

907 17 STREET NE

4-UNIT MULTI-FAMILY DEVELOPMENT

LOTS 8, 9 & 12, BLOCK 21,
PLAN 4430AC

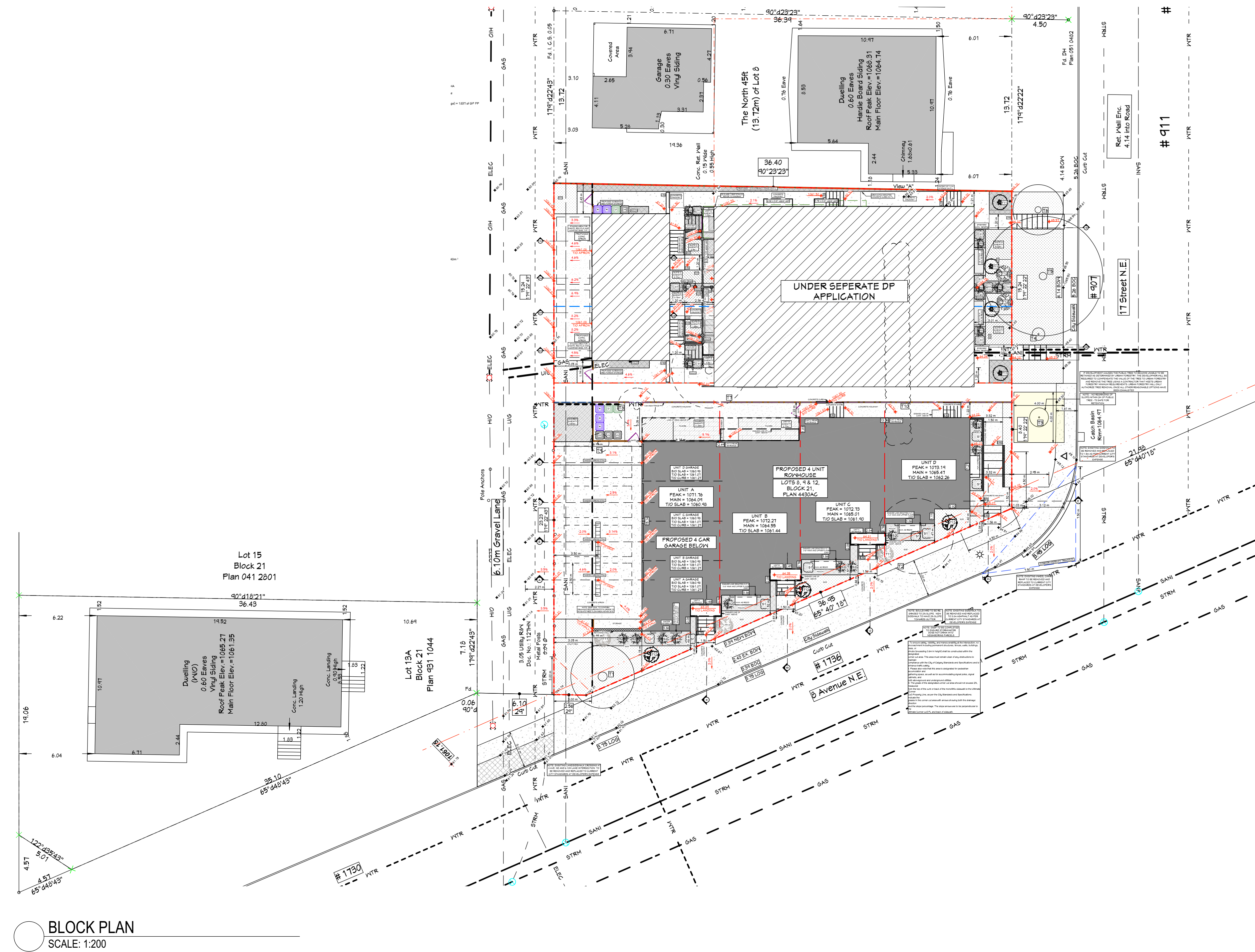
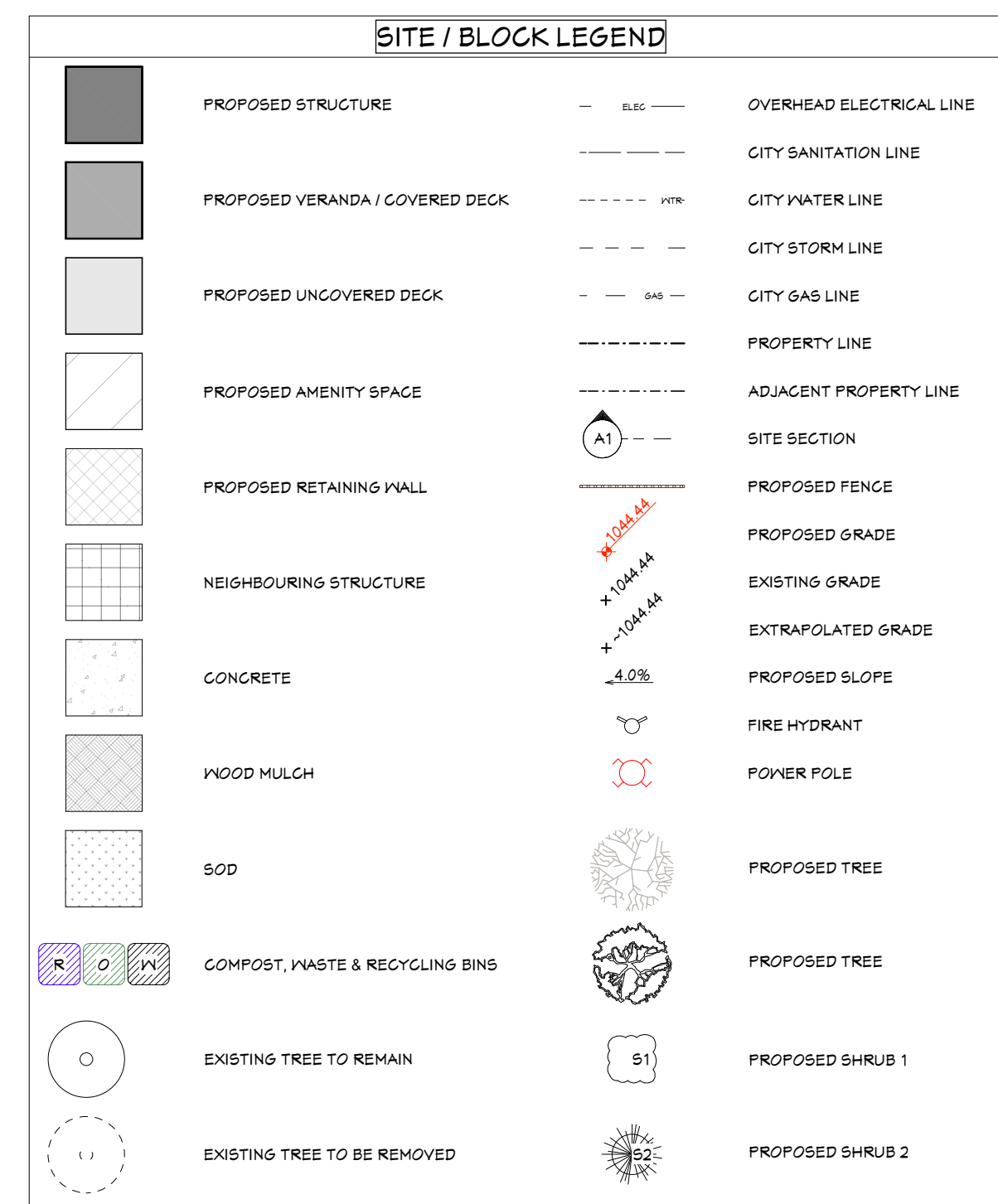
COMMUNITY, NW CALGARY
LOT ZONING: R-CG

