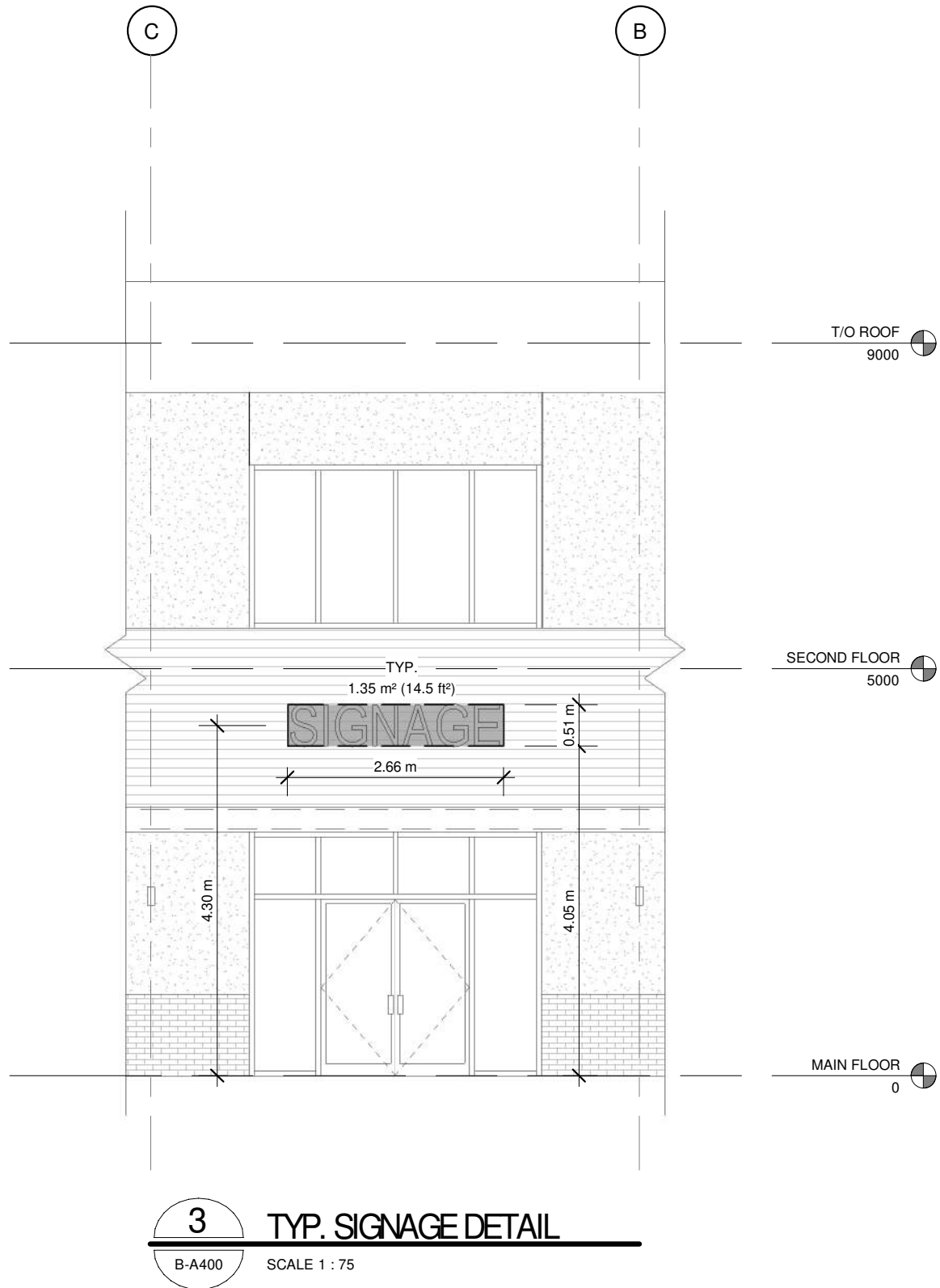
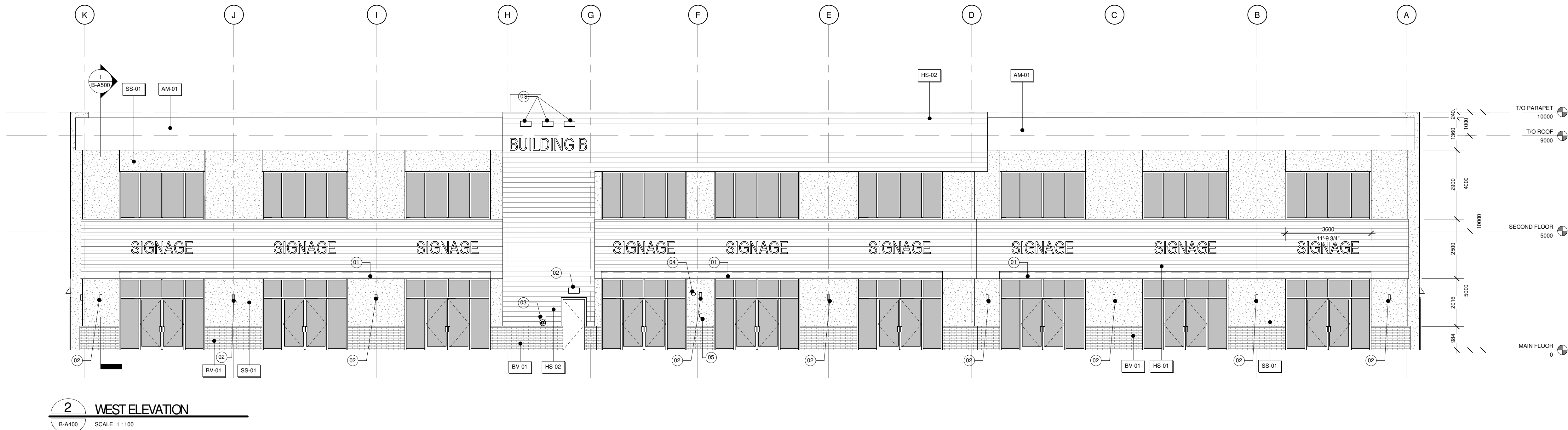
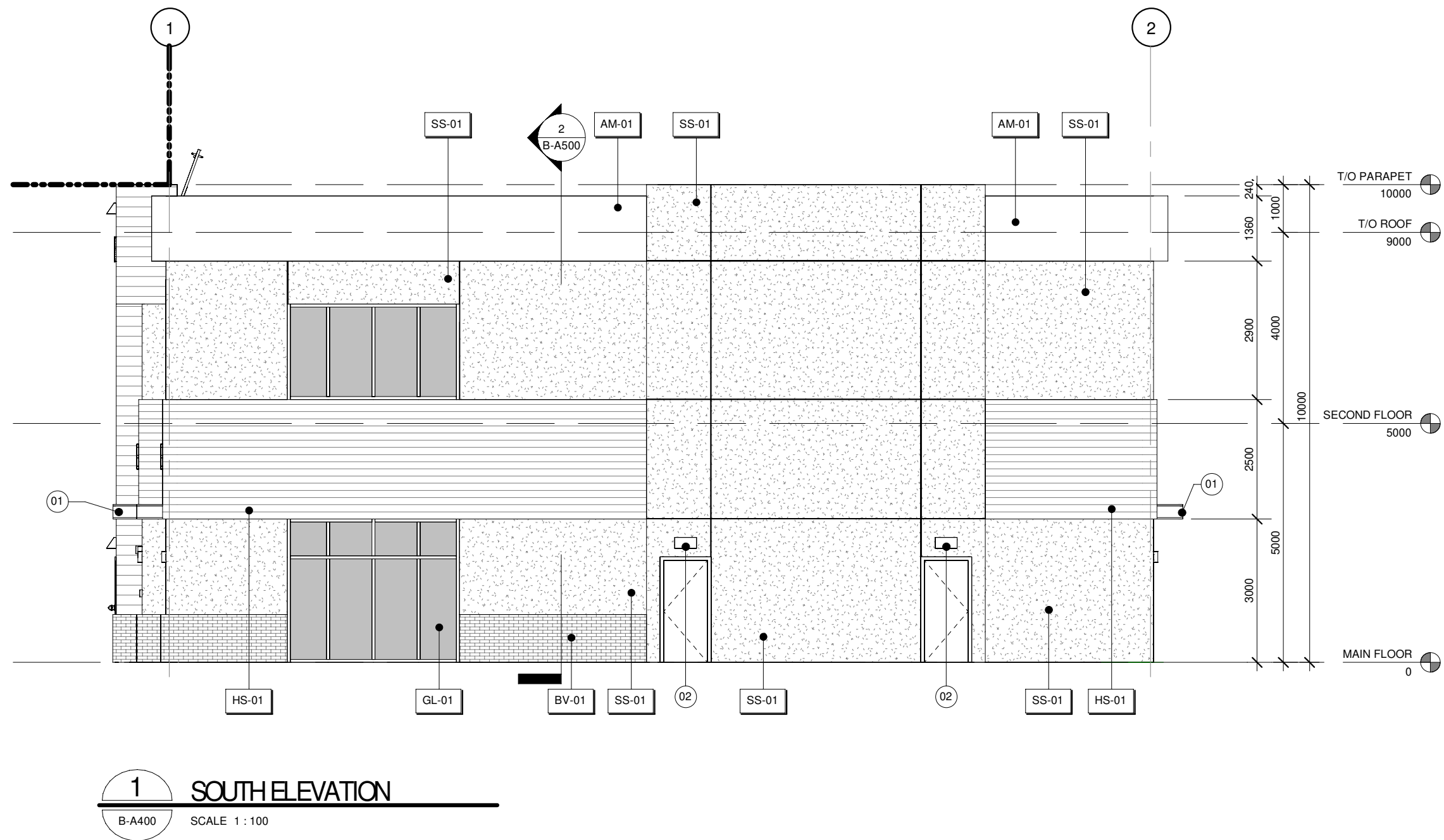
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Project: 1084-A25-001

Sheet No.

A-A401

AMENDED DRAWINGS
DP No. Date Received
DP2025-03987 NOV 25 2025
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EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSIT MATERIALS (ACM) PANELS : COLOR GRAY
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : YELLOW COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CW 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-00 Prefinished Architectural Metal type
BV-00 Brick Veneer type
CM-00 Concrete Unit Masonry type
EC-00 Exposed Architectural Concrete Finish type
EP-00 Exterior Paint Colour
ES-00 Exterior Stair type
HS-00 Prefinished Metal Siding, Horizontal Type
LV-00 Prefinished Aluminum Louvre unit
MB-00 Masonry Accent Band type
MF-00 Prefinished Metal Fascia type
MP-00 Metal Composite Panel System type
MS-00 Prefinished Metal Soffit type
MV-00 Masonry Veneer type
PC-00 Precast Concrete Unit type
PR-00 Prefinished Composite Board Panel type
RR-00 Prefinished Metal roofing type
RRG-00 Constant Raftering
SS-00 Exterior Stucco type
VS-00 Prefinished Metal Siding, Vertical type
WD-00 Wood Panel/Trim type

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP. CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FASCIA SIGNS (SIGN - GLASS IS) ARE A PERMITTED USE IN THE LAND USE DISTRICT

ELEVATION KEY NOTES

- STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- FIRE DEPARTMENT CONNECTION
- STROBE LIGHT
- LOCKBOX

GENERAL NOTES, A400

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LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
G10	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP/FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MARK FLOOR SLAB	BUILDING ELEVATION REFERENCE
A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

Architect



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CALGARY, AB T2P 0R9
YYCPLANNING@INVISTEC.CA
P: 587.588.8256

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Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (B)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (B)

