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NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

LEWISBURG MULTIFAMILY

14120 9 ST, NE CALGARY, AB CANADA
BLOCK 16, LOT 2

DEVELOPMENT PERMIT: DEVELOPMENT PERMIT NO. DP2025-03807
NORR PROJECT NUMBER: RZ1125-0071

ISSUED FOR DR1 - October 10, 2025

 **TRUMAN**

AMENDED DRAWINGS

DP No Date Received
DP2025-03807 OCT 10, 2025

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
PASQUINI & ASSOCIATES GEOMATICS LTD. 300, 929-11TH STREET S.E CALGARY, AB, T2G 0R4	Jubilee Engineering 3702 EDMONTON TRAIL NE CALGARY, AB, T2E 3P4 PHONE: 403.276.1012 PM: DAVID VATCHER	NORR Architects Engineers Planners 2300, 411 - 1ST STREET SE CALGARY, AB, T2G 4Y5 PHONE: 403.817.9375 PM: TRISHUDA JAIN	-
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ Engineering Consultants Ltd. 301-14th STREET N.W CALGARY, AB, T2N 2A1 PHONE: 403.289.8852 PM: KEVIN VIC	TLJ Engineering Consultants Ltd. 301-14th STREET N.W CALGARY, AB, T2N 2A1 PHONE: 403.289.8852 PM: JASON PURA	-	Ground Cubed Landscape Architects SUITE 25, 8020 2ND STREET SE CALGARY, AB, T2H 2L8 PHONE: 403.473.0719 PM: JAMIE JOHNSON

Site Information

MUNICIPAL ADDRESS	14120 9TH STREET, NE CALGARY, AB	
LEGAL ADDRESS	BLOCK 16, LOT 2	
LAND USE DISTRICT	PROPOSED MIXED USE DISTRICT (MU-1) (LOC2025-0096)	
SITE AREA	10,679 SM	114,949 SF
	1.07 HA	2.64 AC
TOTAL APT. UNITS	198	
SETBACKS		
With street	2.5 m	
Street-oriented	4.5 m	
BUILDING HEIGHT	Proposed Max. 25.0 m	
DENSITY	Units/Ha	
Minimum	N/A	
Maximum	N/A	
Proposed	185	
FAR		
Minimum	N/A	
Maximum	Proposed Max. 3.0	
Proposed	1.67	
SITE COVERAGE		
BUILDING COVERAGE	33%	

Units & Building Areas

NAME	TYPE	GROSS AREA		BALCONY/PATIO	
		SQ.FT.	M2	SQ.FT.	M2
A	2 Bed +Den+ 2 Bath	802	74.52	140	12.96
A1	2 Bed +Den+ 2 Bath	877	81.44	127	11.79
B	2 Bed + 1 Bath	672	62.47	71	6.56
C	3 Bed + 2 Bath	977	90.78	138	12.84
D	3 Bed + 2 Bath + Den	1,108	102.94	138	12.84
D1	2 Bed + 2 Bath + Den	869	80.72	138	12.83
E	3 Bed + 2 Bath	1,063	98.76	138	12.85
E1	2 Bed + 2 Bath	799	74.20	139	12.89
F	1 Bed + 1 Bath + Den	662	61.54	90	8.32
G	1 Bed + 1 Bath	619	57.49	75	6.99
H	2 Bed + 1 Bath	701	65.17	69	6.45
J	1 Bed + 1 Bath	541	50.27	73	6.75

UNIT QUANTITY													
Per Building A Floor:													
1st floor	9	1	5	1		1							17
2nd floor	9	1	5	3	1								20
3rd floor	9	1	5	3	1								20
4th floor	9	1	5	3	1								20
5th floor	9	1	5	3	1								20
Total Apartment Units Building A													
Area	3353.4	407.2	1561.8	1180.1	411.8	80.7	0	0	0	4	0	0	7224.93
Total Unit Area	77,768 Sq.Ft.												
	7224.93 Sq.m.												
Efficiency	81.2%												

UNIT QUANTITY													
Per Building B Floor:													
	A	A1	B	C	D	D1	E	E1	F	G	H	J	Total
1st floor	9		5	2				1					17
2nd floor	9		5	2			1		1		2	1	21
3rd floor	9		5	2					1		2	1	21
4th floor	9		5	2			1		1		2	1	21
5th floor	9		5	2					1		2	1	21
Total Apartment Units Building B	45	0	25	10	0	0	4	1	4	0	8	4	101
Area	3353.4	0	1561.8	907.8	0.0	0.0	395.0	74.2	246.2	0.0	521.36	201.1	7260.79
Total Unit Area	78,154 Sq.Ft.												
	7260.79 Sq.m.												
Efficiency	81.1%												
Total Apartment Units	90	5	50	23	4	1	4	1	4	4	8	4	198

GROSS FLOOR AREA PER FLOOR		SQ.FT.	M2	SQ.FT.	M2
Building A				BuildingB	
1st floor	19,201	1783.82		19,314	1794.37
2nd floor	19,150	1779.06		19,252	1788.60
3rd floor	19,150	1779.06		19,252	1788.60
4th floor	19,150	1779.06		19,252	1788.60
5th floor	19,150	1779.06		19,252	1788.60
Total Building GFA		95,799	8,900.06	96,323.76	8,948.77

TOTAL GFA	192,123	17,848.83
PARKADE AREA	SQ.FT.	M2
P1	42,815	3,977.60
*Not counted in GFA		

Vehicle Parking

	UNITS		BY LAW		REQUIRED		PROVIDED		TOTAL
	RESIDENT PARKING		STALLS		PARKADE		STALLS		
		198	0.75 stalls/unit	149	121	77			198
TOTAL RESIDENT PARKING									198
Bylaw Surplus									49
VISITOR PARKING									
Parking	198	0.1 stalls/unit	20	0	20				20
Barrier Free (Included with resident and visitors above)									
		0 to 200		1	4				5
TOTAL PARKING PROVIDED									218

Recycling, Organics & Waste Bin Calculation

STRATA1	198	0.3 YDS/UNIT					
		WASTE YDS1	BIN SIZE YD3	# PICKUPS	# BINS	TOTAL	
TOTAL	100%	59.4				65.6	
Recycling (R)	40%	23.8	6.5	2	2	26.0	
Organics (O)	20%	11.9	1.7	2	4	13.6	
Waste (W)	40%	23.8	6.5	2	2	26.0	
General Notes							
* UNDERGROUND STORAGE BINS USED: MEDIUM CLASSIC TYPE OR SIMILAR							
* WASTE RECYCLING PICK-UP AREA TO BE ASPHALT ROAD							
* PICKUP AREA MUST HAVE A CAPACITY TO CARRY A LOADED COLLECTION VEHICLE OF 25,000 KG OR 55,000 LB, 40,500 LB WITH THE ROAD'S PART OF A FIRE ACCESS ROUTE							
* MAXIMUM SLOPE IN COLLECTION AREA IS 4% IN ANY DIRECTION							
* REFER TO MANUFACTURER MANUAL AND SPECIFICATIONS							

