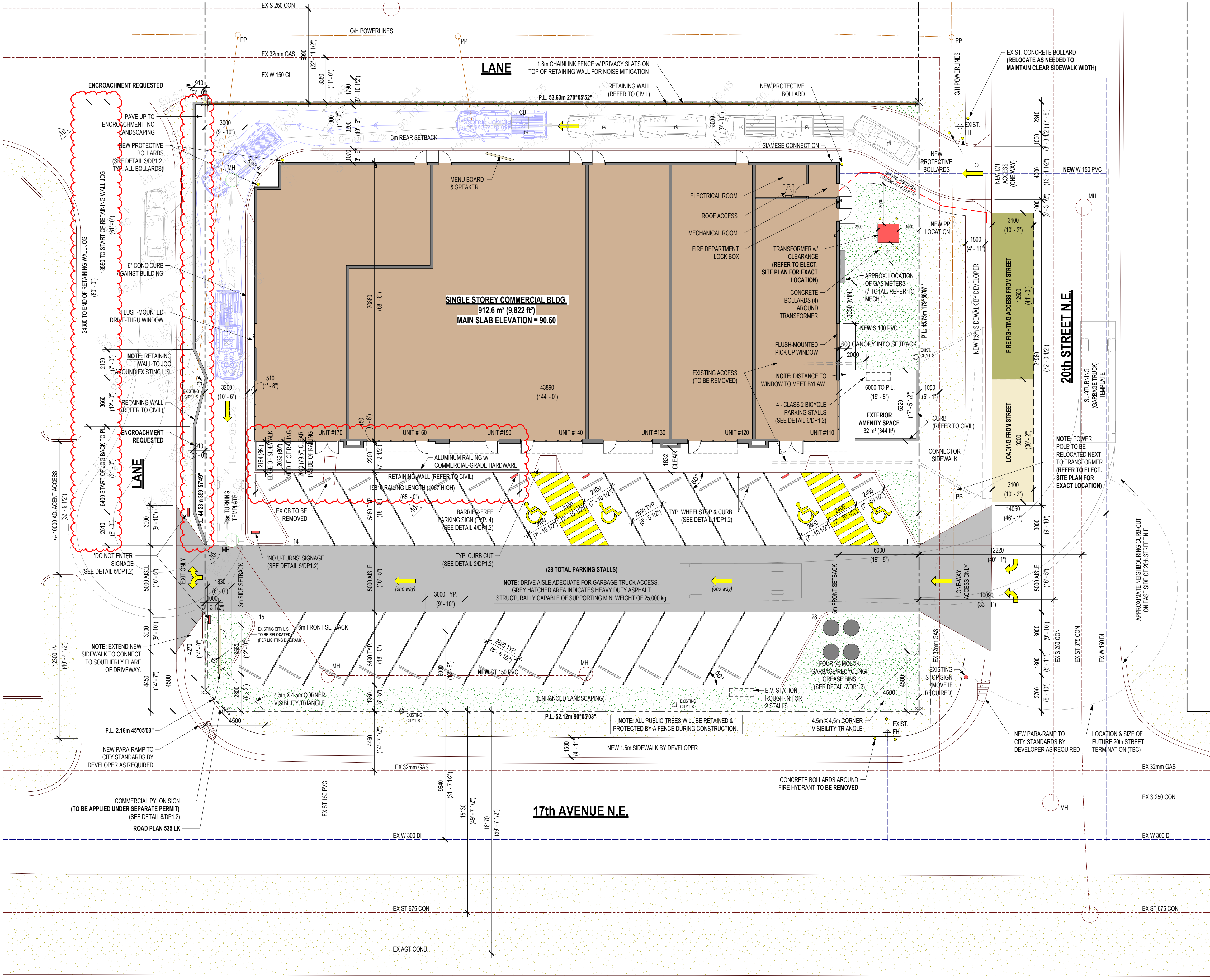




SITE & BYLAW INFORMATION

LEGAL ADDRESS
LEGAL DESCRIPTION:
LOT "A", BLOCK 1, PLAN 9016GV

MUNICIPAL ADDRESS
1805 20 STREET NE
CALGARY, ALBERTA

LAND USE
COMMERCIAL CORRIDOR 3 (C-COR3) DISTRICT
MAX FAR= 1.0
MAX HEIGHT = 12M

SETBACKS:
FRONT SETBACK AREA: MIN. DEPTH 6.0m (821)
REAR SETBACK AREA: MIN. DEPTH 3.0m (822)
SIDE SETBACK AREA:
ADJACENT A STREET: 6.0m (823)
ADJACENT A LANE: 3.0m (823)

AS DEFINED BY 1P2007:
N: 3.0m
E: 6.0m
S: 6.0m
W: 3.0m

SITE AREA:
2,452 m² (0.60 acres) (0.245 ha)

TOTAL BUILDING FLOOR AREA:
GROSS MAIN FLOOR AREA 912.6 m²

SITE COVERAGE: 37.3%

FLOOR AREA RATIO (FAR): 0.373

MAX BUILDING HEIGHT (ANTICIPATED):
5.49 m (18'-0") TOP OF PARAPET

PARKING
TOTAL PARKING REQUIRED: N/A
(TBD BY PARKING STUDY)
28 STALLS PROVIDED
INCL. 4 BARRIER-FREE STALLS

BICYCLE PARKING
1- CLASS 1 WILL BE PROVIDED ON A TENANT BASIS
4- CLASS 2 STALLS PROVIDED

CRU INFORMATION		
APPROXIMATE NET FLOOR AREAS BY UNIT		
UNIT #	AREA (m ² /ft ²)	EXAMPLE USE
110	110.4 / 1,189	SUB SANDWICH SHOP
120	124.5 / 1,340	MEDICAL (Family Doctor w/ Pharmacy)
130	124.4 / 1,338	MEDICAL (Family Doctor w/ Pharmacy)
140	106.5 / 1,147	PIZZA TAKE OUT
150	125.2 / 1,348	FOOD TAKE OUT
160	78.2 / 842	RETAIL SPACE
170	182.8 / 1,968	BURGER SHOP w/ DRIVE-THRU
197/199	14.6 / 157	M/E SERVICE
TOTAL	866.6 / 9,329	



METRIC :
ALL DIMENSIONS ARE IN METERS AND MILLIMETERS UNLESS OTHERWISE NOTED.
IMPERIAL IN BRACKETS.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.



REV	DATE	DESCRIPTION
10	28OCT25	RETAINING WALL & RAILING UPDATES
9	23SEP25	LATEST DT GRADES
7	20JUN25	DT CHANGE TO LANE CONFIGURATION
5	20SEP23	COA COMMENTS/ADDRESS CHANGE
4	26JUL23	FINAL CITY DP COMMENTS
3	19JUN23	DTR #2/3 COMMENTS
2	17APR23	CITY & CLIENT CHANGES
1	16JAN23	ISSUED FOR DP
		REVISIONS

BP#:
DP#: DP2023-00323

DO NOT SCALE THESE DRAWINGS
CONTRACTOR TO REVIEW ALL DIMENSIONS
PRIOR TO CONSTRUCTION START.
ALL DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO THE ARCHITECT.

20 STREET NE COMMERCIAL DEVELOPMENT

SITE PLAN & PROJECT INFORMATION

SCALE:	1 : 150
DATE:	2025-10-28
DRAWN BY:	JMM
ISSUED:	
PROJECT #	DRAWING SHEET #
	DP1.0

16th AVENUE N.E. (TRANS-CANADA HWY.)