Document Control No: 1084-A25-001-DWG-B-A400

Date: 2025-11-19

Scale: As indicated

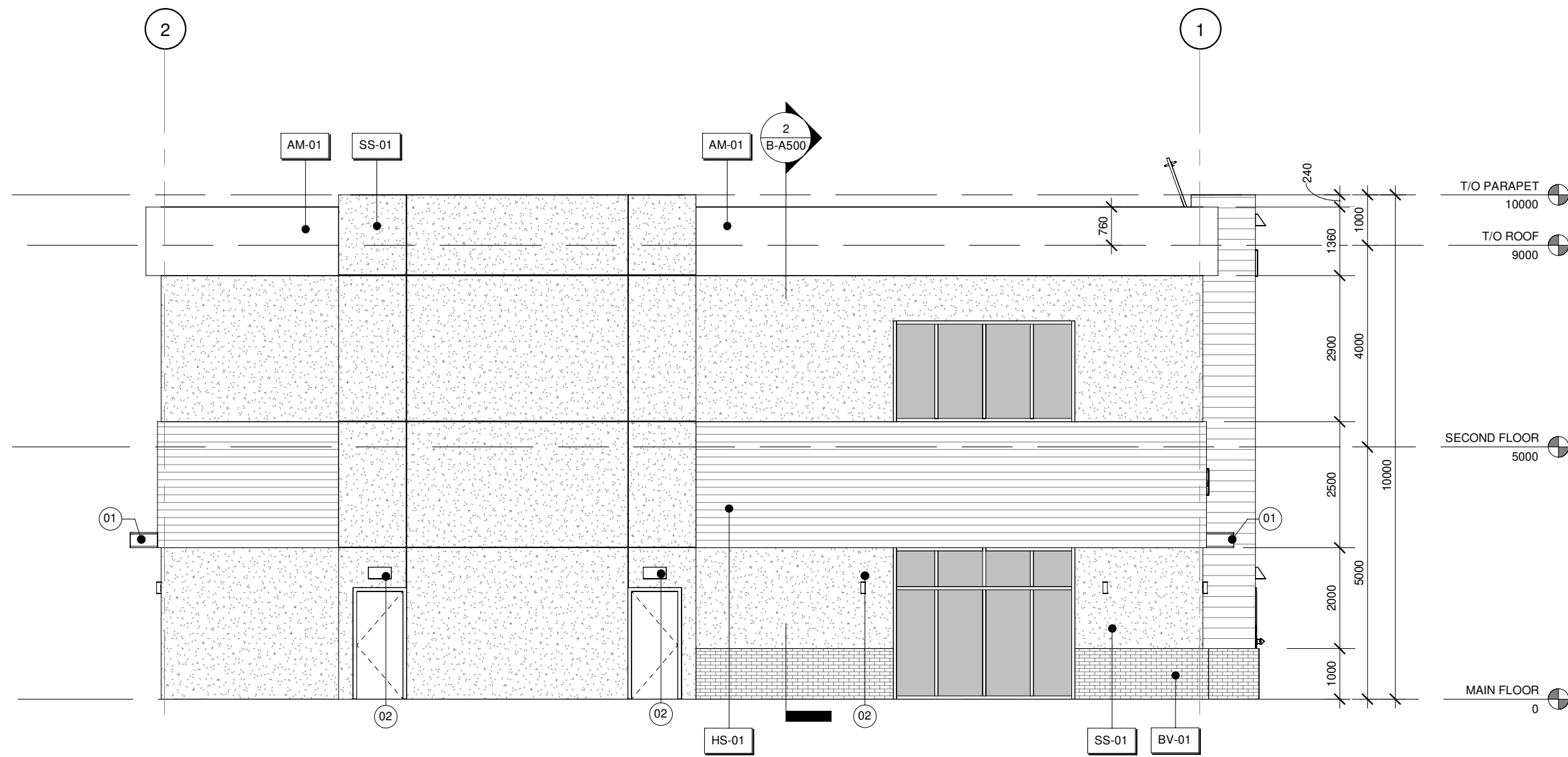
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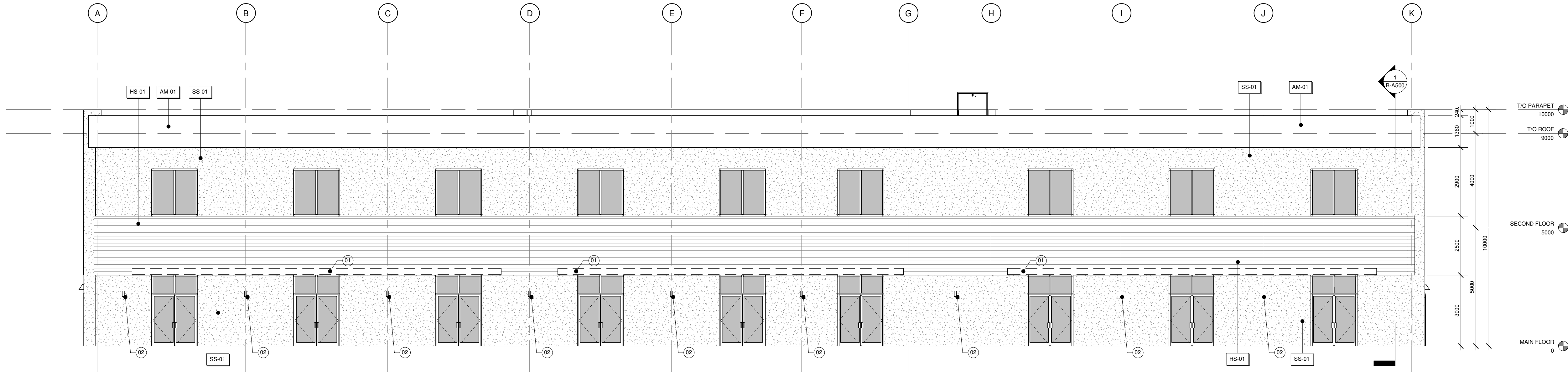
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B-A400

AMENDED DRAWINGS
DP No. Date Received
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE
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1 NORTH ELEVATION
B-A401 SCALE 1 : 100



2 EAST ELEVATION
B-A401 SCALE 1 : 100

EXTERIOR FINISH NOTES

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ES-00 Exterior Stair type
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LV-00 Prefinished Aluminum Louvre unit
MB-00 Masonry Accent Band type
MF-00 Prefinished Metal Fascia type
MP-00 Metal Composite Panel System type
MS-00 Prefinished Metal Soffit type
MV-00 Masonry Veneer type
PC-00 Precast Concrete Unit type
PP-00 Prefinished Composite Board/Panel type
PR-00 Prefinished Metal roofing type
PRG Cement Parging
SS-00 Exterior Stucco type
VS-00 Prefinished Metal Siding, Vertical type
WD-00 Wood Panel/Trim type

ELEVATION KEY NOTES

- STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- FIRE DEPARTMENT CONNECTION
- STROBE LIGHT
- LOCKBOX

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LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GT#	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP/FASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MARK FLOOR SLAB	BUILDING ELEVATION REFERENCE
1 A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
1 A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA



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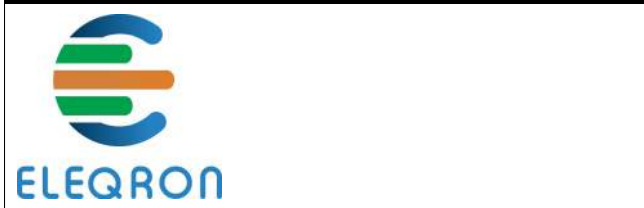
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Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL DEVELOPMENT BUILDING (B)

19650 WALDEN BLVD SE, CALGARY, AB T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS BUILDING (B)

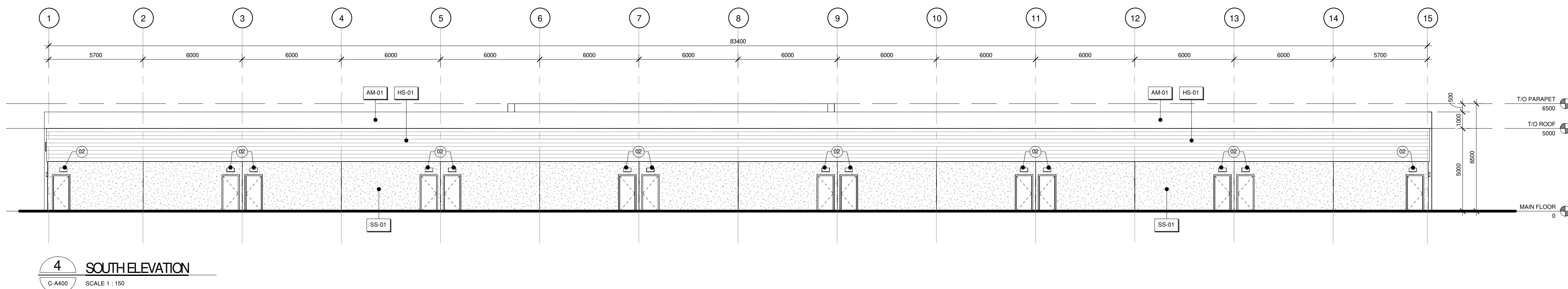
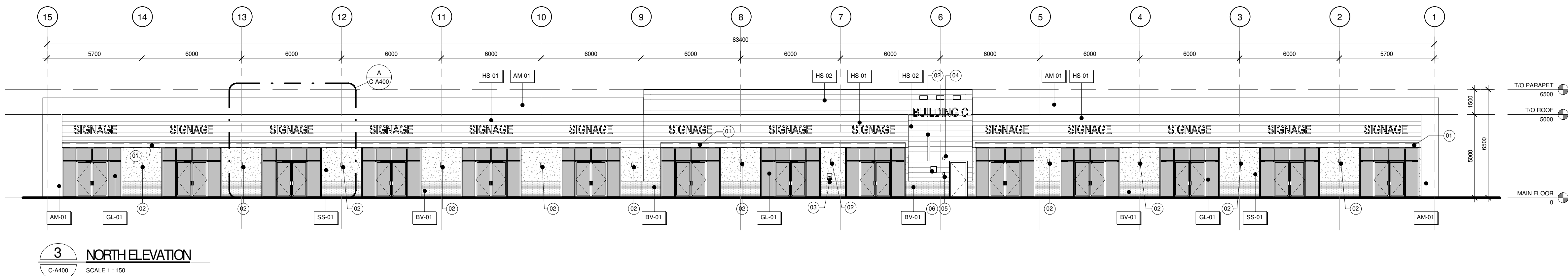
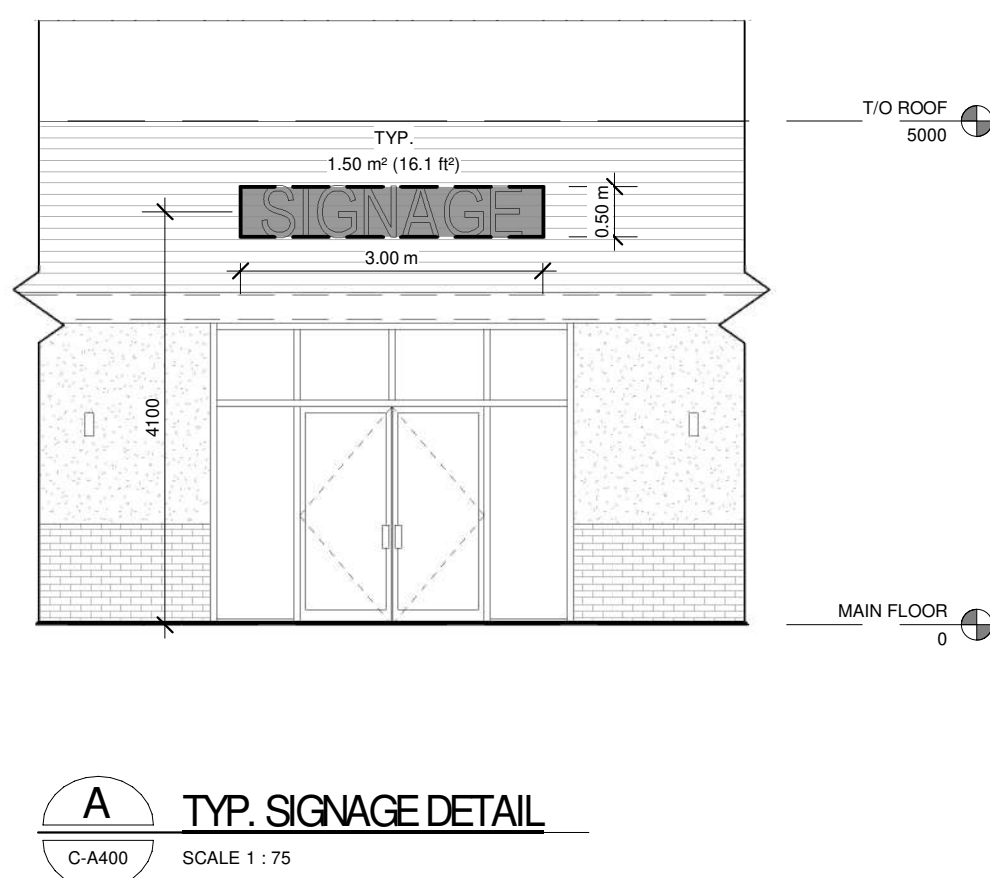
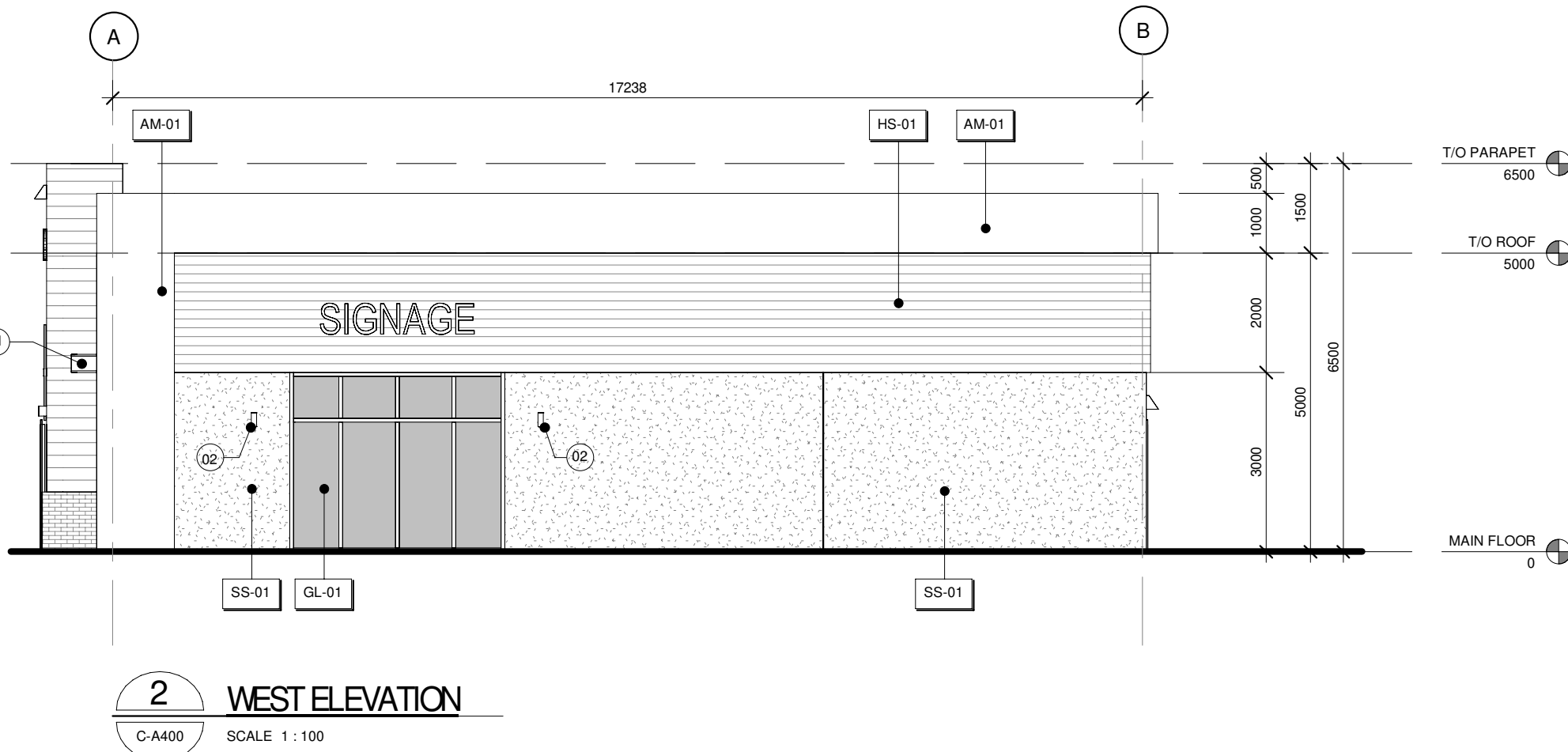
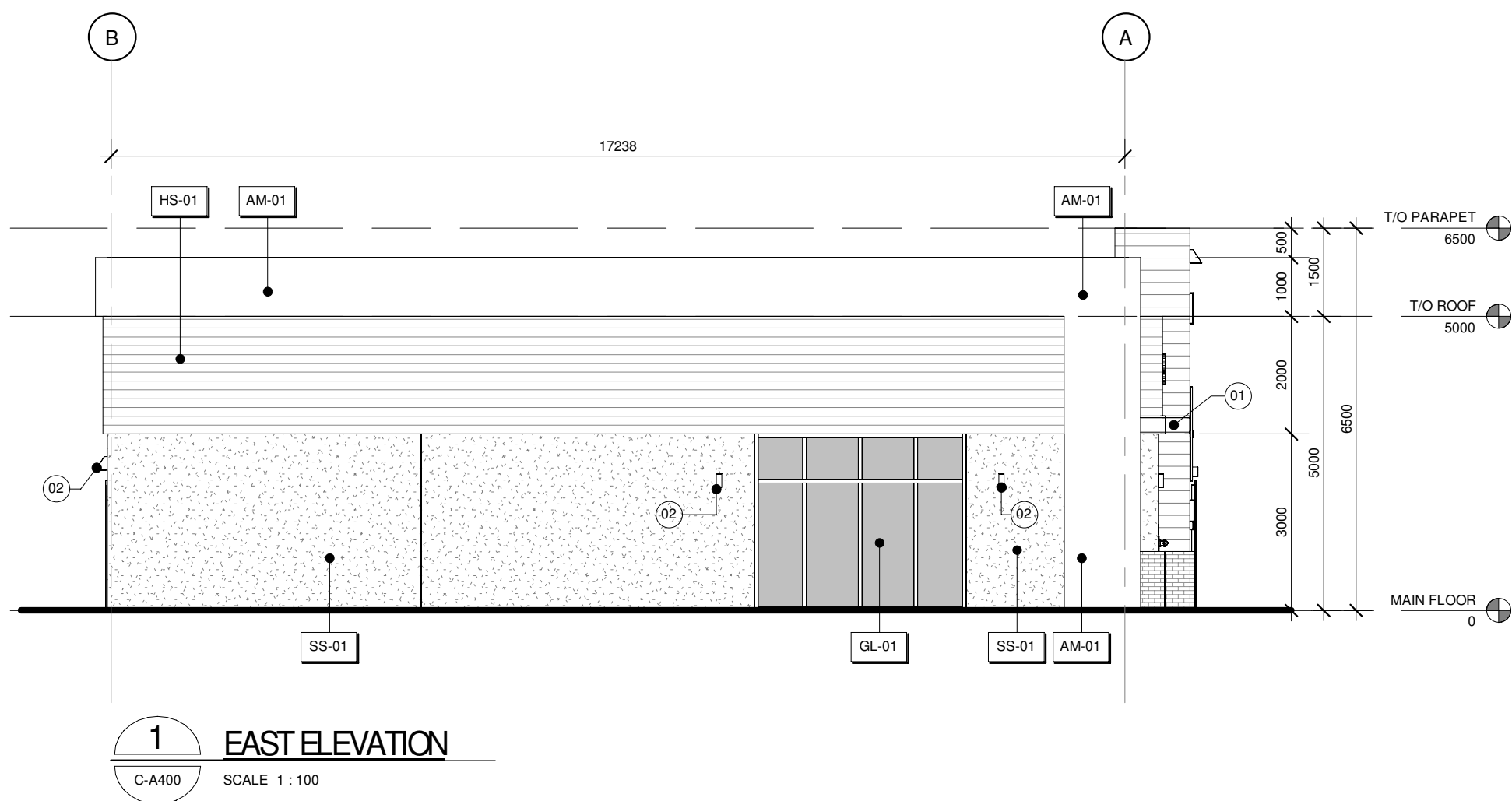
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Drawn: MA	
Project: 1084-A25-001	