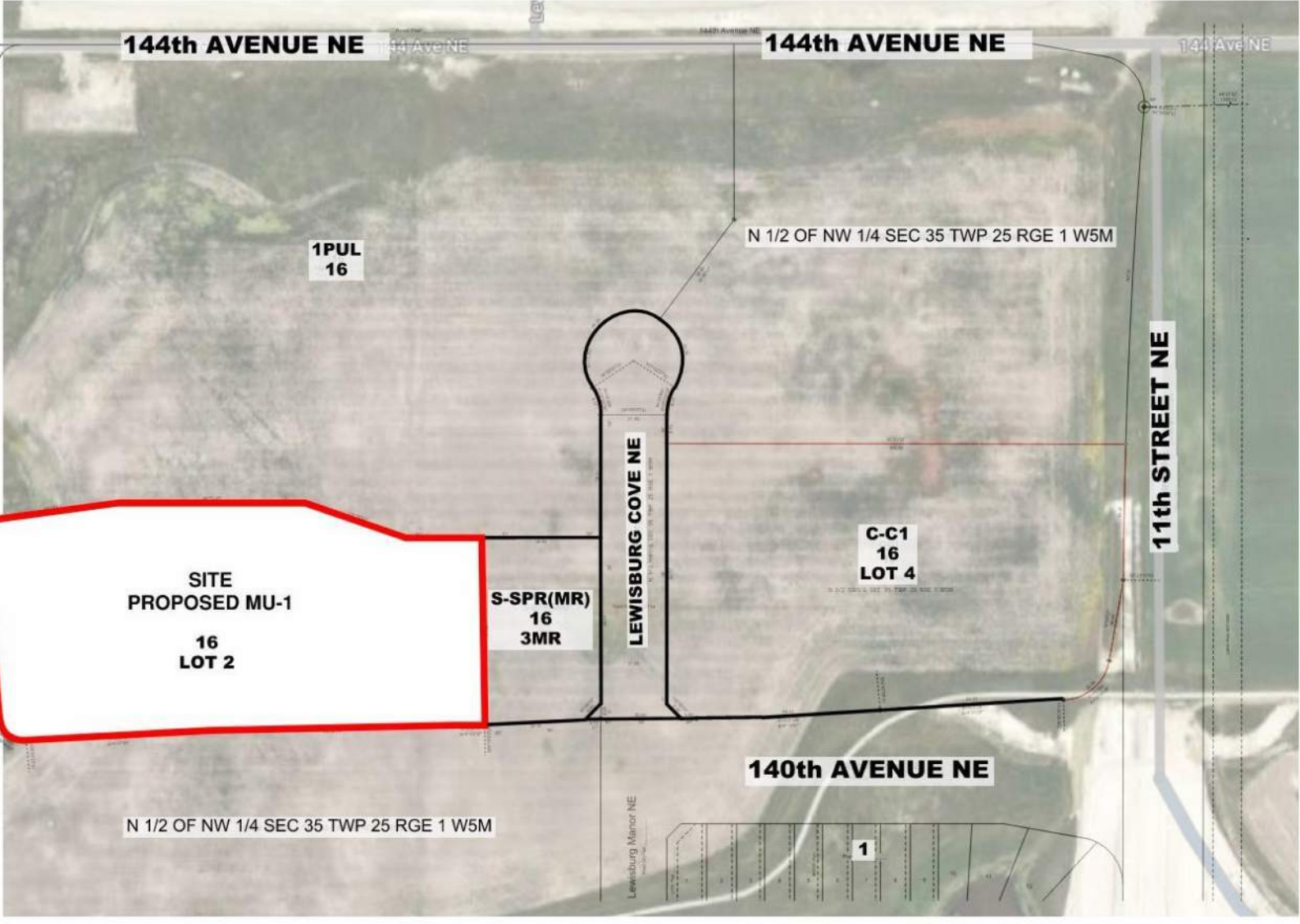
BICYCLE PARKING COUNT - CLASS 1	
PARKING	COUNT
CLASS 1 BICYCLE STALLS	
DERO DECKER BIKE RACK	100
TOTAL PARKING PROVIDED	100

BICYCLE PARKING COUNT - CLASS 2	
PARKING	COUNT
CLASS 2 BICYCLE STALLS	
DERO DECKER BIKE RACK	10
TOTAL CLASS 2 RACK PROVIDED	10

UNIT RATIO		
1BED	12	6%
2BED	155	78%
3BED	31	16%
Total	198	

ARCHITECTURE SHEET LIST	
DRAWING NUMBER	TITLE
DP00-00	COVER SHEET
DP10-00-01	SITE STATISTICS, VICINITY PLAN, AND DRAWING LIST
DP10-00-02	OVERALL SITE PLAN
DP10-00-03	W&R SWEEP PATH & DETAILS
DP10-00-04	LOADING TRUCK SWEEP PATH & FIRE ACCESS DETAIL
DP10-00-05	PHASING PLAN & SITE DETAILS
DP10-00-07	3D RENDERINGS
DP10-00-10	BIKE PARKING DETAIL
DP10-00-11	SHADOW STUDY
DP11-00-02	SITE SECTIONS
DP20-01-00A	PARKADE PLAN - ZONE A
DP20-01-00B	PARKADE PLAN - ZONE B
DP20-01-01	BUILDING A - FLOOR PLAN - LEVEL 1
DP20-01-02	BUILDING A - FLOOR PLAN - LEVEL 2
DP20-01-03	BUILDING A - FLOOR PLAN - LEVEL 3
DP20-01-04	BUILDING A - FLOOR PLAN - LEVEL 4
DP20-01-05	BUILDING A - FLOOR PLAN - LEVEL 5
DP20-01-06	BUILDING A - ROOF PLAN
DP20-02-01	BUILDING B - FLOOR PLAN - LEVEL 1
DP20-02-02	BUILDING B - FLOOR PLAN - LEVEL 2
DP20-02-03	BUILDING B - FLOOR PLAN - LEVEL 3
DP20-02-04	BUILDING B - FLOOR PLAN - LEVEL 4
DP20-02-05	BUILDING B - FLOOR PLAN - LEVEL 5
DP20-02-06	BUILDING B - ROOF PLAN
DP40-01-01	BUILDING A - EXTERIOR ELEVATIONS
DP40-01-02	BUILDING A - EXTERIOR ELEVATIONS
DP40-02-01	BUILDING B - EXTERIOR ELEVATIONS
DP40-02-02	BUILDING B - EXTERIOR ELEVATIONS
DP42-01-01	BUILDING A - SECTIONS
DP42-02-01	BUILDING B - SECTIONS
DP44-01	ENLARGED PARKADE PLAN & SECTION
DP63-M-01	UNIT PLANS
DP63-01-02	UNIT PLANS
DP63-01-03	UNIT PLANS

CIVIL	
SP-1	SITE SERVICING PLAN
SP-2	SITE GRADING PLAN
SP-2A	SECTIONS
ELECTRICAL	
E01-00-01	SITE LIGHTING LAYOUT
LANDSCAPE	
DP-L1	BYLAW PLAN
DP-L2	LANDSCAPE PLAN



