

20th STREET NE DEVELOPMENT

1805 20 STREET NE, CALGARY, AB

REVISED DP APPLICATION: Take Out Food Service, Drive Through, Retail and Consumer Service, Health Care Service, Restaurant: Food Service Only (changes to drive through lane configuration)

2019 National Building Code [Alberta Edition] Code Summary
1805 20 STREET NE, CALGARY, AB – Commercial Building Core & Shell

Project Type: Commercial Building, Core & Shell	
Major Occupancies	Single Storey, Main Floor: Food Service [Assembly Occupancy] Medical & Retail Space [Mercantile/Personal Services Occupancy]
Major Occupancy Classifications	Article 3.2.2.27. "Group A, Division 2, up to 2 Storeys, Sprinklered" Article 3.2.2.69. "Group E, up to 2 Storeys, Sprinklered" Governing Classification: Article 3.2.2.69. "Group E, up to 2 Storeys, Sprinklered "
Building Height	1 storey
Streets Facing	1 (3.2.2.10.)
Building Area	New Building Area – Main Floor: 913.6 m ² / 9,835 sf. TOTAL BUILDING AREA: 913.6 m ² / 9,835 sf.
Construction Type	Combustible or Noncombustible permitted (3.2.2.69.) Actual construction will be combustible.
Basement	None
Mezzanine	None
Interior Fire Separations:	
Room / Space / Shaft	Fire-Resistance Rating of Fire Separation Fire Protection Rating of Closures (ABC Table 3.1.8.4.)
Service Shafts	N/A (3.6.3.1.) N/A
Service Room, Rooms with Fuel-Fired appliances	1 hour (3.6.2.1.) 45 minutes (3.1.8.12.)
Storage Rooms	45 minutes (3.3.4.3.(3)) 20 minutes (3.1.8.12.)
Janitor's Room	N/A (3.3.1.21.(2)) N/A
Fire Compartments:	
Horizontal concealed spaces in roof assemblies shall be separated into 600m ² compartments with no dimension greater than 60m provided exposed construction materials within the space have flame spread rating of less than 25 (3.1.11.5(1)).	
Occupant Load: (ABC 3.1.17.1)	
Occupant loads for the purposes of determining washroom fixture requirements to be calculated for each individual tenant improvement at time of Building Permit.	
Egress and Exiting:	
Number of Exits Two exits required for the main floor (3.4.2.1.(1))	
Travel Distance	Group E: Maximum 40m travel distance to the nearest exit (3.4.2.5.(1)(b))
Door Swing	All exit doors are required to swing in the direction of exit travel. (3.4.6.12) Doors serving an occupant load greater than 60 persons are required to swing in the direction of exit travel (3.3.1.11.(2))
Spatial Separation and Exposure Protection:	
To be determined at time of Building Permit submission.	
Structural Fire-Resistance:	
Above-Grade Floor Assemblies	N/A
Loadbearing Walls & Columns	If supporting an assembly required to have a F.R.R., then shall have a F.R.R. not less than that required for the supported assembly (3.2.2.69.)
Fire Suppression and Detection:	
Sprinkler System	Required (3.2.2.69.)
Standpipe System	Not Required (3.2.5.8.(1))
Fire Alarm System	Required (3.2.4.1.(1))

J A ARCHITECTURE Attn: Andrew Martin / Jayson Hood 4503 Brisebois Drive NW Calgary, AB T2L 2G3	
DEVELOPMENT PERMIT DRAWING LIST	
SHEET	DRAWING TITLE
DP0.0	TITLE SHEET
DP1.0	SITE PLAN & PROJECT INFORMATION
DP1.1	LANDSCAPE PLAN
DP1.2	SITE DETAILS
DP2.0	FLOOR LAYOUT
DP3.0	EXTERIOR ELEVATIONS



SITE PIC #1: LOOKING NW FROM THE INTERSECTION OF 17th AVE & 20th ST NE.



SITE PIC #3: LOOKING NE FROM THE INTERSECTION OF 17th AVE & THE LANE BETWEEN THE SUBJECT LOT AND THE EXISTING SHELL SITE TO THE WEST.