AMENDED DRAWINGS

DP No. Date Received
DP2025-03987 NOV 25 2025

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



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BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : RED COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM C/W 13mm REVEALS AS SHOWN. REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS. FINISH COLOUR: WHITE

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ELEVATION KEYNOTES

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02	WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
03	FIRE DEPARTMENT CONNECTION
04	STROBE LIGHT
05	LOCKBOX
06	FAAP

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7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MAIN FLOOR SLAB	BUILDING ELEVATION REFERENCE
1 A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
1 A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

Architect



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Structural Engineering



SENALTEK LTD.
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CALGARY, ALBERTA, T2P 0Z5



ELEQRON INC.
255 - 720 28 STREET NE
CALGARY, ALBERTA, T2A 6R3



INVISTEC CALGARY
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CALGARY, AB T2P 0R9
YYCPLANNING@INVISTEC.CA
P: 587.588.8256

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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
1	REISSUED FOR DP	2025-11-07
2	REISSUED FOR DP	2025-11-19

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (C)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (C)

Document Control No: 1084-A25-001-DWG-C-A400

Date: 2025-11-19

Scale: As indicated

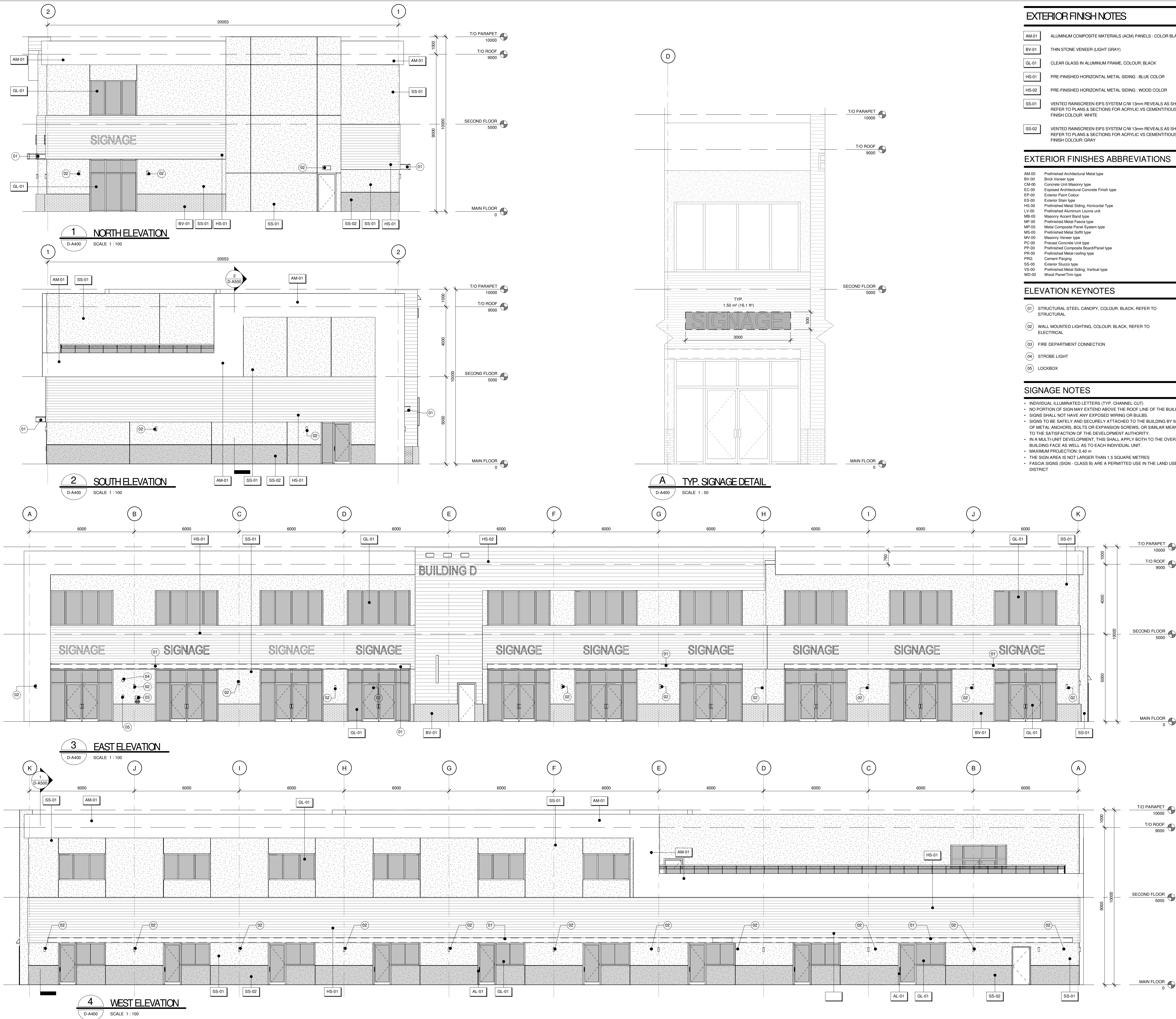
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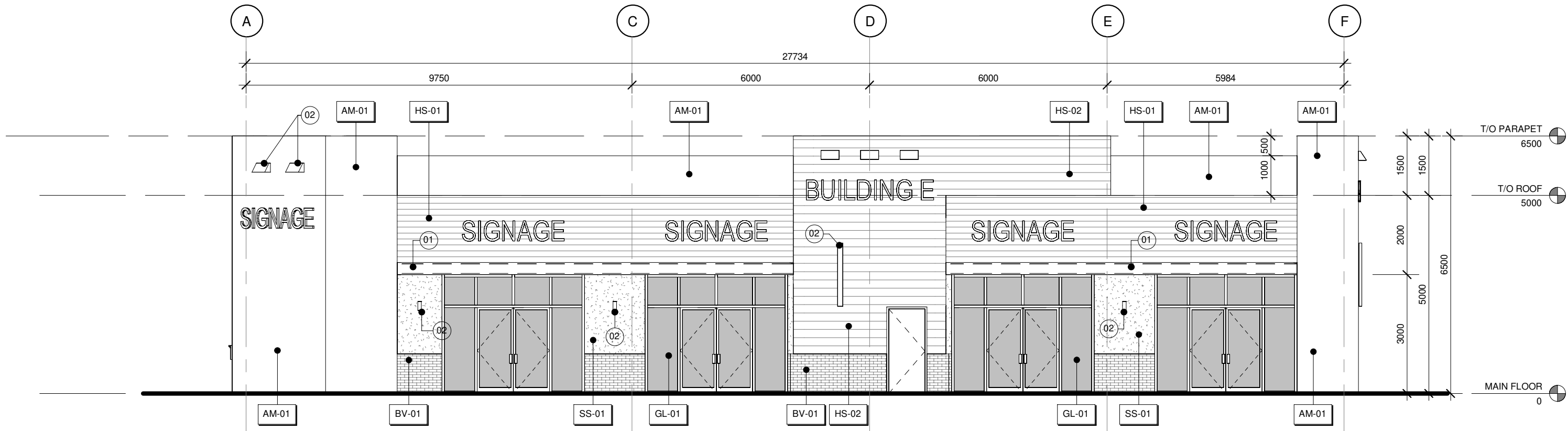
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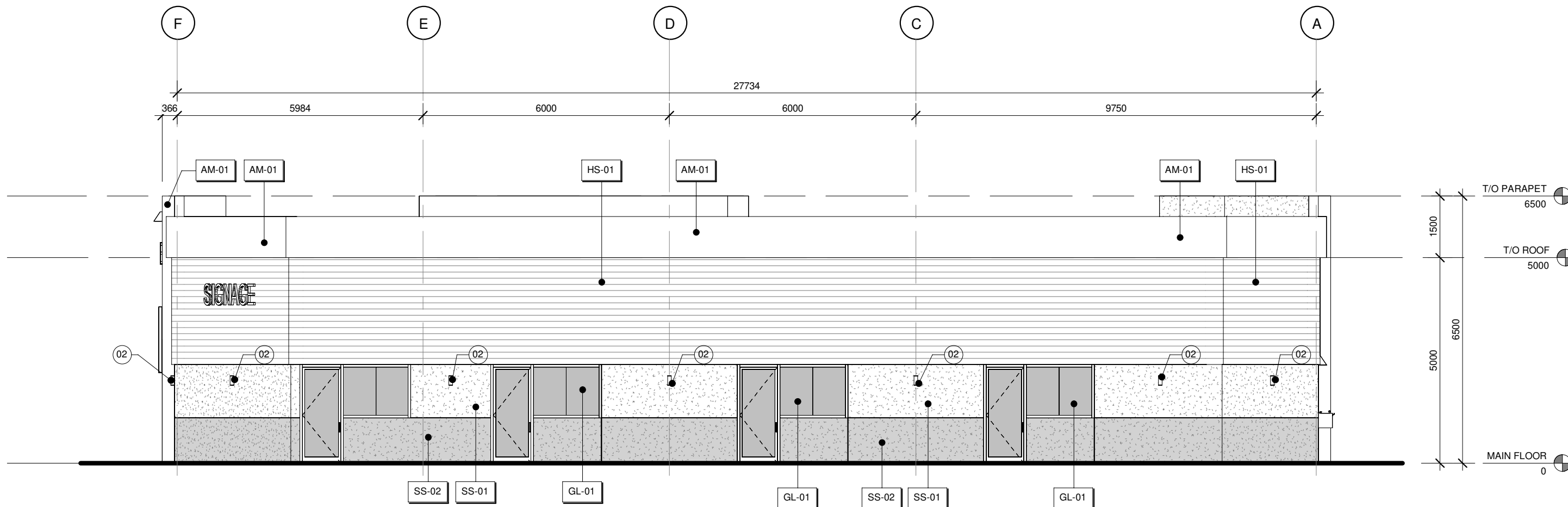
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DP No. Date Received
DP2025-03987 NOV 25 2025
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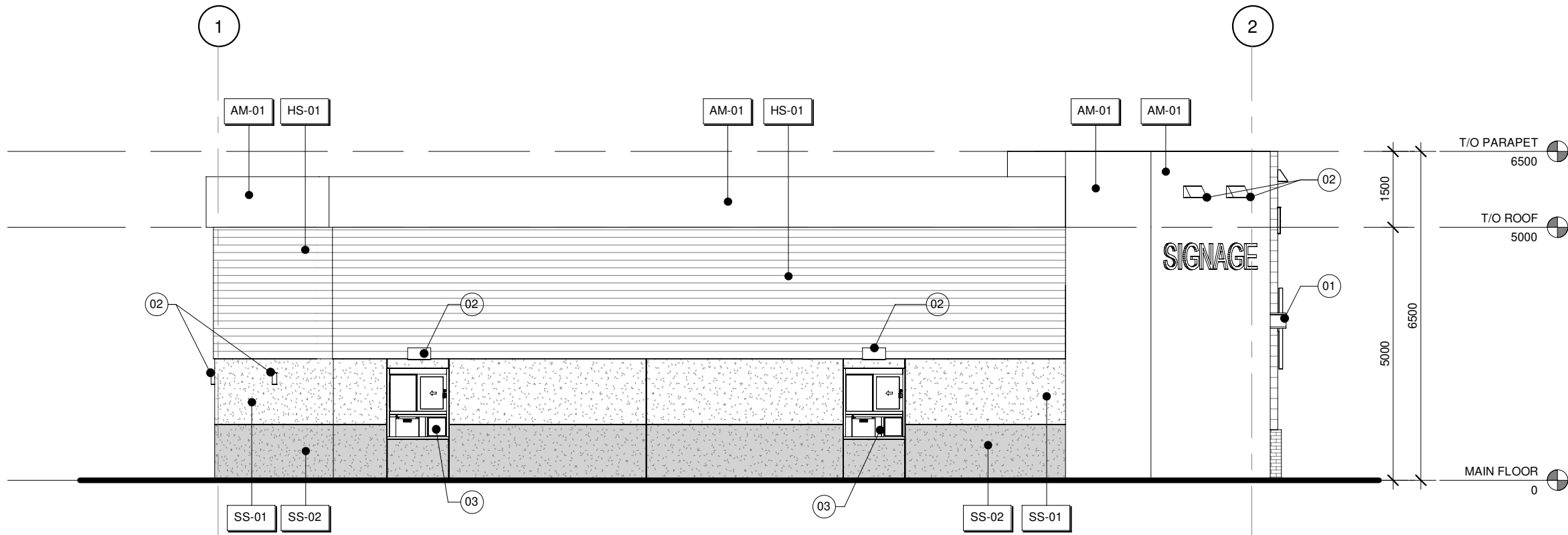




