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NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
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NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

LEWISBURG MULTIFAMILY

14120 9 ST, NE CALGARY, AB CANADA
BLOCK 16, LOT 2

DEVELOPMENT PERMIT: DEVELOPMENT PERMIT NO. DP2025-03807
NORR PROJECT NUMBER: RZ1125-0071

 **TRUMAN**

AMENDED DRAWINGS
DP No Date Received
DP2025-03807 NOV 5, 2025
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

ISSUED FOR DR1 - October 10, 2025

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
PASQUINI & ASSOCIATES GEOMATICS LTD. 300, 929-11TH STREET S.E CALGARY, AB, T2G 0R4	Jubilee Engineering 3702 EDMONTON TRAIL NE CALGARY, AB, T2E 3P4 PHONE: 403.276.1012 PM: DAVID VATCHER	NORR Architects Engineers Planners 2300, 411 - 1ST STREET SE CALGARY, AB, T2G 4Y5 PHONE: 403.817.9375 PM: TRISHUDA JAIN	-
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ Engineering Consultants Ltd. 301-14th STREET N.W CALGARY, AB, T2N 2A1 PHONE: 403.289.8852 PM: KEVIN VIC	TLJ Engineering Consultants Ltd. 301-14th STREET N.W CALGARY, AB, T2N 2A1 PHONE: 403.289.8852 PM: JASON PURA	-	Ground Cubed Landsace Architects SUITE 25, 8020 2ND STREET SE CALGARY, AB, T2H 2L8 PHONE: 403.473.0719 PM: JAMIE JOHNSON

Site Information

MUNICIPAL ADDRESS	14120 9TH STREET, NE CALGARY, AB	
LEGAL ADDRESS	BLOCK 16, LOT 2	
LAND USE DISTRICT	PROPOSED MIXED USE DISTRICT (MU-1) (LOC2025-0096)	
SITE AREA	10,679 SM	114,949 SF
	1.07 HA	2.64 AC
TOTAL APT. UNITS	202	
SETBACKS		
With street	2.5 m	
Street-oriented	4.5 m	
BUILDING HEIGHT	Proposed Max. 25.0 m	
DENSITY	Units/Ha	
Minimum	N/A	
Maximum	N/A	
Proposed	189	
FAR		
Minimum	N/A	
Maximum	Proposed Max. 3.0	
Proposed	1.67	
SITE COVERAGE		
BUILDING COVERAGE	33%	

Units & Building Areas

NAME	TYPE	GROSS AREA		BALCONY/PATIO	
		SQ.FT.	M2	SQ.FT.	M2
A	2 Bed +Den+ 2 Bath	802	74.52	144	13.33
A1	2 Bed +Den+ 2 Bath	877	81.44	131	12.14
B	2 Bed + 1 Bath	672	62.47	71	6.56
C	3 Bed + 2 Bath	977	90.78	144	13.33
D	3 Bed + 2 Bath + Den	1,108	102.94	138	12.84
D1	2 Bed + 2 Bath + Den	869	80.72	138	12.83
E	3 Bed + 2 Bath	1,063	98.76	138	12.85
E1	2 Bed + 2 Bath	799	74.20	139	12.89
F	1 Bed + 1 Bath + Den	662	61.54	90	8.32
G	1 Bed + 1 Bath	619	57.49	75	6.99
H	2 Bed + 1 Bath	702	65.19	76	7.02
J	1 Bed + 1 Bath	541	50.27	68	6.34
K	1 Bed + 1 Bath + Den	702	65.19	140	13.00

UNIT QUANTITY													
Per Building A Floor:													
	A	A1	B	C	D	D1	E	E1	F	G	H	J	K
1st floor	9	1	5	1									
2nd floor	9	1	5	3	1	1							
3rd floor	9	1	5	3	1					1			
4th floor	9	1	5	3	1					1			
5th floor	9	1	5	3	1					1			
Total Apartment Units Building A	45	5	25	13	4	1	0	0	0	4	0	0	0
Area	3353.4	407.2	1561.8	1180.1	411.8	80.7	0	0	0	230.0	0	0	0
Total Unit Area	77,768 Sq.Ft.												
Efficiency	7224.93 Sq.m.												
	81.2%												

UNIT QUANTITY													
Per Building B Floor:													
	A	A1	B	C	D	D1	E	E1	F	G	H	J	K
1st floor	9		5					1			1	1	
2nd floor	9		5				1		1		2	2	2
3rd floor	9		5				1		1		2	2	2
4th floor	9		5				1		1		2	2	2
5th floor	9		5				1		1		2	2	2
Total Apartment Units Building B	45	0	25	0	0	0	4	1	4	0	9	8	9
Area	3353.4	0	1561.8	0.0	0.0	0.0	395.0	74.2	246.2	0.0	586.71	4328.8	452.4
Total Unit Area	118,387 Sq.Ft.												
Efficiency	10998.50 Sq.m.												
	122.9%												
Total Apartment Units	90	5	50	13	4	1	4	1	4	4	9	8	9
	202												

GROSS FLOOR AREA PER FLOOR		SQ.FT.	M2	SQ.FT.	M2
Building A					
1st floor		19,201	1783.82	19,314	1794.37
2nd floor		19,150	1779.06	19,252	1788.60
3rd floor		19,150	1779.06	19,252	1788.60
4th floor		19,150	1779.06	19,252	1788.60
5th floor		19,150	1779.06	19,252	1788.60
Total Building GFA		95,799	8,900.06	96,323.76	8,948.77

TOTAL GFA	192,123	17,848.83
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PARKADE AREA	SQ.FT.	M2
P1	42,815	3,977.60

Not counted in GFA

Vehicle Parking

	UNITS	BY LAW	REQUIRED		PROVIDED		TOTAL
			STALLS	PARKADE	STALLS	SURFACE	
RESIDENT PARKING							
	202	0.75 stalls/unit	152	121	77		198
TOTAL RESIDENT PARKING							198
Bylaw Surplus							46
VISITOR PARKING							
Parking	202	0.1 stalls/unit	21	0	20		20
Barrier Free (Included with resident and visitors above)		0 to 200		1	4		5
TOTAL PARKING PROVIDED							218

Recycling, Organics & Waste Bin Calculation

STRATA 1		202		0.3 YD3/UNIT		
		WASTE YD3	BIN SIZE YD3	# PICKUPS	# BINS	TOTAL
TOTAL	100%	60.6				65.6
Recycling (R)	40%	24.2	6.5	2	2	26.0
Organics (O)	20%	12.1	1.7	2	4	13.6
Waste (W)	40%	24.2	6.5	2	2	26.0

General Notes

- * UNDERGROUND STORAGE BINS USED: MOLOK CLASSIC TYPE OR SIMILAR
- * WASTE RECYCLING PICK-UP AREA TO BE ASPHALT ROAD
- * PICKUP AREA MUST HAVE A CAPACITY TO CARRY A LOADED COLLECTION VEHICLE OF 25,000 KGS OR
- * 18,500 KGS (40,000 LB) WITH THE ROAD BEING PART OF A FIRE ACCESS ROUTE
- * MAXIMUM SLOPE IN COLLECTION AREA IS 4% IN ANY DIRECTION
- * REFER TO MANUFACTURER MANUAL AND SPECIFICATIONS

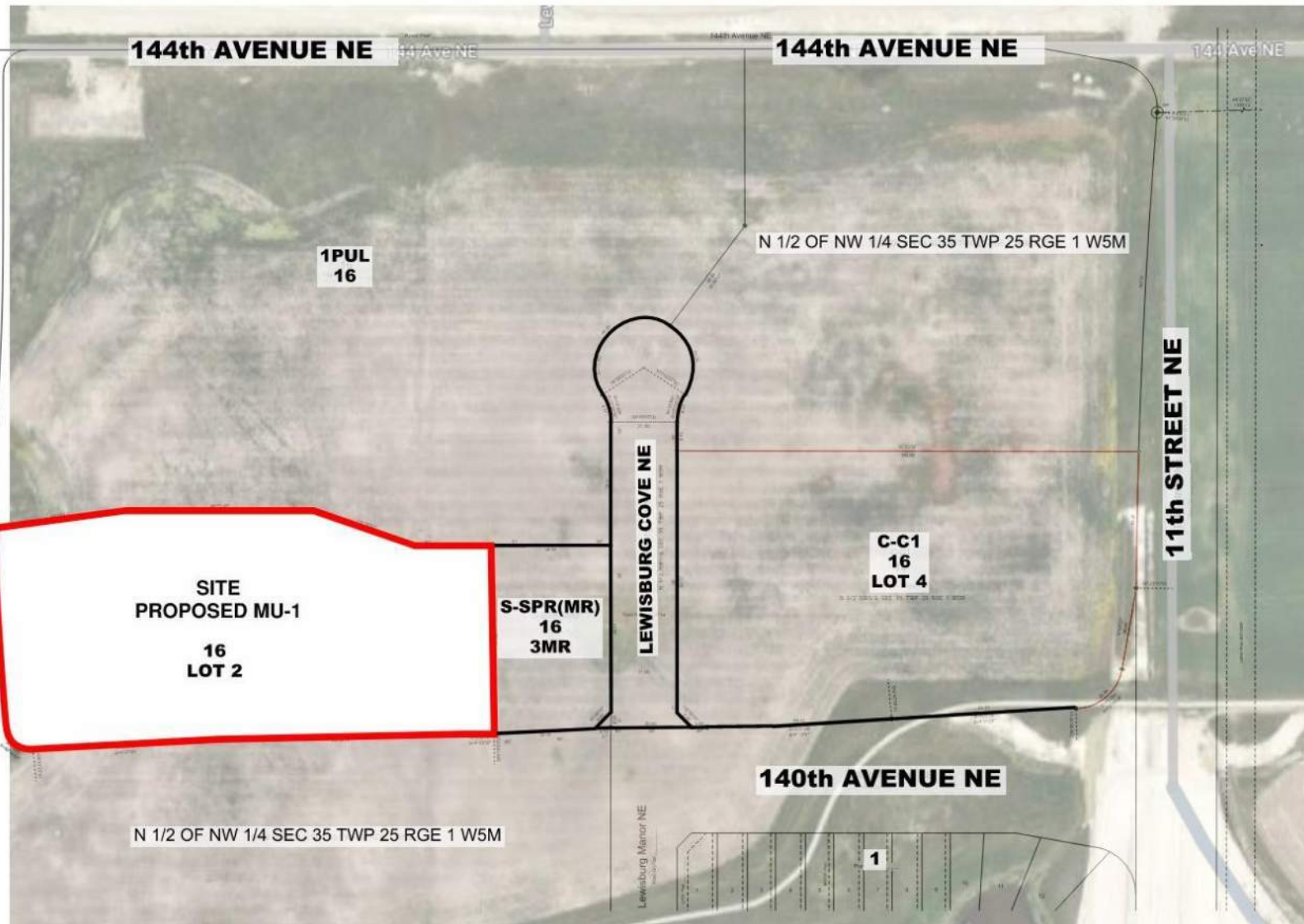
BICYCLE PARKING COUNT - CLASS 1	
PARKING	COUNT
CLASS 1 BICYCLE STALLS	
DERO DECKER BIKE RACK	102
TOTAL PARKING PROVIDED	102

BICYCLE PARKING COUNT - CLASS 2	
PARKING	COUNT
CLASS 2 BICYCLE STALLS	
DERO DECKER BIKE RACK	10
TOTAL CLASS 2 RACK PROVIDED	10

UNIT RATIO		
1BED	25	12%
2BED	156	77%
3BED	21	10%
Total	202	

ARCHITECTURE SHEET LIST	
DRAWING NUMBER	TITLE
DP00-00	COVER SHEET
DP10-00-01	SITE STATISTICS, VICINITY PLAN, AND DRAWING LIST
DP10-00-02	OVERALL SITE PLAN
DP10-00-03	W&R SWEEP PATH & DETAILS
DP10-00-04	LOADING TRUCK SWEEP PATH & FIRE ACCESS DETAIL
DP10-00-05	PHASING PLAN & SITE DETAILS
DP10-00-07	3D RENDERINGS
DP10-00-10	BIKE PARKING DETAIL
DP10-00-11	SHADOW STUDY
DP11-00-02	SITE SECTIONS
DP20-01-00A	PARKADE PLAN - ZONE A
DP20-01-00B	PARKADE PLAN - ZONE B
DP20-01-01	BUILDING A - FLOOR PLAN - LEVEL 1
DP20-01-02	BUILDING A - FLOOR PLAN - LEVEL 2
DP20-01-03	BUILDING A - FLOOR PLAN - LEVEL 3
DP20-01-04	BUILDING A - FLOOR PLAN - LEVEL 4
DP20-01-05	BUILDING A - FLOOR PLAN - LEVEL 5
DP20-01-06	BUILDING A - ROOF PLAN
DP20-02-01	BUILDING B - FLOOR PLAN - LEVEL 1
DP20-02-02	BUILDING B - FLOOR PLAN - LEVEL 2
DP20-02-03	BUILDING B - FLOOR PLAN - LEVEL 3
DP20-02-04	BUILDING B - FLOOR PLAN - LEVEL 4
DP20-02-05	BUILDING B - FLOOR PLAN - LEVEL 5
DP20-02-06	BUILDING B - ROOF PLAN
DP40-01-01	BUILDING A - EXTERIOR ELEVATIONS
DP40-01-02	BUILDING A - EXTERIOR ELEVATIONS
DP40-02-01	BUILDING B - EXTERIOR ELEVATIONS
DP40-02-02	BUILDING B - EXTERIOR ELEVATIONS
DP42-01-01	BUILDING A - SECTIONS
DP42-02-01	BUILDING B - SECTIONS
DP44-01	ENLARGED PARKADE PLAN & SECTION
DP63-M-01	UNIT PLANS
DP63-01-02	UNIT PLANS
DP63-01-03	UNIT PLANS

CIVIL	
SP-1	SITE SERVICING PLAN
SP-2	SITE GRADING PLAN
SP-2A	SECTIONS
ELECTRICAL	
E01-00-01	SITE LIGHTING LAYOUT
LANDSCAPE	
DP-L1	BYLAW PLAN
DP-L2	LANDSCAPE PLAN