SITE CONTEXT

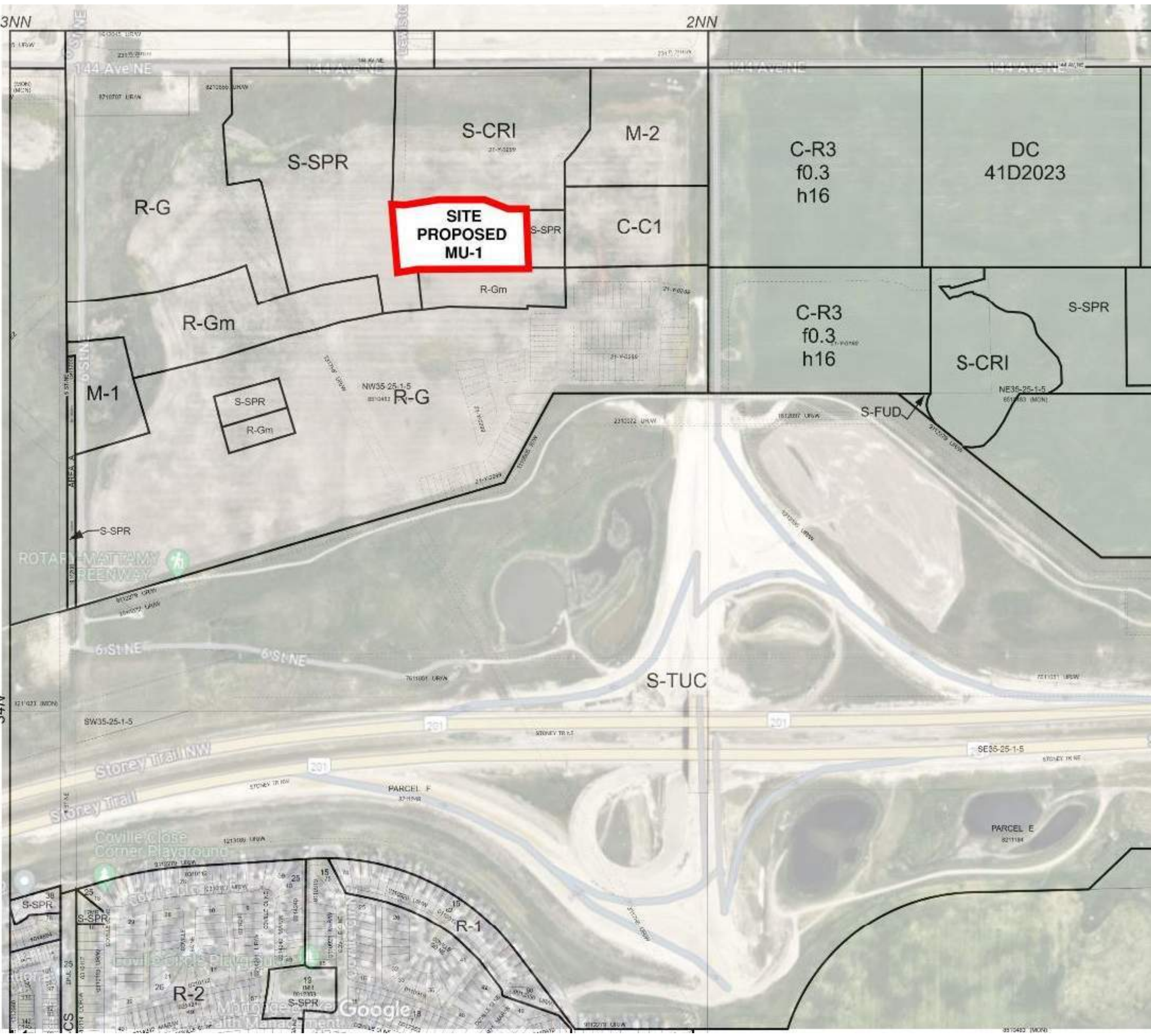
SCALE: 1 : 1500



OVERALL SITE LANDUSE

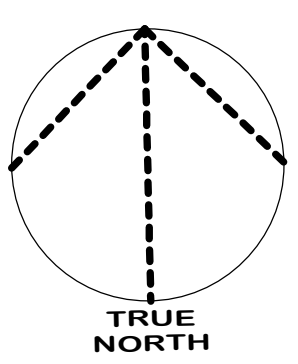
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OVERALL SITE CONTEXT AERIAL

SCALE: 1 : 3000



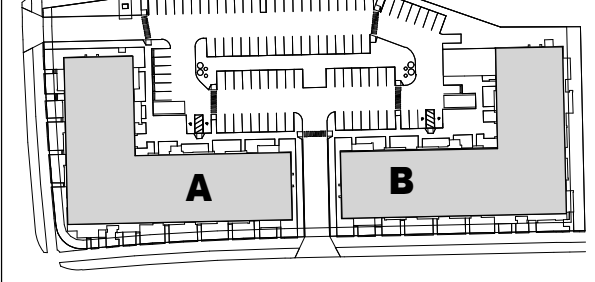
DATE	ISSUED FOR	REV
2025-06-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

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Project Component

Key Plan



Consultants:	PASQUINI & ASSOCIATES GEOMATICS LTD.
Survey:	Jubilee Engineering
Civil:	NORR Architects Engineers Planners
Architecture:	
Structural:	
Mechanical:	TUJ Engineering Consultants Ltd.
Electrical:	TUJ Engineering Consultants Ltd.
Interiors:	
Landscape:	Ground Cubed Landscape Architects

Seal(s)

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Jonathan Hughes, Architect, AIA, OAA, ARBC, MRCA, AIA/AB, AIAPE
Adam Tatham, P.Eng., ARCSA
Chris Palfy, P.Eng., ARCSA