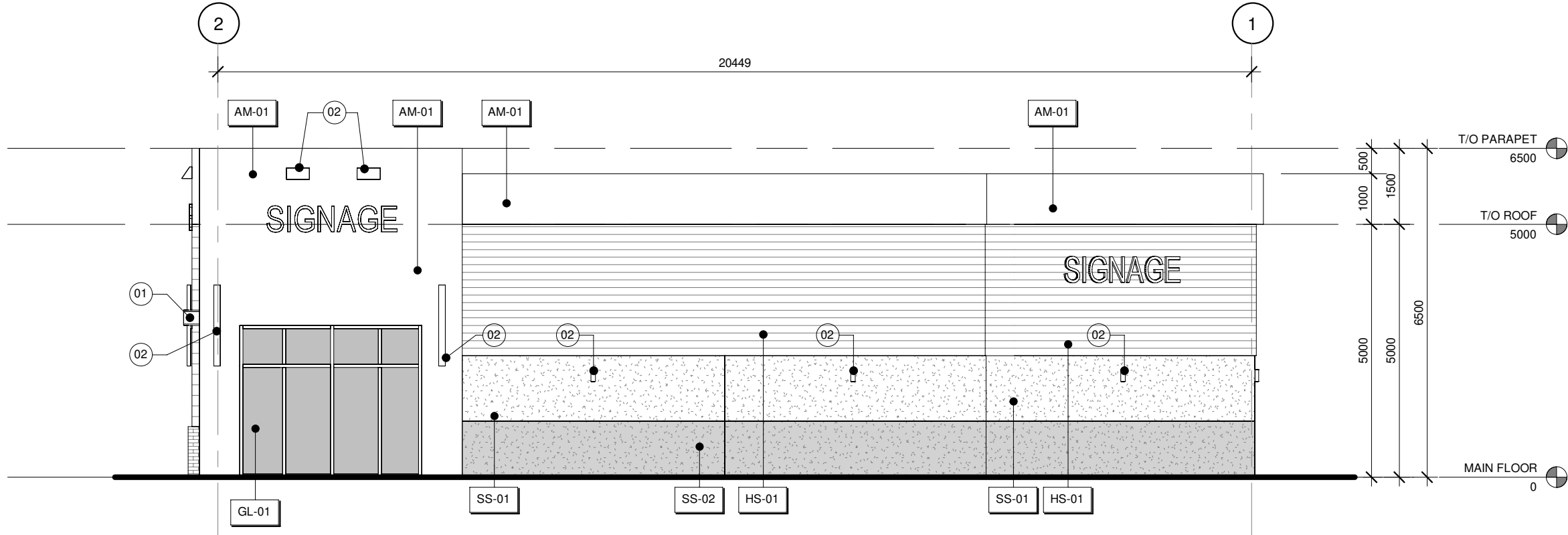
1 EAST ELEVATION
E-A400 SCALE 1:100



2 WEST ELEVATION
E-A400 SCALE 1:100



3 SOUTH ELEVATION
E-A400 SCALE 1:100



4 NORTH ELEVATION
E-A400 SCALE 1:100

EXTERIOR FINISH NOTES

- AM-01 ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR BLACK
- BV-01 THIN STONE VENEER (LIGHT GRAY)
- GL-01 CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
- HS-01 PRE-FINISHED HORIZONTAL METAL SIDING : BROWN COLOR
- HS-02 PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
- SS-01 VENTED RAINSCREEN EIFS SYSTEM C/W 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS FINISH COLOUR: WHITE
- SS-02 VENTED RAINSCREEN EIFS SYSTEM C/W 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS FINISH COLOUR: GRAY

ELEVATION KEYNOTES

- 01 STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- 02 WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- 03 DRIVE-THRU PICK-UP WINDOW

SIGNAGE NOTES

- INDIVIDUAL ILLUMINATED LETTERS (TYP: CHANNEL CUT)
- NO PORTION OF SIGN MAY EXTEND ABOVE THE ROOF LINE OF THE BUILDING.
- SIGNS SHALL NOT HAVE ANY EXPOSED WIRING OR BULBS.
- SIGNS TO BE SAFELY AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF METAL ANCHORS, BOLTS OR EXPANSION SCREWS, OR SIMILAR MEANS, TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- IN A MULTI-UNIT DEVELOPMENT, THIS SHALL APPLY BOTH TO THE OVERALL BUILDING FACE AS WELL AS TO EACH INDIVIDUAL UNIT.
- MAXIMUM PROJECTION: 0.40 m
- THE SIGN AREA IS NOT LARGER THAN 1.5 SQUARE METRES
- FASCIA SIGNS (SIGN - CLASS B) ARE A PERMITTED USE IN THE LAND USE DISTRICT

GENERAL NOTES, A400

400 SERIES DRAWINGS ILLUSTRATE ELEVATIONS & THE ARCHITECTURAL BUILDING AESTHETICS WORK DESCRIBED HEREIN INCLUDES, BUT IS NOT LIMITED TO EXTERIOR BUILDING MATERIALS, FINISHES, DOORS & WINDOWS, ROOFING SURFACES, FLASHINGS, TRIMS AND OTHER RELATED WORK.

FOR EXTERIOR WINDOWS & GLAZING REFER TO WINDOW SCHEDULE IN SPECIFICATIONS.

FOR EXTERIOR DOORS & FRAMES REFER TO DOOR SCHEDULE IN SPECIFICATIONS.

ALL EXPOSED METAL SURFACES AND/OR COMPONENTS WHICH ARE NOT PREFINISHED ARE TO BE PAINTED W/ EXTERIOR PAINT FORMULA. REFER TO SPECIFICATIONS.

ALL MECHANICAL LOUVRES ARE TO BE PROVIDED BY ARCHITECTURAL SPECIALTIES; REFER TO SPECIFICATIONS. REFER TO MECHANICAL FOR ALL DUCTING & FREE AREA REQUIREMENTS.

ALL MECHANICAL/ELECTRICAL FIXTURES AND/OR EQUIPMENT IS SHOWN FOR INFORMATION PURPOSES. REFER TO RELATED DISCIPLINES FOR SPECIFICATIONS & DETAILS. COORDINATE ALL WORK EXPOSED TO EXTERIOR WITH ARCHITECTURE DRAWINGS TO SUIT BUILDING LINES & APPEARANCE.

IN GENERAL, ALL EXTERIOR FINISHES SHALL BE PROVIDED PLUMB, WITH ALL FASTENERS REGULARLY SPACED & IN TRUE ALIGNMENT. WITH NEAT CORNERS, TRANSITIONS & CLOSURE.

ALL WORK MUST BE PROVIDED WEATHER TIGHT & CAULKED THROUGHOUT, CAULKING COLOUR TO MATCH PREDOMINANT ADJACENT BUILDING MATERIAL COLOUR.