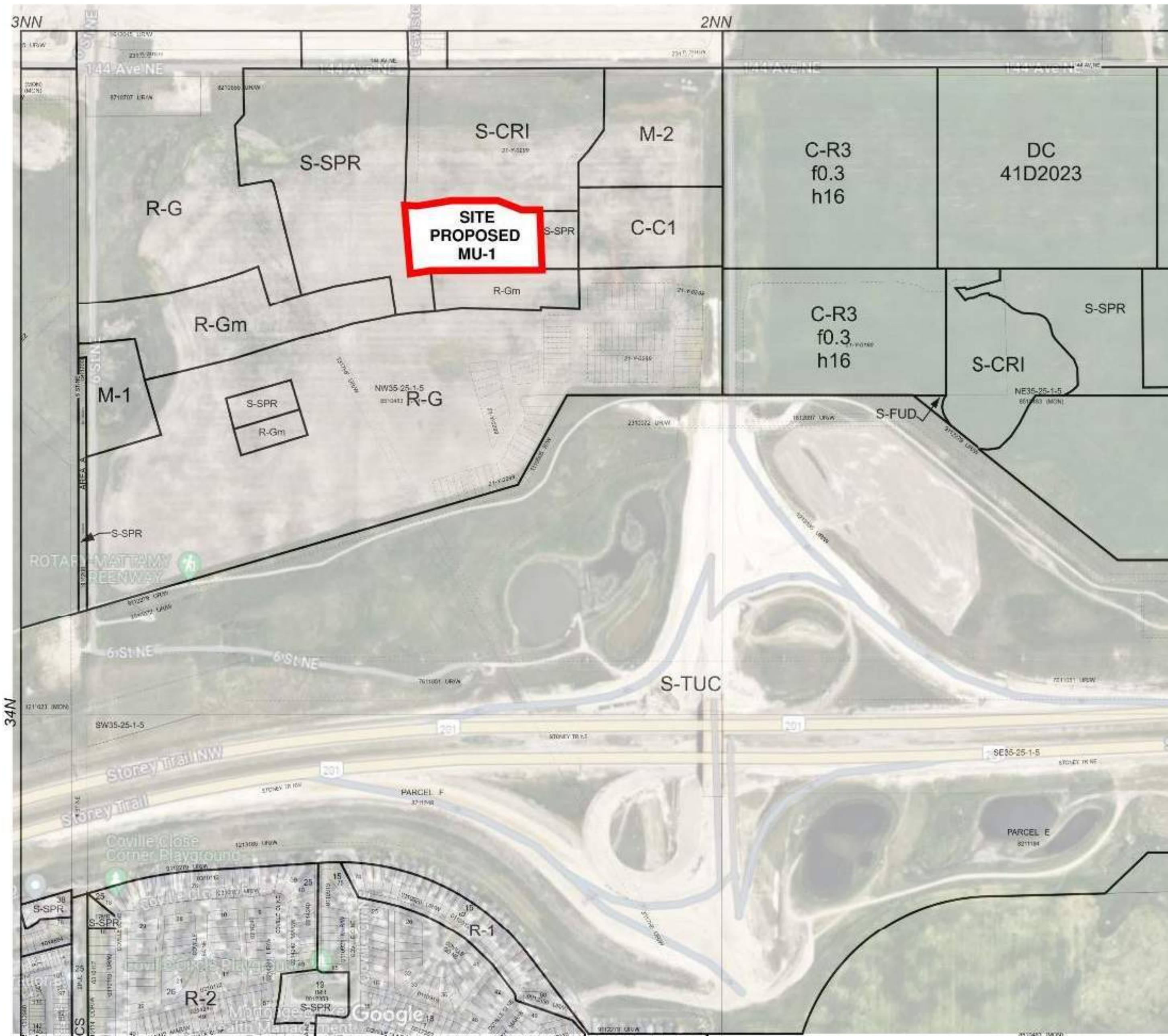
SITE CONTEXT

SCALE: 1 : 1500



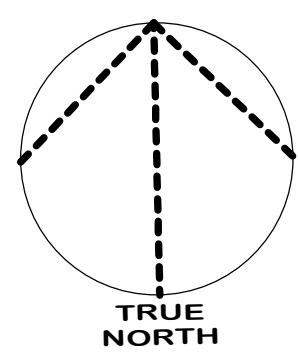
OVERALL SITE LANDUSE

SCALE: 1 : 3000



OVERALL SITE CONTEXT AERIAL

SCALE: 1 : 3000



DATE	ISSUED FOR	REV
2025-06-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

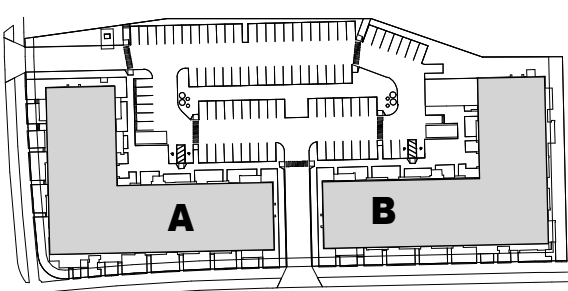
AMENDED DRAWINGS
DP No Date Received
DP2025-03807 NOV 5, 2025
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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan



Consultants	PASQUINI & ASSOCIATES GEOMATICS LTD.
Survey	Jubilee Engineering
Civil	NORR Architects Engineers Planners
Architecture	NORR Architects Engineers Planners
Structural	TUJ Engineering Consultants Ltd.
Mechanical	TUJ Engineering Consultants Ltd.
Electrical	TUJ Engineering Consultants Ltd.
Interiors	Ground Cubed Landscape Architects
Landscape	Ground Cubed Landscape Architects

Seal(s)

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
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NORR Architects Engineers Planners
A Partnership of Corporations
Professional Engineers (P.Eng.)
Alberta: T2001, P.Eng. 2001, P.Eng. 2001
Ontario: P.Eng. 2001, P.Eng. 2001

Project Manager	Drawn
Trautman, Jan	S.ROSHAN
Project Leader	Checked
EJO	T.JAIN

Client

TRUMAN HOMES

32236, 10 ASPEN STONE BOULEVARD SW, CALGARY AB

Project
LEWISBURG MULTIFAMILY

14120 9 ST. NE, CALGARY, AB CANADA
BLOCK 16, LOT 2

Drawing Title

**SITE STATISTICS,
VICINITY PLAN, AND
DRAWING LIST**

Scale

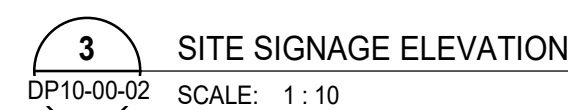
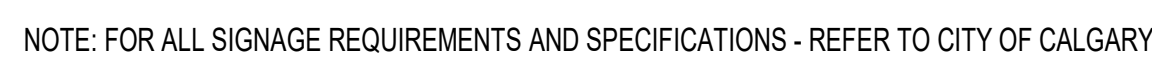
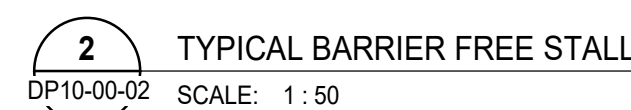
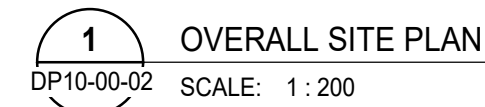
As indicated

Project No.

RZ1125-0071

Drawing No.

DP10-00-01



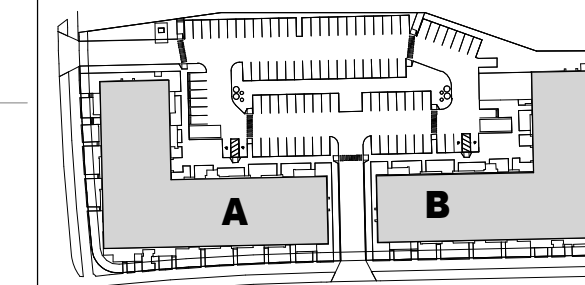
- REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING.
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
- INSTALL REGULAR ASPHALT AT PARKING SLAT LOCATIONS. HEAVY DUTY ASPHALT WHERE INDICATED.
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING SLAT (TYP.).
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
- ALL INFORMATION ABOUT SITE SERVICES: PEDESTALS, CONDUIT, UTILITY LOCATIONS OF WAYS AND GRADING IS FOR REFERENCE ONLY. REFER TO CITY DRAWINGS FOR ADDITIONAL DETAILS.
- CAST-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON CONDITIONS. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CITY.
- TO ABILIT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED. UNLESS NOTED OTHERWISE, NO PARKING, ANYTIME/LANE LINE SIGNAGE TO BE POSTED ON ALL INTERVALLS ROAD LESS THAN 6.5m.
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT COATING OF SURFACING MIN. 38.5mm (1.500mm) LONG & WEPA 1501-PORT COAT OF SURF. OVER 2400mm
- BUILDINGS WILL BE ROUGHED IN WITH 1" CONDUIT RUNNING FROM ELECTRICAL CLOSEST TO ATTC SPACE FOR CONNECTION TO FUTURE SOLAR PANELS.

[illegible][illegible]

AMENDED DRAWINGS
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Key Plan



Consultants	PASQUINI & ASSOCIATES GEOMATICS
Survey:	LTD.
Civil:	Jubilee Engineering
Architecture:	NORR Architects Engineers Planners
Structural:	-
Mechanical:	TLJ Engineering Consultants Ltd.
Electrical:	TLJ Engineering Consultants Ltd.
Interiors:	-
Landscape:	Ground Cubed Landscape Architects

Seal(s)

2

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NORR Architects Engineers Planners
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Jonathan Hughes, Architect, AIA, OAA, AIBC, MAA, AANS, AAFE
Adrian Zinfel, O/C, Inc., AEC/C, AEC/C

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Adrian Zinfel, O/C, Inc., AEC/C, AEC/C

Project Manager Trishuda Jain	Drawn Author
Project Leader E. IO	Checked Checker

Client	
--------	--

TRUMAN HOMES

32236, 10 ASPEN STONE BOULEVARD SW, C.

Project
LEWISBURG

**1 | LEWISBURG
MULTIFAMILY**

MULTIFAMILY

14120 9 ST, NE CALGARY, AB CANADA

BLOCK 16, LOT 2
Drawing Title

OVERALL SITE PLAN

OVERALL GRADE

Figure 1

Scale	
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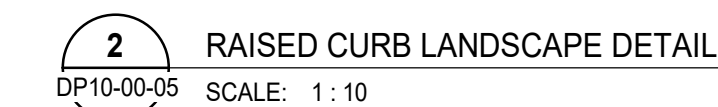
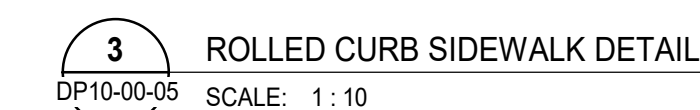
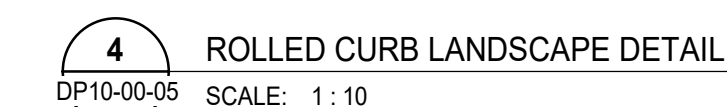
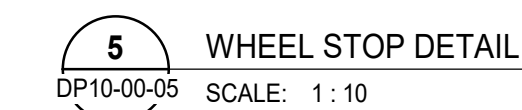
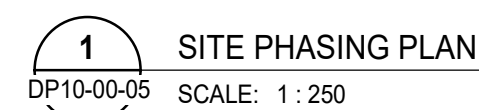
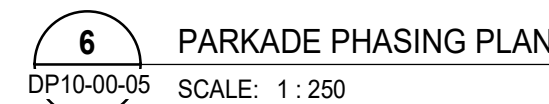
As indicated
As indicated

Project No. R71125-0071

Drawing No. **22-10-00-00**

DP10-00-02

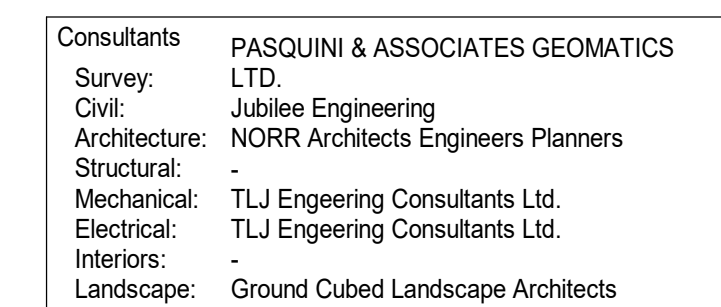
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Key Plan



Seal(s)

Jonathan Hunter, Architect, FAI, CM, AIA, NCMA, AIAA, AIAE

Drawing No. **DP10-00-05**



DATE	ISSUED FOR	REV
2025-06-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

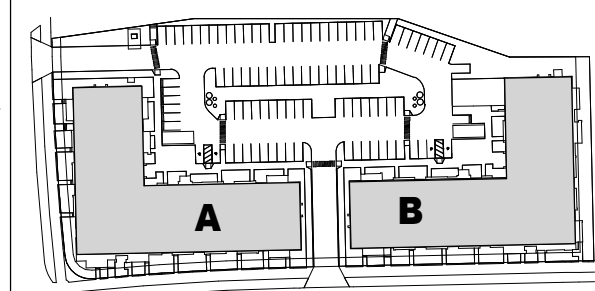
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Project Component

Key Plan



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Survey: Jubilee Engineering
Architecture: NORR Architects Engineers Planners
Structural: TJU Engineering Consultants Ltd.
Mechanical: TJU Engineering Consultants Ltd.
Electrical: TJU Engineering Consultants Ltd.
Interiors: Ground Cubed Landscape Architects
Landscape: Ground Cubed Landscape Architects

Seal(s)

NORR

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Jonathan Hughes, Architect, AIA, OAA, IBBC, BNA, AIAA, AIAPE
Alicia Tisdale, P.Eng., APECA
Chris Pate, P.Eng., APECA