Project Manager	Drawn
Trafulda Jam	S.ROSHAN
Project Leader	Checked
E.JO	T.JAIN

Client

TRUMAN HOMES

32286, 10 ASPEN STONE BOULEVARD SW, CALGARY AB

LEWISBURG MULTIFAMILY

14120 9 ST. NE, CALGARY, AB CANADA
BLOCK 16, LOT 2

Drawing Title

**SITE STATISTICS,
VICINITY PLAN, AND
DRAWING LIST**

Scale

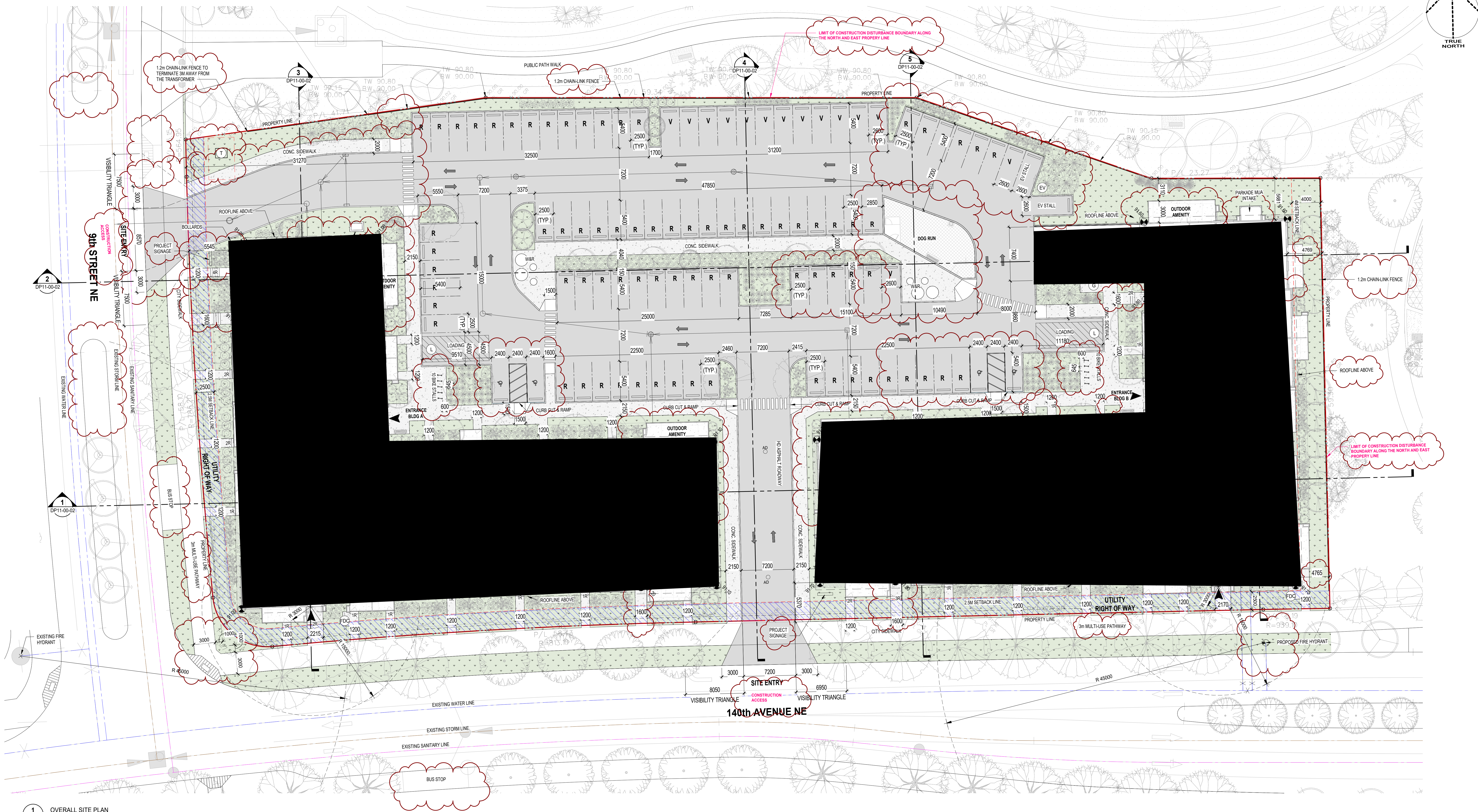
As indicated

Project No.

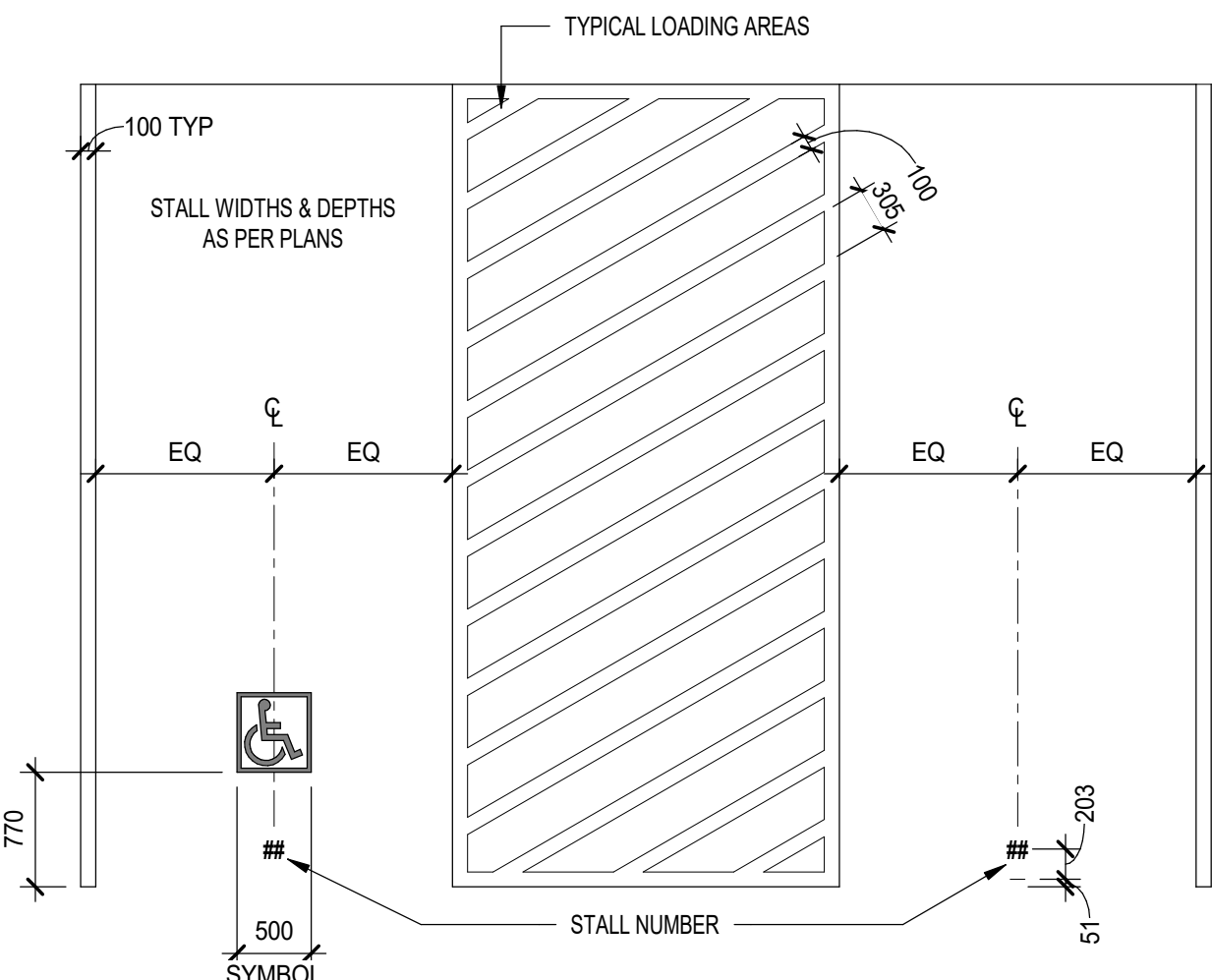
RZ1125-0071

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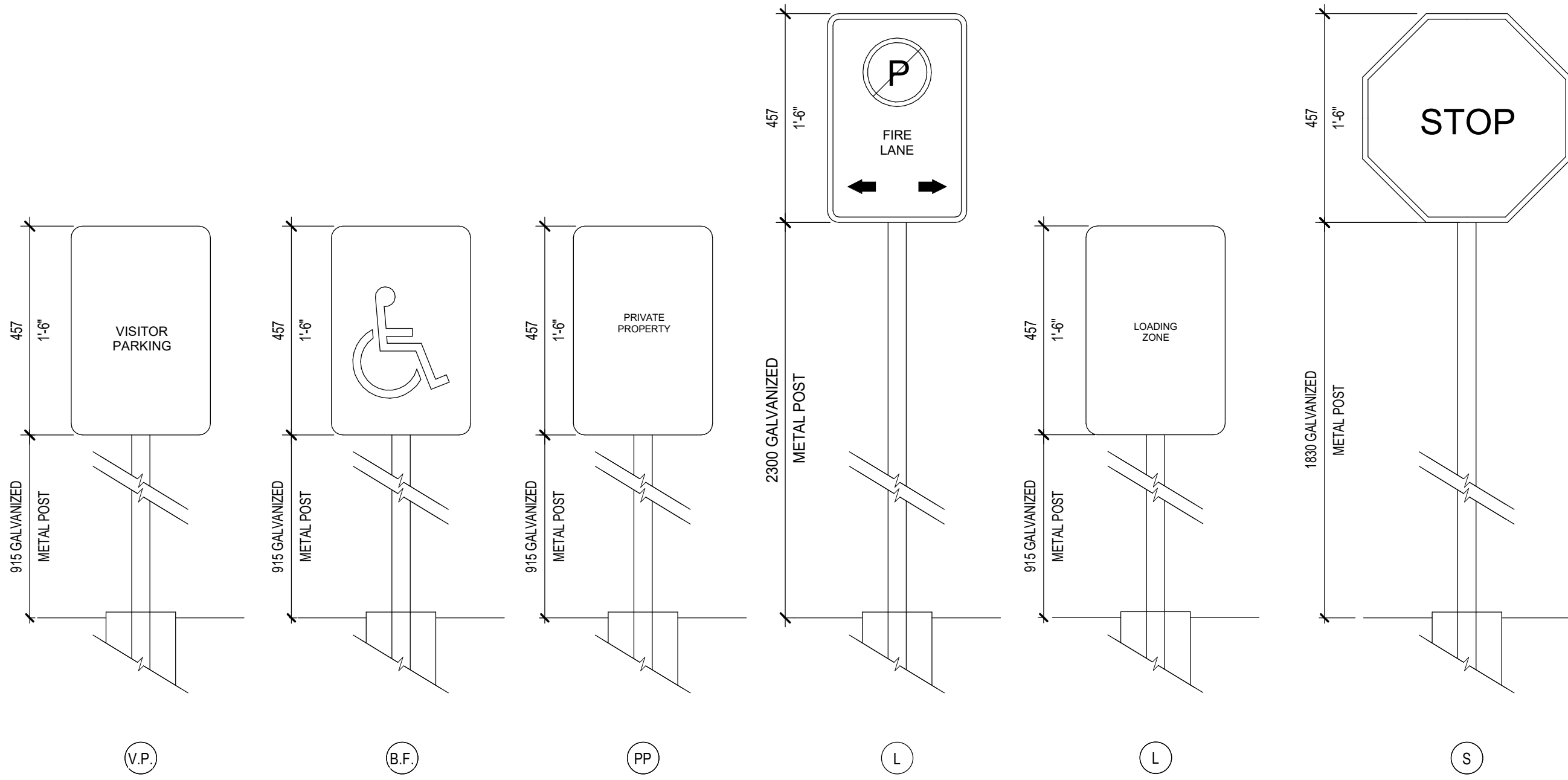
DP10-00-01