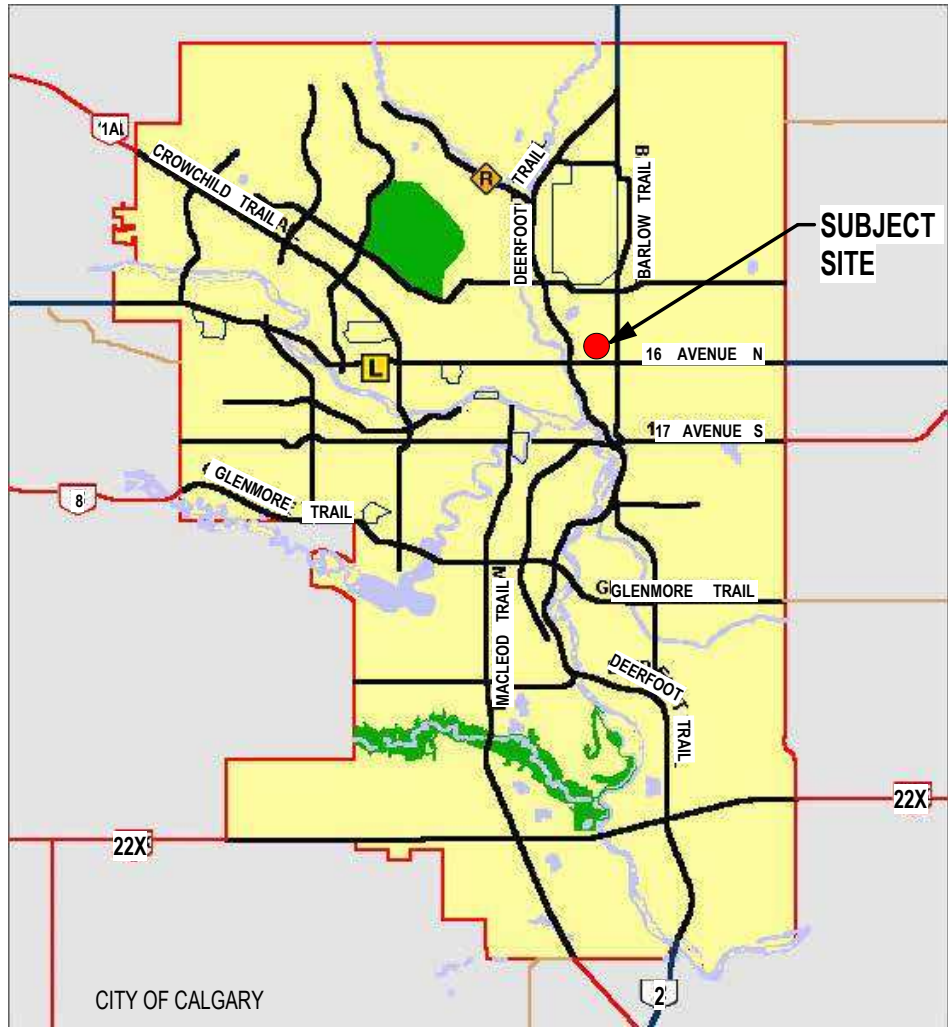
SITE PIC #2: LOOKING SW FROM THE NE CORNER OF SUBJECT SITE @ EXISTING LANE ACCESS.



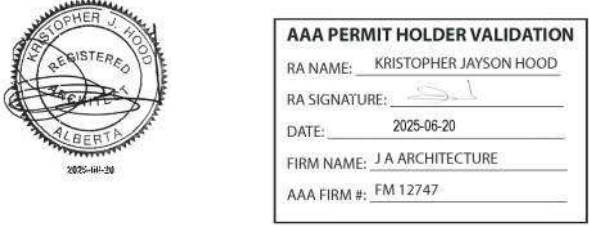
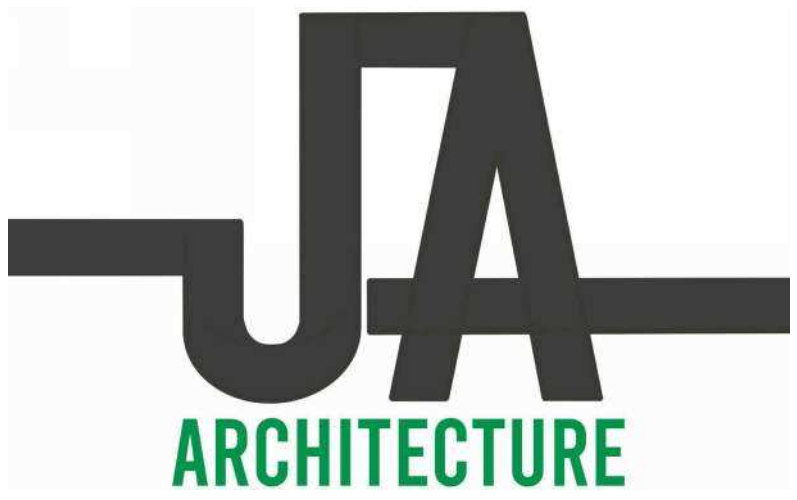
SITE PIC #4: LOOKING EAST FROM THE LANE AT THE WEST SIDE OF THE SUBJECT SITE. LANE IS ON THE LEFT HAND SIDE, WITH 16th AVE WESTBOUND AT THE RIGHT.



VICINITY MAP LOCATION



AREA MAP LOCATION



METRIC :
ALL DIMENSIONS ARE IN METERS AND MILLIMETERS UNLESS OTHERWISE NOTED.
IMPERIAL IN BRACKETS.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.



