

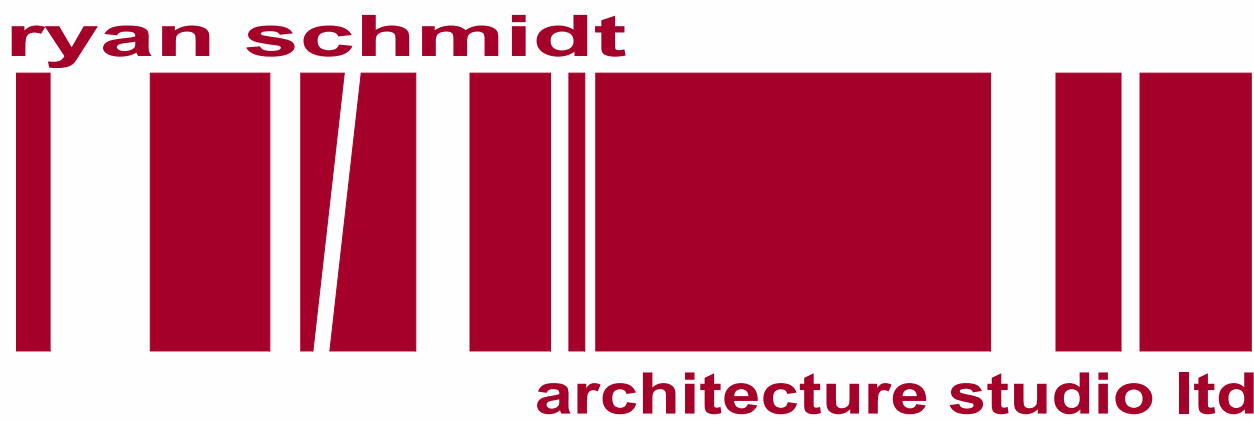
CAR DEALERSHIP
2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM



DEVELOPMENT PERMIT SET

ISSUE DATE : 2025-06-30

REVISION DATE : 2025-11-24

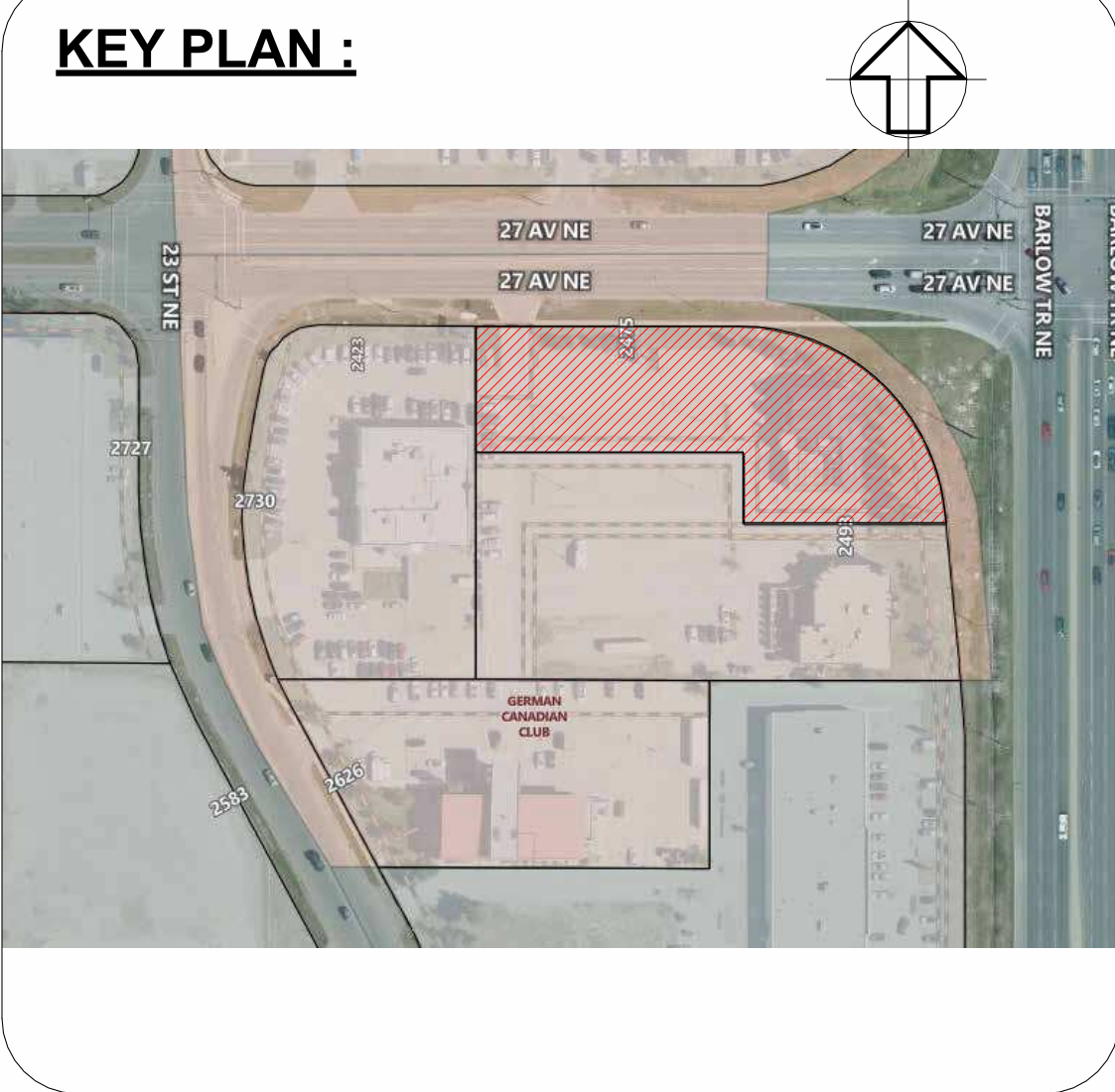


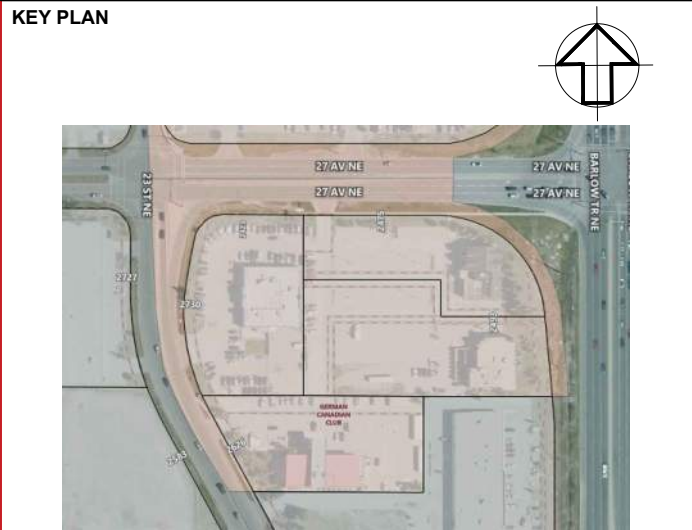
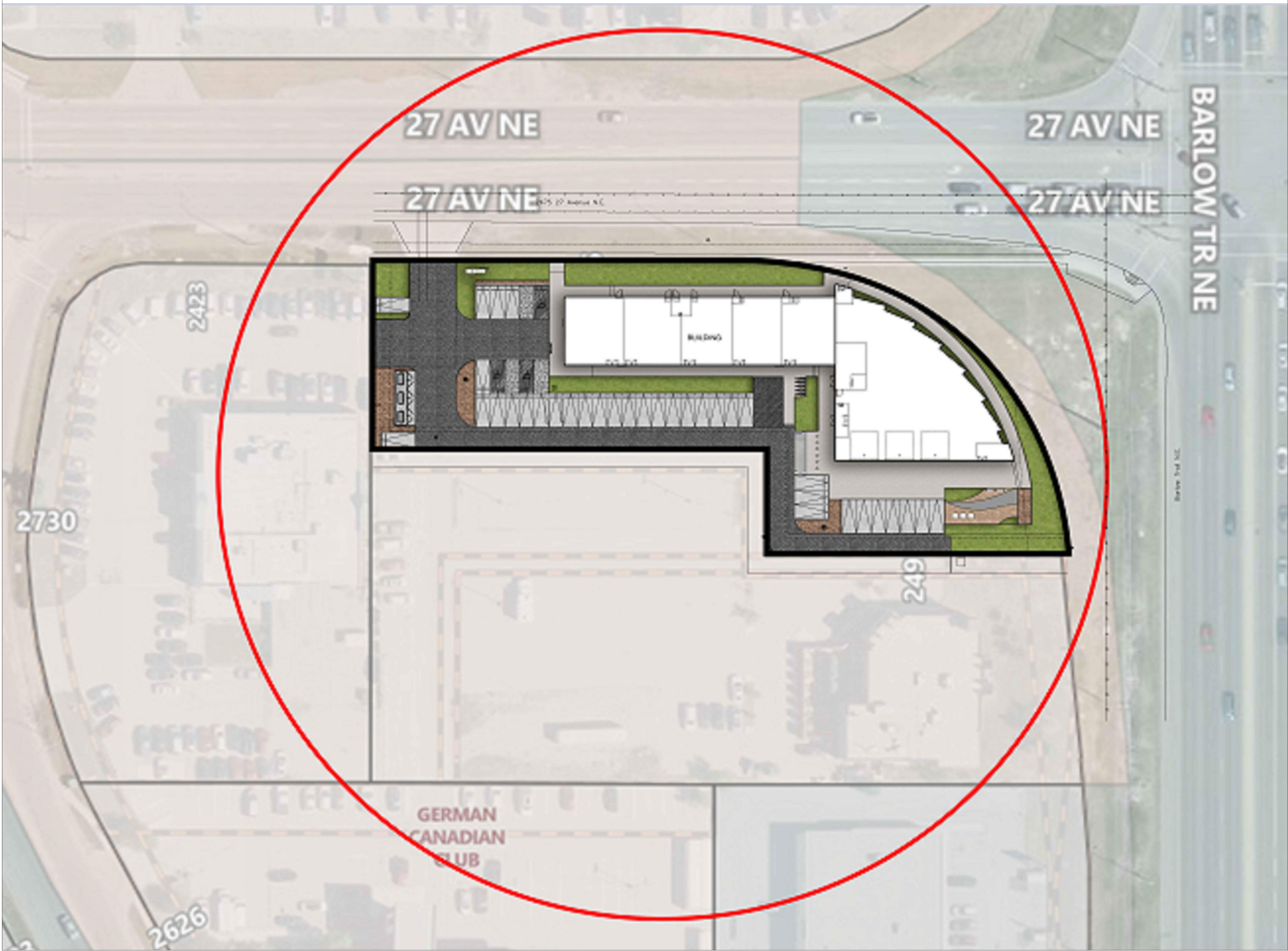
#202 - 4216 10 Street NE, Calgary, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