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- A2 SITE PLAN & SITE SECTIONS
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EXTERIOR RENDERING FOR ARTISTIC PURPOSES ONLY - N.T.S.



RESPONSIBILITIES

NEW CENTURY DESIGN

It is NCD's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. NCD will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc. due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

ALL TRADES AND SUPPLIERS

These drawings form only PART of the construction documents. A Specification should be provided by the General Contractor (see below). Specific brands, models and trade names where used in these drawings are subject to availability and change orders, and should be confirmed in ALL cases. THE SPECIFICATION OVERRIDES THESE DRAWINGS. NCD is not responsible for errors, omissions, or replacement of any materials or supplies when no specification has been provided.

HOMEOWNER AND GENERAL CONTRACTOR

It is the responsibility of the Homeowner and General Contractor to review these drawings PRIOR TO START OF CONSTRUCTION. Any discrepancies between these drawings and the Specifications are to be provided in writing to New Century Design. Any errors or omissions due to items not specified by the above parties are not the responsibility of NCD.

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ISSUED

	m/d/y
Design Draft	04.25.25
DP Draft	05.05.25
DP Set	07.18.25
DTR	03.12.26
DTR2	05.15.26

AREAS

TOTAL GROSS FLOOR AREA	S.F.
UNIT A TOTAL	1918
MAIN (inc. stairs)	965
UPPER (not inc. stairs)	953
UNIT B TOTAL	1620
MAIN (inc. stairs)	788
UPPER (not inc. stairs)	832
UNIT C TOTAL	1487
MAIN (inc. stairs)	758
UPPER (not inc. stairs)	729
UNIT D TOTAL	1141
MAIN (inc. stairs)	591
UPPER (not inc. stairs)	550

STREET ADDRESS

907 17 STREET NE

LOTS 8, 9 & 12
BLOCK 21
PLAN 4430AC

PROJECT

MAYLAND HEIGHTS
ROWHOUSE

DESIGN: DK | DRAWN: DK | CHECKED: DK

PROJECT # 25-3-SL-JE-008

SCALE

AS NOTED

TITLE

COVER PAGE & BLOCK
PLAN

ZONING R-CG

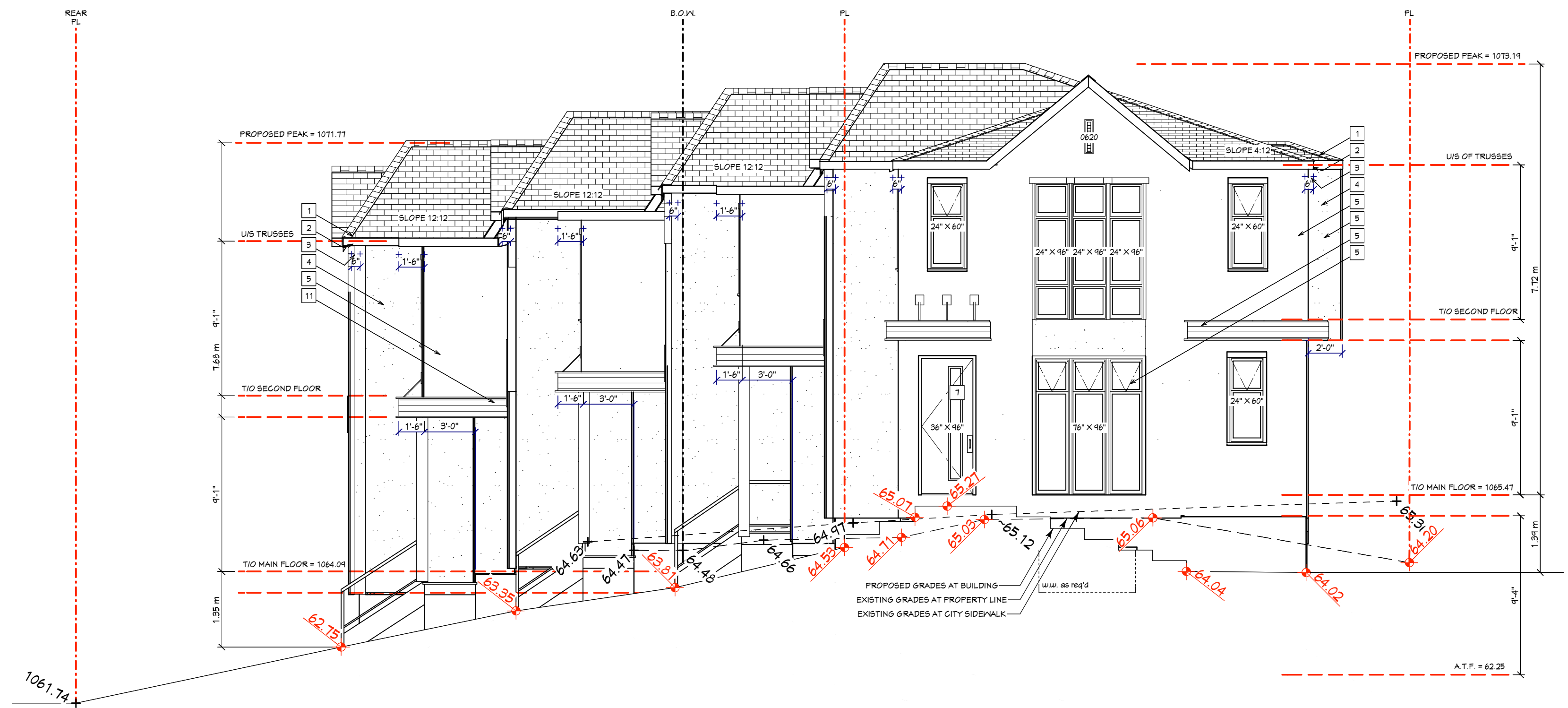
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EXTERIOR GLADDING SCHEDULE



EAST ELEVATION - RIGHT
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION - FRONT
SCALE: 3/16" = 1'-0"

EXTERIOR LIGHTING NOTES:

ALL EXTERIOR LIGHTS TO BE MOTION ACTIVATED AND CONNECTED TO INTERIOR SWITCH.