7	20JUN25	DT CHANGE TO LANE CONFIGURATION
5	20SEP23	COA COMMENTS/ADDRESS CHANGE
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1	16JAN23	ISSUED FOR DP
REV	DATE	DESCRIPTION
REVISIONS		

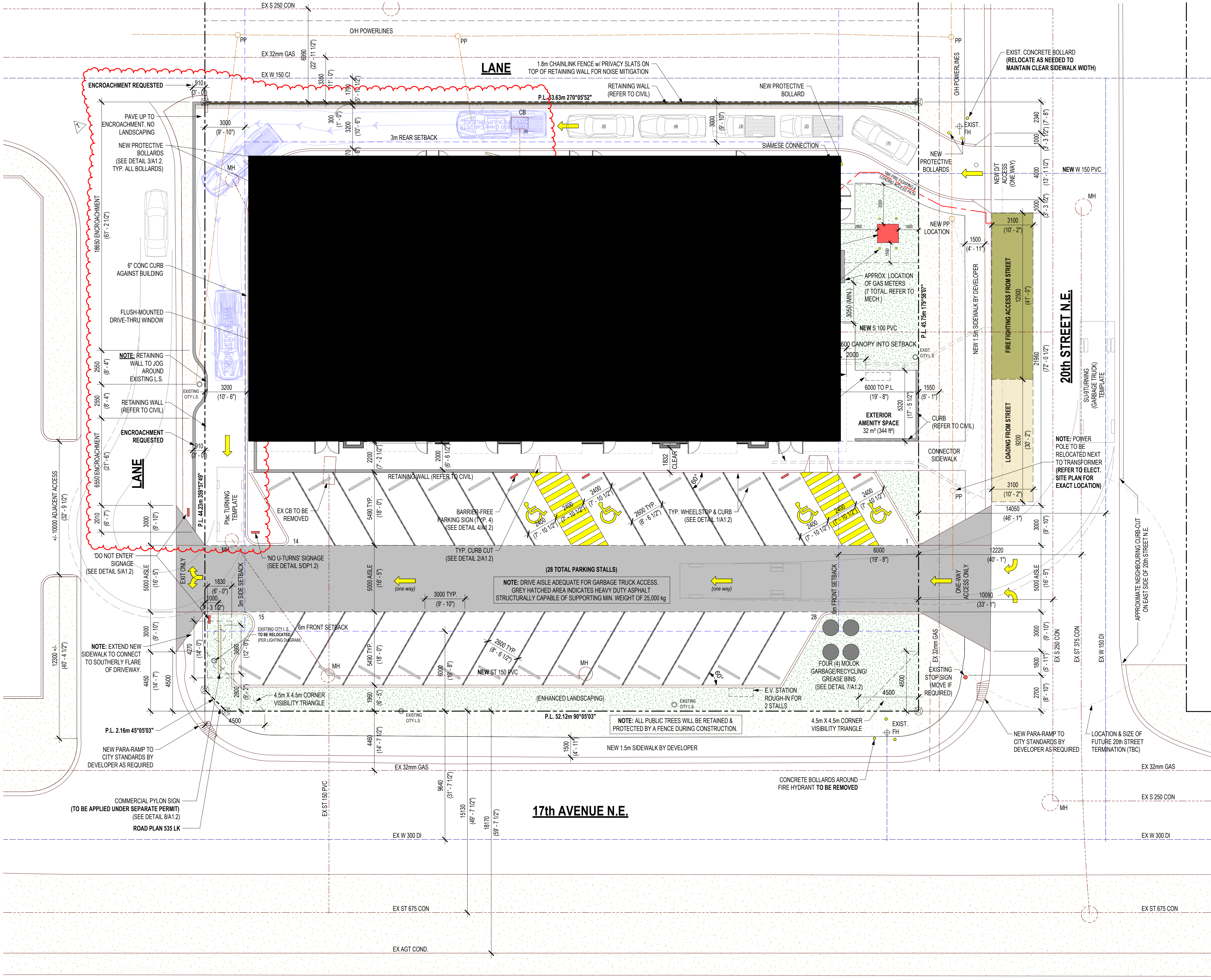
BP#:
DP#: DP2023-00323

DO NOT SCALE THESE DRAWINGS
CONTRACTOR TO REVIEW ALL DIMENSIONS
PRIOR TO CONSTRUCTION START.
ALL DISCREPANCIES TO BE REPORTED
IMMEDIATELY TO THE ARCHITECT.