LIST OF DRAWINGS:

G-001	GENERAL NOTES	A-010	DELIVERY VEHICLE SWEEP PATHS
G-002	LOCATION MAP	A-011	FIRE ACCESS ROUTE
G-003	3D SHOTS 01	A-012	PUBLIC REALM ENHANCEMENT CITY SIDEWALK
G-004	3D SHOTS 02	A-013	CONSTRUCTION
G-005	3D SHOTS 03	A-014	DETAILS
G-006	3D SHOTS 04	A-101	MAIN FLOOR PLAN
A-001	SURVEY	A-102	FIRST FLOOR PLAN
A-002	EXISTING-PROPOSED SITE PLAN	A-103	ROOF FLOOR PLAN
A-003	PROPOSED SITE PLAN / DIMENSIONS	A-201	FRONT- RIGHT ELEVATIONS
A-004	PROPOSED GRADES	A-202	REAR- LEFT ELEVATIONS
A-005	STREET CROSS SECTIONS	A-203	FRONT- RIGHT ELEVATIONS - COLOR ELEVATION
A-006	LIGHTING	A-204	REAR- LEFT ELEVATIONS - COLOR ELEVATION
A-007	LANDSCAPE	A-301	BUILDING SECTIONS
A-008	COMMERCIAL BIN	A-401	SIGNAGE DIM. DETAILS
A-009	SIGNAGE	A-402	DOORS TYPES
		A-403	CURTAIN WALL TYPES

KEY PLAN :





NOTES
- DRAWINGS ARE NOT TO BE SCALED
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS
MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT
REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY
RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL
BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER
AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

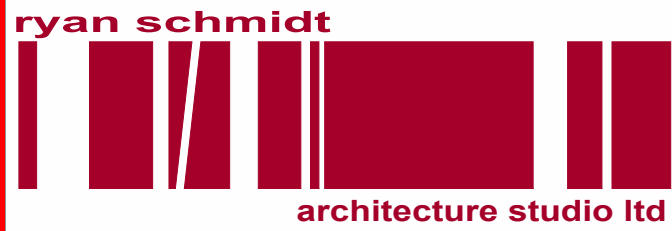
No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :		
1837707 ALBERTA LTD		
PROJECT:		
CAR DEALERSHIP		
ADDRESS :		
2475 27 AVENUE N.E CALGARY, ALBERTA PLAN 051 0431, UNIT 1 CONDOMINIUM		
DRAWING SET :		
DEVELOPMENT PERMIT SET		
DRAWING TITLE :		
LOCATION MAP		
DRAWING NO.		
G-002		
PROJECT NO:	DRAWN BY:	DATE:
2475 27	H.A / N.S/Z.R	2025-11-24
	CHECKED BY:	SCALE:
	H.A / E.Z	1:100

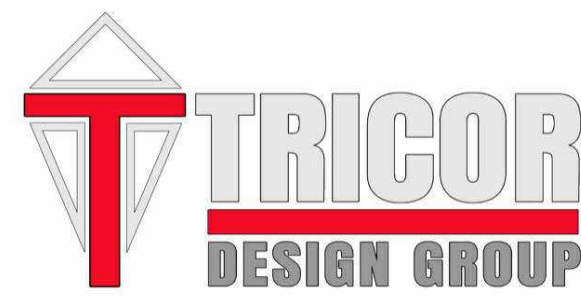


1 3D VIEW

ARCHITECT ON RECORD:



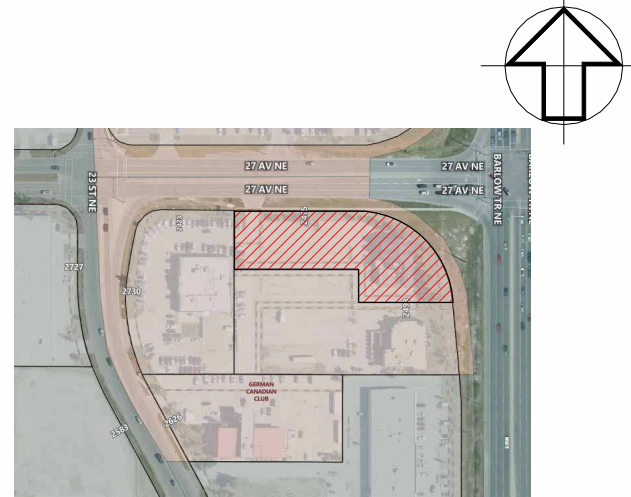
MAIN CONSULTANT:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T: 403-203-1970 EMAIL: info@tricordsg.ca

KEY PLAN



NOTES
• DRAWINGS ARE NOT TO BE SCALED.
• ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
• IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
• ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S./A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT :

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

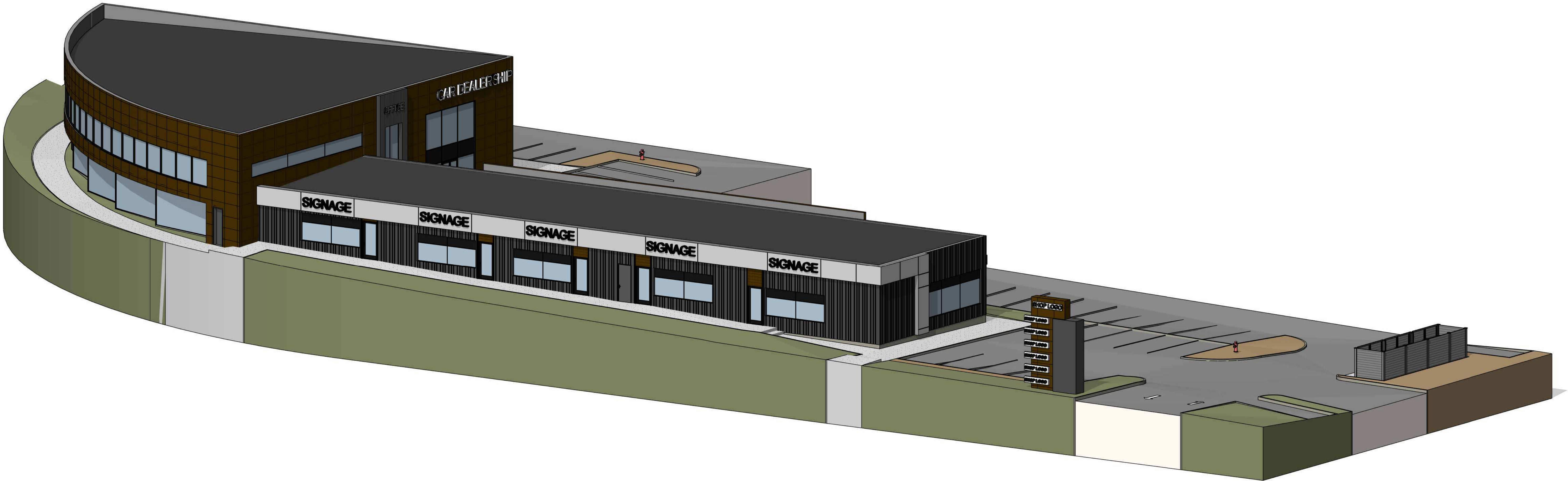
DRAWING TITLE :

3D SHOTS 01

DRAWING NO.

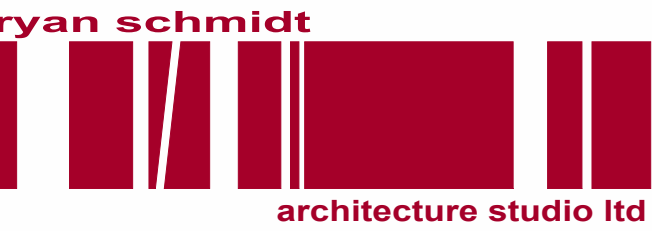
G-003

PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	

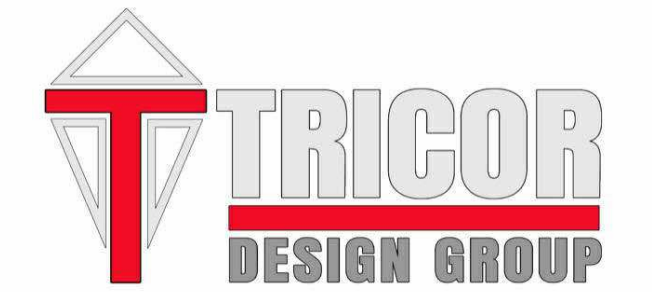


1 3D View ..