1 OVERALL SITE PLAN
SCALE: 1:200



2 TYPICAL BARRIER FREE STALL
SCALE: 1:50



NOTE: FOR ALL SIGNAGE REQUIREMENTS AND SPECIFICATIONS - REFER TO CITY OF CALGARY

3 SITE SIGNAGE ELEVATION
SCALE: 1:10

NOTES	LEGEND																																																																				
- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS, WALKWAYS AND FEATURES. - REFER TO ELECTRICAL DRAWINGS FOR PROPOSED SITE LIGHTING. - NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION. - INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED. - WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.). - ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL. - ALL INFORMATION ABOUT SITE SERVICES, PEDESTALS, CONDUIT, UTILITY RIGHT OF WAY AND GRADING IS FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS. - CAST-IN-PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED - REFER TO CIVIL. - ALL BUILT ELEMENTS WITHIN THE PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE. NO PARKING, ANYTIME FIRE LANE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.6m. - FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,555kg (85,000lb) LOAD & NFPA 1901-POINT LOAD OF 517kPa OVER 24"X24" AREA - BUILDINGS WILL BE ROUGHED IN WITH 1" CONDUIT RUNNING FROM ELECTRICAL CLOSET TO ATTIC SPACE FOR CONNECTION TO FUTURE SOLAR PANELS.	<table><tr><td>---</td><td>PROPERTY LINE - DELINEATES SCOPE OF WORK</td></tr><tr><td>---</td><td>PROPERTY SETBACK LINE</td></tr><tr><td>---</td><td>EXTENTS OF PARKADE WALLS BELOW GRADE</td></tr><tr><td>---</td><td>UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL</td></tr><tr><td>---</td><td>HEAVY DUTY ASPHALT (CAPABLE TO SUPPORT A MIN. OF 85,000 LB OR 38,555 KG NFPA 1901- POINT LOAD OF 517KPA OVER 24" X 24" AREA)</td></tr><tr><td>---</td><td>W & R TRUCK SWEEP PATH</td></tr><tr><td>---</td><td>LOADING TRUCK SWEEP PATH</td></tr><tr><td>---</td><td>SWEEP PATH MIN. CLEARANCE (0.60M FROM CURB)</td></tr><tr><td>▲</td><td>PRINCIPAL ENTRANCE</td></tr><tr><td>B.F.</td><td>BARRIER FREE PARKING SIGNAGE/SYMBOL</td></tr><tr><td>COM</td><td>COMMERCIAL PARKING SIGNAGE</td></tr><tr><td>M.P.</td><td>MAIL PARKING SIGNAGE</td></tr><tr><td>R.P.</td><td>RESIDENT PARKING SIGNAGE</td></tr><tr><td>V.P.</td><td>VISITOR PARKING SIGNAGE</td></tr><tr><td>E</td><td>ELECTRICAL METER</td></tr><tr><td>EV</td><td>ELECTRIC VEHICLE CHARGER (SERVES 2 STALLS)</td></tr><tr><td>FD</td><td>FIRE DEPARTMENT CONNECTION</td></tr><tr><td>G</td><td>GAS METER</td></tr><tr><td>L</td><td>LOADING ZONE</td></tr><tr><td>M</td><td>WATER METER</td></tr><tr><td>OD</td><td>OVERHEAD DOOR</td></tr><tr><td>R</td><td>NO PARKING</td></tr><tr><td>PP</td><td>PRIVATE PARKING</td></tr><tr><td>T</td><td>TRANSFORMER</td></tr><tr><td>FD</td><td>FIRE HYDRANT</td></tr><tr><td>BR</td><td>BIKE RACK</td></tr><tr><td>AD</td><td>AREA DRAIN</td></tr><tr><td>CB</td><td>CATCH BASIN</td></tr><tr><td>MAN</td><td>MANHOLE</td></tr><tr><td>DT</td><td>DIRECTION OF TRAVEL</td></tr><tr><td>MB</td><td>MAIL BOXES</td></tr><tr><td>EP</td><td>EXISTING POWERPOLE</td></tr><tr><td>EP</td><td>EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED</td></tr><tr><td>SS</td><td>SITE SIGNAGE</td></tr></table>	---	PROPERTY LINE - DELINEATES SCOPE OF WORK	---	PROPERTY SETBACK LINE	---	EXTENTS OF PARKADE WALLS BELOW GRADE	---	UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL	---	HEAVY DUTY ASPHALT (CAPABLE TO SUPPORT A MIN. OF 85,000 LB OR 38,555 KG NFPA 1901- POINT LOAD OF 517KPA OVER 24" X 24" AREA)	---	W & R TRUCK SWEEP PATH	---	LOADING TRUCK SWEEP PATH	---	SWEEP PATH MIN. CLEARANCE (0.60M FROM CURB)	▲	PRINCIPAL ENTRANCE	B.F.	BARRIER FREE PARKING SIGNAGE/SYMBOL	COM	COMMERCIAL PARKING SIGNAGE	M.P.	MAIL PARKING SIGNAGE	R.P.	RESIDENT PARKING SIGNAGE	V.P.	VISITOR PARKING SIGNAGE	E	ELECTRICAL METER	EV	ELECTRIC VEHICLE CHARGER (SERVES 2 STALLS)	FD	FIRE DEPARTMENT CONNECTION	G	GAS METER	L	LOADING ZONE	M	WATER METER	OD	OVERHEAD DOOR	R	NO PARKING	PP	PRIVATE PARKING	T	TRANSFORMER	FD	FIRE HYDRANT	BR	BIKE RACK	AD	AREA DRAIN	CB	CATCH BASIN	MAN	MANHOLE	DT	DIRECTION OF TRAVEL	MB	MAIL BOXES	EP	EXISTING POWERPOLE	EP	EXISTING POWERPOLE TO BE REMOVED, SERVICE DISCONNECTED	SS	SITE SIGNAGE
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2025-10-10	ISSUED FOR DR 1 RESPONSE	2

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DP No: DP2025-03807
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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan

Consultants:
Survey: PASQUINI & ASSOCIATES GEOMATICS LTD.
Civil: Jubilee Engineering
Architecture: NORR Architects Engineers Planners
Structural: TJU Engineering Consultants Ltd.
Mechanical: TJU Engineering Consultants Ltd.
Electrical: TJU Engineering Consultants Ltd.
Interiors: Ground Cubed Landscape Architects
Landscape: Ground Cubed Landscape Architects