20 STREET NE
COMMERCIAL
DEVELOPMENT

TITLE SHEET

SCALE:	As indicated
DATE:	2025-06-20
DRAWN BY:	JMM
ISSUED:	
PROJECT #	DRAWING SHEET #
	DP0.0



SITE & BYLAW INFORMATION

LEGAL ADDRESS
LEGAL DESCRIPTION:
LOT "A", BLOCK 1, PLAN 9016GV

MUNICIPAL ADDRESS
1805 20 STREET NE
CALGARY, ALBERTA

LAND USE
COMMERCIAL CORRIDOR 3 (C-COR3) DISTRICT
MAX FAR= 1.0
MAX HEIGHT = 12M

SETBACKS:
FRONT SETBACK AREA: MIN. DEPTH 6.0m (821)
REAR SETBACK AREA: MIN. DEPTH 3.0m (822)
SIDE SETBACK AREA:
ADJACENT A STREET: 6.0m (823)
ADJACENT A LANE: 3.0m (823)

AS DEFINED BY 1P2007:
N: 3.0m
E: 6.0m
S: 6.0m
W: 3.0m

SITE AREA:
2,452 m² | 0.60 acres | 0.245 ha

TOTAL BUILDING FLOOR AREA:
GROSS MAIN FLOOR AREA 912.6 m²

SITE COVERAGE: 37.3%

FLOOR AREA RATIO (FAR): 0.373

MAX BUILDING HEIGHT (ANTICIPATED):
5.49 m (18'-0") TOP OF PARAPET

PARKING
TOTAL PARKING REQUIRED: N/A
(TBD BY PARKING STUDY)
28 STALLS PROVIDED
INCL. 4 BARRIER-FREE STALLS

BICYCLE PARKING
1- CLASS 1 WILL BE PROVIDED ON A TENANT BASIS
4- CLASS 2 STALLS PROVIDED

CRU INFORMATION

APPROXIMATE NET FLOOR AREAS BY UNIT

UNIT #	AREA (m ² /ft ²)	EXAMPLE USE
110	110.4 / 1,189	SUB SANDWICH SHOP
120	124.5 / 1,340	MEDICAL (Family Doctor w/ Pharmacy)
130	124.4 / 1,338	MEDICAL (Family Doctor w/ Pharmacy)
140	106.5 / 1,147	PIZZA TAKE OUT
150	125.2 / 1,348	FOOD TAKE OUT
160	78.2 / 842	RETAIL SPACE
170	182.8 / 1,968	BURGER SHOP w/ DRIVE-THRU
197/199	14.6 / 157	M/E SERVICE
TOTAL	866.6 / 9,329	



AAA PERMIT HOLDER VALIDATION
RA NAME: KRISTOPHER JAVSON HOOD
RA SIGNATURE: [Signature]
DATE: 2025-06-20
FIRM NAME: J.A. ARCHITECTURE
AAA FIRM #: FM 12747

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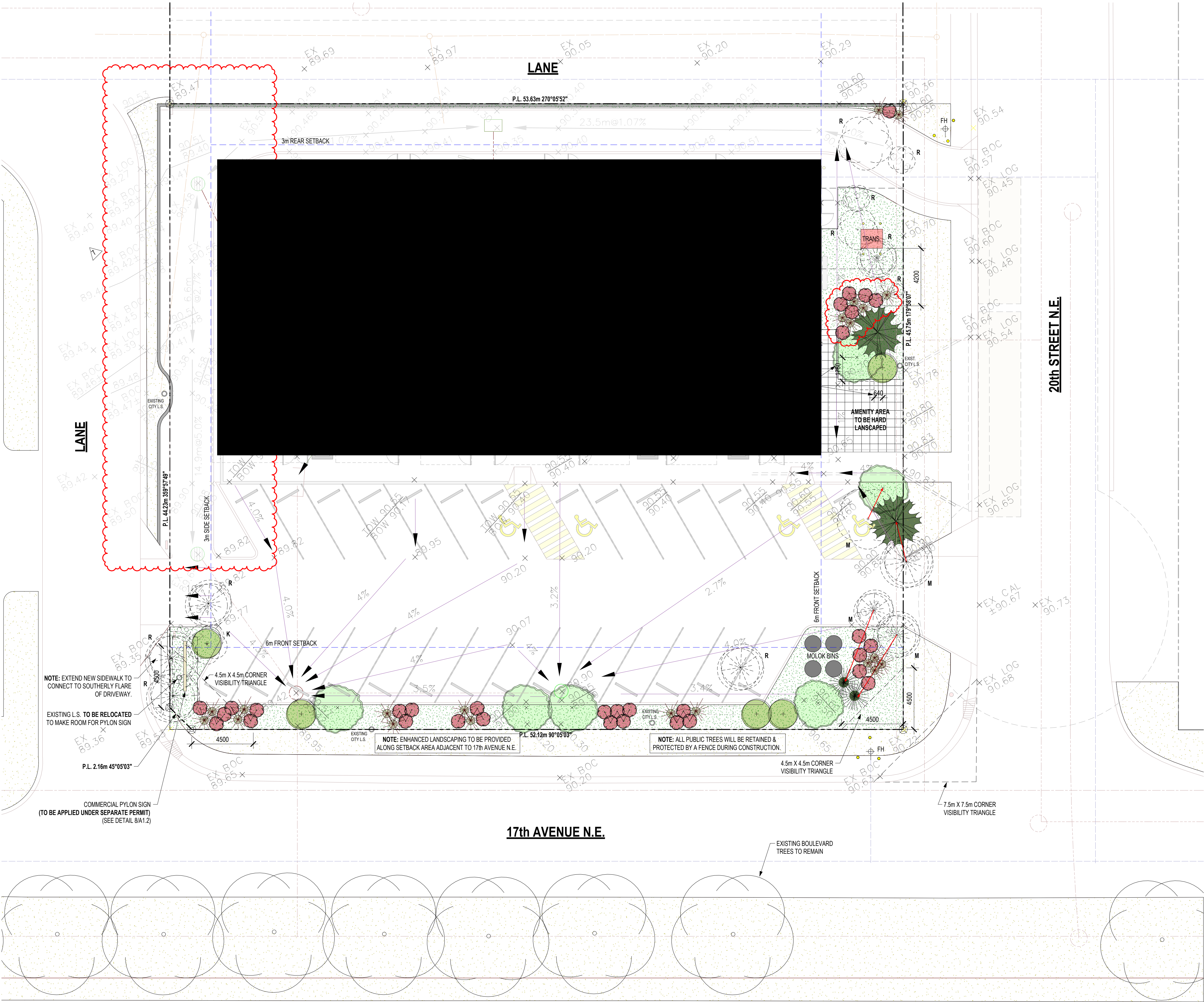
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SITE PLAN & PROJECT
INFORMATION