ARCHITECT ON RECORD:



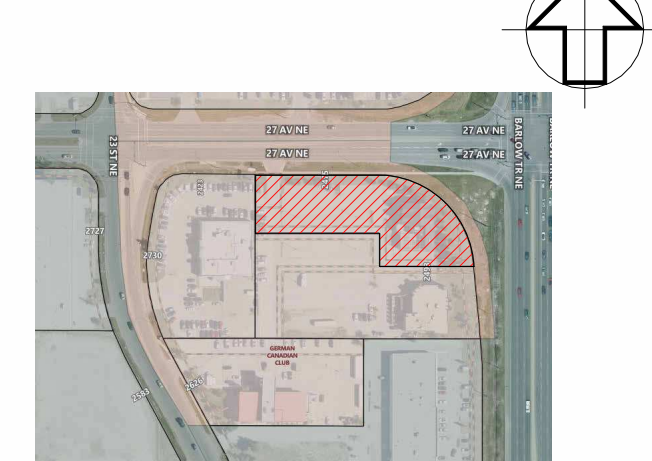
MAIN CONSULTANT:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T: 403-203-1970 EMAIL: info@tricordsg.ca

KEY PLAN



NOTES
• DRAWINGS ARE NOT TO BE SCALED.
• ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
• IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
• ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S/A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT :

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

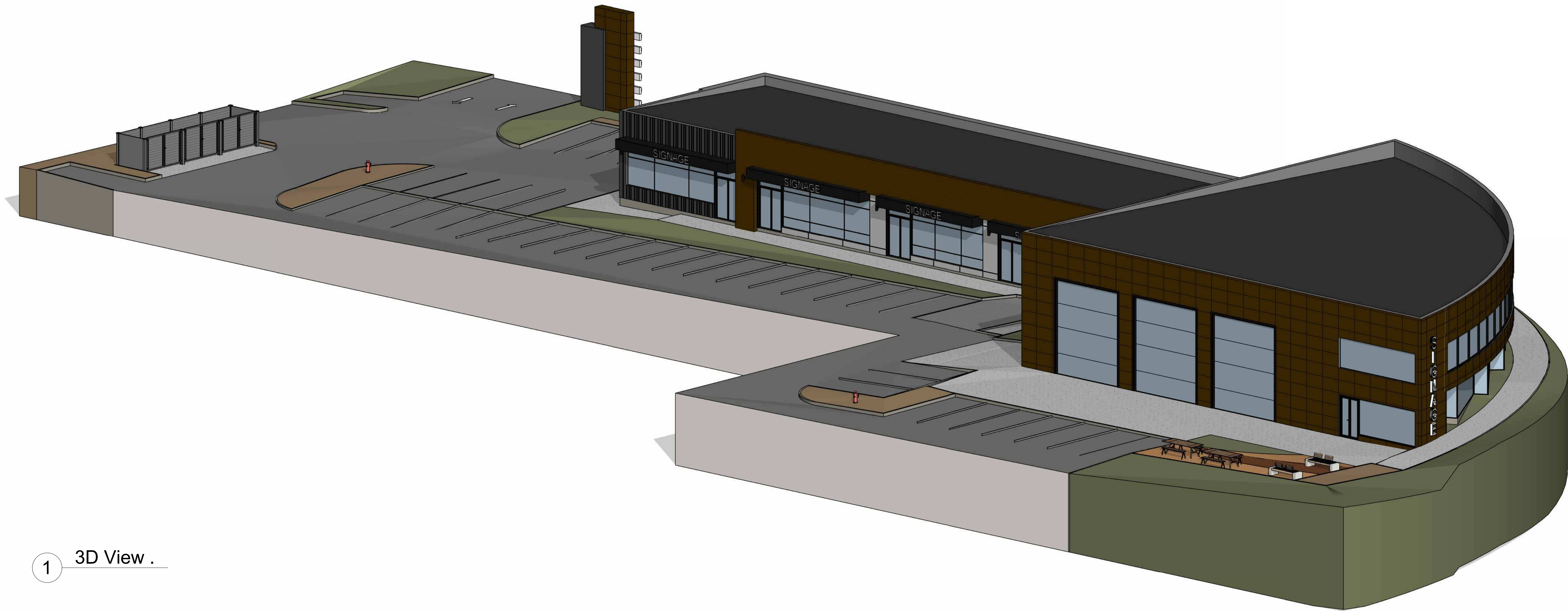
DRAWING TITLE :

3D SHOTS 02

DRAWING NO.

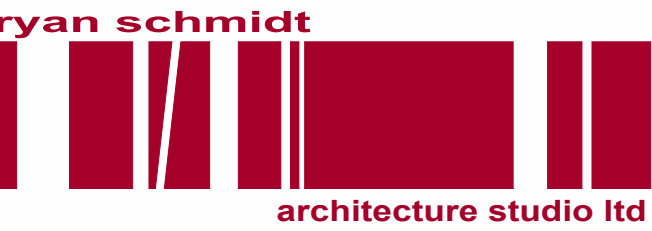
G-004

PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	



1 3D View .

ARCHITECT ON RECORD:



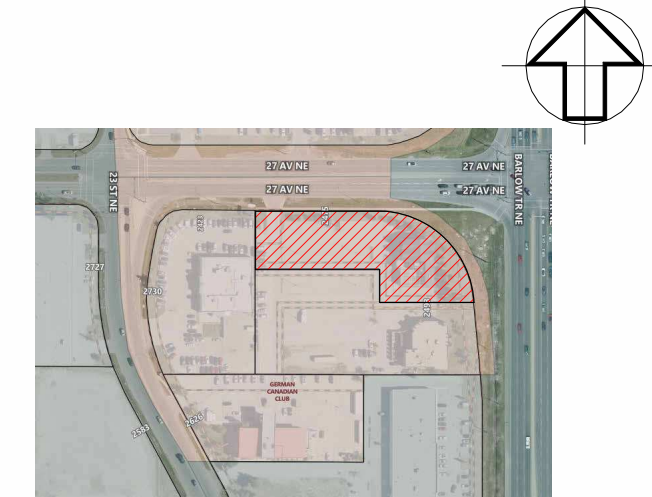
MAIN CONSULTANT:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T/E: 813 EMAIL: info@tricordsg.ca

KEY PLAN



NOTES
• DRAWINGS ARE NOT TO BE SCALED.
• ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
• IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
• ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S/A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT :

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

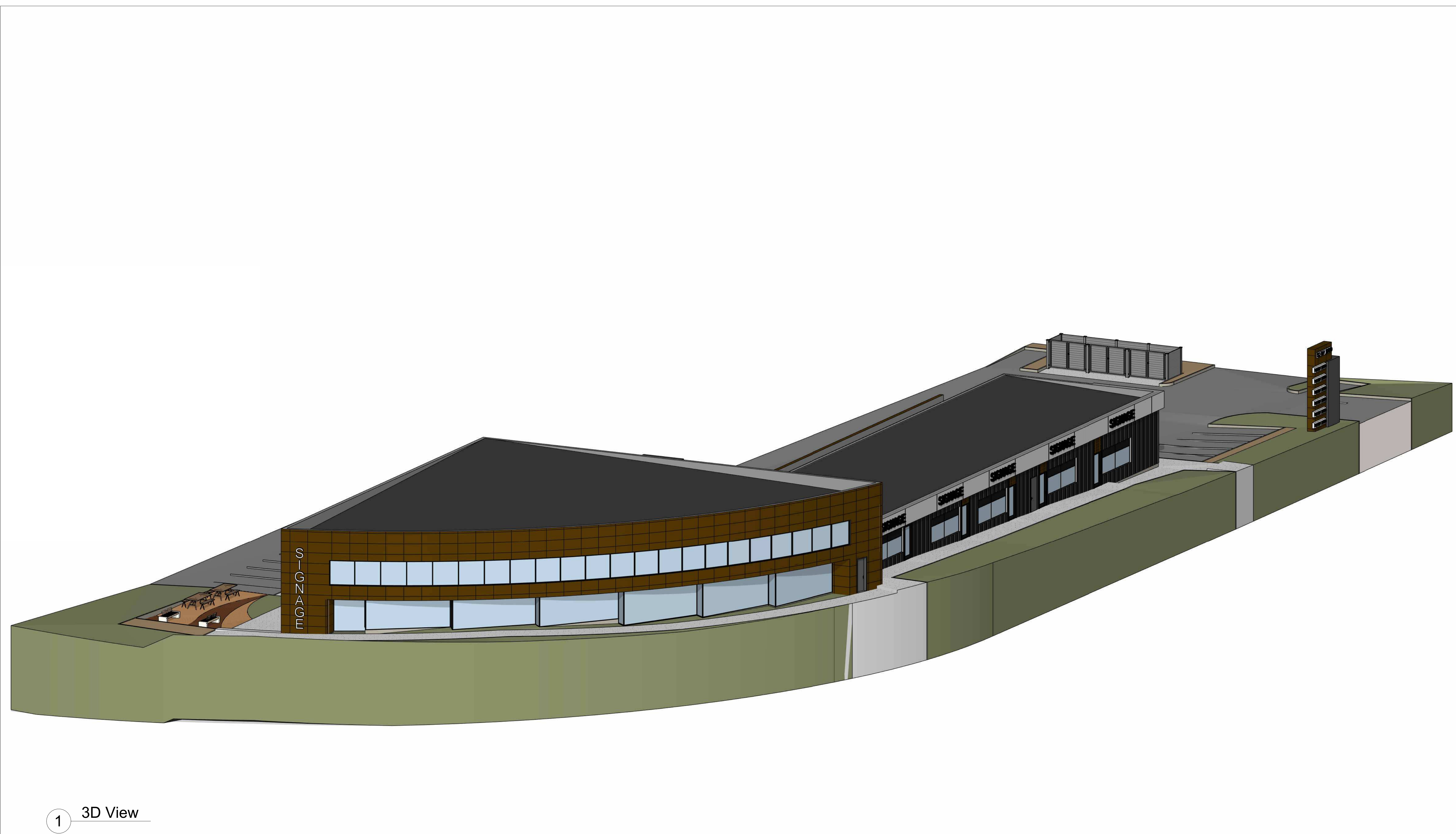
DRAWING TITLE :

3D SHOTS 03

DRAWING NO.