LEGEND, A400 SERIES

MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GLT	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
GLT1.1	GLAZED FRAME No. REFER TO SCHEDULE
DT1.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP/FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MARK FLOOR SLAB	BUILDING ELEVATION REFERENCE
A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
1 A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
01	GRID LINE REFERENCE (REFER TO STRUCTURAL)
	LINE OF FINISHED GRADE
C	LINE OF FOUNDATIONS WALL/FOOTING BELOW
B	SURFACE BEYOND
O	OPEN THROUGH
	FIRE DEPARTMENT CONNECTION
	HOSE BIB
	WATERPROOF ELECTRICAL RECEPTACLE
	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

EXTERIOR FINISHES ABBREVIATIONS

AM-00	Prefinished Architectural Metal type
BV-00	Brick Veneer type
CM-00	Concrete Unit Masonry type
EC-00	Exposed Architectural Concrete Finish type
EP-00	Exterior Paint Colour
ES-00	Exterior Stain type
HS-00	Prefinished Metal Siding, Horizontal Type
LV-00	Prefinished Aluminum Louvre unit
MB-00	Masonry Accent Band type
MF-00	Prefinished Metal Fascia type
MP-00	Metal Composite Panel System type
MS-00	Prefinished Metal Soffit type
MV-00	Masonry Veneer type
PC-00	Precast Concrete Unit type
PR-00	Prefinished Composite Board/Panel type
PR-00	Prefinished Metal roofing type
PRG	Cement Parging
SS-00	Exterior Silloux type
VS-00	Prefinished Metal Siding, Vertical type
WD-00	Wood Panel/Trim type



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550 - 727 7th AVENUE SW
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CALGARY, ALBERTA, T2A 6R3



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2025-11-19

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PERMIT No. AC 16144
ISSUED PURSUANT TO THE
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No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
1	REISSUED FOR DP	2025-11-07
2	REISSUED FOR DP	2025-11-19

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (E)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (E)

Document Control No: 1084-A25-001-DWG-E-A400

Date: 2025-11-19

Scale: 1 : 100

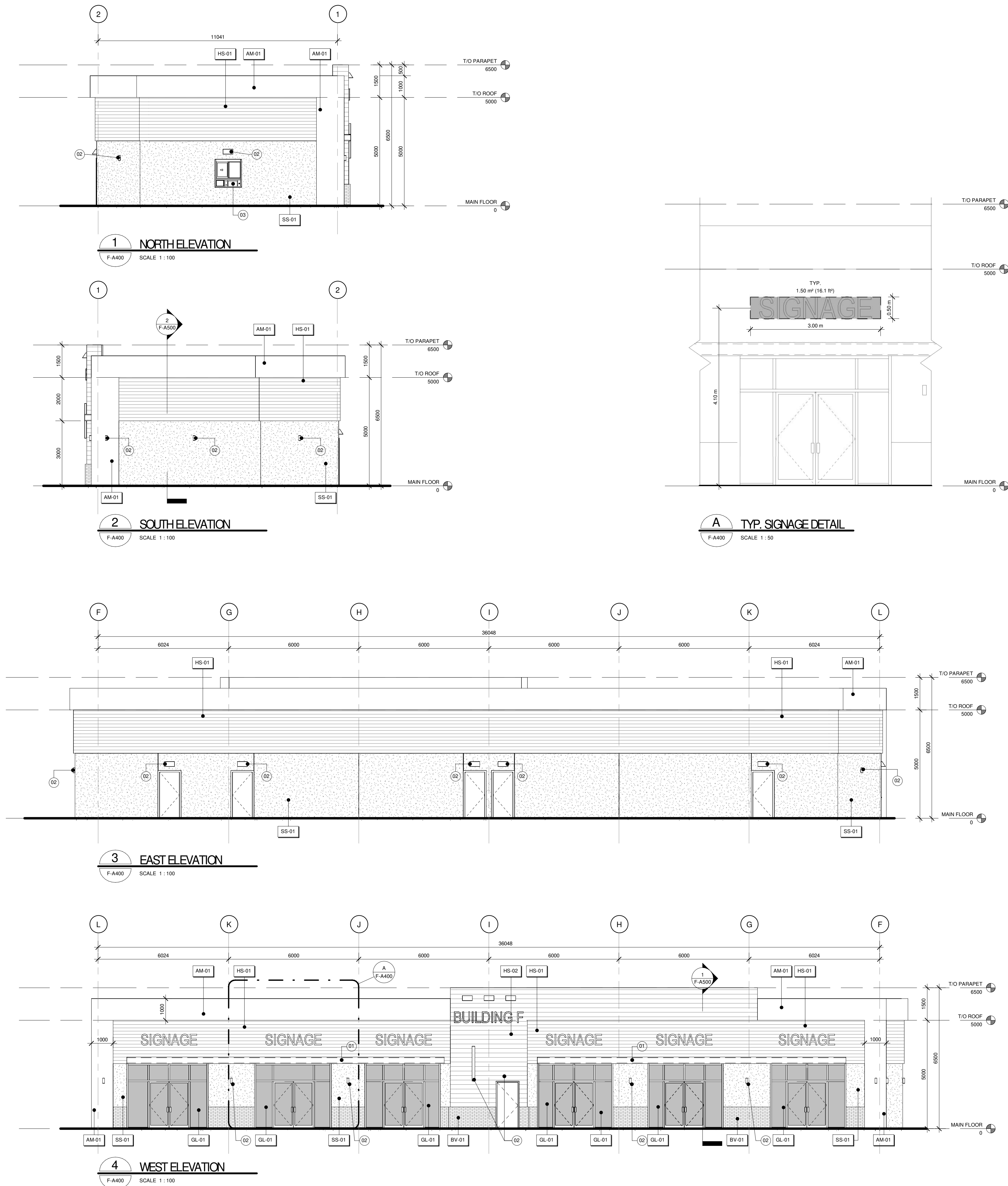
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Project: 1084-A25-001

Sheet No.

E-A400

AMENDED DRAWINGS
DP No. Date Received
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



EXTERIOR FINISH NOTES

AM-01	ALUMINUM COMPOSITE MATERIALS (ACM) PANELS : COLOR BLACK
BV-01	THIN STONE VENEER (LIGHT GRAY)
GL-01	CLEAR GLASS IN ALUMINUM FRAME, COLOUR: BLACK
HS-01	PRE-FINISHED HORIZONTAL METAL SIDING : BLUE COLOR
HS-02	PRE-FINISHED HORIZONTAL METAL SIDING : WOOD COLOR
SS-01	VENTED RAINSCREEN EIFS SYSTEM CAV 13mm REVEALS AS SHOWN, REFER TO PLANS & SECTIONS FOR ACRYLIC VS CEMENTITIOUS, FINISH COLOUR: WHITE

EXTERIOR FINISHES ABBREVIATIONS

AM-00	Prefinished Architectural Metal type
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CM-00	Concrete Unit Masonry type
EC-00	Exposed Architectural Concrete Finish type
EP-00	Exterior Paint Colour
ES-00	Exterior Stain type
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MB-00	Masonry Accent Band type
MF-00	Prefinished Metal Fascia type
MP-00	Metal Composite Panel System type
M5-00	Prefinished Metal Soffit type
MV-00	Masonry Veneer type
PC-00	Precast Concrete Unit type
PR-00	Prefinished Composite Board Panel type
PS-00	Prefinished Metal roofing type
PRG	Cement Parging
SS-00	Exterior Stucco type
VS-00	Prefinished Metal Siding, Vertical type
WD-00	Wood Panel Trim type

ELEVATION KEYNOTES

- (01) STRUCTURAL STEEL CANOPY, COLOUR: BLACK, REFER TO STRUCTURAL
- (02) WALL MOUNTED LIGHTING, COLOUR: BLACK, REFER TO ELECTRICAL
- (03) DRIVE-THRU PICK-UP WINDOW

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GENERAL NOTES, A400

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MCJ	MASONRY CONTROL JOINT
EX-00	EXISTING FINISHES/MATERIALS
XX-00	EXTERIOR FINISHES/MATERIALS
LF	EXTERIOR LIGHTING FIXTURE. SEE ELECTRICAL
GT#	EXTERIOR GLAZING TYPE REFERENCE (REFER TO SCHEDULE)
G101.1	GLAZED FRAME No. REFER TO SCHEDULE
D101.1	NEW DOOR No. REFERENCE REFER TO DOOR SCHEDULE
7	DRAWING NOTE REFERENCE (REFER TO APPROPRIATE DRAWING NOTES)
FSM	LINE OF CONTINUOUS HORIZONTAL METAL FIRE STOP FLASHING, CONTINUOUS AT FLOOR SLAB EDGE
100.00 TO MAIN FLOOR SLAB	BUILDING ELEVATION REFERENCE
A101	SECTION No. DRAWING No. / BUILDING SECTION REFERENCE
A101	DETAIL No. DRAWING No. / WALL SECTION REFERENCE
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	LINE OF FINISHED GRADE
	LINE OF FOUNDATIONS WALL/FOOTING BELOW
	FIRE DEPARTMENT CONNECTION
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	PRE-FINISHED MECHANICAL LOUVRE
	GLAZING AREA

Architect



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Seal



2025-11-19

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PERMIT No. AC 16144
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

No.	Revision	Date YYYY-MM-DD
0	ISSUED FOR DP	2025-07-04
1	REISSUED FOR DP	2025-11-07
2	REISSUED FOR DP	2025-11-19

Client



PEAKRIDGE GROUP
152 SOUTHBANK ST.,
OKOTOKS, AB T0L 0A0

Project Title

WALDEN RETAIL
DEVELOPMENT
BUILDING (D)

19650 WALDEN BLVD SE, CALGARY, AB
T2X 0M7

Drawing Title

EXTERIOR ELEVATIONS
BUILDING (F)

Document Control No: 1084-A25-001-DWG-F-A400

Date: 2025-11-19

Scale: As indicated

Drawn: MA

Project: 1084-A25-001

Sheet No.

F-A400

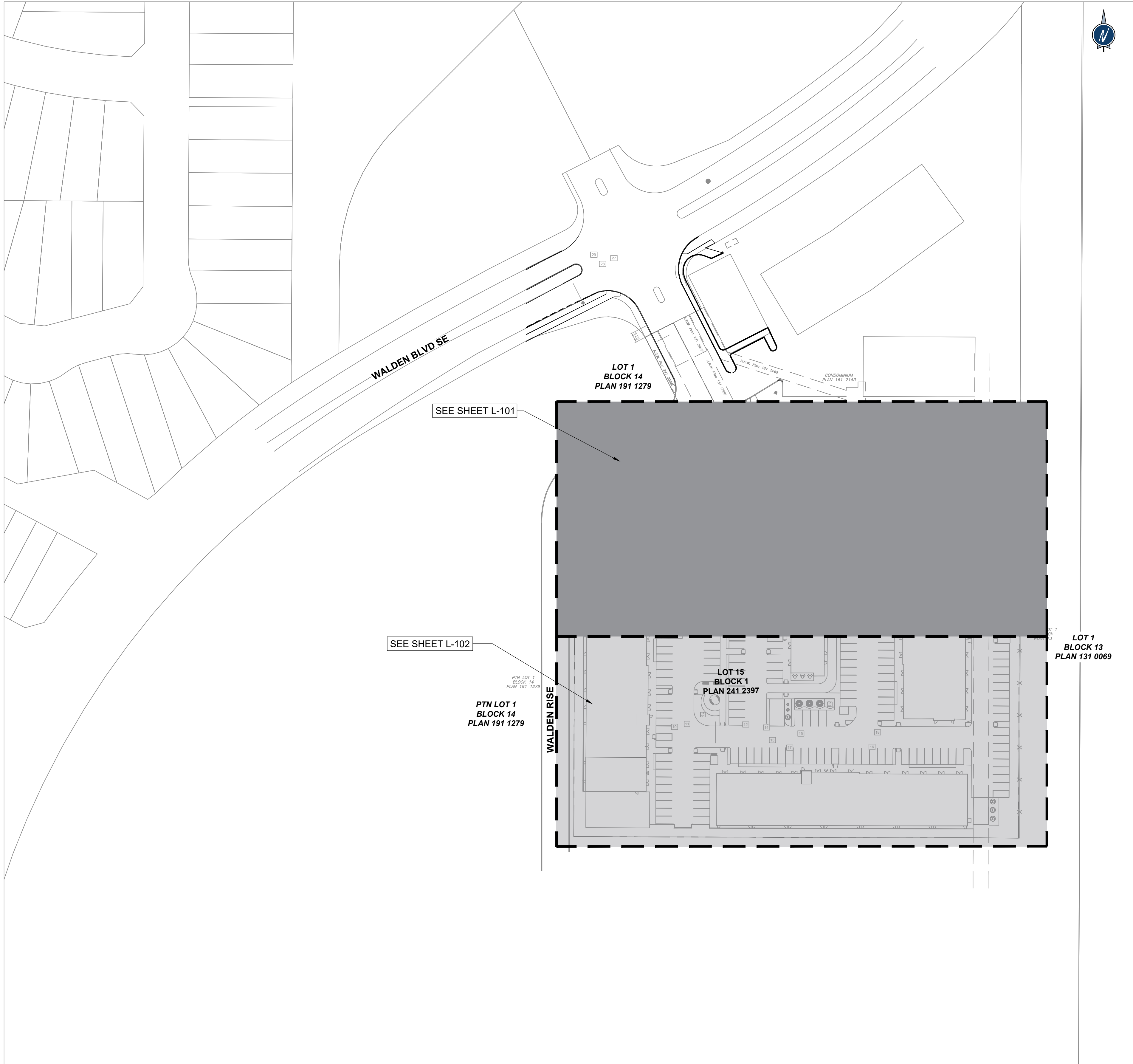
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DP No. Date Received
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE
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LIST OF DRAWINGS

LANDSCAPE DRAWINGS

DRAWING NO.	DRAWING TITLE
L - 100	KEY PLAN
L - 101	LANDSCAPE PLAN - NORTH
L - 102	LANDSCAPE PLAN - SOUTH
L - 501	PLANTING DETAILS



AMENDED DRAWINGS
DP No Date Received
DP2025-03987 NOV 25 2025
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NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY CONSULTING THE OWNER OF THE UTILITY CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION FROM DAMAGE.
- ALL CB, GTHM, AND MH FRAMES & COVERS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CALGARY STANDARD SPECIFICATIONS SEWER CONSTRUCTION MANUAL.
- ALL CB & GTHM LEADS TO BE 250mm DIAMETER (UNLESS OTHERWISE NOTED) AND IN ACCORDANCE WITH CSA A257.1 (USE CSA A257.2 FOR 300MM OR LARGER DIAMETER), CLASS 3 SULPHATE RESISTANT, RUBBER GASKET OR PVC (PSM TYPE) TO CSA B182.2 WITH LOCKED-IN ELASTOMERIC RING GASKET AND INTEGRAL BELL SYSTEM JOINT. MINIMUM WALL THICKNESS AS REQUIRED FOR SDR 35. COMPACTION: 0-1.5m DEPTH BELOW EXISTING GROUND SURFACE OR SUBGRADE ELEVATION, WHICHEVER IS LOWER, 98% OF A STANDARD PROCTOR (SEE SECTION 02318, TRENCH AND BACKFILL), REMAINDER TO 97% OF ONE MOULD COMPACTION OR 95% OF A STANDARD PROCTOR.
- ALL MH SHALL BE TYPE 5A 1200mm DIAMETER UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- TIE IN TO EXISTING TO THE SATISFACTION OF THE CITY OF CALGARY.
- ALL MATERIALS AND CONSTRUCTION TO BE AS PER THE CITY OF CALGARY ENGINEERING STANDARDS.
- THE OWNER/DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF THE CITY OF CALGARY STANDARD SPECIFICATIONS EROSION AND SEDIMENT CONTROL MANUAL.
- EXISTING ELEVATIONS AT MATCH POINTS AS SHOWN ON THIS DRAWING ARE TO BE CONFIRMED BY THE CONTRACTOR 72 HOURS PRIOR TO MOBILIZATION OF FORCES. LOST TIME AND/OR ANY ADDITIONAL WORKS DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AND NOTIFY ENGINEER OF POSSIBLE CONFLICT 72 HOURS PRIOR TO MOBILIZATION WILL BE AT THE EXPENSE OF THE CONTRACTOR.