Seal(s)

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A Partnership of Corporations
Jonathan Hughes, Architect, SAA, OAA, NBC, SNA, AARS, AAPF
Adam Tashir, P.Eng., ORECA
Chris Palf, P.Eng., ARECA

Project Manager Traifuda Jam	Drawn Author
Project Leader E.J.O	Checked Checker

Client
TRUMAN HOMES
32236, 10 ASPEN STONE BOULEVARD SW, CALGARY AB

Project
LEWISBURG MULTIFAMILY
14120 9 ST. NE, CALGARY, AB CANADA
BLOCK 16, LOT 2

Drawing Title
OVERALL SITE PLAN

Scale
As indicated

Project No.
RZ125-0071

Drawing No.
DP10-00-02



DATE	ISSUED FOR	REV
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2025-10-10	ISSUED FOR DR 1 RESPONSE	2

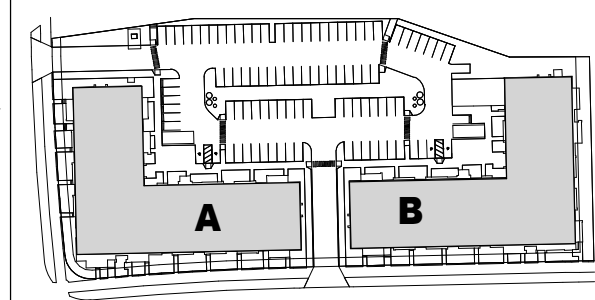
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A Partnership of Corporations

Jonathan Hughes, Architect, AIA, OAA, IBAC, BIA, AIAA, AIAPE
Asha Tahir, P.Eng., PEGC
Chris Hall, P.Eng., AIAPE

Project Manager

Traifuda Jan

Project Leader

EJO

Drawn

Author

Checked

Checker

Client

TRUMAN HOMES

32236, 10 ASPEN STONE BOULEVARD SW, CALGARY AB

**LEWISBURG
MULTIFAMILY**

14120 9 ST. NE, CALGARY, AB CANADA
BLOOM 16, LOT 2

Drawing Title

3D RENDERINGS

Scale

Project No.

RZ1125-0071

Drawing No.

DP10-00-07

Utility and Linetype Legend

symbol	description
	property line
	setback line
	utility right of way - refer to civil
	parkade boundary - refer to architecture
	water line - refer to civil
	storm line - refer to civil
	sanitary line - refer to civil

Landscape Legend

symbol	description
	proposed (Manderley Less Water Sod)
	proposed mulch
	proposed artificial turf
	proposed rock mulch
	proposed concrete (broom finish) - refer to architecture for assembly

Proposed Plant List for Trees

number	symbol	description
71		deciduous trees - 50mm caliper
23		• schubert chokecherry • amur maple <i>prunus virginiana 'shubert'</i> <i>acer ginnala</i>
29		deciduous trees - 75mm caliper
		• brandon elm • mayday <i>ulmus americana 'brandon'</i> <i>prunus padus commutata</i>
8		coniferous trees - 2.0m ht
		• columnar colorado spruce <i>picea pungens 'fastigiata'</i>
11		coniferous trees - 3.0m ht
		• scots pine <i>pinus sylvestris</i>

Proposed Plant List for Shrubs

number	symbol	description
201		• aurora honeyberry • blue fox willow • mops mugo pine • common effusa juniper • western snow berry • golden flowering currant <i>loniceracaerulea 'aurora'</i> <i>salix brachycarpa 'blue fox'</i> <i>pinus mugo 'mops'</i> <i>juniperus communis 'effusa'</i> <i>symphoricarpos occidentalis</i> <i>ribes aureum</i>

Proposed Plant List for Perennials and Grasses

number	symbol	description
432		• karl foerster reed grass • flame grass • avalanche reed grass • hosta <i>calamagrostis x acutiflora 'karl foerster'</i> <i>miscanthus sinensis 'purpurascens'</i> <i>calamagrostis x acutiflora 'avalanche'</i> <i>hosta</i>

K14 Waste Receptacle
DP-L2 Scale n.t.s

M16 Bike Rack
DP-L2 Scale n.t.s

K16 Bench
DP-L2 Scale n.t.s

A1 Landscape Plan
DP-L2 Scale 1:250

General Notes

- site plan prepared using information provided by Norr Architecture on October 8th, 2025.
- contractor is responsible for locating utilities and protecting same from damage during construction. contact Utility Safety Partners at 1-800-242-3447. commencement of work indicates completion of utility locates.
- all drawings are property of landscape architect. site clean-up is incidental to the work. the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
- if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner.
- all drawings are metric unless otherwise noted.
- all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
- contractor shall refer to related disciplines as indicated on plan's where applicable.
- all soft landscape areas are to be sloped to ensure positive drainage away from structures. u.n.o.
- disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
- refer to civil engineering drawings for grading information.

Irrigation Note

- All soft surfaced landscaped areas must be irrigated by an underground irrigation system.

Parkade Planting Notes

- all tree planting above the parkade requires a minimum of 1200mm depth topsoil
- all shrub planting beds above the parkade requires a minimum of 600mm depth topsoil
- all other landscaped areas above the parkade requires a minimum of 300mm depth topsoil

AMENDED DRAWINGS

DP No

Date Received

DP2025-03807

OCT 10, 2025

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

issue	date	no.
issued for development permit	25/06/25	1
issued for dtr 1	25/10/10	2

revision	date	no.

project

Lewisburg Multifamily

drawn

JK

checked

JJ

approved

JJ

project #

25.0004

date

2025/10/09

drawing

Landscape Plan

sheet

DP-L2

p:\0 - residential\25.0004 Truman lewisburg multifamily\02 drawings\03 schematic design\25.0004 - layout.dwg



MATERIAL LEGEND

01 MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: RO COLOUR: DUAL BLACK	05 MATERIAL: ANODIZED ALUMINUM WINDOW WALL SYSTEM MANUFACTURER: T.B.D COLOUR: BLACK	09 MATERIAL: WALL-MOUNTED LIGHT FIXTURE MANUFACTURER: JAY'S METAL COLOUR: ARTIC WHITE	13 MATERIAL: SMOOTH FIBRE CEMENT PANEL - EASY TRIM MANUFACTURER: JAMES HARDE COLOUR: CHAMPAGNE METALLIC	17 MATERIAL: ALUMINUM METAL PANEL MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	21 MATERIAL: 9 1/4" SMOOTH FIBRE CEMENT FASCIA (B) HORIZONTAL BATTON MANUFACTURER: JAMES HARDE COLOUR: MIDNIGHT BLACK
02 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - HORIZONTAL MANUFACTURER: JAMES HARDE - PLANK COLOUR: MIDNIGHT BLACK	10 MATERIAL: BALCONY / PATIO HANDRAIL / GUARDRAIL W/ POCKET'S OR CLEAR GLASS MANUFACTURER: T.B.D COLOUR: PRE-FINISHED BLACK ALUMINUM	14 MATERIAL: METAL ADDRESS NUMBERS MANUFACTURER: T.B.D COLOUR: BRUSHED NICKEL, PIN MOUNTED	18 MATERIAL: SMOOTH FIBRE CEMENT LAP SIDING - VERTICAL MANUFACTURER: JAMES HARDE - PLANK COLOUR: BLACK	22 MATERIAL: PRE-FINISHED METAL DOWNSPOUT MANUFACTURER: T.B.D COLOUR: BLACK	
03 MATERIAL: PRE-FINISHED METAL SOFFIT (UNDERSIDE ALL ROOF AREAS, BALCONIES & OVERHANGS) MANUFACTURER: T.B.D COLOURS: A- BLACK B- CHAMPAGNE METALLIC	11 MATERIAL: PATIO DOOR MANUFACTURER: T.B.D COLOUR: BLACK	15 MATERIAL: FULL BRICK MASONRY MANUFACTURER: SUNMET BRICK COLOUR: DAKOTA	20 MATERIAL: PRE-FINISHED METAL PATIO DOOR MANUFACTURER: T.B.D COLOUR: BLACK	23 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D COLOUR: BLACK	
04 MATERIAL: PVC WINDOW MANUFACTURER: T.B.D COLOUR: BLACK	12 MATERIAL: PATIO DOOR MANUFACTURER: T.B.D COLOUR: BLACK	16 MATERIAL: ALUMINUM METAL SIDING MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	19 MATERIAL: PRE-FINISHED METAL BALCONY DIVIDER MANUFACTURER: T.B.D COLOUR: BLACK		