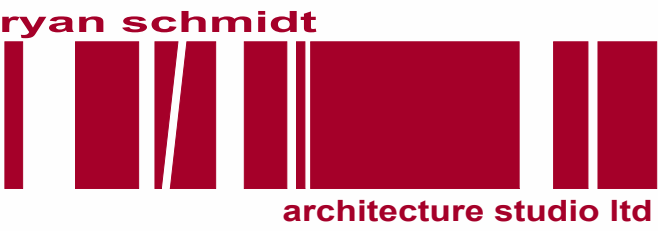
G-005

PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	

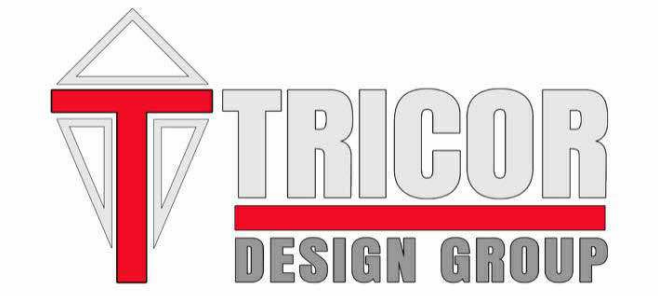


1 3D View

ARCHITECT ON RECORD:



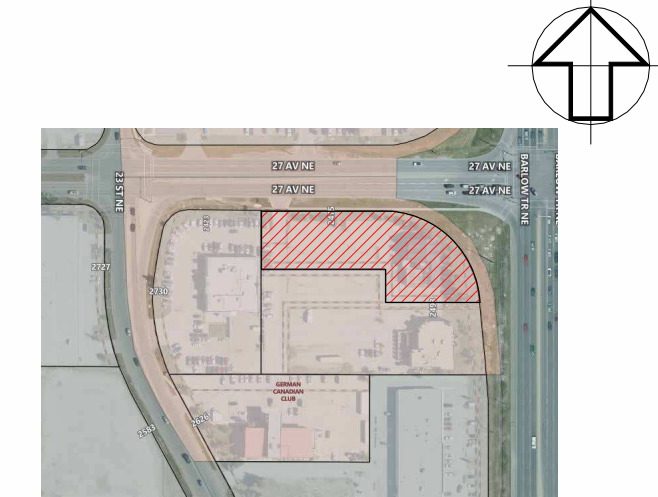
MAIN CONSULTANT:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T/E: 813 EMAIL: info@tricordg.ca

KEY PLAN



NOTES
• DRAWINGS ARE NOT TO BE SCALED.
• ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
• IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
• ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S/A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT :

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

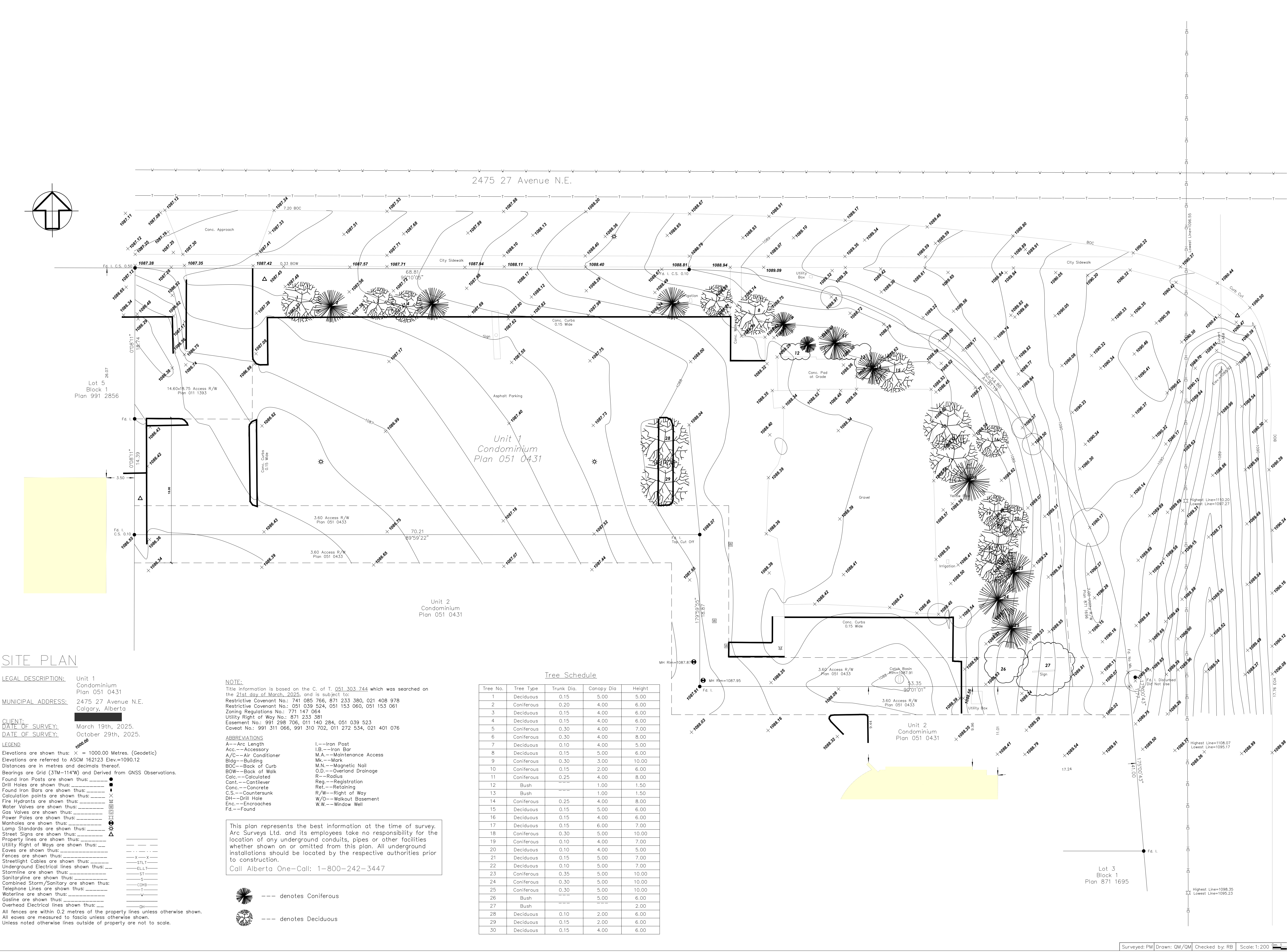
DRAWING TITLE :

3D SHOTS 04

DRAWING NO.

G-006

PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	



SITE PLAN

LEGAL DESCRIPTION: Unit 1 Condominium Plan 051 0431

MUNICIPAL ADDRESS: 2475 27 Avenue N.E. Calgary, Alberta

CLIENT: [Redacted]

DATE OF SURVEY: March 19th, 2025.

DATE OF SURVEY: October 29th, 2025.

LEGEND

Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 162123 Elev.=1090.12
Distances are in metres and decimals thereof.
Bearings are Grid (3TM-114°W) and Derived from GNSS Observations.

Found Iron Posts are shown thus: ●
Drill Holes are shown thus: ●
Found Iron Bars are shown thus: X
Calculation points are shown thus: +
Fire Hydrants are shown thus: H
Water Valves are shown thus: V
Gas Valves are shown thus: G
Power Poles are shown thus: P
Manholes are shown thus: M
Lamp Standards are shown thus: L
Street Signs are shown thus: S
Property lines are shown thus: ---
Utility Right of Ways are shown thus: ---
Eaves are shown thus: ---
Fences are shown thus: ---
Streetlight Cables are shown thus: ---
Underground Electrical lines shown thus: ---
Stormline are shown thus: ---
Sanitaryline are shown thus: ---
Combined Storm/Sanitary are shown thus: ---
Telephone Lines are shown thus: ---
Waterline are shown thus: ---
Gasline are shown thus: ---
Overhead Electrical lines shown thus: ---

All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.