Project Manager Trafuda Jan	Drawn Author
Project Leader EJO	Checked Checker

Client

TRUMAN HOMES

32236, 10 ASPEN STONE BOULEVARD SW, CALGARY AB

**LEWISBURG
MULTIFAMILY**

14120 S ST. NE, CALGARY, AB CANADA
BLOOM 16, LOT 2

Drawing Title

3D RENDERINGS

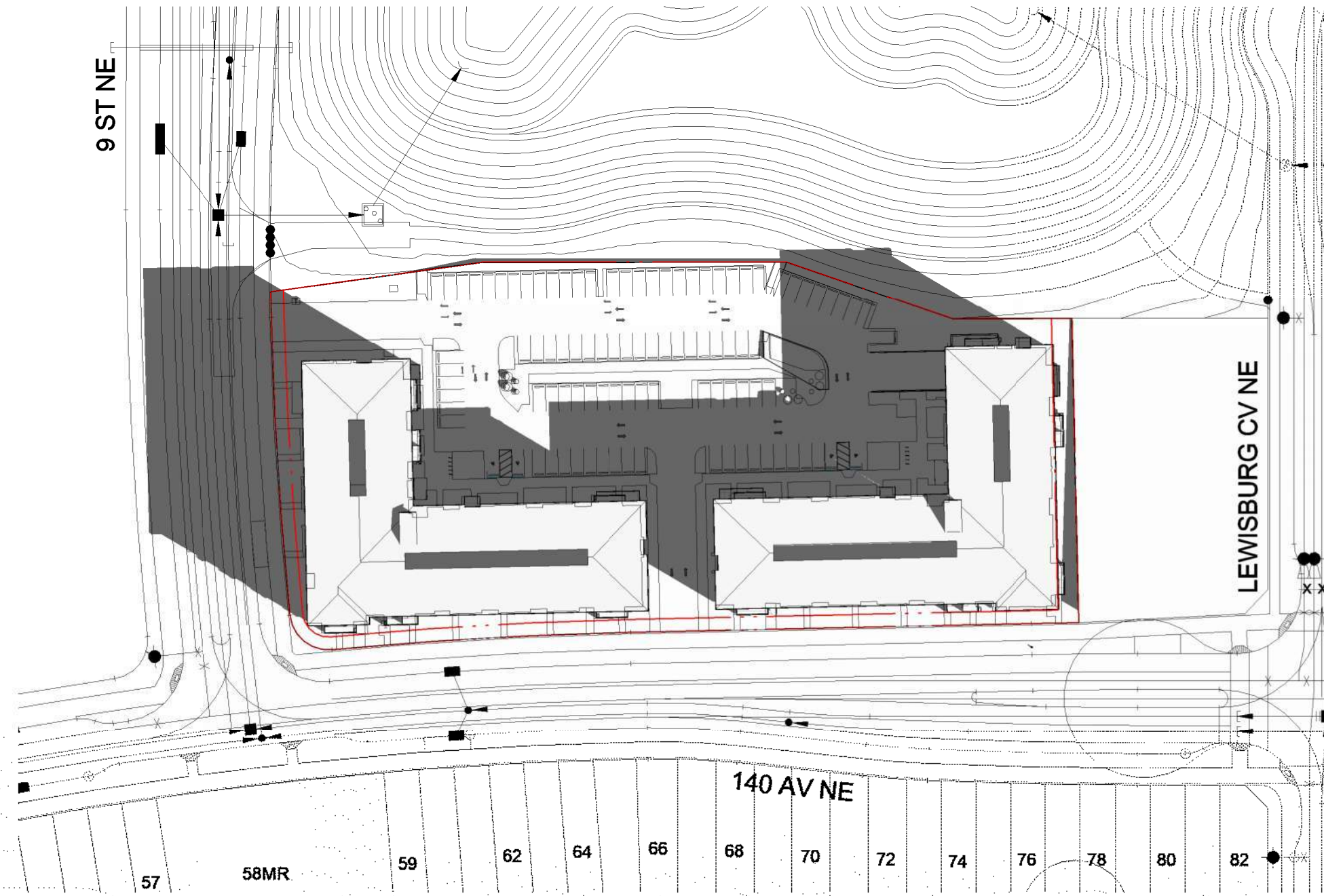
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Project No.

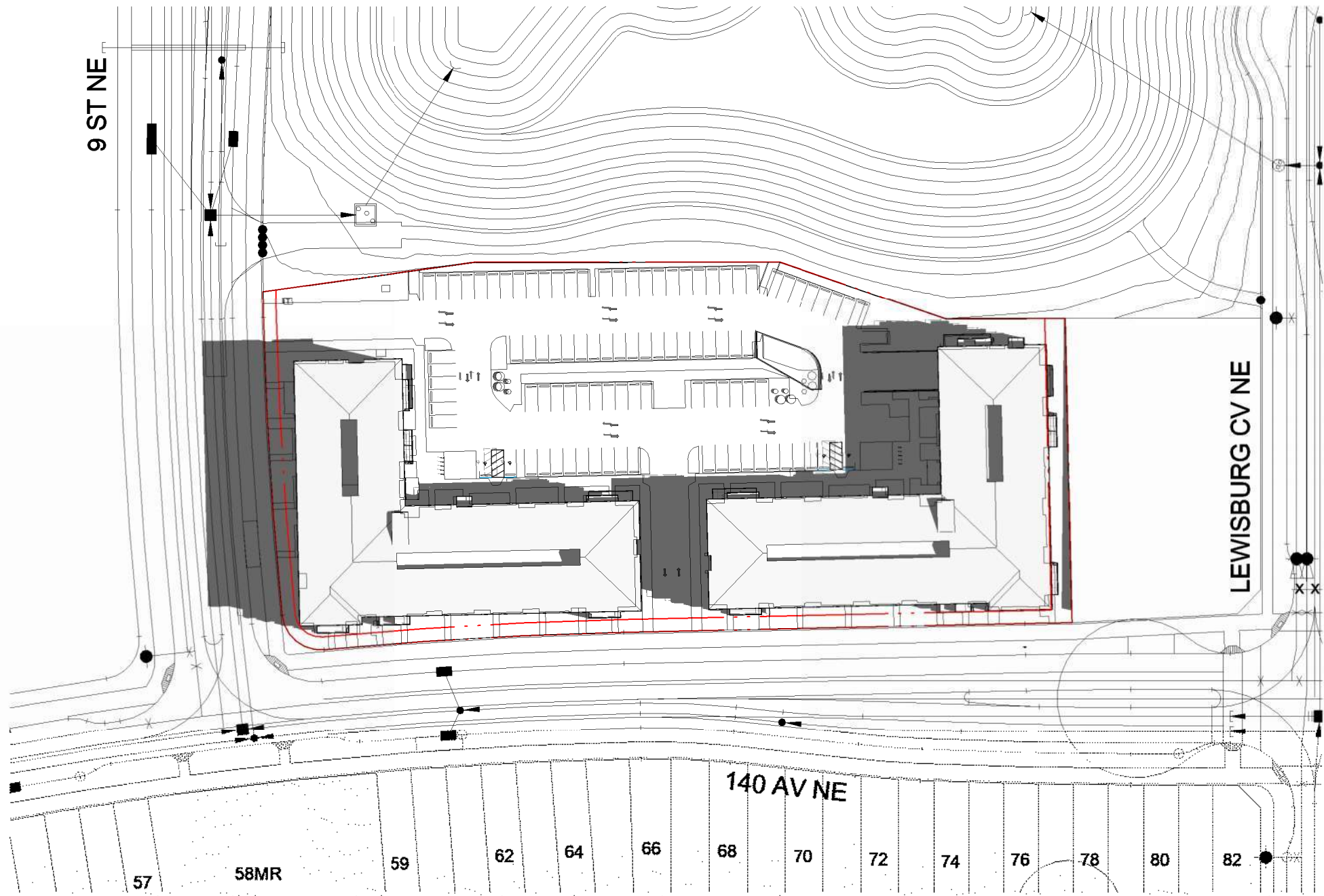
RZ1125-0071

Drawing No.