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NAD 83
COORDINATES

PRELIMINARY - SUBJECT TO REVISION

2	ISSUED FOR DP	2025-11-05	NA	JH
1	ISSUED FOR DP	2025-07-04	AN	JH
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

PERMIT	SEAL

	BY	DATE (YYYY-MM-DD)
DESIGNED	DB, AN	2025-06-06
DRAWN	AN, NA	2025-07-04
CHECKED	RF	2025-07-04

SCALE	0 15 30 m 1:750
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		Invistec Consulting Ltd. 300, 404 6 Avenue, SW Calgary Alberta, T2P 0R9 587-588-8256 www.invistec.ca
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PROJECT	WALDEN COMMERCIAL DP SENALTEK 19650 WALDEN BLVD SE, CALGARY
	SEC: 14 - TWP: 22 - RGE: 1 - W 5th M

SHEET TITLE	KEY PLAN
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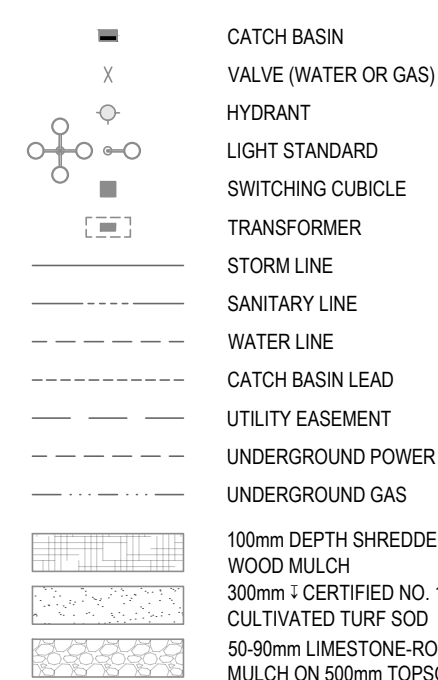
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	BY	DATE (YYYY-MM-DD)	PROFILE NO.
DRAWN	NA	2025-11-07	

ISC: SHEET SIZE ANSI D 25 mm 0

PLANT SCHEDULE NORTH

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
<u>CONIFEROUS TREES</u>						
	PP	6	Picea pungens	Colorado Green Spruce	3.0m Ht. Min	B&B
<u>DECIDUOUS TREES</u>						
	CMT	3	Crataegus x mordenensis 'Toba'	Toba Hawthorn	50mm Cal.	B&B
	MT	6	Malus x 'Thunderchild'	Thunderchild Crab Apple	50mm Cal.	B&B
	SRI	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	75mm Cal.	B&B
	TAD	10	Tilia americana 'Duros'	True North American Linden	75mm Cal.	B&B
<u>SHRUBS</u>						
	Jsc	31	Juniperus sabina 'Cargary Carpet'	Cargary Carpet Juniper	600mm Spr. Min.	Pot
	Jss	11	Juniperus sabina 'Scandia'	Scandia Juniper	600mm Spr. Min.	Pot
	Pos	28	Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark	600mm Ht. Min	Pot
	Sbt	33	Spiraea betulifolia 'Tor Gold'	Glow Girl Birchleaf Spirea	600mm Ht. Min	Pot
	Sc	4	Spiraea x bumalda 'Walbumba'	Magic Carpet Spirea	600mm Ht. Min	Pot
	Spm	11	Syringa x prestoniae 'Miss Canada'	Miss Canada Preston Lilac	600mm Ht. Min	Pot
<u>GRASSES</u>						
	Cas	50	Calamagrostis x acutiflora 'Stricta'	Karl Foerster Feather Reed Grass	2 gal.	Pot

LEGEND



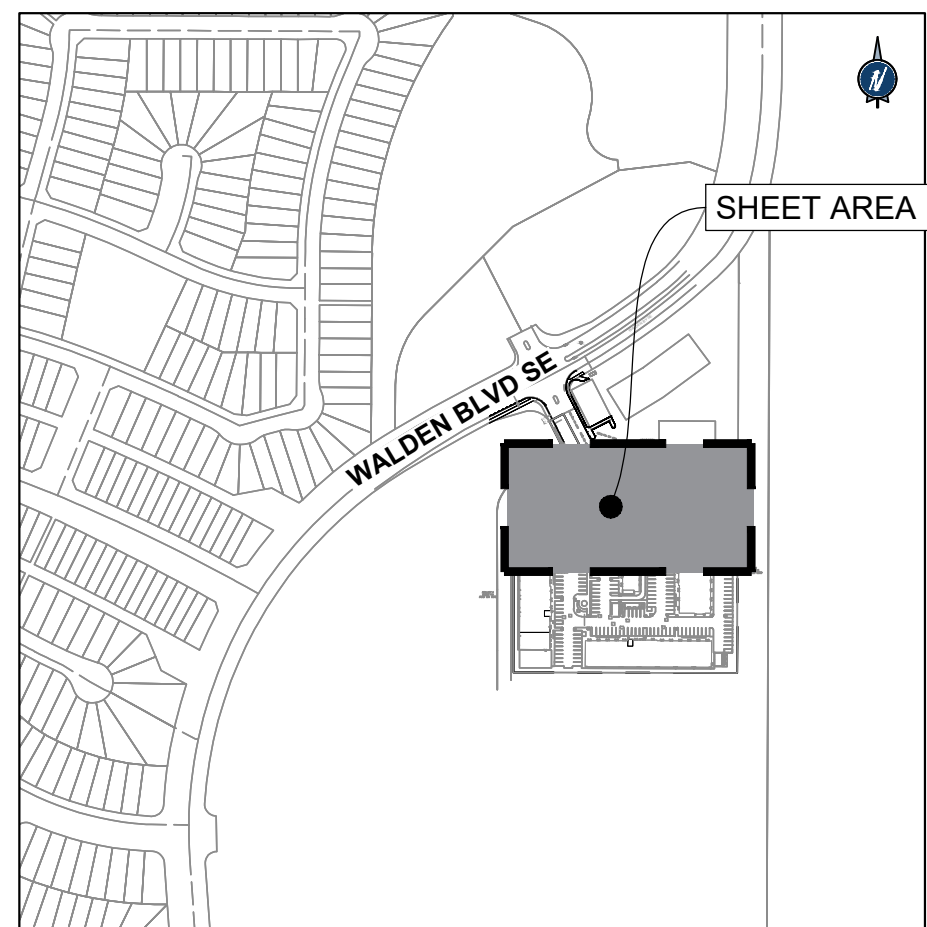
MINIMUM REQUIRED PLANTING						PROVIDED	
TOTAL SETBACK AREA = 1,842 m ²	RATIO (% # req.)	SIZING (size # req.)			TOTAL	COUNT	TOTAL
1 Tree per 35 m ² = 53	Max. 75% DEC	40	50% 50mm Cal. Min.	20	53	24	59
			50% 75mm Cal. Min.	20		22	
	Min. 25% DEC	13	50% 2.0m Ht. Min.	6		6	
			50% 3.0m Ht. Min.	7		7	
2 Shrubs per 35 m ² = 105	n/a		600mm Ht. / Sp. Min.		106	226	

MINIMUM REQUIRED PLANTING - PARKING ISLAND			
ISLAND COUNT (# of islands of each case)	PLANTING REQUIREMENTS (# Trees / # Shrubs)		PROVIDED (# Trees / # Shrubs)
#parking islands = 8	1 Tree and 2 Shrubs per Parking Island	8 / 16	8 / 32

NOTE: Parking islands shall at minimum include 1 tree and 2 shrubs unless precluded by the presence of necessary utilities and services. Parking island planting requirements have been accounted for in the general provided planting counts.

TOTAL SURFACE TREATMENT AREAS:

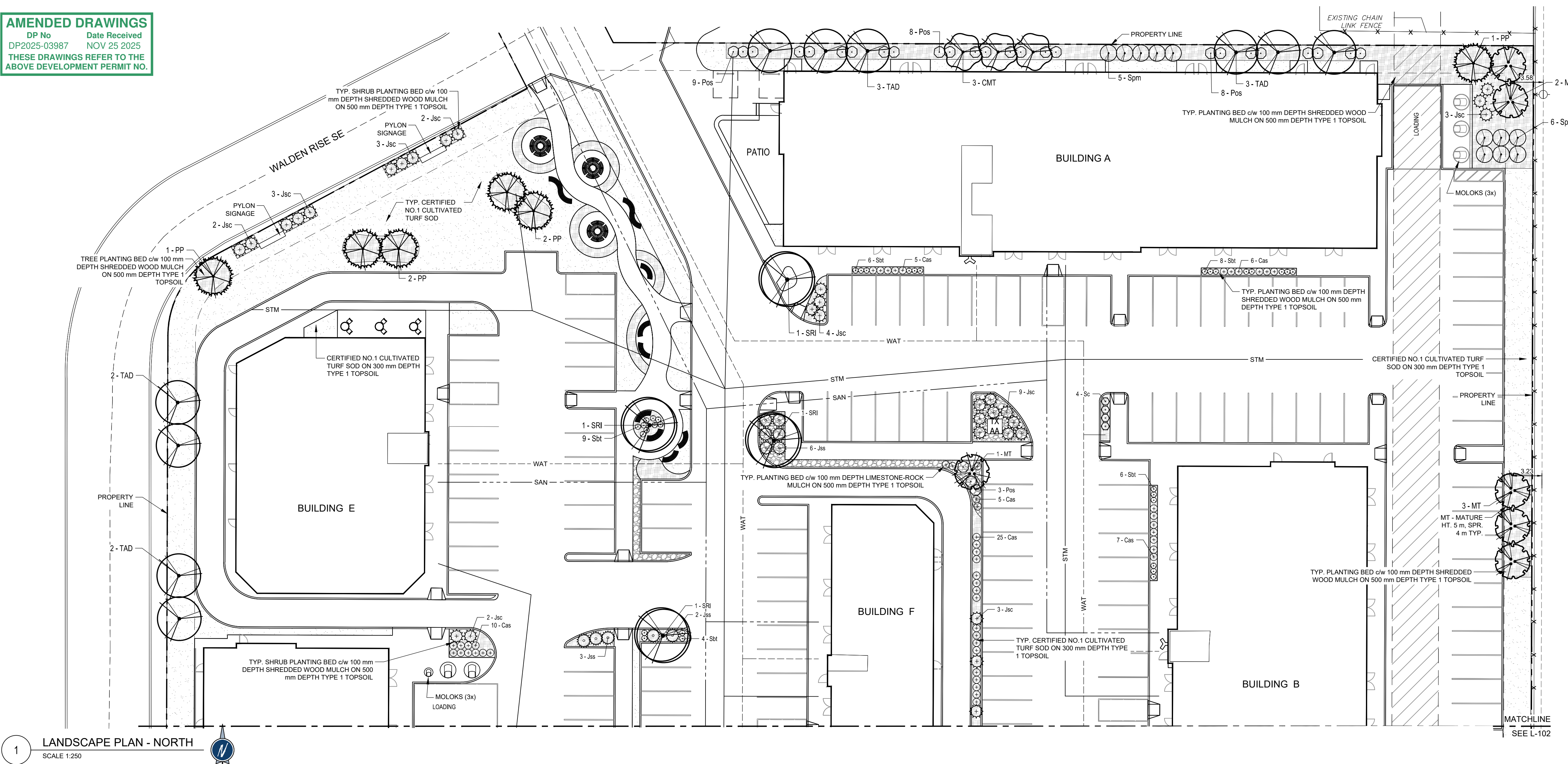
CULTIVATED TURF SOD:	1,869 m ²
SHREDDED WOOD MULCH:	940 m ²
LIMESTONE-ROCK MULCH (50-90 mm):	353 m ²
PLANTING BED:	978 m ²



KEY PLAN - 1:5000

AMENDED DRAWINGS

DP No Date Received
DP2025-03987 NOV 25 2025
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**