NOTE:
Title Information is based on the C. of T. 051 303 744 which was searched on the 21st day of March, 2025, and is subject to:
Restrictive Covenant No.: 741 085 766, 871 233 380, 021 408 978
Restrictive Covenant No.: 051 039 524, 051 153 060, 051 153 061
Zoning Regulations No.: 771 147 064
Utility Right of Way No.: 871 233 381
Easement No.: 991 298 706, 011 140 284, 051 039 523
Caveat No.: 991 311 066, 991 310 702, 011 272 534, 021 401 076

ABBREVIATIONS
A---Arc Length
Acc---Accessory
A/C---Air Conditioner
Bldg---Building
BOC---Back of Curb
BOW---Back of Walk
Calc---Calculated
Cant---Cantilever
Conc---Concrete
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
D/H---Drill Hole
Enc---Encroaches
Fd---Found

I---Iron Post
I.B---Iron Bar
M.A---Maintenance Access
Mk---Mark
M.N---Magnetic Nail
O.D---Overland Drainage
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
W/O---Walkout Basement
W.W---Window Well

This plan represents the best information at the time of survey.
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

Call Alberta One-Call: 1-800-242-3447

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.15	5.00	5.00
2	Coniferous	0.20	4.00	6.00
3	Deciduous	0.15	4.00	6.00
4	Deciduous	0.15	4.00	6.00
5	Coniferous	0.30	4.00	7.00
6	Coniferous	0.30	4.00	8.00
7	Deciduous	0.10	4.00	5.00
8	Deciduous	0.15	5.00	6.00
9	Coniferous	0.30	3.00	10.00
10	Coniferous	0.15	2.00	6.00
11	Coniferous	0.25	4.00	8.00
12	Bush	---	1.00	1.50
13	Bush	---	1.00	1.50
14	Coniferous	0.25	4.00	8.00
15	Deciduous	0.15	5.00	6.00
16	Deciduous	0.15	4.00	6.00
17	Deciduous	0.15	6.00	7.00
18	Coniferous	0.30	5.00	10.00
19	Coniferous	0.10	4.00	7.00
20	Deciduous	0.10	4.00	5.00
21	Deciduous	0.15	5.00	7.00
22	Deciduous	0.10	5.00	7.00
23	Coniferous	0.35	5.00	10.00
24	Coniferous	0.30	5.00	10.00
25	Coniferous	0.30	5.00	10.00
26	Bush	---	5.00	6.00
27	Bush	---	---	2.00
28	Deciduous	0.10	2.00	6.00
29	Deciduous	0.15	2.00	6.00
30	Deciduous	0.15	4.00	6.00

--- denotes Coniferous
--- denotes Deciduous

ARCHITECT ON RECORD

ryan schmidt

architecture studio ltd

MAIN CONSULTANT

TRICOR

DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202, 4216 10 STREET NE
CALGARY, AB. T2E 0K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN

NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

**2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431, UNIT 1 CONDOMINIUM**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

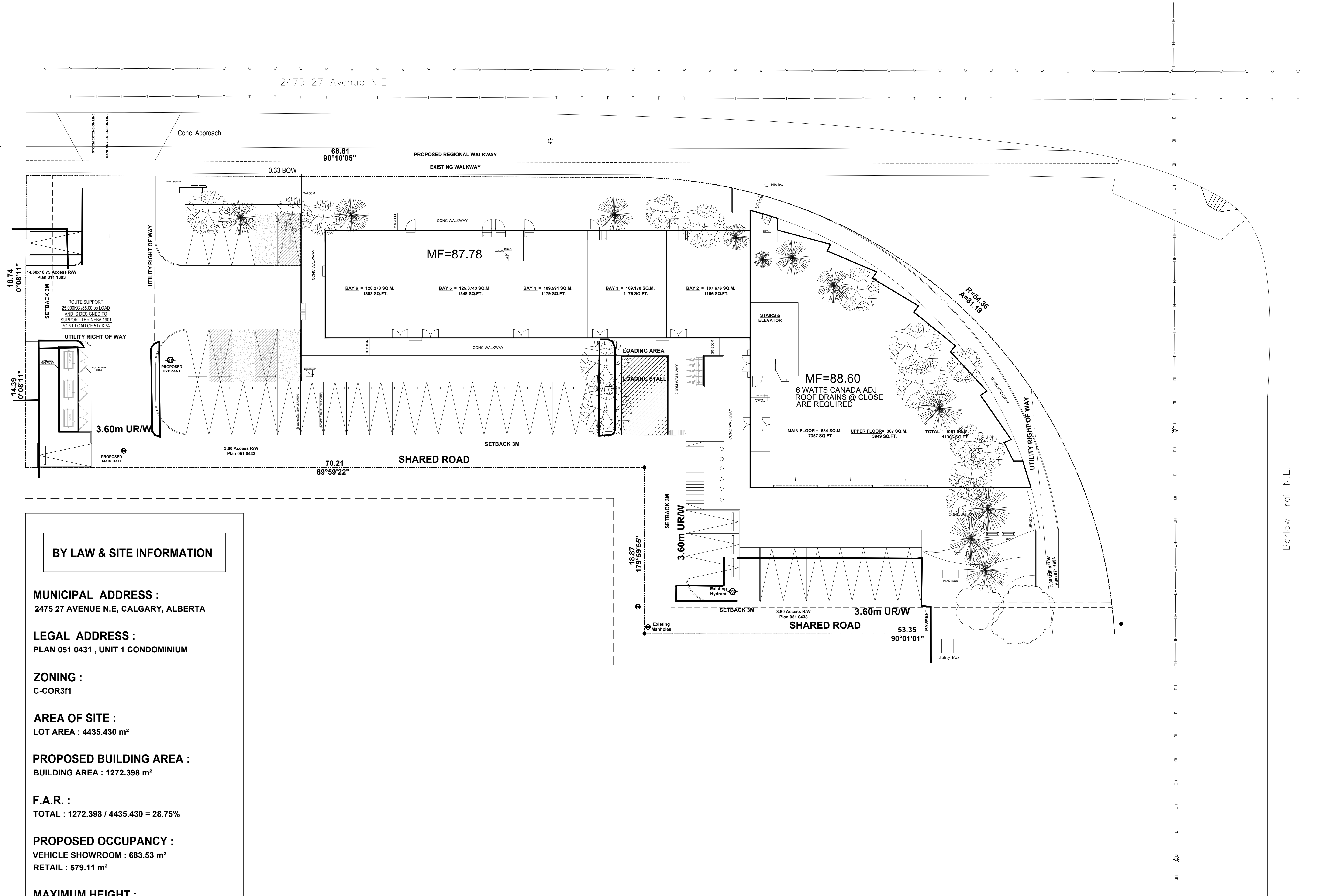
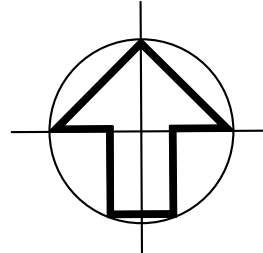
EXISTING SURVEY

DRAWING NO.

A-001

PROJECT NO:	DRAWN BY:	DATE:
2475 27	H.A / N.S.Z.R	2025-11-24
	CHECKED BY:	SCALE:
	H.A / E.Z	1:200

Surveyed: PM Drawn: QM/QM Checked by: RB Scale: 1: 200



BY LAW & SITE INFORMATION

MUNICIPAL ADDRESS :
2475 27 AVENUE N.E, CALGARY, ALBERTA

LEGAL ADDRESS :
PLAN 051 0431 , UNIT 1 CONDOMINIUM

ZONING :
C-COR3f1

AREA OF SITE :
LOT AREA : 4435.430 m²

PROPOSED BUILDING AREA :
BUILDING AREA : 1272.398 m²

F.A.R. :
TOTAL : 1272.398 / 4435.430 = 28.75%

PROPOSED OCCUPANCY :
VEHICLE SHOWROOM : 683.53 m²
RETAIL : 579.11 m²

MAXIMUM HEIGHT :
BUILDING HEIGHT (MAXIMUM)= 12M

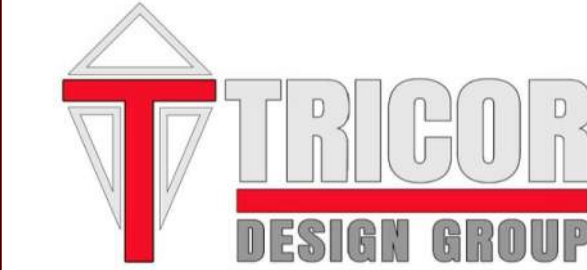
SETBACK :
SIDE SETBACK : 3.0 M
REAR SETBACK : 3.0 M

ARCHITECT ON RECORD

ryan schmidt



MAIN CONSULTANT



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE
CALGARY, AB.
T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431,UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

EXISTING & PROPOSED
SITE PLAN

DRAWING NO.

A-002

PROJECT NO:

2475 27

DRAWN BY:

H.A / N.S/Z.R

DATE:

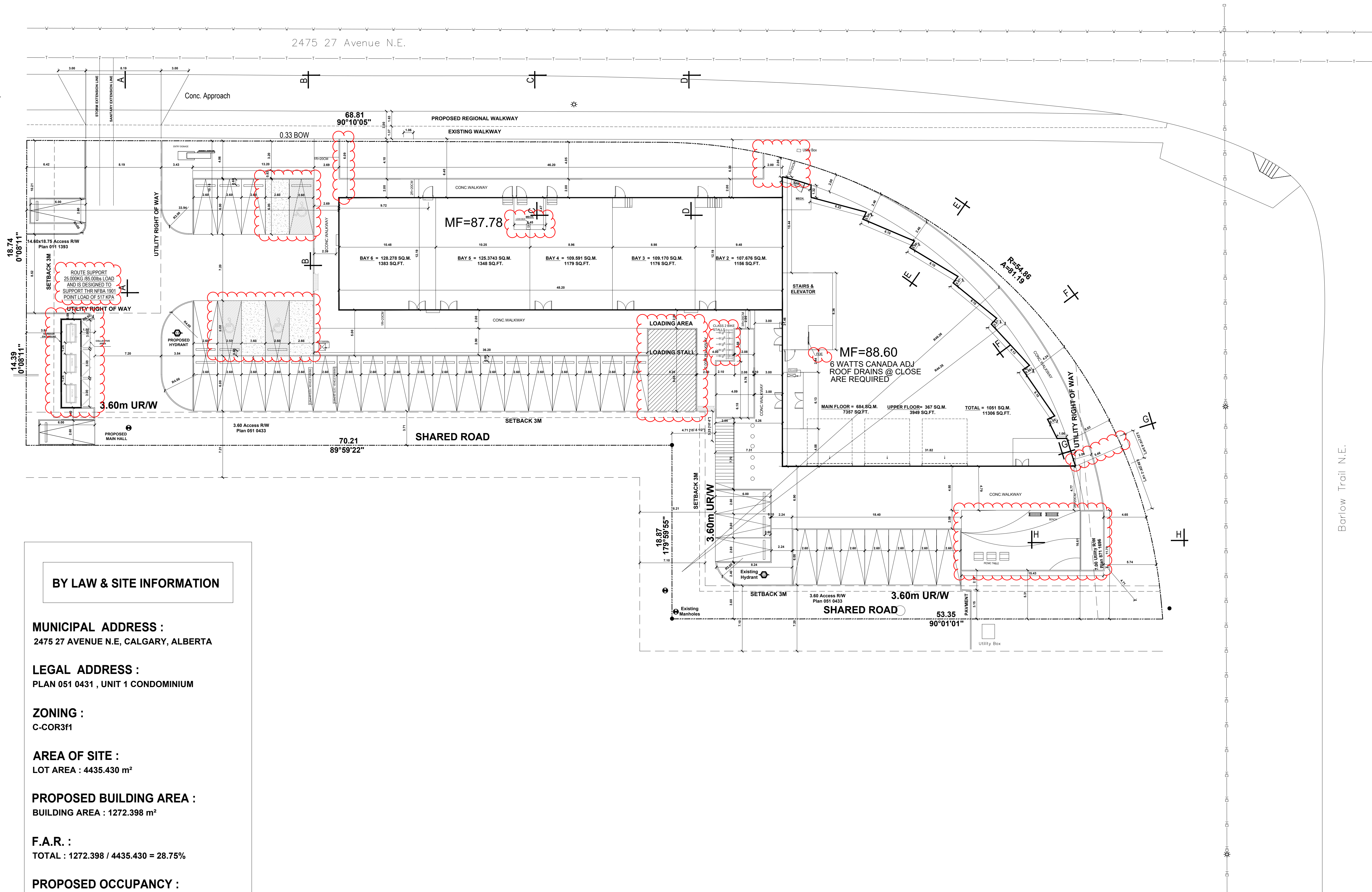
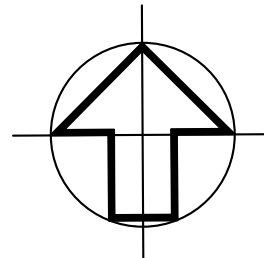
2025-11-24

CHECKED BY:

H.A / E.Z

SCALE:

1:100



BY LAW & SITE INFORMATION

MUNICIPAL ADDRESS :
2475 27 AVENUE N.E, CALGARY, ALBERTA

LEGAL ADDRESS :
PLAN 051 0431 , UNIT 1 CONDOMINIUM

ZONING :
C-COR3f1

AREA OF SITE :
LOT AREA : 4435.430 m²

PROPOSED BUILDING AREA :
BUILDING AREA : 1272.398 m²

F.A.R. :
TOTAL : 1272.398 / 4435.430 = 28.75%

PROPOSED OCCUPANCY :
VEHICLE SHOWROOM : 683.53 m²
RETAIL : 579.11 m²

MAXIMUM HEIGHT :
BUILDING HEIGHT (MAXIMUM)= 12M

SETBACK :
SIDE SETBACK : 3.0 M
REAR SETBACK : 3.0 M

ARCHITECT ON RECORD

ryan schmidt



MAIN CONSULTANT



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE
CALGARY, AB.
T2E 0K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431, UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED
SITE PLAN/ DIMENSIONS

DRAWING NO.

A-003

PROJECT NO:

2475 27

DRAWN BY:

H.A / N.S / Z.R

DATE:

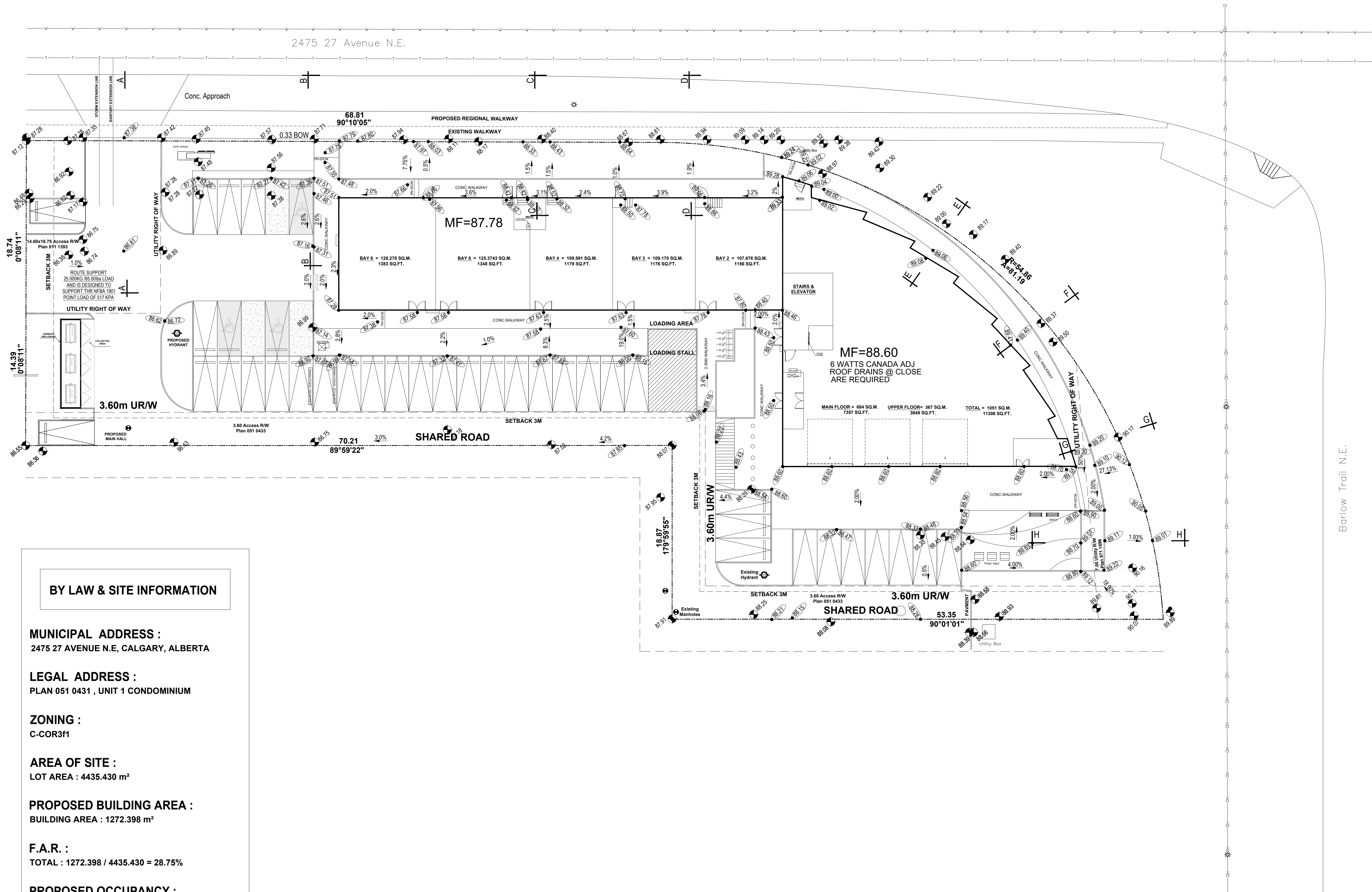
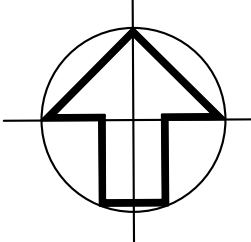
2025-11-24

CHECKED BY:

H.A / E.Z

SCALE:

1:100



BY LAW & SITE INFORMATION

MUNICIPAL ADDRESS :
2475 27 AVENUE N.E, CALGARY, ALBERTA

LEGAL ADDRESS :
PLAN 051 0431 , UNIT 1 CONDOMINIUM

ZONING :
C-COR3f1

AREA OF SITE :
LOT AREA : 4435.430 m²

PROPOSED BUILDING AREA :
BUILDING AREA : 1272.398 m²

F.A.R. :
TOTAL : 1272.398 / 4435.430 = 28.75%

PROPOSED OCCUPANCY :
VEHICLE SHOWROOM : 683.53 m²
RETAIL : 579.11 m²

MAXIMUM HEIGHT :
BUILDING HEIGHT (MAXIMUM)= 12M

SETBACK :
SIDE SETBACK : 3.0 M
REAR SETBACK : 3.0 M

ARCHITECT ON RECORD

ryan schmidt



MAIN CONSULTANT



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE
CALGARY, AB. T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431, UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED GRADES

DRAWING NO.