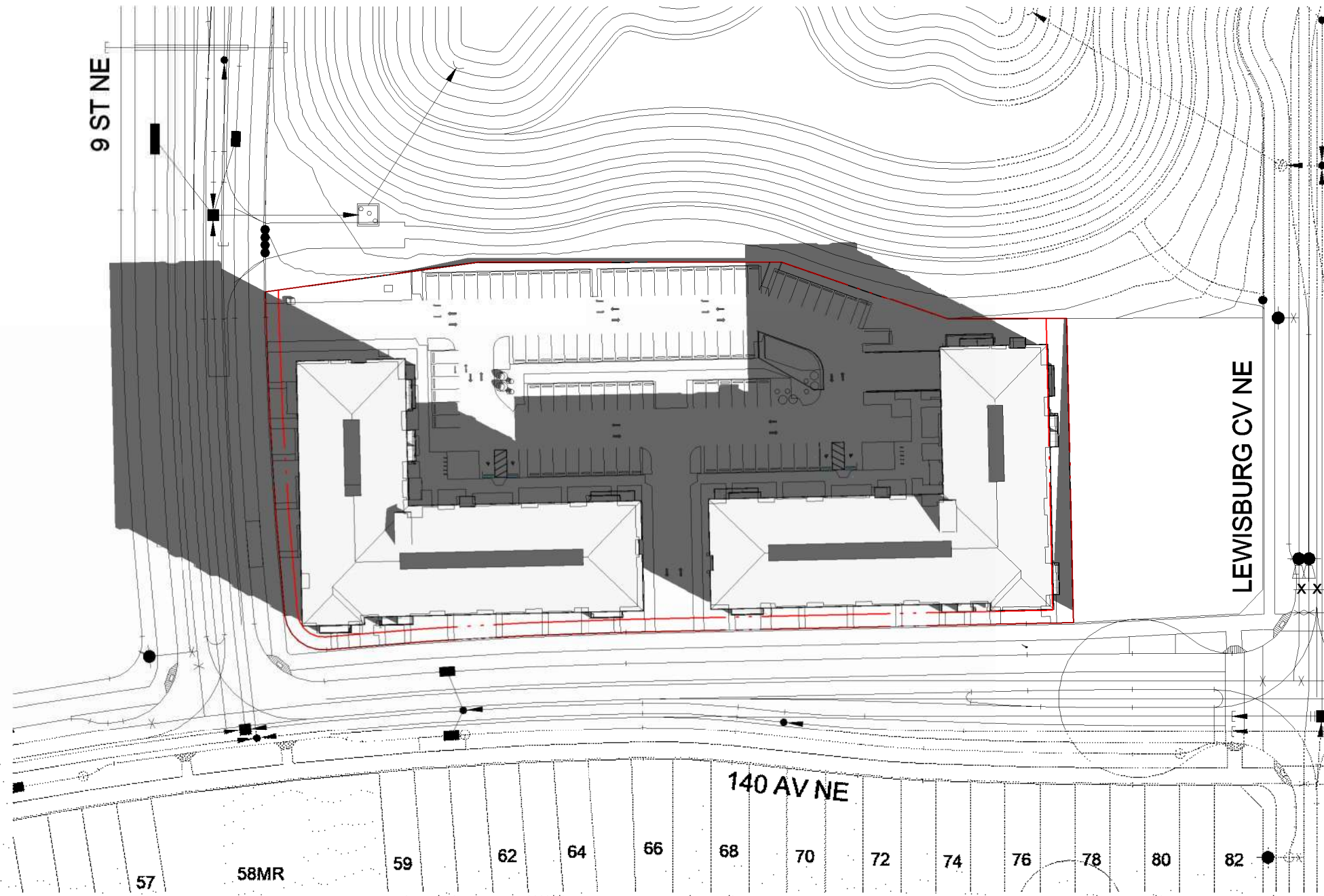
DP10-00-07



12 SHADOW STUDY - SEPTEMBER 21, 10AM
DP10-00-11 SCALE: 1:1000



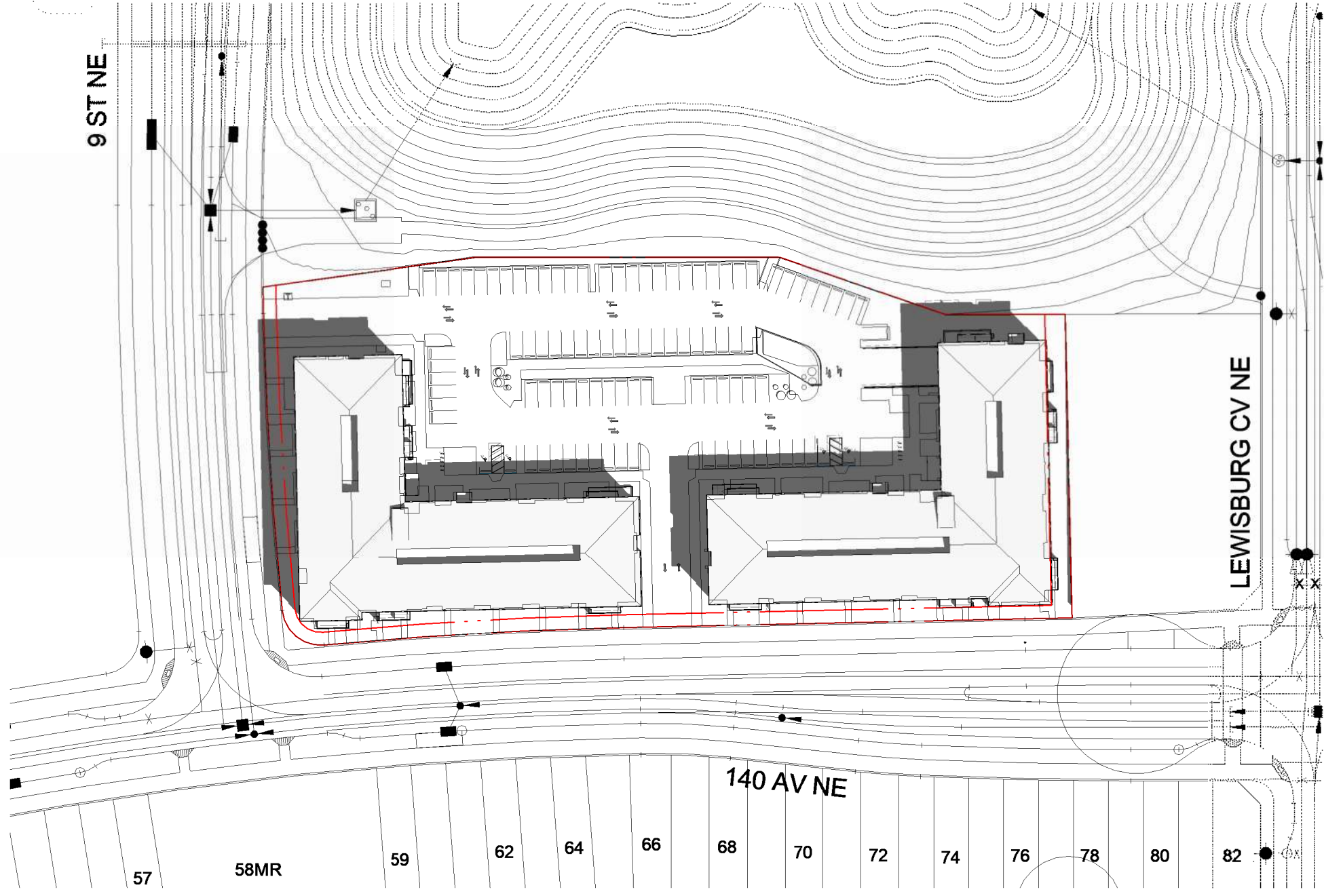
2 SHADOW STUDY - JUNE 21, 10AM
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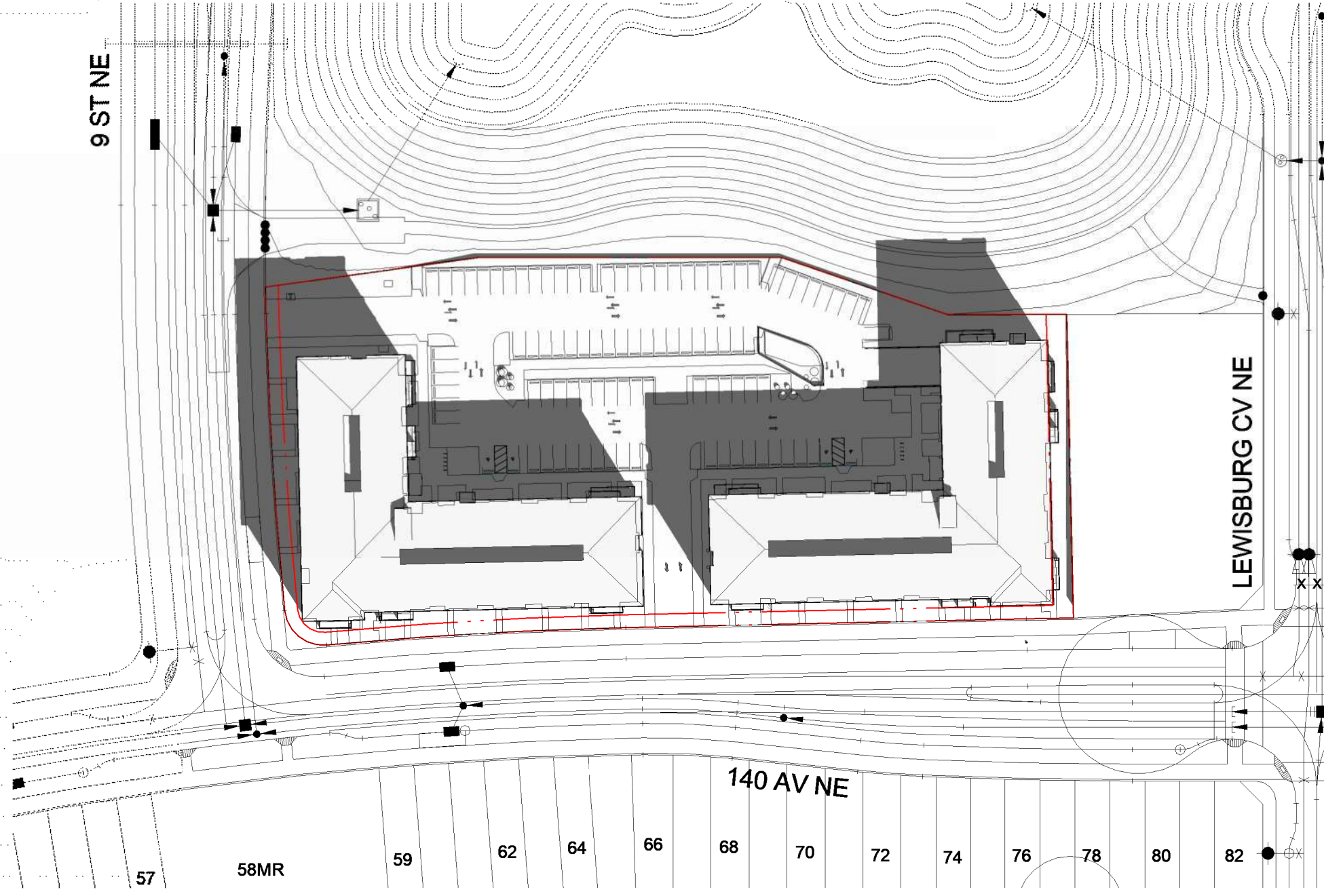
1 SHADOW STUDY - MARCH 21, 10AM
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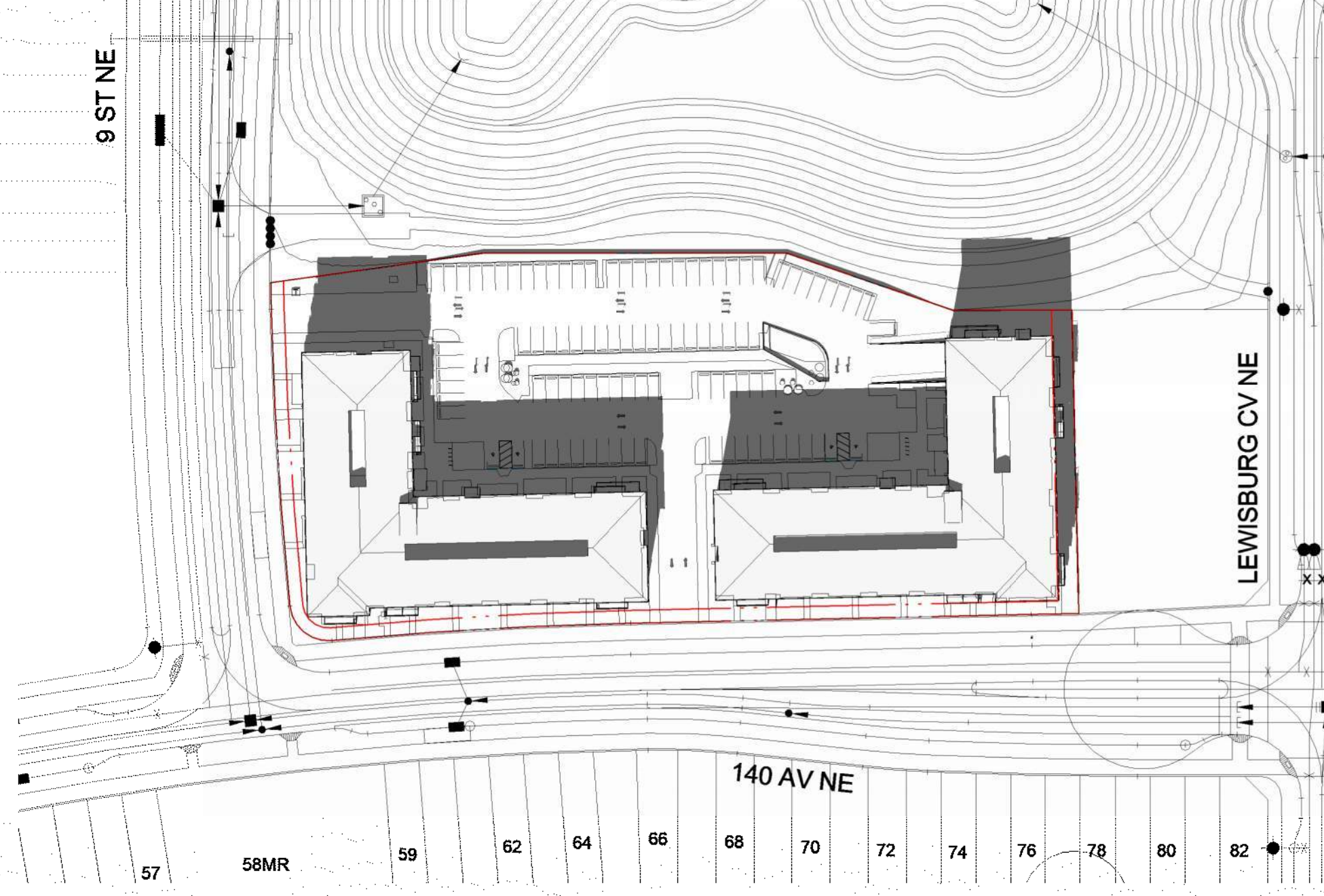
9 SHADOW STUDY - SEPTEMBER 21, 12PM
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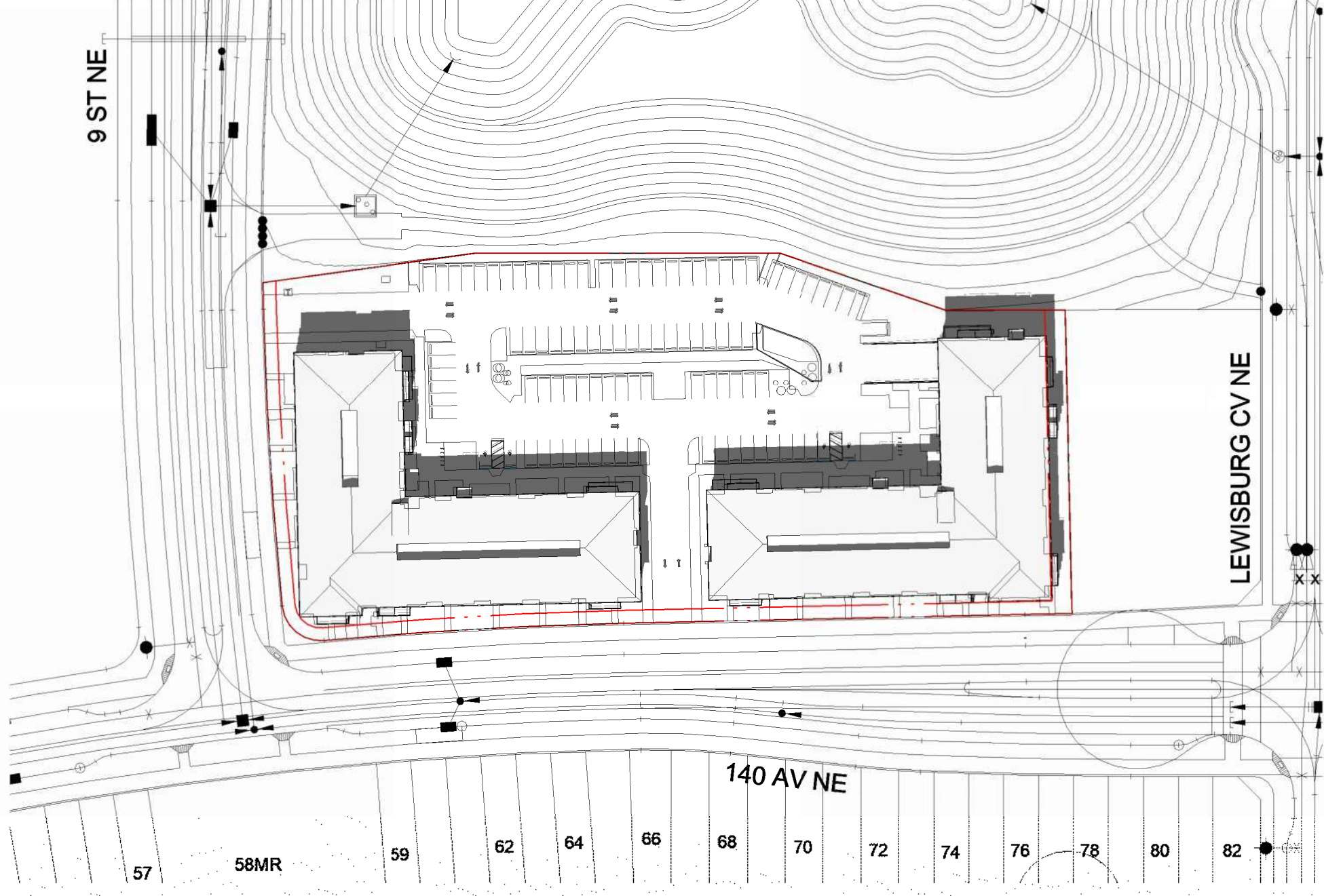
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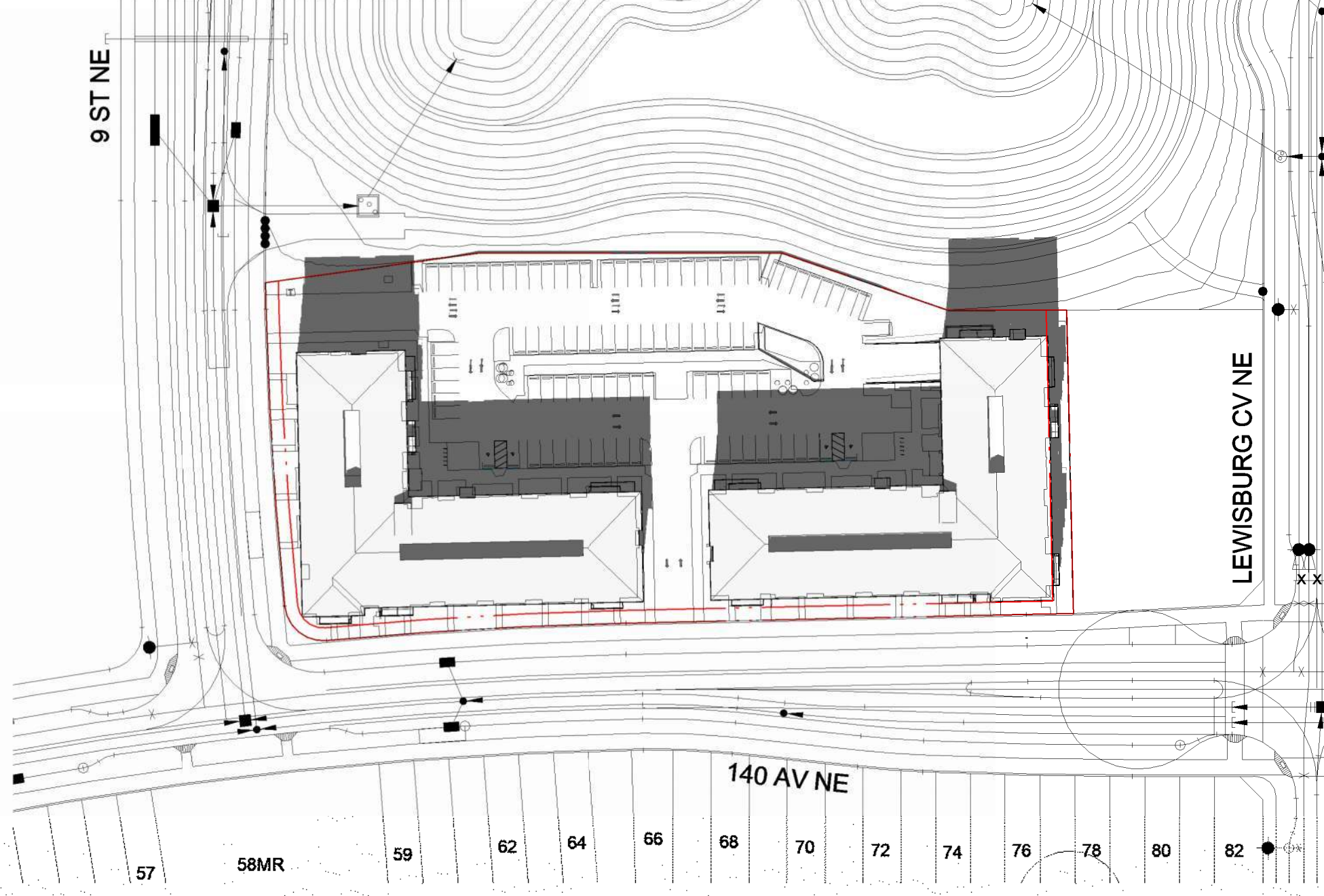
4 SHADOW STUDY - MARCH 21, 12PM
DP10-00-11 SCALE: 1:1000