SCALE:	1 : 150
DATE:	2025-06-20
DRAWN BY:	JMM
ISSUED:	
PROJECT #	DRAWING SHEET #
	DP1.0



LANDSCAPING REQUIREMENTS	
LANDSCAPING AREA PROVIDED:	
SOFT LANDSCAPING:	262.3 m ² (2,824 ft ²)
HARD LANDSCAPING:	31.9 m ² (344 ft ²)
LANDSCAPING PROVIDED:	294.2 m ² (3,168 ft ²)
294.2 m ² / 2,452 m ² (SITE AREA) = 12% OF SITE LANDSCAPED	

TREES & SHRUBS REQUIRED (BASED ON SETBACK AREAS)

SOUTHEAST SETBACKS
= 1.0 TREES & 2.0 SHRUBS PER 50 m² (w/ LOW WATER IRRIGATION)
= 560 m² SETBACK AREA / 50 m² = 11.2
= 12 TREES / 24 SHRUBS

WEST SETBACK
= NO REQUIREMENT AS PER LAND USE BYLAW CLAUSE 824 (3).

NORTH SETBACK
= 1.0 TREES & 2.0 SHRUBS PER 50 m² (w/ LOW WATER IRRIGATION)
= 134 m² SETBACK AREA / 50 m² = 2.7
= 3 TREES / 6 SHRUBS

TOTAL TREES REQUIRED = 15 (15 PROVIDED)
TOTAL SHRUBS REQUIRED = 30 (53 PROVIDED)

MINIMUM 25% OF TREES TO BE CONIFEROUS (4 TO BE PROVIDED).
DECIDUOUS TREES MIN. CALIPER 50mm, WITH 50% HAVING MIN. 75mm CALIPER.
CONIFEROUS TREES MIN. HEIGHT 2m, WITH 50% HAVING MIN. HEIGHT 3m.
SHRUBS MUST BE A MIN. HEIGHT OR SPREAD OF 0.6m AT PLANTING.

NOTE:
- ALL LANDSCAPING SHOWN IS PROPOSED UNLESS OTHERWISE NOTED.
- LANDSCAPING TO BE WATERED BY A LOW WATER IRRIGATION SYSTEM.
- ONLY TREES AND SHRUBS TO BE IRRIGATED, AND THE EXTENT OF WATER DELIVERY MUST BE CONFINED TO THE TREE AND SHRUB AREAS.
- ALL TREES/SHRUBS ARE LOW WATER REQUIRED.

QTY	LANDSCAPING
6	DECIDUOUS TREES MINIMUM SIZE 75mm CALIPER - GREEN ASH (or match existing)
5	DECIDUOUS TREES MINIMUM SIZE 50mm CALIPER - BRANDON ELM (or match existing)
2	LARGE CONIFEROUS TREES MINIMUM HGT. 3m - COLORADO SPRUCE (or match existing)
2	SMALL CONIFEROUS TREES MINIMUM HGT. 2m - COLORADO SPRUCE (or match existing)
53	SHRUBS & TALL GRASSES MINIMUM 0.6m HGT. OR SPREAD - MUGO PINE (Pinus mugo var. Mughus) - CREEPING JUNIPER (Juniperus horizontalis) - FEATHER REED GRASS (calamagrostis x acutiflora "Karl Foerster")

EXISTING TREE TO BE REMOVED (R), RELOCATED/MOVED (M) OR KEPT AS EXISTING (K)
(WILL BE PROPERLY PROTECTED DURING CONSTRUCTION TO THE SATISFACTION OF DEVELOPMENT OFFICER)

LANDSCAPED AREAS	
	GRASSED WITHIN SUBJECT SITE (DROUGHT-RESISTANT SOD MIX)
	GRASSED CITY BOULEVARD (NOT INCLUDED IN CALCULATIONS)
	CONCRETE PAVERS @ AMENITY SPACE (INCLUDED IN HARD LANDSCAPE CALCULATIONS)