NOTES

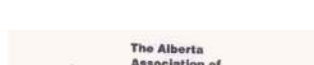
1. THE CONTRACTOR SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE. LOCATE THE UTILITY PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES SHOWN ON THE DRAWING IS A GUIDELINE. EXCAVATION TO BE DETERMINED BY CONSULTING THE OWNER OF THE UTILITY CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION FROM DAMAGE.
2. ALL GTMH AND C/P TRAFFIC SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CALGARY STANDARD SPECIFICATIONS SEWER CONSTRUCTION MANUAL.
3. CB & GTMH LEADS TO BE 250mm DIAMETER (UNLESS OTHERWISE SPECIFIED) IN ACCORDANCE WITH CSA A257.1 (USE CSA A257.2 FOR 300MM OR LARGER DIAMETER). CLASS 3 SULPHATE RESISTANT, RUBBER GASKET OR PVC (PSM TYPE) TO CSA B182.2 WITH LOCKED-IN ELASTOMERIC RING GASKET AND INTEGRAL BELL SYSTEM JOINT. MINIMUM WALL THICKNESS SHALL BE 10mm. EXCAVATION SHALL BE TO 1.5m DEPTH BELOW EXISTING GROUND SURFACE OR SUBGRADE ELEVATION, WHICHEVER IS LOWER, 98% OF A STANDARD PROCTOR (SEE SECTION 02318, TRENCH AND BACKFILL). REMAINDER TO 97% OF ONE MOULD COMPACTION OR PER STRATIFICATION AND COMPACTED TO 98%.
4. ALL MH SHALL BE TYPE 15A 1200mm DIAMETER UNLESS OTHERWISE INDICATED.
5. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
6. TIE IN TO EXISTING TO THE SATISFACTION OF THE CITY OF CALGARY. ALL MATERIALS AND CONSTRUCTION TO BE AS PER THE CITY OF CALGARY ENGINEERING STANDARDS.
7. THE OWNER/DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF THE CITY OF CALGARY STANDARD SPECIFICATIONS EROSION AND SEDIMENT CONTROL MANUAL.
8. EXISTING ELEVATIONS AT MATCH POINTS AS SHOWN ON THE DRAWING ARE TO BE CONFIRMED BY THE CONTRACTOR 72 HOURS PRIOR TO MOBILIZATION OF FORCES. LOST TIME AND/OR ANY ADDITIONAL WORKS DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AND NOTIFY ENGINEER OF POSSIBLE CONFLICT 72 HOURS PRIOR TO MOBILIZATION WILL BE AT THE EXPENSE OF THE CONTRACTOR.
9. ALL TREE PLANTING TO FOLLOW THE MINIMUM OFFSET DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS (DPGSS), SECTION II.4.1.2 SETBACK/SPACING GUIDELINES, IN ITS LATEST EDITION. ALL TREES, METERS OR MORE IN DIAMETER SHALL NOT BE PERMITTED WITHIN 1.0 m OF AN UNDERGROUND ELECTRICAL TRENCH.
10. IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0 m TO UNDERGROUND UTILITIES, THE CONTRACTOR TO CONTACT THE APPROPRIATE UTILITY TO APPROVE REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
11. ALL PLANTING BEDS TO BE COMPLETED WITH MIN. 500 mm DEPTH TYPE 1 TOPSOIL TO FINAL GRADE. ALL SEED AND SOO AREAS TO BE COMPLETED WITH MIN. 100 mm DEPTH TYPE 1 TOPSOIL TO FINAL GRADE.
12. ALL PLANT MATERIAL TO MEET OR EXCEED THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS (DPGSS), IN ITS LATEST EDITION.
13. IRRIGATION DESIGN AND INSTALL TO BE DONE BY OTHERS AT TIME OF

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NAD 83
COORDINATES

PRELIMINARY - SUBJECT TO REVISION

3	ISSUED FOR DP	2025-11-19	HZ	JH	
2	ISSUED FOR DP	2025-11-05	NA	JH	
1	ISSUED FOR DP	2025-07-04	AN	JH	
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD	

PERMIT	SEAL
	 The Alberta Association of Engineers and Geoscientists 10000 Donna Brown

	BY	DATE (YYYY-MM-DD)
DESIGNED	DB, AN	2025-06-06
DRAWN	AN, NA	2025-07-04
CHECKED	JH	2025-11-19



PROJECT

**WALDEN COMMERCIAL DP
SENALTEK
19650 WALDEN BLVD SE, CALGARY**

SEC: 14 - TWP: 22 - RGE: 1 - W 5th M

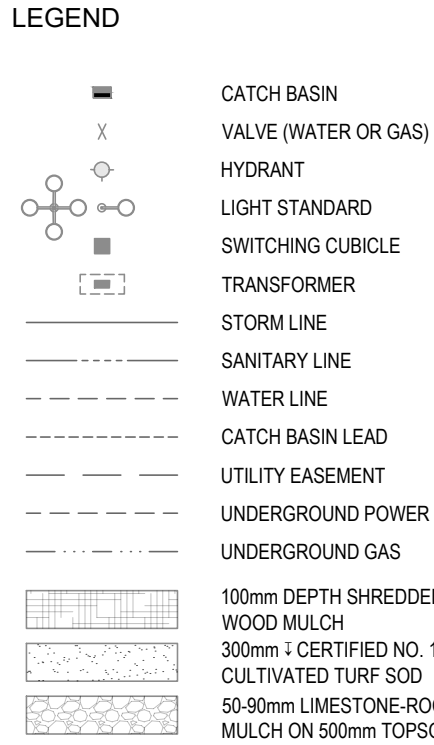
LANDSCAPE PLAN - NORTH

FILE NO. 3025008-LA.dwg		ENG DWG NO. 3025008	
SHEET ID. L - 101		SHEET NO. 2	
	BY	DATE (YYYY-MM-DD)	PROFILE NO.
DRAWN	NA	2025-11-07	

ISC: SHEET SIZE ANSI D 25 mm

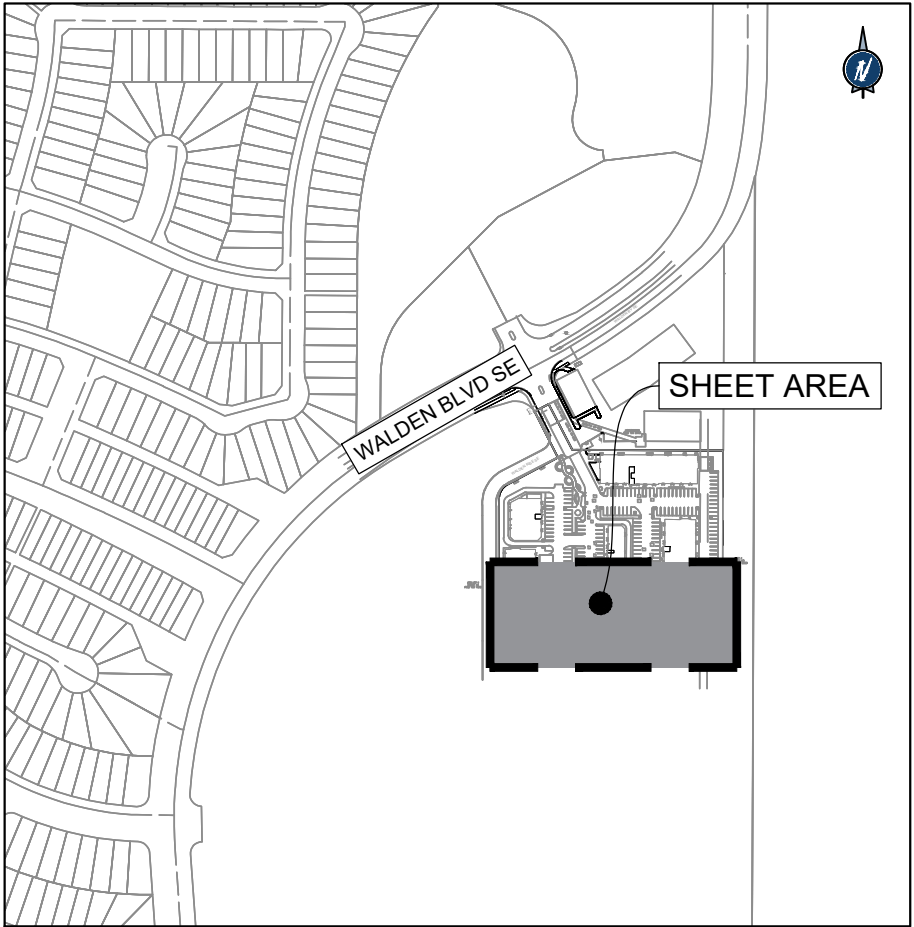
FILE: O:\3025008 WALDEN COMMERCIAL DP - SENALTEK\LANDSCAPE\03 DRAWINGS\3025008-LA.DWG | DATE: November 19, 2025 9:25:39 AM

PLANT SCHEDULE SOUTH						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CONIFEROUS TREES						
	PP	1	Picea pungens	Colorado Green Spruce	3.0m Ht. Min	B&B
	PCL	6	Pinus contorta var. latifolia	Lodgepole Pine	2.0m Ht. Min.	B&B
DECIDUOUS TREES						
	CMT	6	Crataegus x mordenensis 'Toba'	Toba Hawthorn	50mm Cal.	B&B
	FPH	3	Fraxinus pennsylvanica 'Heuvel'	Foothills Green Ash	75 mm Cal.	B&B
	MT	9	Malus x 'Thunderchild'	Thunderchild Crab Apple	50mm Cal.	B&B
	SRI	3	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	75mm Cal.	B&B
	TAD	2	Tilia americana 'Duros'	True North American Linden	75mm Cal.	B&B
SHRUBS						
	Jsc	6	Juniperus sabina 'Calgary Carpet'	Calgary Carpet Juniper	600mm Spr. Min.	Pot
	Jss	16	Juniperus sabina 'Scandia'	Scandia Juniper	600mm Spr. Min.	Pot
	Pod	16	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	600mm Ht. Min	Pot
	Pos	3	Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark	600mm Ht. Min	Pot
	Sbt	44	Spiraea betulifolia 'Tor Gold'	Glow Girl Birchleaf Spirea	600mm Ht. Min	Pot
	Sc	12	Spiraea x bumalda 'Walburna'	Magic Carpet Spirea	600mm Ht. Min	Pot
	Spm	11	Syringa x prestoniae 'Miss Canada'	Miss Canada Preston Lilac	600mm Ht. Min	Pot
GRASSES						
	Cas	74	Calamagrostis x acutiflora 'Stricta'	Karl Foerster Feather Reed Grass	2 gal.	Pot



TOTAL SURFACE TREATMENT AREAS:
CULTIVATED TURF SOD: 1,500 m²
SHREDDED WOOD MULCH: 879 m²
LIMESTONE-ROCK MULCH (50-90 mm): 200 m²
PLANTING BED: 874 m²

AMENDED DRAWINGS
DP No Date Received
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



KEY PLAN - 1:5000

NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY CONSULTING THE OWNER OF THE UTILITY CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR THEIR PROTECTION FROM DAMAGE.
- ALL CB, GTHM, AND MH FRAMES & COVERS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CALGARY STANDARD SPECIFICATIONS SEWER CONSTRUCTION MANUAL.
- ALL CB & GTHM LEADS TO BE 250mm DIAMETER (UNLESS OTHERWISE NOTED) AND IN ACCORDANCE WITH CSA A257.1 (USE CSA A257.2 FOR 300MM OR LARGER DIAMETER), CLASS 3 SULPHATE RESISTANT, RUBBER GASKET OR PVC (PSM TYPE) TO CSA B182.2 WITH LOCKED-IN ELASTOMERIC RING GASKET AND INTEGRAL BELL SYSTEM JOINT. MINIMUM WALL THICKNESS AS REQUIRED FOR SDR 35. COMPACTION: 0.15m DEPTH BELOW EXISTING GROUND SURFACE OR SUBGRADE ELEVATION, WHICHEVER IS LOWER, 98% OF A STANDARD PROCTOR (SEE SECTION 02318, TRENCH AND BACKFILL), REMAINDER TO 97% OF ONE MOULD COMPACTION OR 95% OF A STANDARD PROCTOR.
- ALL MH SHALL BE TYPE 5A 1200mm DIAMETER UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- TIE IN TO EXISTING TO THE SATISFACTION OF THE CITY OF CALGARY.
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- ALL TREE PLANTING TO FOLLOW THE MINIMUM OFFSET DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS (DPGSS), SECTION II: 4.1.2 SETBACK/SPACING GUIDELINES, IN ITS LATEST EDITION. IN ANY CASE, METAL BAR TREE STAKES ARE NOT PERMITTED WITHIN 1.0 m OF AN UNDERGROUND ELECTRICAL TRENCH.
- IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0 m TO UNDERGROUND UTILITIES, THE CONTRACTOR TO CONTACT THE APPROPRIATE UTILITY TO APPROVE, REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
- ALL PLANTING BEDS TO BE COMPLETED WITH MIN. 500 mm DEPTH TYPE 1 TOPSOIL TO FINAL GRADE. ALL SEED AND SOD AREAS TO BE COMPLETED WITH MIN. 300 mm DEPTH TYPE 1 TOPSOIL TO FINAL GRADE.
- ALL PLANT MATERIAL TO MEET OR EXCEED THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS (DPGSS), IN ITS LATEST EDITION.
- IRRIGATION DESIGN AND INSTALL TO BE DONE BY OTHERS AT TIME OF CONSTRUCTION.