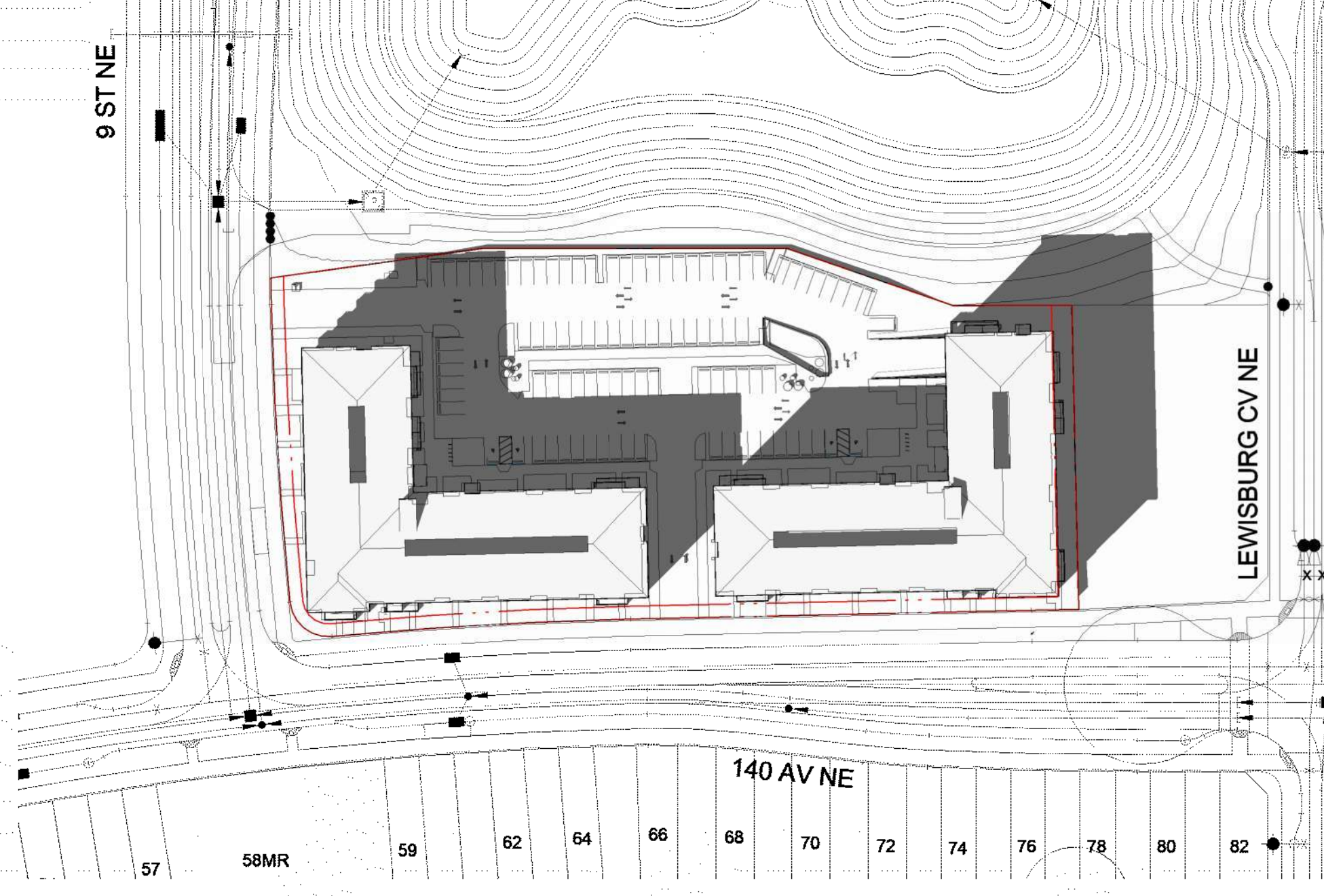
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DP10-00-11 SCALE: 1:1000



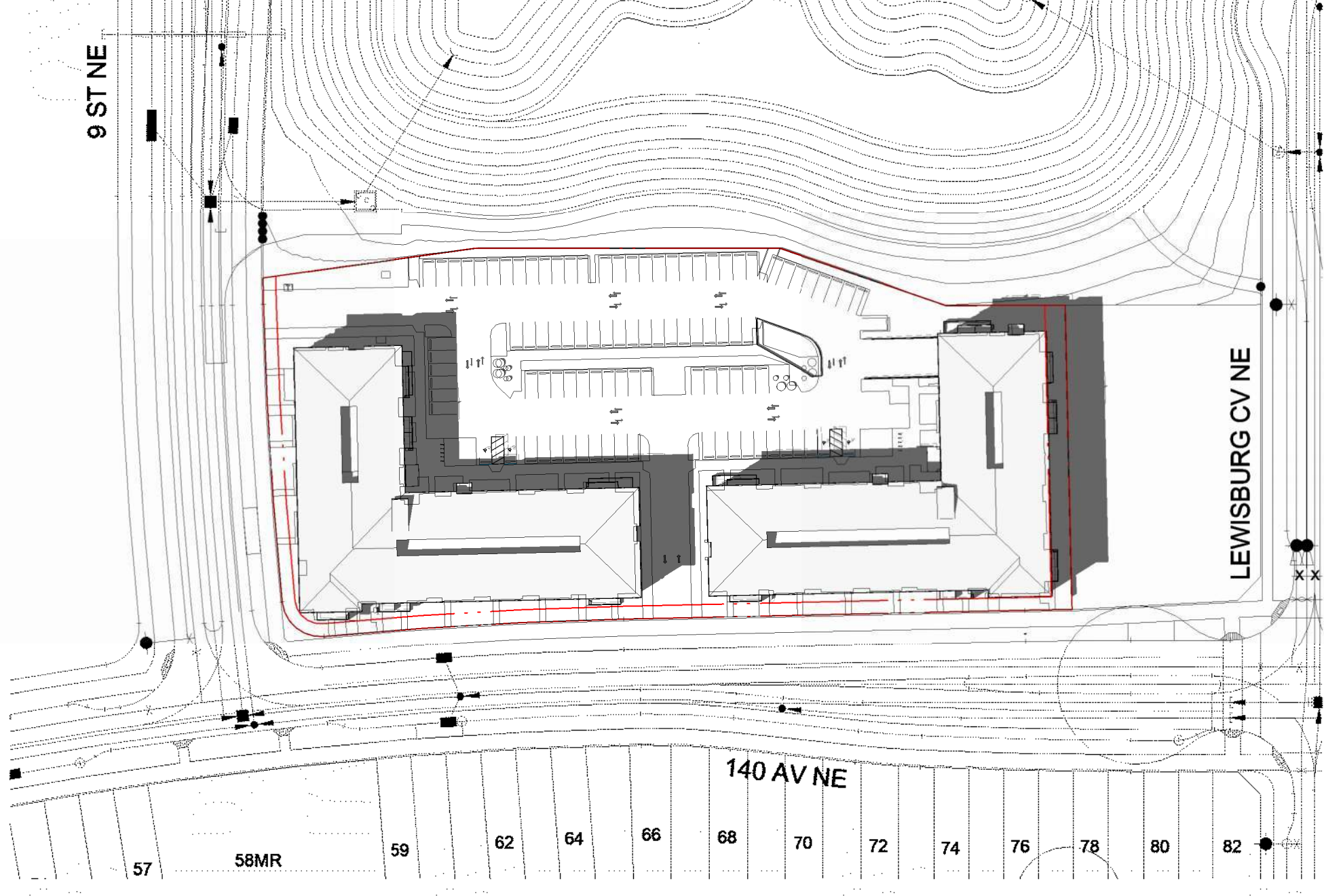
6 SHADOW STUDY - JUNE 21, 2PM
DP10-00-11 SCALE: 1:1000



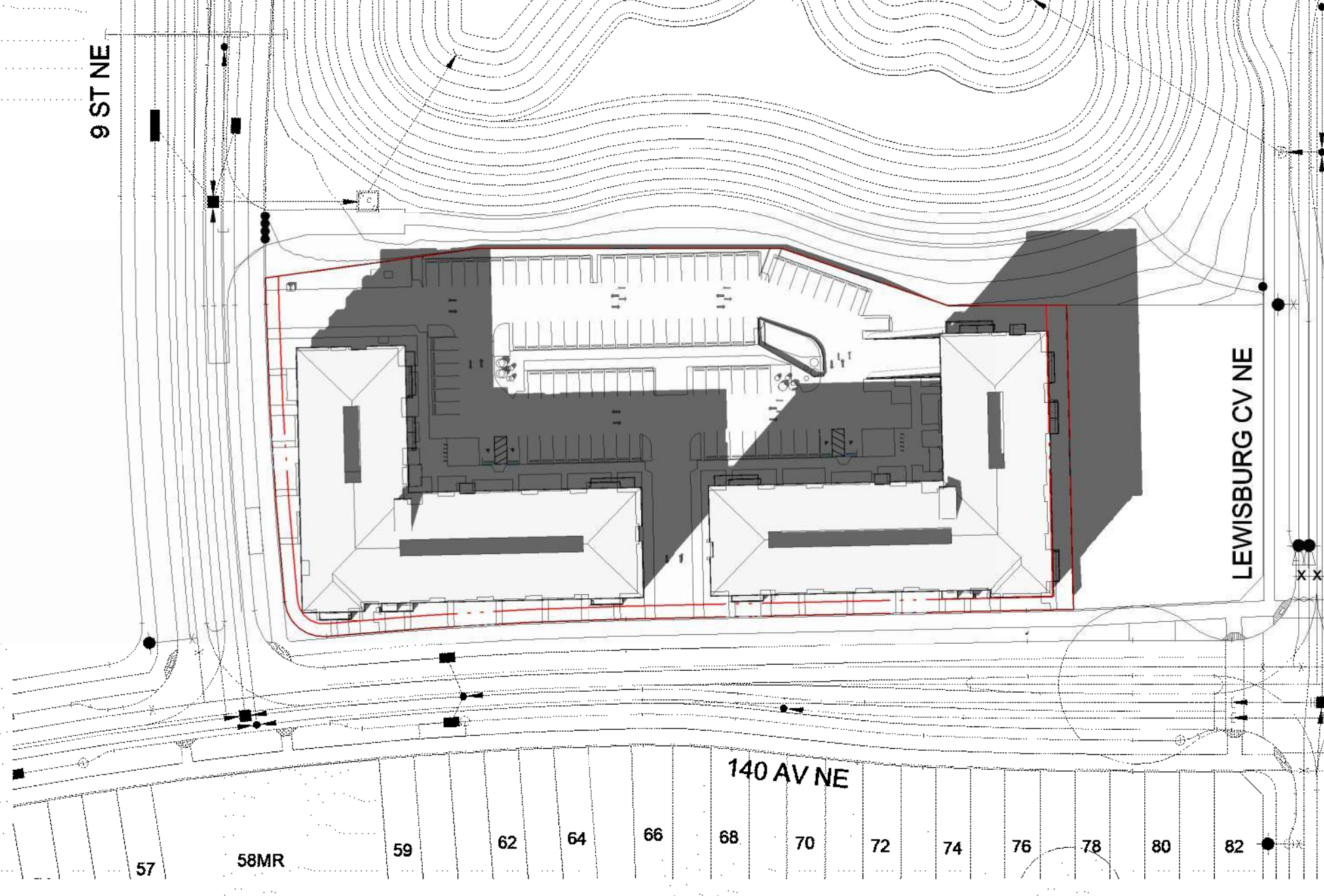
3 SHADOW STUDY - MARCH 21, 2PM
DP10-00-11 SCALE: 1:1000



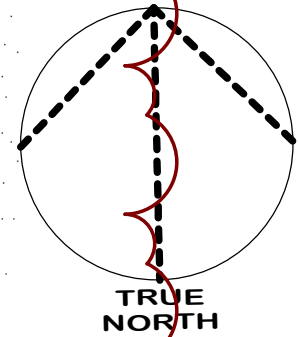
11 SHADOW STUDY - SEPTEMBER 21, 4PM
DP10-00-11 SCALE: 1:1000



8 SHADOW STUDY - JUNE 21, 4PM
DP10-00-11 SCALE: 1:1000



7 SHADOW STUDY - MARCH 21, 4PM
DP10-00-11 SCALE: 1:1000



DATE	ISSUED FOR	REV
2025-06-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

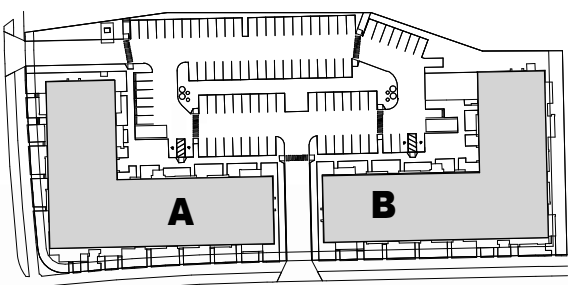
AMENDED DRAWINGS
DP No: DP2025-03807 Date Received: NOV 5, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan



Consultants: PASQUINI & ASSOCIATES GEOMATICS LTD.
Survey: Jubilee Engineering
Architecture: NORR Architects Engineers Planners
Structural: TJ Engineering Consultants Ltd.
Mechanical: TJ Engineering Consultants Ltd.
Electrical: TJ Engineering Consultants Ltd.
Interiors: Ground Cubed Landscape Architects
Landscape: Ground Cubed Landscape Architects

Seal(s)

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
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NORR Architects Engineers Planners
A Partnership of Corporations

Jonathan Hughes, Architect, AIA, OAA, RIBC, RMA, RAAB, RAPE
Allan Tamm, P.Eng., P.Eng., P.Eng.
Chris Pae, P.Eng., AIA, OAA

Project Manager Traifuda Jam	Drawn Author
Project Leader E.JO	Checked Checker

Client
TRUMAN HOMES

32236, 10 ASPEN STONE BOULEVARD SW, CALGARY AB

Project
LEWISBURG MULTIFAMILY

14120 9 ST. NE, CALGARY, AB CANADA
BLOCK 16, LOT 2

Drawing Title
SHADOW STUDY

Scale
1 : 1000

Project No.
RZ1125-0071

Drawing No.
DP10-00-11

AMENDED DRAWINGS
DP No Date Received
DP2025-03807 NOV 5, 2025
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Key Plan

Seal(s)

Project Manager T.JAIN	Drawn Author
Project Leader EJO	Checked Checker

14120 9 ST, NE CALGARY, AB CANADA

Scale
As indicated

Project No. RZ1125-0071

Drawing No. **DP40-01-01**

ISO A0 Tide Block - v.2023 - Rev (Sept'23) - Copyright © 2023



S AND COLOURS, UNLESS NOTED
ENGINEER AND IS SHOWN ON
PPROVED CIVIL DRAWINGS
MATERIAL CHANGES, METAL FLASHINGS
MATERIAL MANUFACTURER
CTIONS ARE SUBJECT TO
ID MATERIALS MAY BE USED IF
ED.