SITE GRADING (Confirm w/ Civil)	
EX XX.XX	INDICATES EXISTING GRADE
XX.XX	INDICATES DESIGN/PROPOSED GRADE
_%	INDICATES DESIGN/PROPOSED SLOPE



AAA PERMIT HOLDER VALIDATION	
RA NAME:	KRISTOPHER JAVSON HOOD
RA SIGNATURE:	
DATE:	2025-06-20
FIRM NAME:	J.A. ARCHITECTURE
AAA FIRM #:	FM 12747

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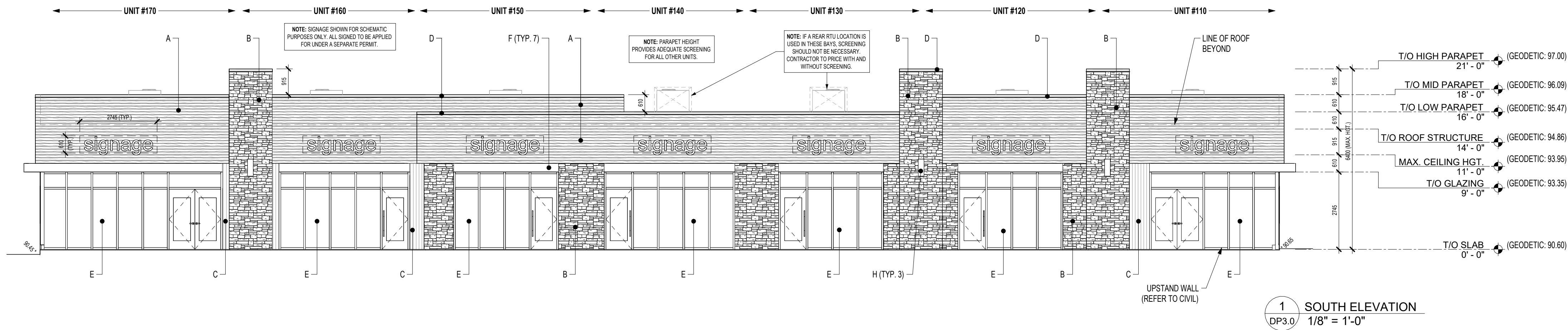
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LANDSCAPE PLAN

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ISSUED:	