GENERAL NOTES

- REFER TO CIVIL PLANS FOR UTILITY SERVICE CONNECTIONS TO CONFORM WITH MECH AND ELEC PLANS
- WALL FINISHES AT CORNERS AND BUMP-OUTS RETURN BACK TO BUILDING IDENTICAL MATERIALS AND COLOURS, UNLESS NOTED OTHERWISE ON EXISTING PLANS
- ALL INFORMATION REGARDING SITE GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IN THE CASE OF A DISCREPANCY, REFER TO APPROVED CIVIL DRAWINGS.
- PROVIDE PRE-FINISHED METAL FLASHING ABOVE, BELOW ALL OPENINGS AND AT ALL HORIZONTAL MATERIAL CHANGES. METAL FLASHINGS TO MATCH ADJACENT TRIM OR WALL FINISH COLOUR WHERE APPLICABLE.
- PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR INSTALLATION AND AS RECOMMENDED BY MATERIAL MANUFACTURER.
- REFER TO CIVIL FOR NUMBER OF RISERS AT EXTERIOR WALKS AND STAIRS.
- COLOURS AND MATERIALS SHOWN (SEE SCHEDULE) FOR GENERAL REFERENCE ONLY. FINAL SELECTIONS ARE SUBJECT TO MANUFACTURER PRICING AND AVAILABILITY. MATCHING ALTERNATE MANUFACTURER COLOURS AND MATERIALS MAY BE USED IF APPROVED BY ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- ALL WALL VERT. (WALL CAP) LOCATIONS ARE APPROXIMATE - REFER TO MECHANICAL.
- ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC2019, AB, ED.
- REFER TO FIFTH FLOOR PLAN FOR BALCONY SCUPPER LOCATIONS.
- REFER TO ELEC. PLANS FOR EXTERIOR AND PENTHOUSE LIGHTING.

DATE	ISSUED FOR	REV
2025-06-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

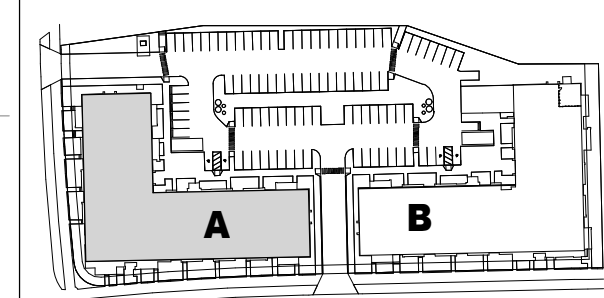
AMENDED DRAWINGS
DP No: DP2025-03807
Date Received: OCT 10, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component

Key Plan



Consultants

Survey:	JUBILEE ENGINEERING
Civil:	NORR
Architecture:	NORR
Mechanical:	TUJ ENGINEERING
Electrical:	TUJ ENGINEERING
Interiors:	
Landscape:	GROUND CUBED

Seal(s)

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norrr.com
NORR Architects Engineers Planners
A Partnership of Corporations
Jonathan Hughes, Architect, AIA, OAA, NSIC, BNA, AIAA, AAPF
Alicia Tisdale, P.Eng., PGECA
Chris Pate, P.Eng., APECA

Project Manager T.JAIN	Drawn Author
Project Leader E.JO	Checked Checker

Client
TRUMAN HOMES

Project
**LEWISBURG
MULTIFAMILY**

14120 9 ST. NE, CALGARY, AB CANADA

Drawing Title
**BUILDING A -
EXTERIOR
ELEVATIONS**

Scale
As indicated

Project No.
RZ1125-0071

Drawing No.
DP40-01-01

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Key Plan

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations

From McMurtry Architects (McMurtry Inc. From McMurtry Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, ABC, MAA, AANSI, AAPE
Adrian Todola, P.Eng., APEGA
Chris Pelt, P.Eng., APEGA

14120 9 ST, NE CALGARY, AB CANADA

DP40-01-02





1 MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: T.B.D COLOUR: DARK BLACK	05 MATERIAL: ANODIZED ALUMINUM WINDOW WALL SYSTEM MANUFACTURER: T.B.D COLOUR: NATURAL BLACK	09 MATERIAL: WALL-MOUNTED LIGHT FIXTURE MANUFACTURER: JAMES HARDIE COLOUR: BLACK	13 MATERIAL: ALUMINUM FIBER CEMENT PANEL MANUFACTURER: JAYS METAL COLOUR: CHAMPAGNE METALLIC	24 MATERIAL: 1/4" SMOOTH FIBRE CEMENT FASCIA @ HORIZONTAL BOARD MANUFACTURER: JAMES HARDIE COLOUR: MIDDNIGHT BLACK
2 MATERIAL: SMOOTH FIBER CEMENT PLANK - SPONG - HORIZONTAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDDNIGHT BLACK	10 MATERIAL: BALCONY / PATIO HANDRAIL, QUADRAS, W/ PICKETS OR CLEAR GLASS MANUFACTURER: T.B.D COLOUR: MIDDNIGHT BLACK	11 MATERIAL: METAL ADDRESS NUMBERS MANUFACTURER: T.B.D COLOUR: BROWN MODEL PIN MOUNTED	14 MATERIAL: SMOOTH FIBER CEMENT PLANK SIDING MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDDNIGHT BLACK	
3 MATERIAL: PRE-FINISHED METAL SOFFIT (UNDERSIDE ALL ROOF AREAS, BALCONIES & OVERHANGS) MANUFACTURER: T.B.D COLOURS: A: BLACK B: CHAMPAGNE METALLIC	12 MATERIAL: 9/16" SMOOTH FIBRE CEMENT FASCIA @ BALCONY MANUFACTURER: JAMES HARDIE COLOUR: MIDDNIGHT BLACK	15 MATERIAL: PAVING COLOUR: NATURAL GREY	15 MATERIAL: FILL BRICK MASONRY MANUFACTURER: SUMMIT BRICK COLOUR: DANFORTH	
4 MATERIAL: PVC WINDOW MANUFACTURER: T.B.D COLOUR: BLACK	08 MATERIAL: PRE-FINISHED METAL LEAVETROUGH MANUFACTURER: T.B.D COLOURS: A - CHAMPAGNE METALLIC B - MIDDNIGHT BLACK	13 MATERIAL: PATIO DOOR MANUFACTURER: T.B.D COLOUR: BLACK	16 MATERIAL: ALUMINUM METAL SIDING MANUFACTURER: JAYS METAL COLOUR: CHAMPAGNE METALLIC	
		14 MATERIAL: METAL EXT. DOOR MANUFACTURER: T.B.D COLOUR: BLACK	17 MATERIAL: PRE-FINISHED METAL DOWNPOUT MANUFACTURER: T.B.D COLOUR: BLACK	
			18 MATERIAL: FROSTED GLASS BALCONY INVOYER MANUFACTURER: T.B.D COLOUR: BLACK	
			19 MATERIAL: PRE-FINISHED METAL COPING MANUFACTURER: T.B.D COLOUR: T.B.D	
			20 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D COLOUR: BLACK	