2	REFER TO CIVIL PLANS FOR SERVICE CONNECTIONS TO CONFORM WITH MECH AND ELEC PLANS
3	WALL FINDINGS AT CORNERS AND BUMP OUTS RETURN BACK TO BIDDING TO IDENTIFY WALL CONDITIONS AND COLORS, UNLESS NOTED OTHERWISE ON FINISH PLANS
4	ALL INFORMATION REGARDING SITE GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON THE CIVIL ENGINEER'S GRADING PLAN. ANY DISCREPANCY BETWEEN THE CIVIL ENGINEER'S GRADING PLAN AND THE MECHANICAL PLANS SHALL BE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER.
5	PROVIDE PNEUMATIC MECH FLASHING ABOVE & BELOW ALL OPENINGS AND ALL HORIZONTAL INTERIALL CHANGES. MECH FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MECHANICAL ENGINEER'S SPECIFICATIONS.
6	PROVIDE BONDING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY INTERIALL MANUFACTURER
7	ALL INTERIALLS SHALL BE SUBMITTED FOR APPROVAL BY THE ARCHITECT AND THE MECHANICAL ENGINEER.
8	COLORS AND MATERIALS SHOWN SELECTED ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS ARE SUBJECT TO MANUFACTURER'S PRODUCT AVAILABILITY. MATCHING A TERMINAL MANUFACTURER'S COLORS AND MATERIALS MAY BE USED IF THE ARCHITECT AND MECHANICAL ENGINEER APPROVE.
9	ALL WALL VENT WALL CAP LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL.
10	COLOR TO MATCH MATCHING SURFACES.
11	ALL EXTERIOR FINISH PLANS SHALL BE SUBMITTED FOR APPROVAL BY THE ARCHITECT AND THE MECHANICAL ENGINEER.
12	REFER TO ELEC PLANS FOR EXTERIOR AND PATIO/CORRAL LIGHTING

DATE	ISSUED FOR	REV
2025-06-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

AMENDED DRAWINGS
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Date Received: NOV 5, 2025
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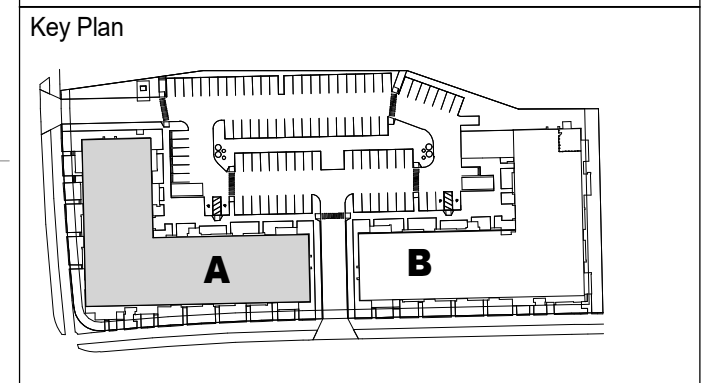
1 DP_A40 OVERALL BUILDING A ELEVATION - EAST1
SCALE: 1/8" = 1'-0"



2 DP_A40 OVERALL BUILDING A ELEVATION - WEST
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND					GENERAL NOTES
01 MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: IKO COLOUR: DUAL BLACK	05 MATERIAL: ANODIZED ALUMINUM WINDOW WALL SYSTEM MANUFACTURER: T.B.D COLOUR: BLACK	09 MATERIAL: WALL-MOUNTED LIGHT FIXTURE MANUFACTURER: REFER TO ELECTRICAL COLOUR: BLACK	13 MATERIAL: SMOOTH FIBRE CEMENT PANEL - EASY TRIM MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	17 MATERIAL: ALUMINUM METAL PANEL MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	
02 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - HORIZONTAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	10 MATERIAL: BALCONY / PATIO HANDRAIL / GUARDRAIL W/ PICKETS OR CLEAR GLASS MANUFACTURER: T.B.D COLOUR: BRUSHED NICKEL, PIN MOUNTED	14 MATERIAL: METAL ADDRESS NUMBERS MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	18 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - VERTICAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	22 MATERIAL: PRE-FINISHED METAL DOWNSPOUT MANUFACTURER: T.B.D COLOUR: BLACK	1. REFER TO CIVIL PLANS FOR UTILITY SERVICE CONNECTIONS TO CONFIRM W/ MECH AND ELEC PLANS
03 MATERIAL: PRE-FINISHED METAL SOFFIT (UNDERSIDE ALL ROOF AREAS, BALCONIES & OVERHANGS) MANUFACTURER: T.B.D COLOURS: A - BLACK B - CHAMPAGNE METALLIC	11 MATERIAL: PATIO DOOR MANUFACTURER: JAMES HARDIE COLOUR: MIDNIGHT BLACK	15 MATERIAL: FULL BRICK MASONRY MANUFACTURER: SUMMIT BRICK COLOUR: DAKOTA	19 MATERIAL: PRE-FINISHED METAL PATIO DOOR MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	23 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D COLOUR: BLACK	2. WALL FINISHES AT CORNERS AND BLIND-OUTS RETURN BACK TO BUILDING IDENTICAL MATERIALS AND COLOURS, UNLESS NOTED OTHERWISE ON EXISTING PLANS
04 MATERIAL: PVC WINDOW MANUFACTURER: T.B.D COLOUR: BLACK	12 MATERIAL: PATIO DOOR MANUFACTURER: JAMES HARDIE COLOUR: MIDNIGHT BLACK	16 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - VERTICAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	20 MATERIAL: PRE-FINISHED METAL PATIO DOOR MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK		3. ALL INFORMATION REGARDING SITE GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
	13 MATERIAL: PATIO DOOR MANUFACTURER: JAMES HARDIE COLOUR: MIDNIGHT BLACK	17 MATERIAL: FULL BRICK MASONRY MANUFACTURER: SUMMIT BRICK COLOUR: DAKOTA	21 MATERIAL: PRE-FINISHED METAL PATIO DOOR MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK		4. PROVIDE PRE-FINISHED METAL FLASHING ABOVE, BELOW ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. METAL FLASHINGS TO MATCH ADJACENT TRIM OR WALL FINISH COLOURS WHERE APPLICABLE.
	14 MATERIAL: METAL EXT. DOOR MANUFACTURER: T.B.D COLOUR: BLACK	18 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - VERTICAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	22 MATERIAL: PRE-FINISHED METAL PATIO DOOR MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK		5. PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY MATERIAL MANUFACTURER.
		19 MATERIAL: ALUMINUM METAL PANEL MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	23 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D COLOUR: BLACK		6. REFER TO CIVIL FOR NUMBER OF RISERS AT EXTERIOR WALKS AND STAIRS.
					7. COLOURS AND MATERIALS SHOWN (SELECTIONS) ARE APPROXIMATE - REFER TO MECHANICAL.
					8. ALL WALL VENT (WALL CAP) LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL.
					9. ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC2019, AB, ED.
					10. REFER TO FIFTH FLOOR PLAN FOR BALCONY SCUPPER LOCATIONS.
					11. REFER TO ELEC. PLANS FOR EXTERIOR AND PATIO DOWNLIGHT LOCATIONS.

Project Component



Consultants
Survey: JUBILEE ENGINEERING
Civil: NORR
Architecture: NORR
Structural: TJU ENGINEERING
Mechanical: TJU ENGINEERING
Electrical: TJU ENGINEERING
Interiors: GROUND CUBED
Landscape: GROUND CUBED

Seal(s)

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NORR Architects Engineers Planners
A Partnership of Corporations
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Adam Tisdale, P.Eng., ARCSA
Chris Pate, P.Eng., ARCSA

Project Manager T.JAN	Drawn Author
Project Leader E.JO	Checked Checker

Client
TRUMAN HOMES

Project
LEWISBURG MULTIFAMILY

14120 9 ST. NE, CALGARY, AB CANADA

Drawing Title
BUILDING A - EXTERIOR ELEVATIONS

Scale
As indicated
Project No.
RZ1125-0071
Drawing No.
DP40-01-02

11/02/2025 2:59:54 PM

Autodesk Docs (T)Truman Homes Building Multifamily (R) 12/25/2021 - Truman Homes Building Multifamily - AR - 11/02/2025

DATE	ISSUED FOR	REV
2025-08-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

AMENDED DRAWINGS
DP No: DP2025-03807
Date Received: NOV 5, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



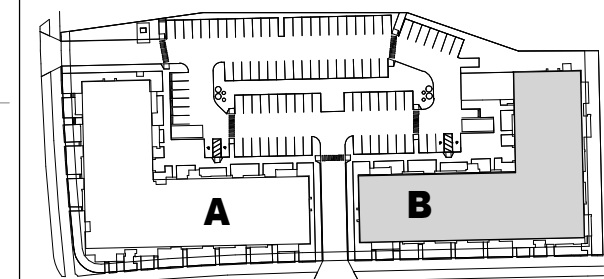
1 DP_A40 OVERALL BUILDING A ELEVATION - NORTH
DP40-02-01 SCALE: 1/8" = 1'-0"

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Project Component

Key Plan



Consultants

Survey: Jubilee Engineering
Civil: NORR
Architectural: NORR
Structural: TLJ Engineering Consultants Ltd.
Mechanical: TLJ Engineering Consultants Ltd.
Electrical: TLJ Engineering Consultants Ltd.
Interiors: Ground Cubed Landscape Architects
Landscape: Ground Cubed Landscape Architects

Seal(s)

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Calgary, AB, Canada T2G 4Y5
norr.com
NORR Architects Engineers Planners
A Partnership of Corporations
Professional Services Division
Jonathan Hughes, Architect, AIA, OAA, NSIC, BNA, AIAA, AAPF
Adam Tisdale, P.Eng., P.Eng. (P.E.), P.Eng. (P.E.)
Chris Pate, P.Eng., AIAA

Project Manager: Drawn
Project Leader: Author
Checked
Checker

Client

TRUMAN HOMES

Project

LEWISBURG
MULTIFAMILY

14120 9 ST. NE, CALGARY, AB CANADA

Drawing Title

**BUILDING B -
EXTERIOR
ELEVATIONS**

Scale

As indicated

Project No.

RZ1125-0071

Drawing No.

DP40-02-01

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MATERIAL LEGEND

01 MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: KO COLOUR: DUAL BLACK	05 MATERIAL: ANODIZED ALUMINUM WINDOW WALL SYSTEM MANUFACTURER: T.B.D. COLOUR: CHAMPAGNE METALLIC	09 MATERIAL: WALL-MOUNTED LIGHT FIXTURE MANUFACTURER: REFER TO ELECTRICAL COLOUR: ARTIC WHITE	15 MATERIAL: SMOOTH FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOUR: CHAMPAGNE METALLIC	19 MATERIAL: ALUMINUM METAL PANEL MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC
02 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - HORIZONTAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	06 MATERIAL: BALCONY / PATIO HANDRAIL / GUARDRAIL W/ PICKETS OR CLEAR GLASS MANUFACTURER: T.B.D. COLOUR: PRE-FINISHED BLACK ALUMINUM	10 MATERIAL: METAL ADDRESS NUMBERS MANUFACTURER: T.B.D. COLOUR: BRUSHED NICKEL, PIN MOUNTED	16 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	20 MATERIAL: PRE-FINISHED METAL DOWNSPOUT MANUFACTURER: T.B.D. COLOUR: BLACK
03 MATERIAL: PRE-FINISHED METAL SOFFIT (UNDERSIDE ALL ROOF AREAS, BALCONIES & OVERHANGS) MANUFACTURER: T.B.D. COLOURS: A - BLACK B - CHAMPAGNE METALLIC	07 MATERIAL: 1 1/4" SMOOTH FIBRE CEMENT FASCIA @ BALCONY MANUFACTURER: JAMES HARDIE COLOUR: MIDNIGHT BLACK	11 MATERIAL: PARKING COLOUR: NATURAL GREY	17 MATERIAL: FULL BRICK MASONRY MANUFACTURER: SUMMIT BRICK COLOUR: DANOTA	21 MATERIAL: PROTECTED GLASS BALCONY DIVIDER MANUFACTURER: T.B.D. COLOUR: BLACK
04 MATERIAL: PVC WINDOW MANUFACTURER: T.B.D. COLOUR: BLACK	08 MATERIAL: PRE-FINISHED METAL EAVESTROUGH MANUFACTURER: T.B.D. COLOURS: A - CHAMPAGNE METALLIC B - MIDNIGHT BLACK	13 MATERIAL: PATIO DOOR MANUFACTURER: T.B.D. COLOUR: BLACK	18 MATERIAL: ALUMINUM METAL SIDING MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	22 MATERIAL: PRE-FINISHED METAL COPING MANUFACTURER: T.B.D. COLOUR: T.B.D.
		14 MATERIAL: METAL EXIT DOOR MANUFACTURER: T.B.D. COLOUR: BLACK		23 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D. COLOUR: BLACK

24 MATERIAL: 9 1/4" SMOOTH FIBRE CEMENT FASCIA @ HORIZONTAL BATTON
MANUFACTURER: JAMES HARDIE
COLOUR: MIDNIGHT BLACK

GENERAL NOTES

- REFER TO CIVIL PLANS FOR UTILITY SERVICE CONNECTIONS TO CONFIRM W/ MECH AND ELEC PLANS
- WALL FINISHES AT CORNERS AND BUMP-OUTS RETURN BACK TO BUILDING IDENTICAL MATERIALS AND COLOURS, UNLESS NOTED OTHERWISE ON FLOOR PLANS
- ALL INFORMATION REGARDING SITE GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS
- PROVIDE PRE-FINISHED METAL FLASHING ABOVE/BELOW ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. METAL FLASHINGS TO MATCH ADJACENT TRIM OR WALL FINISH COLOUR WHERE APPLICABLE
- PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY MATERIAL MANUFACTURER
- REFER TO CIVIL FOR NUMBER OF RISERS AT EXTERIOR WALKS AND STAIRS
- COLOURS AND MATERIALS SHOWN (SEE DETAIL) ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS ARE SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURER COLOURS AND MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION
- ALL WALL VENT / WALL CAP LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL
- ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC2019, AB, ED
- REFER TO FIFTH FLOOR PLAN FOR BALCONY SCUPPER LOCATIONS
- REFER TO ELEC. PLANS FOR EXTERIOR AND PINTOUBAL CONJ. LIGHTING