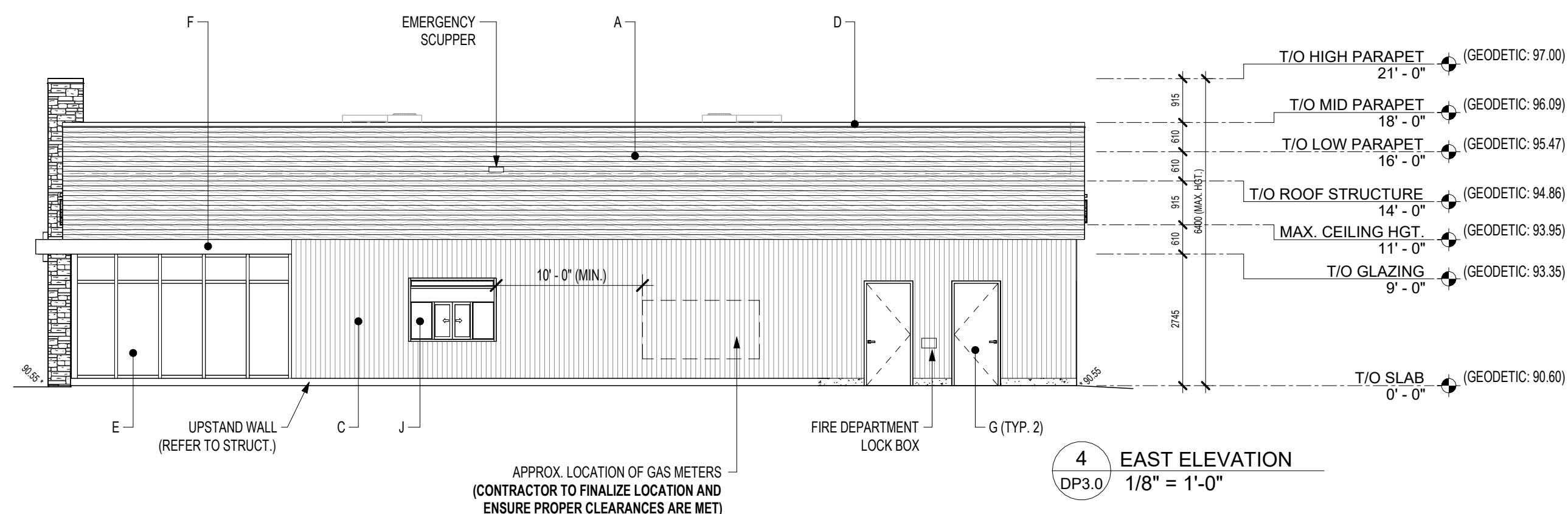
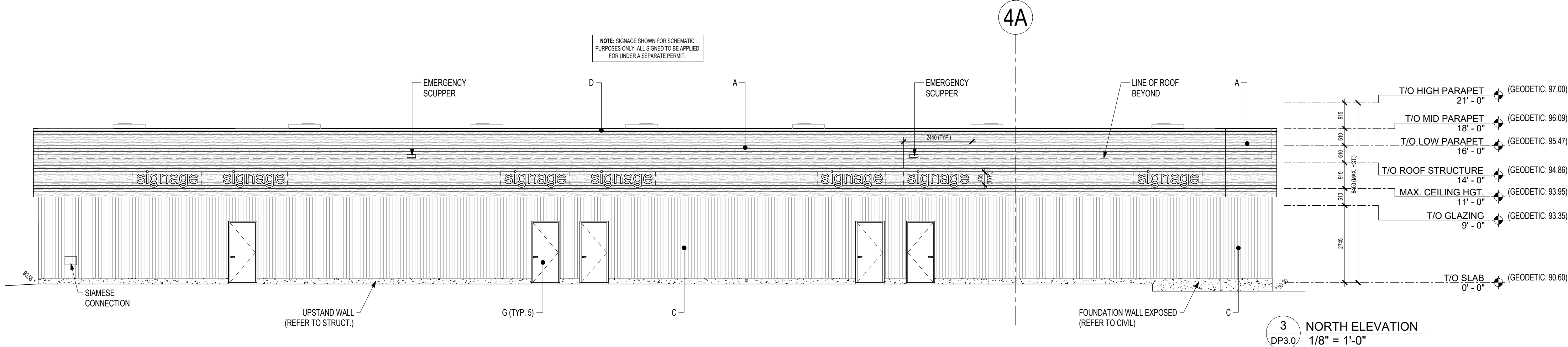
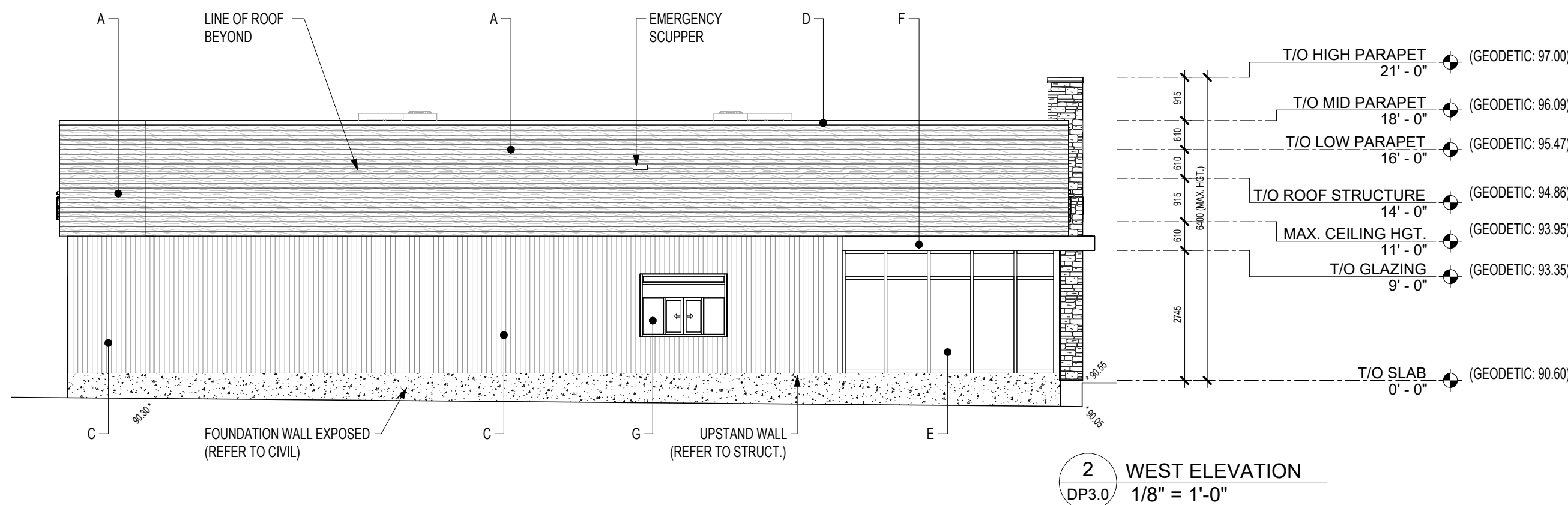
PROJECT #	DRAWING SHEET #
	DP1.1



NOTE: ALL ITEMS ARE PROPOSED UNLESS OTHERWISE INDICATED.