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NAD 83
COORDINATES

PRELIMINARY - SUBJECT TO REVISION

3	ISSUED FOR DP	2025-11-17	HZ	JH
2	ISSUED FOR DP	2025-11-05	NA	JH
1	ISSUED FOR DP	2025-07-04	AN	JH
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

PERMIT	SEAL

	BY	DATE (YYYY-MM-DD)
DESIGNED	DB, AN	2025-06-06
DRAWN	AN, NA	2025-07-04
CHECKED	JH	2025-11-19

SCALE	0 5 10 m 1:250
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Invistec Consulting Ltd. 300, 404 6 Avenue, SW Calgary Alberta, T2P 0R9 587-588-8256 www.invistec.ca		

PROJECT
**WALDEN COMMERCIAL DP
SENALTEK
19650 WALDEN BLVD SE, CALGARY**

SEC: 14 - TWP: 22 - RGE: 1 - W 5th M

SHEET TITLE
LANDSCAPE PLAN - SOUTH

FILE NO.	3025008-LA.dwg	ENG DWG NO.	3025008
SHEET ID.	L - 102	SHEET NO.	3
DRAWN	BY NA	DATE (YYYY-MM-DD) 2025-11-07	PROFILE NO.

ISC: SHEET SIZE ANSI D 25 mm 0

TREE PLANTING DETAIL

The following Tree Planting Detail will be used for Backhoe Dig, 40mm - 100mm caliper, either coniferous or deciduous, pruned trees, barked, or balled and burlap trees.

On non-irrigated sites an increase in topsoil depth to increase water holding capacity may be desired.

NOTES:

- Standard tree pit shall be required on all sites with less than 300mm loam.
- Do not use oil or products to treat bark before barking.
- Trees to be planted at grade with trunk flare visible - no more than 25mm above grade
- If staking, stake beyond edge of root ball. Bars should be hammered down into solid footing (at least 100mm into material below).
- Use 2mm (1/2") braided nylon strap to protect the tree if point of contact.
- If tree is in wire basket, cut and remove sections and use the upper 1/2" as a minimum. Pull back burlap to the same minimum.
- All debris (burlap, wire) shall be removed from Tree Planting hole.
- Prune dead branches to maintain natural form of tree, do not prune heavily at planting.
- On sites of extreme compaction staking is recommended.
- 50mm - 75mm tree well depth option for non-irrigated sites.
- Refer to Landscape Construction Specifications, Trees Shrub Groundcovers, Standard Specifications, 8 i) installation.

PLAN FOR TREE STAKING
(optional)

Prevailing Wind direction indicated by arrow and compass rose showing North (N), South (S), East (E), and West (W). Note: "Wind" label points to the S-E quadrant.

Single Leader.
(unless multistem species is specified)

2mm (1/2") Braided Nylon Strap

Use three 1800mm pointed T-Bars, (staking optional)

Trunk Flare at grade

Mulch 50mm - 75mm depth, starting 50mm from root flare, (trunk) Extend to the edge of drip line or 1000mm

Existing Grade

Topsoil, Refer to Topsoil Specifications.

Compact clay below rootball (typ.)

Place rootball on compacted or undisturbed subgrade.

Min. 450mm or 2xWidth / Dia. of Rootball *
if less than 300mm of loam.

*** whichever is greater**

1000mm Tree Well

40mm

150mm

300mm

The following shrub planting detail will be used for all potted deciduous or coniferous shrubs

The drawing consists of two cross-sectional views of shrub planting. The top view, titled 'Shrub Pit', shows a single shrub in a pit. The pit is 500mm wide and 600mm deep. It is filled with 'Topsoil, firmly packed, refer to Topsoil Specs.' and has a 'Scarify pit bottom'. Above the pit is a '50mm min. mulch layer' and 'Grade'. A 'Prune dead and broken branches while retaining normal plant shape' is indicated. The bottom view, titled 'Shrub Bed', shows three shrubs in a bed. The bed is 500mm wide and 600mm deep. It is filled with 'Topsoil, firmly packed, refer to Topsoil Specs.' and has a 'Scarify pit bottom'. Above the bed is a '50mm min. mulch layer' and 'Grade'. The spacing between shrubs is '1/2 spacing (as per plant list)'. The bottom of the bed is 'Compacted subgrade'.

Shrub Pit

50mm min. mulch layer
Grade
200mm
500mm
600mm
Prune dead and broken branches while retaining normal plant shape
Saucer shaped basin for water containment
Topsoil, firmly packed, refer to Topsoil Specs.
Scarify pit bottom
Compacted subgrade

Shrub Bed

1/2 spacing (as per plant list)
spacing (as per plant list)
1/2 spacing
50mm min. mulch layer
Grade
500mm
600mm
Topsoil, firmly packed, refer to Topsoil Specs.
Scarify pit bottom
Compacted subgrade

NOTE: If site is 300mm Loam
Shrub Bed excavation is not required.

PROJECT TITLE	DRAWN BY	SCALE
SPECIFICATIONS	W.B./M.M.	N.T.S.
SHEET TITLE	DATE 2017 11 09	SHEET NO. 25
SHRUB PLANTING DETAIL	DESIGN BY	FILE NO.
	DATE	

Calgary

TREE PLANTING DETAIL.
The following Tree Planting Detail will be used for all trees planted in the Boulevard and Medians.

NOTES:

- Standard tree pit shall be required on all sites with less than 300mm loam.
- Depth of loam min 150mm to optimum of 300mm. Tree slope option if depth is 300mm.
- Do not allow air pockets to form when back filling.
- Trees to be planted at grade with trunk flare visible - no more than 25mm above grade.
- Slaking, if required - refer to Tree Planting Detail #23, remove slaking one year after installation.
- If tree is in wire basket, cut and remove strapping and the horizontal / vertical wires of the upper 1/5 as a minimum. Pull back burlap to the same minimum.
- All debris (burlap, wire) shall be removed from Tree Planting hole.
- Prune dead branches to maintain normal form of tree. Do not prune healthy of planting.
- Crown mesh to ensure positive drainage.

The diagram consists of three main views:

- PLAN VIEW:** Shows a top-down view of a circular tree pit. The outer diameter is labeled 'Medion Planting Zone' and '300mm'. It features radial lines representing slaking or root placement. Arrows indicate 'Roadway' and 'Curb' boundaries.
- SECTION VIEW A - A:** A cross-section through the center of the tree pit. It shows a 'Boulevard Tree (typical)' with a 'Root Flare of grade.' The soil profile includes 'Compact clay below rootball. (typ.)' and 'Min. 150mm or 2x Width/Dia. of Rootball at Roadside' (whichever is greater). Dimensions include '50 - 75mm depth of mulch, starting 50mm from root flare (trunk). Extend to the edge of drip line or 1000mm.' and '150mm Typ.' for the mulch layer.
- SECTION VIEW B - B:** A side-view cross-section showing the 'Tree Pit' dimensions. It specifies a '150mm - 300mm' width for the pit and shows the 'Root ball' sitting on compacted clay. Labels include 'Refer to Topsoil Specifications.', 'Rise roadball on compacted clay placed under augured', and 'Tree Pit depth equals Rootball depth'.

Calgary

SECTION THROUGH SOD

Labels: Flush with curbs (if applicable), Sod, Paved area (if applicable), Compacted Subgrade, 130mm Topsoil min.

CROSS-SECTION OF 3H:1V SLOPE

Labels: Sod to be laid lengthwise across face of slope, Pegs. Remove prior to FAC, Each uphill end of sod to be pegged with two 25 x 25 x 30mm wooden pegs, driven in below lawn level.

PLAN VIEW OF SOD LAYOUT AND EDGING

Labels: Full row of sod to be used on perimeter of sodded area, Planting area or walkway, Sod to be laid closely packed together, joints in adjacent rows shall be staggered, Signs above, Signs below.

	PROJECT TITLE	DRAWN BY	SCALE
	SPECIFICATIONS	MM	N.T.S.
	SHEET TITLE	DATE	SHEET NO.
	SOD DETAIL	2006 01 09	29
		DESIGN BY	FILE NO.
		DATE	

1. THE CONTRACTOR SHALL BE RESPONSIBLE AND VERIFY ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS AND/OR OMISSIONS TO BE REPORTED TO INVISTEC CONSULTING LTD. AS SOON AS POSSIBLE.
2. LOCATIONS OF UTILITIES ARE SUBJECT TO CONSTRUCTION. LOCATION OF UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE; EXACT LOCATION TO BE DETERMINED BY CONSULTING THE OWNER OF THE UTILITY CONCERNED.
3. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND BE RESPONSIBLE FOR THE REMEDIATION OF ANY DAMAGE TO UTILITIES.
4. ALL CB, GTMH, AND MH FRAMES & COVERS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CALGARY STANDARD SPECIFICATIONS SEWER CONSTRUCTION MANUAL.
5. ALL MANHOLE RINGS LEADS TO BE 200mm DIAMETER (UNLESS OTHERWISE NOTED) AND IN ACCORDANCE WITH CSA A257.1 (USE CSA A257.2 FOR 300MM OR LARGER DIAMETER), CLASS 3 SULPHATE RESISTANT, RUBBER GASKET OR PVC (PSM TYPE) TO CSA B182.2 WITH LOCKED-IN ELONGATING RING GASKETS. MINIMUM WALL THICKNESS MINIMUM WALL THICKNESS AS REQUIRED FOR SDR 35 COMPACTION: 0.15m DEPTH BELOW EXISTING GROUND SURFACE OR SUBGRADE ELEVATION, WHICHEVER IS LOWER, 98% OF A STANDARD PROCTOR (SEE SECTION 223.1 COMPENCH AND BACKFILL), REMAINER 2% OF ONE MOUND COMPACTION OR 86% OF STANDARD PROCTOR.
6. ALL MH SHALL BE TYPE 5A 1200mm DIAMETER UNLESS OTHERWISE INDICATED.
7. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
8. TIE IN TO EXISTING TO THE SATISFACTION OF THE CITY OF CALGARY.
9. ALL MATERIALS AND CONSTRUCTION TO BE AS PER THE CITY OF CALGARY ENGINEERING STANDARDS.
10. THE OWNER/DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF THE CITY OF CALGARY STANDARD SPECIFICATIONS EROSION AND SEDIMENT CONTROL MANUAL.
11. EXISTING ELEVATIONS AT MATCH POINTS AS SHOWN ON THIS DRAWING ARE TO BE CONFIRMED BY THE CONTRACTOR 72 HOURS PRIOR TO MOBILIZATION OF FORCE MAJEURE. NOTIFY ENGINEER AND LOG WORKS DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AND NOTIFY ENGINEER OF POSSIBLE CONFLICT 72 HOURS PRIOR TO MOBILIZATION WILL BE AT THE EXPENSE OF THE CONTRACTOR.
12. ALL TREE PLANTING TO FOLLOW THE MINIMUM OFFSET DISTANCES TO SHALLOW AND DEEP UTILITIES AS PER THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS (DPGSS), TABLE 1.2, SETBACK DISTANCES TO SHALLOW AND DEEP UTILITIES. IN ANY CASE, METAL BAR TREE STAKES ARE NOT PERMITTED WITHIN 1.0 m OF AN UNDERGROUND ELECTRICAL TRENCH.
13. IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0 m TO UNDERGROUND UTILITIES, THE CONTRACTOR SHALL FOLLOW THE APPROPRIATE UTILITY TO APPROVE, REVIEW AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
14. ALL PLANTING BEDS TO BE COMPLETED WITH MIN. 500 mm DEPTH TYPE 1 TOPSOIL TO FINAL GRADE. AS SEED AND SOO AREAS TO BE COMPLETED WITH MIN. 300 mm DEPTH TYPE 1 TOPSOIL TO FINAL GRADE.
15. ALL PLANT MATERIAL TO MEET OR EXCEED THE CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS (DPGSS), IN ITS LATEST EDITION.
16. IRRIGATION DESIGN AND INSTALL TO BE DONE BY OTHERS AT TIME OF CONSTRUCTION.



3	ISSUED FOR DP	2025-11-17	HZ	JH	
2	ISSUED FOR DP	2025-11-05	NA	JH	
1	ISSUED FOR DP	2025-07-04	AN	JH	
NO.	DESCRIPTION	DATE (YYYYMMDD)	BY	APPD	

PERMIT	SEAL 
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	BY	DATE (YYYY-MM-DD)
DESIGNED	DB, AN	2025-06-06
DRAWN	AN, NA	2025-07-04
CHECKED	JH	2025-11-19

SCALE NOT TO SCALE

			Invistec Consulting Ltd. 300, 404 6 Avenue, SW Calgary Alberta, T2P 0R9 587-588-8256 www.invistec.ca
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PROJECT

**WALDEN COMMERCIAL DP
SENALTEK
19650 WALDEN BLVD SE, CALGARY**

SEC: 14 - TWP: 22 - RGE: 1 - W 5th M

PLANTING DETAILS

FILE NO.		3025008-LA.dwg		ENG DWG NO.		3025008	
SHEET ID.				SHEET NO.			
L - 501				4			
BY		DATE		PROFILE NO.			
NA		2025-11-07					

ISC: SHEET SIZE ANSI D 25 mm

FILE: O:\3025008 WALDEN COMMERCIAL DP - SENALTEK\LANDSCAPE\03 DRAWINGS\3025008-LA.DWG | DATE: November 19, 2025 9:55:53 AM

AMENDED DRAWINGS
DP No Date Received
DP2025-03987 NOV 25 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.