1 DP_A40 OVERALL BUILDING A ELEVATION - WEST
SCALE: 1/8" = 1'-0"



2 DP_A40 OVERALL BUILDING B ELEVATION - EAST
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

01 MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: KO COLOUR: DUAL BLACK	05 MATERIAL: ANODIZED ALUMINUM WINDOW WALL SYSTEM MANUFACTURER: T.B.D COLOUR: BLACK	09 MATERIAL: WALL-MOUNTED LIGHT FIXTURE MANUFACTURER: REFER TO ELECTRICAL COLOUR: BLACK	13 MATERIAL: SMOOTH FIBER CEMENT LAP SIDING MANUFACTURER: JAMES HARDIE COLOUR: CHAMPAGNE METALLIC	17 MATERIAL: ALUMINUM METAL PANEL MANUFACTURER: JAYS METAL COLOUR: CHAMPAGNE METALLIC	21 MATERIAL: 9 1/4\" SMOOTH FIBRE CEMENT FASCIA @ HORIZONTAL BATTON MANUFACTURER: JAMES HARDIE COLOUR: MONDRIAN BLACK
02 MATERIAL: SMOOTH FIBER CEMENT LAP SIDING - HORIZONTAL PICKETS OR CLEAR GLASS MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MONDRIAN BLACK	06 MATERIAL: BALCONY / PATIO HANDRAIL / GUARDRAIL W/ PICKETS OR CLEAR GLASS MANUFACTURER: T.B.D COLOUR: MONDRIAN BLACK	10 MATERIAL: METAL ADDRESS NUMBERS MANUFACTURER: T.B.D COLOUR: WHITE	16 MATERIAL: SMOOTH FIBER CEMENT LAP SIDING MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MONDRIAN BLACK	20 MATERIAL: PRE-FINISHED METAL DOWNSPOUT MANUFACTURER: T.B.D COLOUR: BLACK	24 MATERIAL: 9 1/4\" SMOOTH FIBRE CEMENT FASCIA @ HORIZONTAL BATTON MANUFACTURER: JAMES HARDIE COLOUR: MONDRIAN BLACK
03 MATERIAL: PRE-FINISHED METAL SOFFIT (UNDERSIDE ALL ROOF AREAS, BALCONIES & OVERHANGS) MANUFACTURER: T.B.D COLOURS: A- BLACK B- CHAMPAGNE METALLIC	07 MATERIAL: 9 1/4\" SMOOTH FIBRE CEMENT FASCIA @ BALCONY MANUFACTURER: JAMES HARDIE COLOUR: MONDRIAN BLACK	11 MATERIAL: PARKING COLOUR: NATURAL GREY	19 MATERIAL: FULL BRICK MASONRY MANUFACTURER: SUMMIT BRICK COLOUR: DARTMOUTH	22 MATERIAL: PRE-FINISHED METAL COPING MANUFACTURER: T.B.D COLOUR: BLACK	
04 MATERIAL: PVC WINDOW MANUFACTURER: T.B.D COLOUR: BLACK	08 MATERIAL: PRE-FINISHED METAL EAVESTROUGH MANUFACTURER: T.B.D COLOURS: A- CHAMPAGNE METALLIC B- MONDRIAN BLACK	12 MATERIAL: PATIO DOOR MANUFACTURER: T.B.D COLOUR: BLACK	18 MATERIAL: ALUMINUM METAL SIDING MANUFACTURER: JAYS METAL COLOUR: CHAMPAGNE METALLIC	23 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D COLOUR: BLACK	

GENERAL NOTES

- REFER TO CIVIL PLANS FOR UTILITY SERVICE CONNECTIONS TO CONFIRM W/ MECH AND ELEC PLANS
- WALL FINISHES AT CORNERS AND BLIND-OUTS RETURN BACK TO BUILDING W/ IDENTICAL MATERIALS AND COLOURS, UNLESS NOTED OTHERWISE ON EXISTING PLANS
- ALL INFORMATION REGARDING SITE GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
- PROVIDE PRE-FINISHED METAL FLASHING ABOVE/ BELOW ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. METAL FLASHINGS TO MATCH ADJACENT TRIM OR WALL FINISH COLOUR WHERE APPLICABLE.
- PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY MATERIAL MANUFACTURER.
- REFER TO CIVIL FOR NUMBER OF RISERS AT EXTERIOR WALKS AND STAIRS
- COLOURS AND MATERIALS SHOWN IN SECTIONS ARE FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS ARE SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURER COLOURS AND MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- ALL WALL VENT / WALL CAP LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL.
- ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC919, AB, ED.
- REFER TO FIFTH FLOOR PLAN FOR BALCONY SCUPPER LOCATIONS.
- REFER TO ELEC. PLANS FOR EXTERIOR AND PINTOULCORN LIGHTING.

DATE	ISSUED FOR	REV
2025-08-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

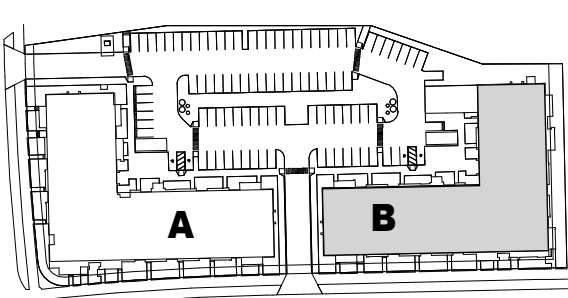
AMENDED DRAWINGS
DP No: DP2025-03807
Date Received: NOV 5, 2025
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Project Component

Key Plan



Consultants

Survey: Jubilee Engineering
Civil: NORR
Structural: TLU Engineering Consultants Ltd.
Mechanical: TLU Engineering Consultants Ltd.
Electrical: TLU Engineering Consultants Ltd.
Interiors: Ground Cubed Landscape Architects
Landscape: Ground Cubed Landscape Architects

Seal(s)

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Calgary, AB, Canada T2G 4Y5
norrr.com
NORR Architects Engineers Planners
A Partnership of Corporations
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Allan Tisdale, P.Eng., AREC
Chris Hall, P.Eng., AREC

Project Manager

Drawn

Author

Checked

Checker

Client

TRUMAN HOMES

Project

**LEWISBURG
MULTIFAMILY**

14120 9 ST. NE, CALGARY, AB CANADA

Drawing Title

**BUILDING B -
EXTERIOR
ELEVATIONS**

Scale

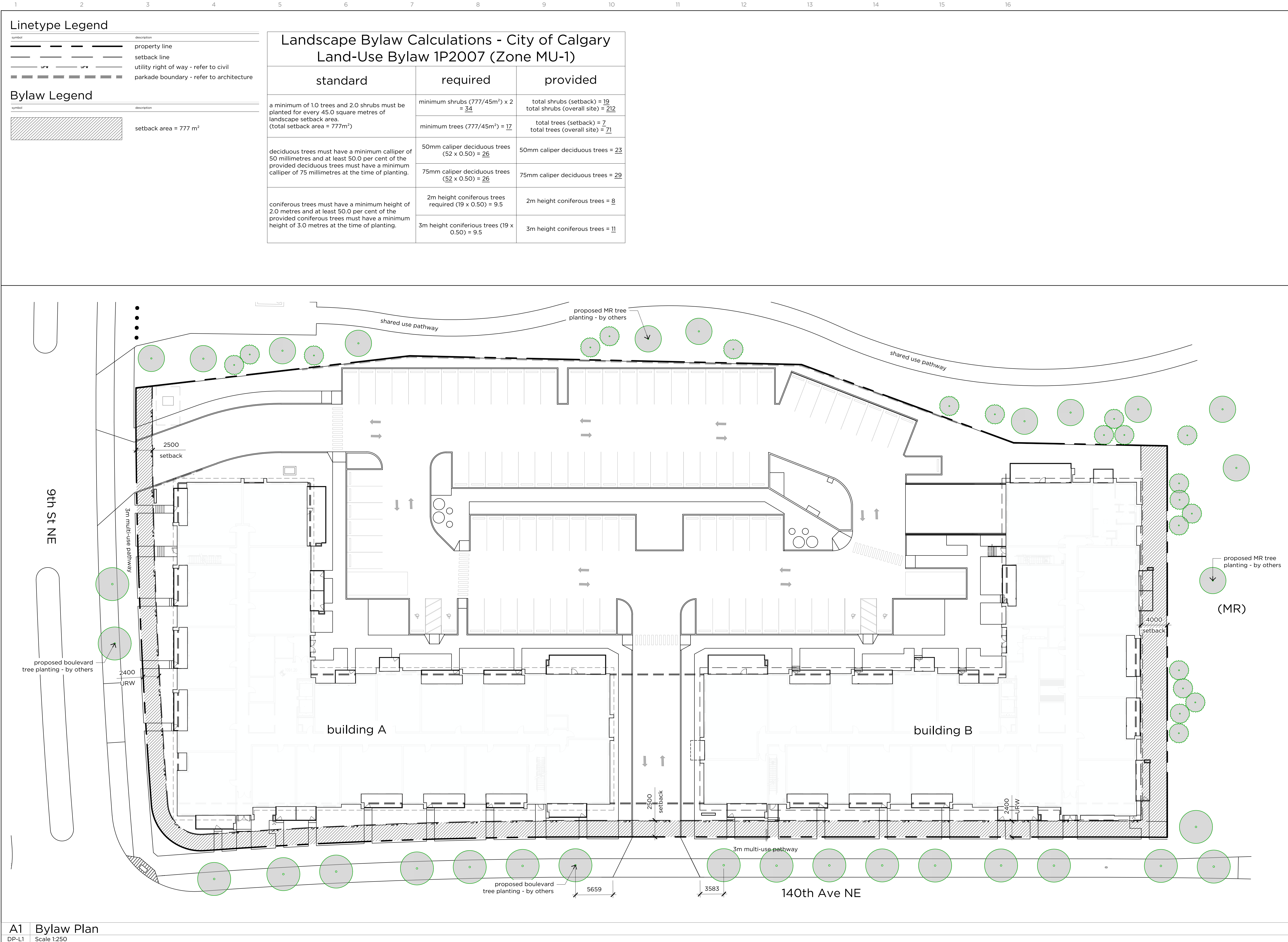
As indicated

Project No.

RZ1125-0071

Drawing No.

DP40-02-02



Utility and Linetype Legend

symbol	description
	property line
	setback line
	utility right of way - refer to civil
	parkade boundary - refer to architecture
	water line - refer to civil
	storm line - refer to civil
	sanitary line - refer to civil

Landscape Legend

symbol	description
	proposed (Manderley Less Water Sod)
	proposed mulch
	proposed artificial turf
	proposed rock mulch
	proposed concrete (broom finish) - refer to architecture for assembly

Proposed Plant List for Trees

number	symbol	description
71		deciduous trees - 50mm caliper
23		• schubert chokecherry • amur maple <i>prunus virginiana 'shubert'</i> <i>acer ginnala</i>
29		deciduous trees - 75mm caliper
		• brandon elm • mayday <i>ulmus americana 'brandon'</i> <i>prunus padus commutata</i>
8		coniferous trees - 2.0m ht
		• columnar colorado spruce <i>picea pungens 'fastigiata'</i>
11		coniferous trees - 3.0m ht
		• scots pine <i>pinus sylvestris</i>

Proposed Plant List for Shrubs

number	symbol	description
212		• aurora honeyberry • blue fox willow • mops mugo pine • common effusa juniper • western snow berry • golden flowering currant <i>loniceracaerulea 'aurora'</i> <i>salix brachycarpa 'blue fox'</i> <i>pinus mugo 'mops'</i> <i>juniperus communis 'effusa'</i> <i>symphoricarpos occidentalis</i> <i>ribes aureum</i>

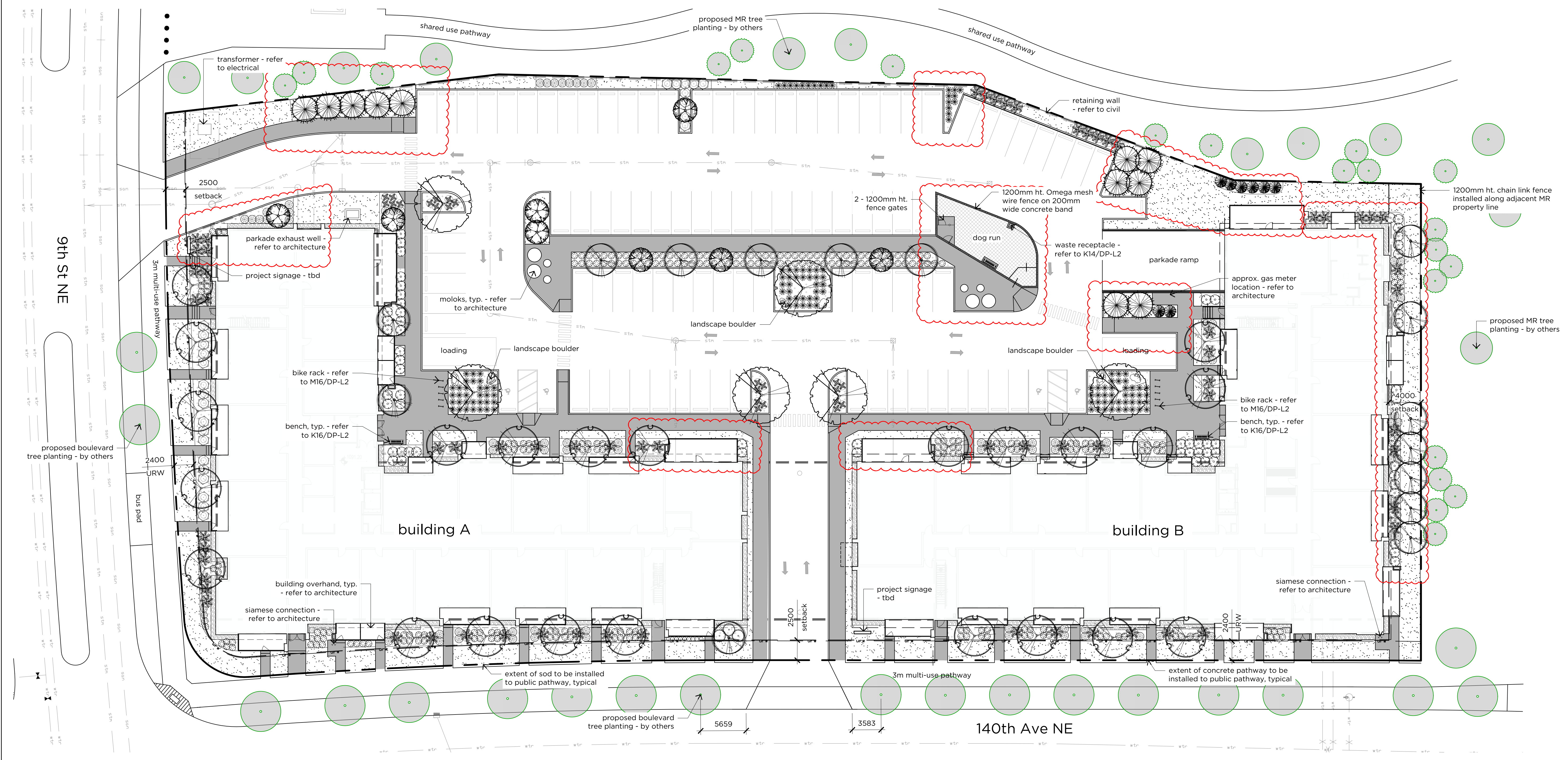
Proposed Plant List for Perennials and Grasses

number	symbol	description
439		• karl foerster reed grass • flame grass • avalanche reed grass • hosta <i>calamagrostis x acutiflora 'karl foerster'</i> <i>miscanthus sinensis 'purpurascens'</i> <i>calamagrostis x acutiflora 'avalanche'</i> <i>hosta</i>

K14 Waste Receptacle
DP-L2 Scale n.t.s

M16 Bike Rack
DP-L2 Scale n.t.s

K16 Bench
DP-L2 Scale n.t.s



General Notes

- site plan prepared using information provided by Norr Architecture on November 5th, 2025
- contractor is responsible for locating utilities and protecting same from damage during construction. contact Utility Safety Partners at 1-800-242-3447. commencement of work indicates completion of utility locates.
- all drawings are property of landscape architect. site clean-up is incidental to the work. the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
- if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner.
- all drawings are metric unless otherwise noted.
- all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
- contractor shall refer to related disciplines as indicated on plan's where applicable.
- all soft landscape areas are to be sloped to ensure positive drainage away from structures. u.n.o. disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
- refer to civil engineering drawings for grading information.