EXTERIOR FINISHES LEGEND

- A - 'BELLARA' HORIZONTAL METAL PANEL (Viewest or eq.)
Colour = Wood Grain
- B - RUNDLE STONE VENEER
Colour = Charcoal
- C - VERTICAL CORRUGATED METAL (Viewest or eq.)
or ACRYLIC STUCCO
Colour = Charcoal
- D - METAL CAP FLASHING
Colour = Dark Charcoal
- E - COMMERCIAL STOREFRONT WINDOWS
Colour = Black mullions w/ grey tinted glass
- F - METAL OPEN CANOPY (30" PROUD OF BUILDING FACE)
Colour = Painted Black
- G - INSULATED METAL MAN DOOR & FRAME
- H - EXTERIOR LIGHT FIXTURE
- J - DRIVE THRU / PICK UP WINDOW
(EXACT DESIGN TO BE CONFIRMED BY MANUF.)



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RA SIGNATURE: [Signature]
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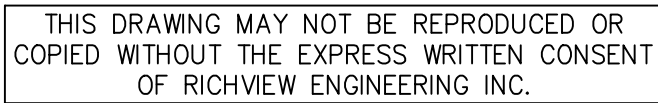
EXTERIOR ELEVATIONS

SCALE:	1/8" = 1'-0"
DATE:	2025-06-20
DRAWN BY:	JMM
ISSUED:	

PROJECT #

DRAWING SHEET #

DP3.0



1. ALL DIMENSIONS ARE IN METERS AND DECIMALS THEREOF.
2. ALL ELEVATIONS REFERENCED TO 1000 GEODATIC DATUM.
3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
5. ALL CURB REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
6. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
7. MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.4m.
8. MINIMUM VERTICAL CLEARANCE REQUIRED FOR SANITATION VEHICLES IS 4.3m.
9. HEAVY DUTY ASPHALT TO BE A DEPTH AND CLASS TO CARRY A LOADED COLLECTION VEHICLE (25,000 kg).
10. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOADED AND ENSURE EASY COLLECTION VEHICLE ACCESS.
11. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.

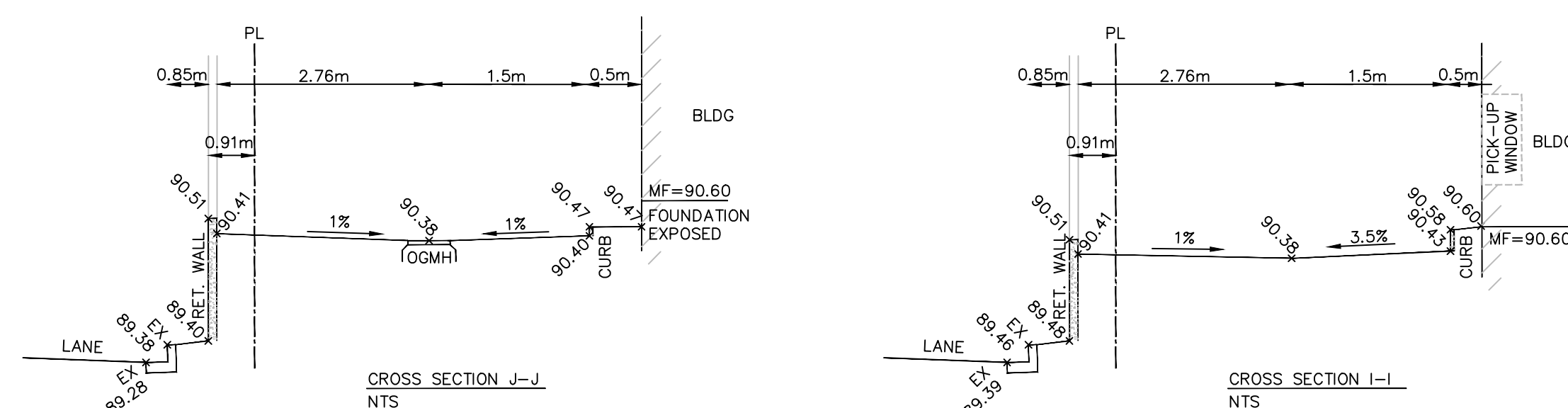
PROPOSED GRADE	$\begin{array}{r} \text{EOP} \\ + \\ 47.79 \end{array}$
PROPOSED SLOPE	$\begin{array}{r} 1.00\% \\ \longleftarrow \end{array}$
EXISTING GRADE	$\begin{array}{r} \text{Ex} \\ + \\ 47.79 \end{array}$
SLAB ELEVATION	MF=48.75

REVISIONS										
0	25	06	06	FOR APPROVAL					DC	RL
REV.	Y	M	D	ISSUE/REVISION DESCRIPTION					DRN	CHK

6 Jun 25

PARAGON COMMERCIAL

DESIGN:	RL	SITE GRADING PLAN	1225	02	00
DRAWN:	AY				
CHECKED:	RL				
DATE:	APR 09 2025	DEVELOPMENT PERMIT No.	DP2023-00323		
SCALE:	1:200	MECHANICAL, CIVIL No.	DSSP2023-0091		



- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.