ALL LIGHT FIXTURES TO BE MOUNTED 6' ABOVE GRADE / DECK, EXCEPT FOR LIGHT FIXTURES ABOVE GARAGE DOORS.

LIGHT FIXTURES TO COMPLY WITH LOCAL BY-LAW AND NBC - AE 2023 CODE REQUIREMENTS.

ELECTRICAL PLANS TO BE COMPLETED FOR BP APPLICATION.

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UNIT A	TOTAL 1918
	MAIN (inc. stairs) 965
	UPPER (not inc. stairs) 953
UNIT B	TOTAL 1620
	MAIN (inc. stairs) 788
	UPPER (not inc. stairs) 832
UNIT C	TOTAL 1487
	MAIN (inc. stairs) 758
	UPPER (not inc. stairs) 729
UNIT D	TOTAL 1141
	MAIN (inc. stairs) 591
	UPPER (not inc. stairs) 550

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LOTS 8, 9 & 12
BLOCK 21
PLAN 4430AC

PROJECT
MAYLAND HEIGHTS
ROWHOUSE

DESIGN: DK | DRAWN: DK | CHECKED: DK
PROJECT # 25-3-SL-JE-008

SCALE
3/16" = 1'-0"

TITLE
EAST & SOUTH
ELEVATIONS

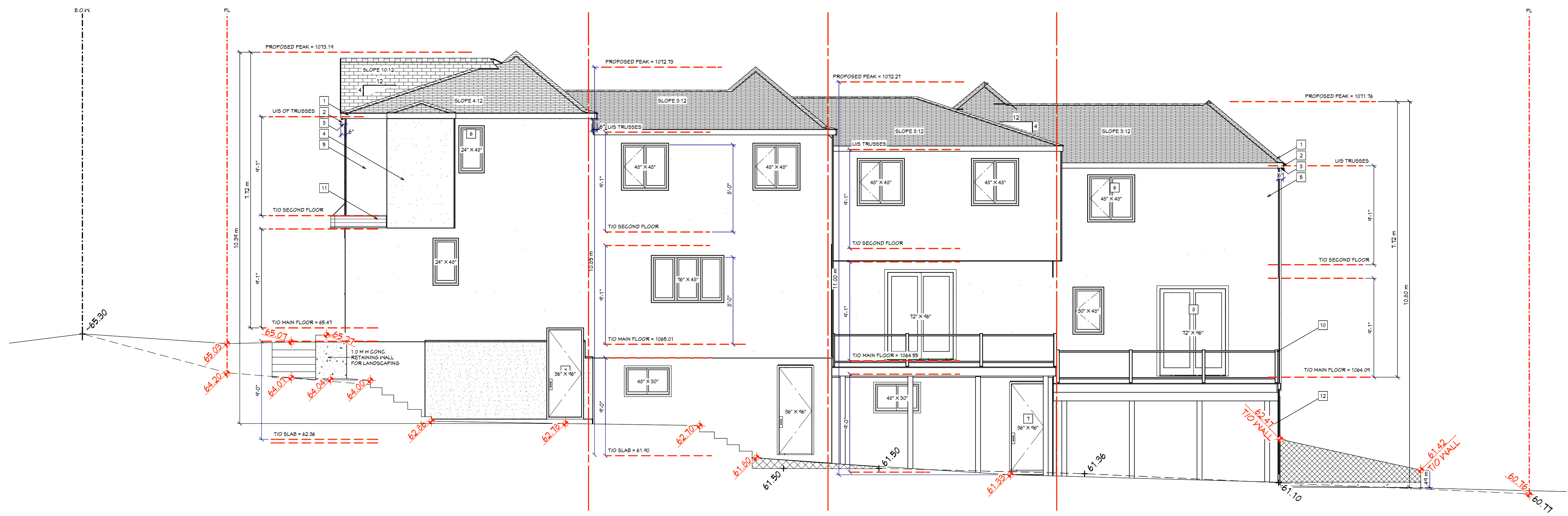
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EXTERIOR CLADDING SCHEDULE



WEST ELEVATION - LEFT
SCALE: 3/16" = 1'-0"



NORTH ELEVATION - REAR
SCALE: 3/16" = 1'-0"

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WEST & NORTH
ELEVATIONS

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