1	REFER TO CIVILS FOR FLOOR SURFACE CONNECTIONS TO CONFORM WITH MEAS AND ELEC PLAN
2	WALL FINISHES AT CORNERS AND BUMP-OUTS RETURN BACK TO BLENDED WITH WALL FINISHES AND COLOURS. UNLESS NOTED OTHERWISE, RETURN TO ORIGINAL
3	ALL INFORMATION REGARDING STAIN GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON THE STAIN GRADING PLAN. STAIN GRADING SHALL BE ACCORDING TO THE STAIN GRADING PLAN. STAIN GRADING SHALL BE ACCORDING TO THE STAIN GRADING PLAN.
4	PROVIDE PRE-FINISH METAL FLASHING ABOVE ALL BOLLARD OPENINGS AND ALL HORIZONTAL TERMINAL CHANGES METAL FLASHINGS SHALL BE PROVIDED AT ALL BOLLARD OPENINGS AND ALL HORIZONTAL TERMINAL CHANGES.
5	PROVIDE BLOCKING AND SUBSTRATE AS REQUIRED FOR EXTERIOR WALLS AND AS RECOMMENDED BY MATERIAL MANUFACTURER
6	REFER TO CIVIL FOR NUMBER OF REINFORCING AT EXTERIOR WALLS AND STAIRS
7	ALL INFORMATION REGARDING STAIN GRADING IS BASED ON INFORMATION PROVIDED BY THE CIVIL ENGINEER AND IS SHOWN ON THE STAIN GRADING PLAN. STAIN GRADING SHALL BE ACCORDING TO THE STAIN GRADING PLAN. STAIN GRADING SHALL BE ACCORDING TO THE STAIN GRADING PLAN.
8	MANUFACTURER PRICING AND AVAILABILITY MATCHING A TERMINATE MATERIALS COLOURS AND MATERIALS MAY BE REQUIRED TO MATCH EXISTING MATERIALS. MATCHING A TERMINATE MATERIALS COLOURS AND MATERIALS MAY BE REQUIRED TO MATCH EXISTING MATERIALS.
9	ALL MATERIALS SHALL BE PROVIDED AT ALL BOLLARD OPENINGS AND ALL HORIZONTAL TERMINAL CHANGES.
10	ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-CHLORINATE AS PER NCR03-01-01
11	REFER TO FINISHES PLAN FOR FINISHES AT CORNERS AND BUMP-OUTS RETURN BACK TO BLENDED WITH WALL FINISHES AND COLOURS. UNLESS NOTED OTHERWISE, RETURN TO ORIGINAL
12	REFER TO ELEC. PLAN FOR EXTERIOR AND PATIO/LOGGIA LIGHTING

Drawing No. **DP40-02-01**



1 DP_A40 OVERALL BUILDING A ELEVATION - WEST
SCALE: 1/8" = 1'-0"



2 DP_A40 OVERALL BUILDING B ELEVATION - EAST
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND

01 MATERIAL: ASPHALT ROOF SHINGLES MANUFACTURER: KO COLOUR: DUAL BLACK	05 MATERIAL: ANODIZED ALUMINUM WINDOW WALL SYSTEM MANUFACTURER: T.B.D COLOUR: BLACK	09 MATERIAL: WALL-MOUNTED LIGHT FIXTURE MANUFACTURER: REFER TO ELECTRICAL COLOUR: BLACK	13 MATERIAL: SMOOTH FIBER CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOUR: CHAMPAGNE METALLIC	17 MATERIAL: ALUMINUM METAL PANEL MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	21 MATERIAL: 9 1/4\"
02 MATERIAL: SMOOTH FIBER CEMENT LAP SIDING - HORIZONTAL MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	06 MATERIAL: BALCONY / PATIO HANDRAIL / GUARDRAIL W/ PICKETS OR CLEAR GLASS MANUFACTURER: T.B.D COLOUR: PRE-FINISHED BLACK ALUMINUM	10 MATERIAL: METAL ADDRESS NUMBERS MANUFACTURER: T.B.D COLOUR: WHITE	16 MATERIAL: SMOOTH FIBER CEMENT LAP SIDING MANUFACTURER: JAMES HARDIE - PLANK COLOUR: MIDNIGHT BLACK	20 MATERIAL: PRE-FINISHED METAL DOWNSPOUT MANUFACTURER: T.B.D COLOUR: BLACK	24 MATERIAL: 9 1/4\"
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04 MATERIAL: PVC WINDOW MANUFACTURER: T.B.D COLOUR: BLACK	08 MATERIAL: PRE-FINISHED METAL LEAVESTROUGH MANUFACTURER: T.B.D COLOURS: A- CHAMPAGNE METALLIC B- MIDNIGHT BLACK	12 MATERIAL: PATIO DOOR MANUFACTURER: T.B.D COLOUR: BLACK	19 MATERIAL: ALUMINUM METAL SIDING MANUFACTURER: JAY'S METAL COLOUR: CHAMPAGNE METALLIC	23 MATERIAL: PRE-FINISHED METAL LOUVERS MANUFACTURER: T.B.D COLOUR: BLACK	

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- ALL EXTERIOR FINISH MATERIALS ARE REQUIRED TO BE NON-COMBUSTIBLE AS PER NBC919, AB, ED.
- REFER TO FIFTH FLOOR PLAN FOR BALCONY SCUPPER LOCATIONS.
- REFER TO ELEC. PLANS FOR EXTERIOR AND INTERIOR LIGHTING.

DATE	ISSUED FOR	REV
2025-08-25	ISSUED FOR DEVELOPMENT PERMIT	1
2025-10-10	ISSUED FOR DR 1 RESPONSE	2

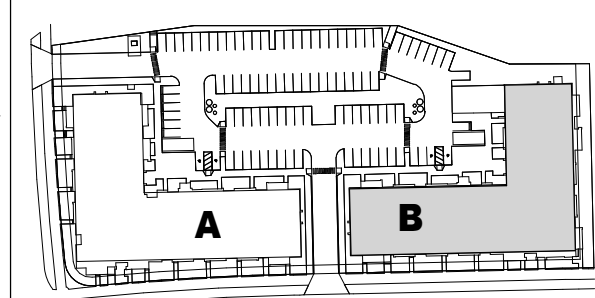
AMENDED DRAWINGS
DP No: DP2025-03807
Date Received: OCT 10, 2025
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Project Component

Key Plan



Consultants

Survey: Jubilee Engineering
Civil: NORR
Structural: TJL Engineering Consultants Ltd.
Mechanical: TJL Engineering Consultants Ltd.
Electrical: TJL Engineering Consultants Ltd.
Interiors: Ground Cubed Landscape Architects
Landscape: Ground Cubed Landscape Architects

Seal(s)

NORR

2300, 411 - 1st Street SE
Calgary, AB, Canada T2G 4Y5
norrr.com
NORR Architects Engineers Planners
A Partnership of Corporations
Professional Services Provided by: TJL Engineering Consultants Ltd.

Project Manager: Drawn
Project Leader: Author
Checked: Checker

Client

TRUMAN HOMES

Project

**LEWISBURG
MULTIFAMILY**

14120 9 ST. NE, CALGARY, AB CANADA

Drawing Title

**BUILDING B -
EXTERIOR
ELEVATIONS**

Scale

As indicated

Project No.

RZ1125-0071

Drawing No.

DP40-02-02