Irrigation Note

- All soft surfaced landscaped areas must be irrigated by an underground irrigation system.

Parkade Planting Notes

- all tree planting above the parkade requires a minimum of 1200mm depth topsoil
- all shrub planting beds above the parkade requires a minimum of 600mm depth topsoil
- all other landscaped areas above the parkade requires a minimum of 300mm depth topsoil

AMENDED DRAWINGS

DP No: DP2025-03807 Date Received: NOV 5, 2025

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

issue	date	no.
issued for development permit	25/06/25	1
issued for dr 1	25/10/10	2
re-issued for dr 1	25/11/05	3

revision	date	no.

project

Lewisburg Multifamily

drawn

JK

checked

JJ

approved

JJ

project #

25.0004

date

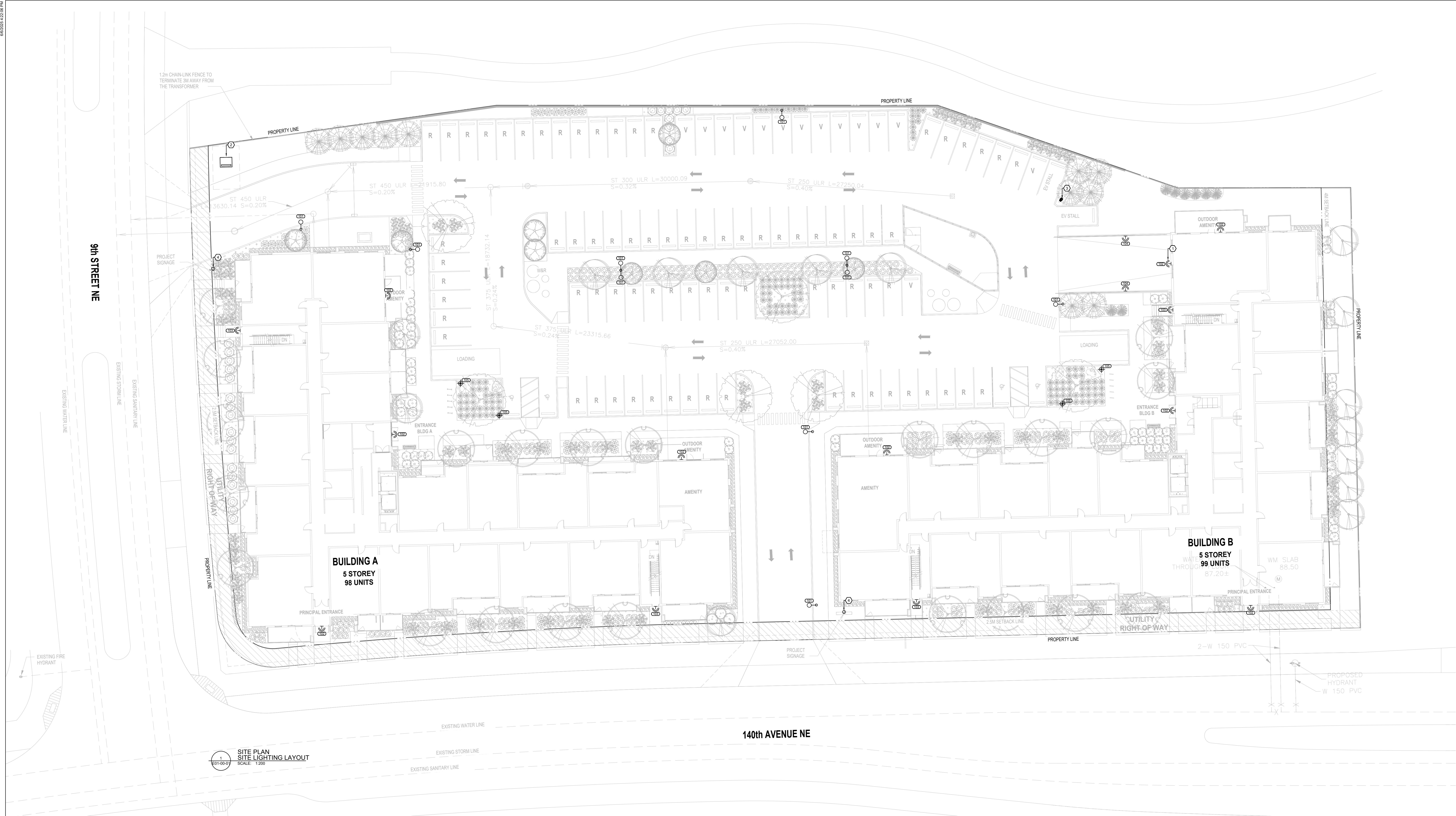
2025/11/05

drawing

Landscape Plan

sheet

DP-L2

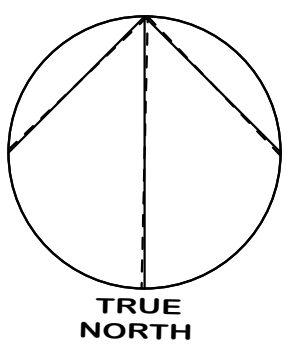
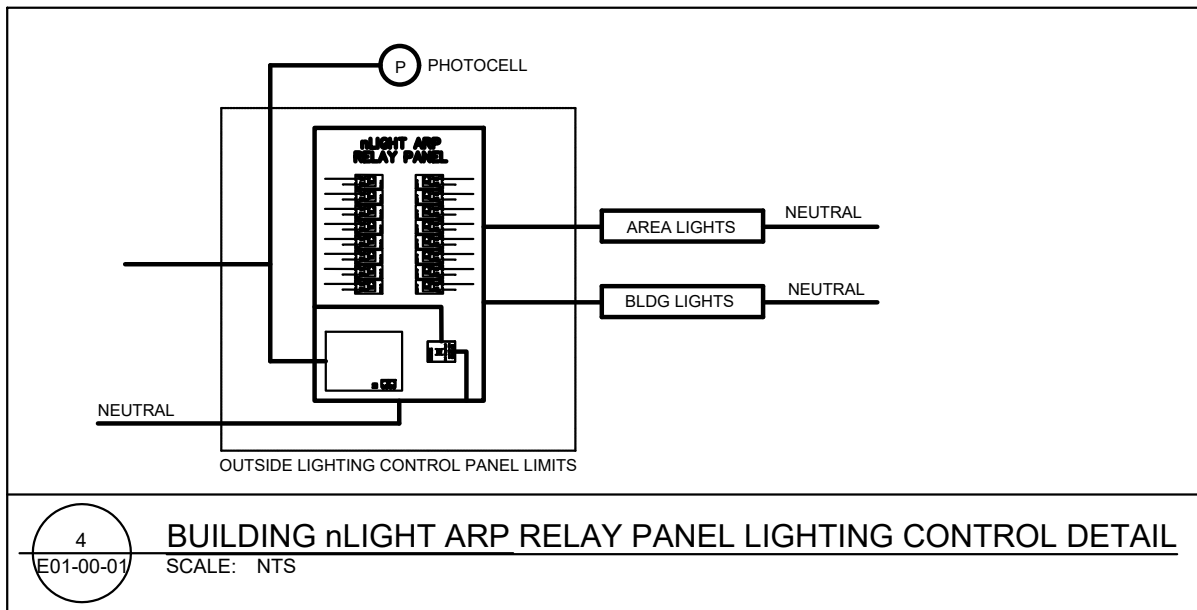
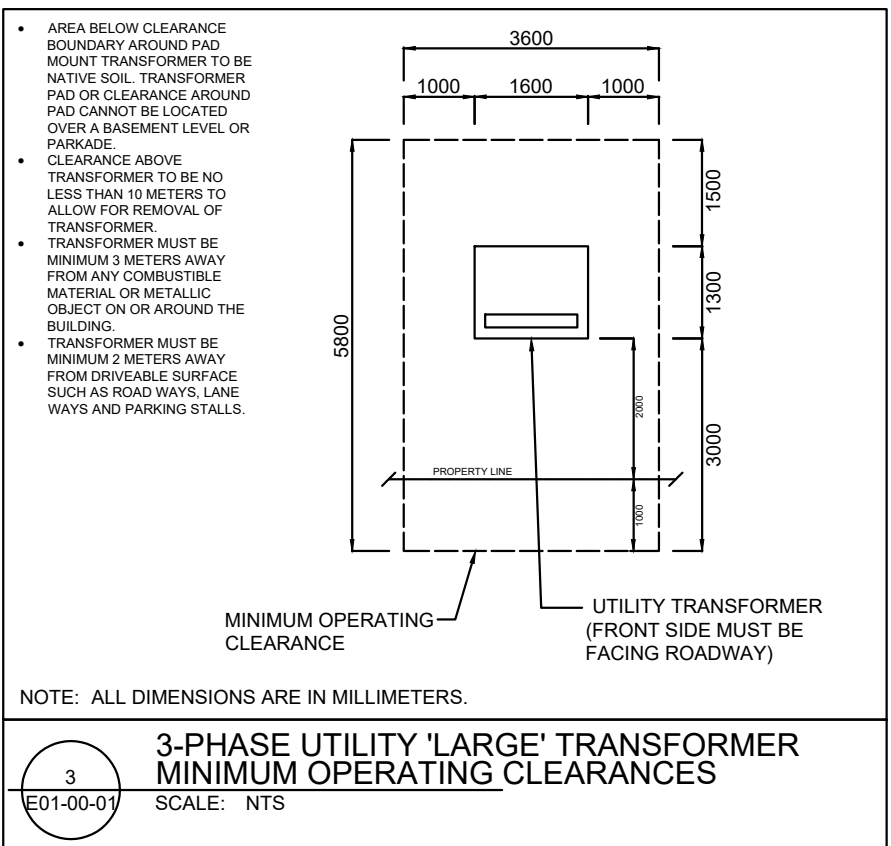
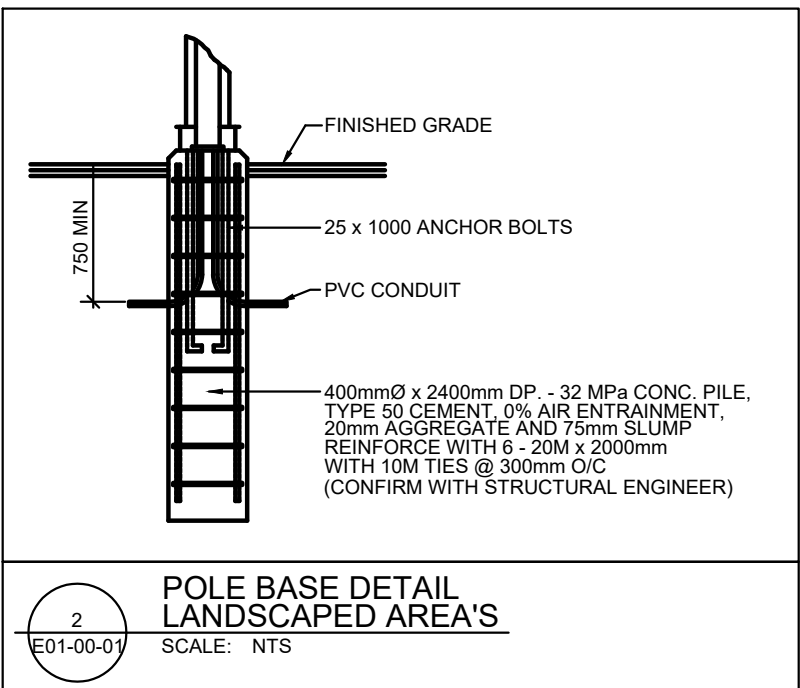


1 SITE PLAN
SITE LIGHTING LAYOUT
SCALE: 1:200

SITE LIGHTING LEGEND	
SYMBOL	DESCRIPTION
	AREA LIGHT
	BOLLARD LIGHT
	EXTERIOR WALL MOUNTED LIGHT

EXTERIOR LIGHTING SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER	MANUFACTURERS CATALOGUE NUMBER	LAMP	LUMENS	REMARKS
101	POLE MOUNTED AREA LIGHT	LITHONIA	RSX LED P3 30K 7MM MVOLT 1/2 3000K DBLXD	100W LED	12700	TO BE MOUNTED ON 15' POLE
102	MAIN ENTRANCE WALL LIGHT	LITHONIA	WEDGE LED P3 30K 1/2 MVOLT 1/2 3000K DBLXD	22W LED	3015	
103	EXIT DOOR WALL LIGHT	LITHONIA	WEDGE LED P1 30K 300R 1/2 MVOLT 1/2 3000K DBLXD	10W LED	1163	
104	RECESSED FANF LIGHT	BEGA	24 211	4 8W LED	581	
105	BOLLARD LIGHT	LITHONIA	RADEAN LED P3 30K 300R 1/2 MVOLT 1/2 3000K DBLXD	15W LED	1088	

- SITE DRAWING KEY NOTES: (1)
1. FIXTURE TYPE 102 IN THIS LOCATION TO BE MOUNTED ABOVE PARADE
 2. PROPOSED LOCATION OF UTILITY TRANSFORMER
 3. PROPOSED LOCATION FOR CHARGEPOINT DUAL PORT ELECTRIC CAR CHARGING STATION MODEL C7001
 4. PROVIDE POWER FOR SITE SIGN LIGHTING. CONFIRM WITH OWNER ON SITE.



2025-06-25
2025-11-05

SITE LIGHTING FOR DP
SITE LIGHTING DR RESPONSE

1
2

AMENDED DRAWINGS
DP No
DP2025-03807
Date Received
NOV 5, 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

This drawing has been prepared solely for the use of TRUMAN
and there are no representations of any kind made by NORR
to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until
the seal appearing hereon is signed and dated by the Architect
or Engineer

Project Component
Key Plan

Consultants
Survey:
Civil:
Architecture:
Mechanical:
Electrical:
Interiors:
Landscape:
NORR
TLJ Engineering Consultants
TLJ Engineering Consultants

Consultant
TLJ ENGINEERING
MECHANICAL ELECTRICAL
WWW.TLJ-ENG.COM
TLJ Project #2025-034

Seal(s)
2

NORR
NORR OFFICE ADDRESS
norr.com

Project Manager
JP / KV
Project Leader
JP
Client
TRUMAN HOMES
Project
LEWISBURG
MULTIFAMILY
14110 6 ST. NE, CALGARY, AB CANADA
Drawing Title
SITE PLAN
SITE LIGHTING LAYOUT
Scale
As indicated
Project No.
RZ1125-0071
Drawing No.
E01-00-01