A-004

PROJECT NO:

2475 27

DRAWN BY:

H.A / N.S / Z.R

DATE:

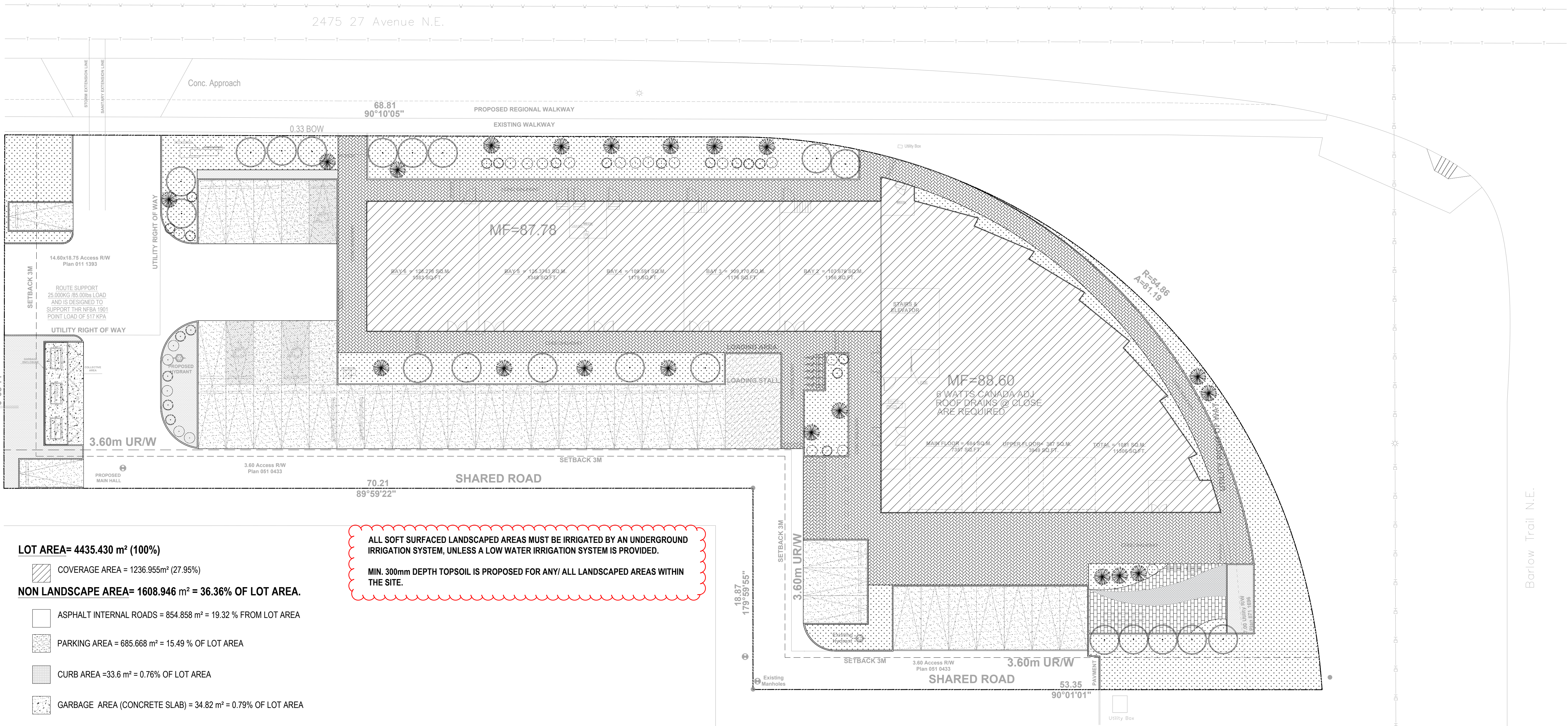
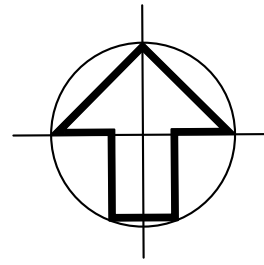
2025-11-24

CHECKED BY:

H.A / E.Z

SCALE:

1:100



LOT AREA= 4435.430 m² (100%)

COVERAGE AREA = 1236.955m² (27.95%)

NON LANDSCAPE AREA= 1608.946 m² = 36.36% OF LOT AREA.

ASPHALT INTERNAL ROADS = 854.858 m² = 19.32 % FROM LOT AREA

PARKING AREA = 685.668 m² = 15.49 % OF LOT AREA

CURB AREA =33.6 m² = 0.76% OF LOT AREA

GARBAGE AREA (CONCRETE SLAB) = 34.82 m² = 0.79% OF LOT AREA

HARD LANDSCAPE AREA= 736.75 m² = 16.65% OF LOT AREA.

EXPOSED AGGREGATED CONCRETE WALKWAYS =669.498 m² = 15.13% OF LOT AREA

EXPOSED PAVING 1 = 46.973 m² = 1.06% OF LOT AREA

EXPOSED PAVING 2 = 20.279 m² =0.46% OF LOT AREA

SOFT LANDSCAPE AREA= 845.272 = 19.10 % OF LOT AREA.

S.O.D. = 733.233 m²= 16.57% OF LOT AREA

MULSH. = 112.039 m² = 2.53% OF LOT AREA

PLANTING REQUIREMENTS:-

REQUIRED NO. OF TREES = 18

REQUIRED NO. OF SHRUBS = 36

PROPOSED NO. OF TREES = 40

PROPOSED NO. OF SHRUBS = 40

PLANTING SCHEDULE:

	COMMON NAME	LATIN NAME	SIZE/ SPREAD	QUANTITY
DECIDUOUS TREE	SWEETHEART MAYDAY	PRUNUS PADUS 'SEL'	75MM CAL.	20
CONIFEROUS TREE	COLUMNAR BLUE SPRUCE	PICEA PLUNGENS 'FASTIGIATA'	3000MM HGT.	20
DECIDUOUS SHRUB	SNOWBERRY	SYMPHORICARPOS ALBUS	600MM HGT.	20
CONIFEROUS SHRUB	DWARF MUGO PINE	PINUS MUGO VAR. PUMILIO	600MM HT.	20

ALL SOFT SURFACED LANDSCAPED AREAS MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS A LOW WATER IRRIGATION SYSTEM IS PROVIDED.

MIN. 300mm DEPTH TOPSOIL IS PROPOSED FOR ANY/ ALL LANDSCAPED AREAS WITHIN THE SITE.

ARCHITECT ON RECORD

ryan schmidt



MAIN CONSULTANT



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE
CALGARY, AB.
T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431,UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

LANDSCAPE

DRAWING NO.

A-007

PROJECT NO:

2475 27

DRAWN BY:

H.A / N.S/Z.R

DATE:

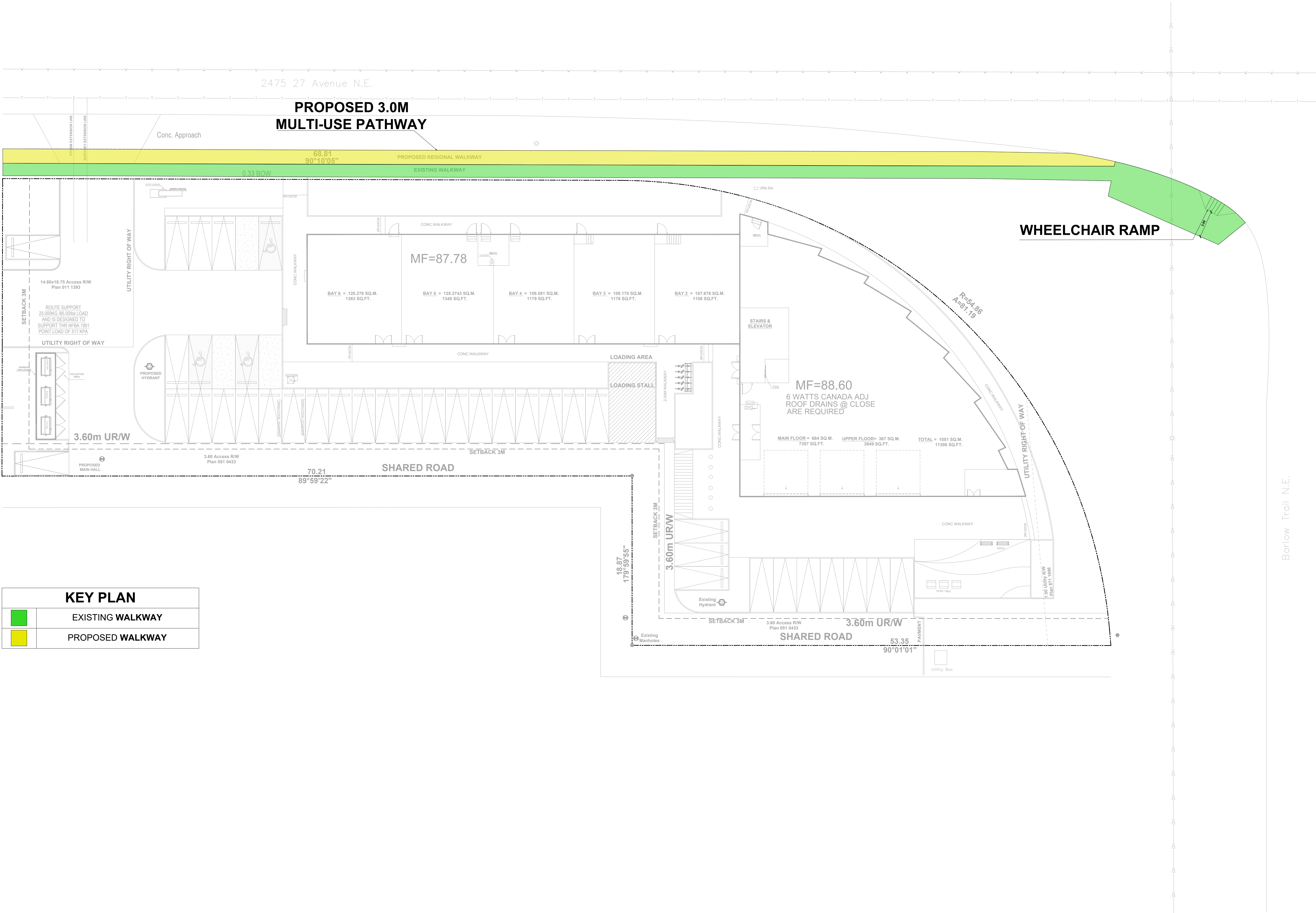
2025-11-24

CHECKED BY:

H.A / E.Z

SCALE:

1:100



ARCHITECT ON RECORD

ryan schmidt

architecture studio ltd

MAIN CONSULTANT

TRICOR

DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE
CALGARY, AB.
T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN

NOTES

- DRAWINGS ARE NOT TO BE SCALED.

- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.

- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.

- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:

No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431,UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PUBLIC REALM ENHANCEMENT -
CITY SIDEWALK

DRAWING NO.

A-012

PROJECT NO:

2475 27

DRAWN BY:

H.A / N.S/Z.R

DATE:

2025-11-24

CHECKED BY:

H.A / E.Z

SCALE:

1:100



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:				
No.	Date	Description	DRAWN BY	Chk'd By
01	2025-09-09	DTR 1	N.S	H.A / E.Z
02	2025-11-24	REVISED DP	Z.R	H.A / E.Z

ISSUES:				
No.	Date	Description	DRAWN BY	Chk'd By
01	2025-06-30	DEVELOPMENT PERMIT	H.A / N.S	H.A / E.Z

THE CLIENT :

1837707 ALBERTA LTD

PROJECT:

CAR DEALERSHIP

ADDRESS :

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431,UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PUBLIC REALM ENHANCEMENT -
CITY SIDEWALK

DRAWING NO.

A-012

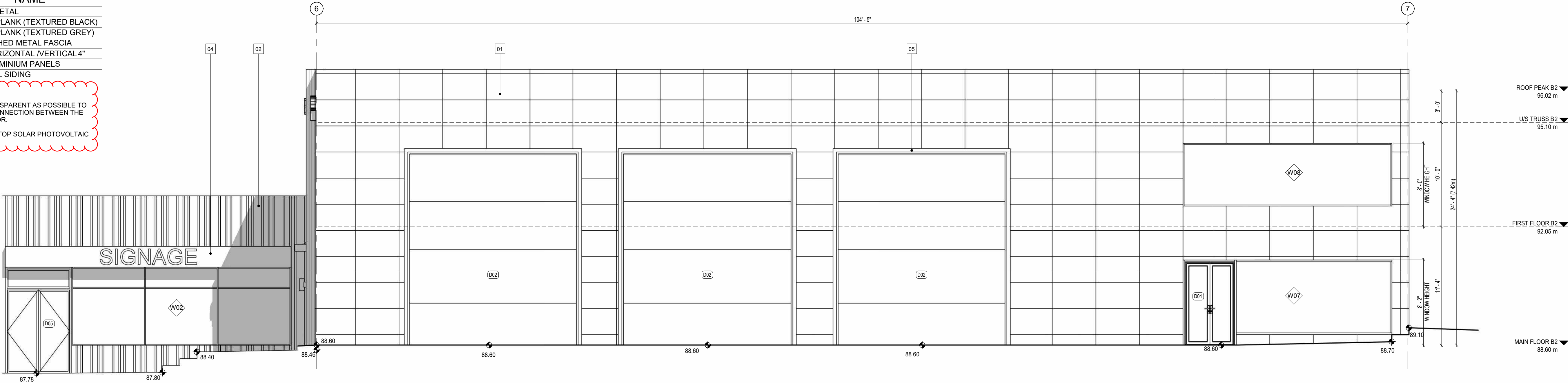
PROJECT NO:	DRAWN BY:	DATE:
2475 27	H.A / N.S/Z.R	2025-11-24
CHECKED BY:	SCALE:	
H.A / E.Z	1:100	

SCHEDULE OF FINISHES1	
MARK	NAME
01	RUSTED METAL
02	RANDOM PLANK (TEXTURED BLACK)
03	RANDOM PLANK (TEXTURED GREY)
04	PRE-FINISHED METAL FASCIA
05	TRIM - HORIZONTAL /VERTICAL 4"
06	BLACK ALUMINIUM PANELS
07	LUX METAL SIDING

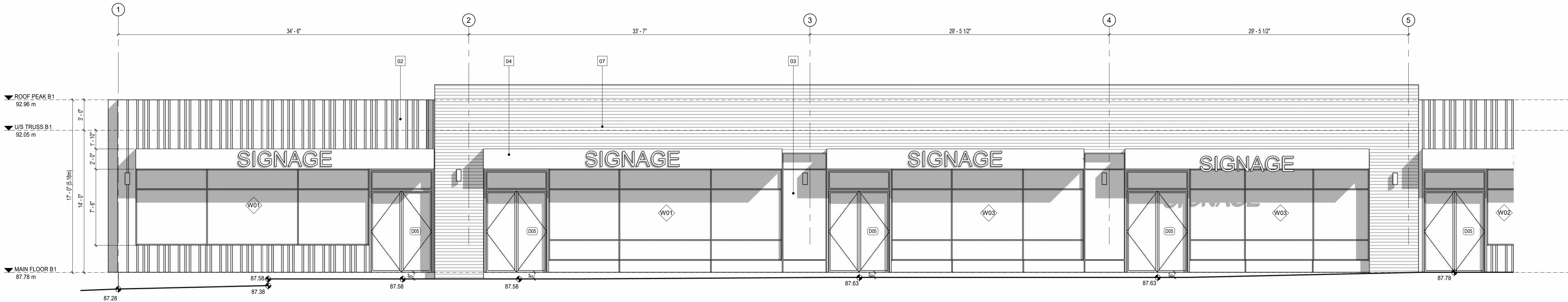
NOTE

ALL GLAZING AS TRANSPARENT AS POSSIBLE TO PROMOTE A VISUAL CONNECTION BETWEEN THE INTERIOR AND EXTERIOR.

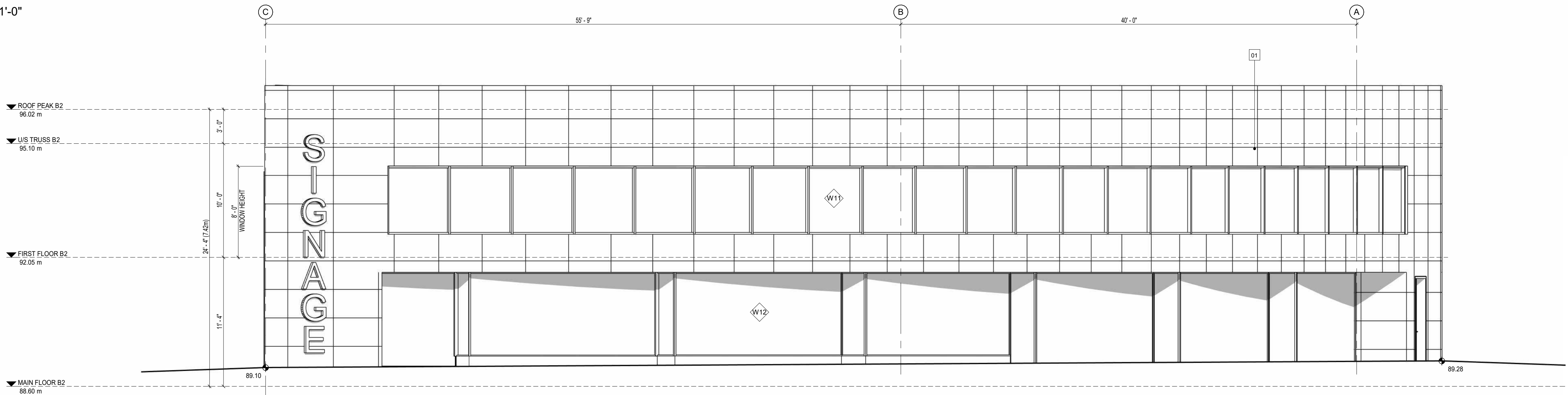
INCORPORATE ROOFTOP SOLAR PHOTOVOLTAIC (PV) PANELS.



1 FRONT ELEVATION
3/16" = 1'-0"

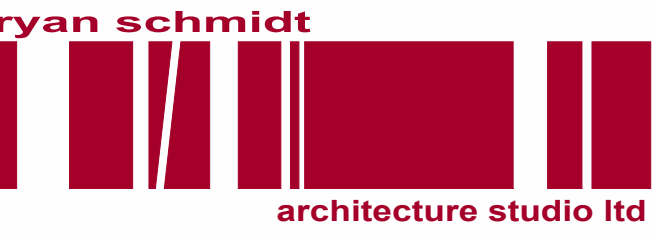


2 FRONT ELEVATION.
3/16" = 1'-0"



3 RIGHT ELEVATION
3/16" = 1'-0"

ARCHITECT ON RECORD:



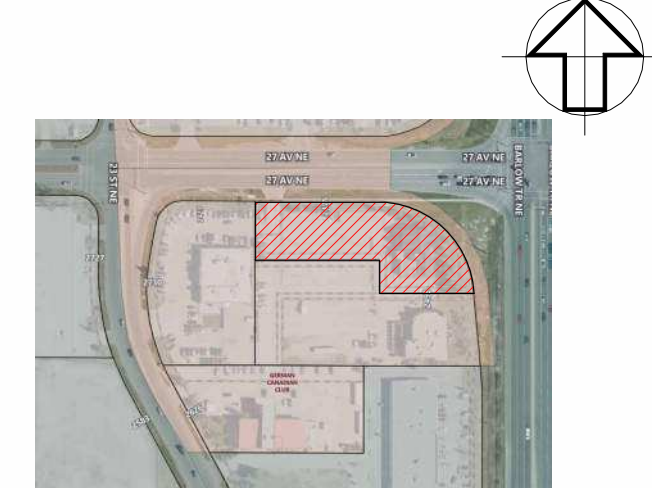
MAIN CONSULTANT:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T7E 6K3 EMAIL: info@tricordesigns.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S/A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT :

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

BUILDING ELEVATIONS

DRAWING NO.

A-201

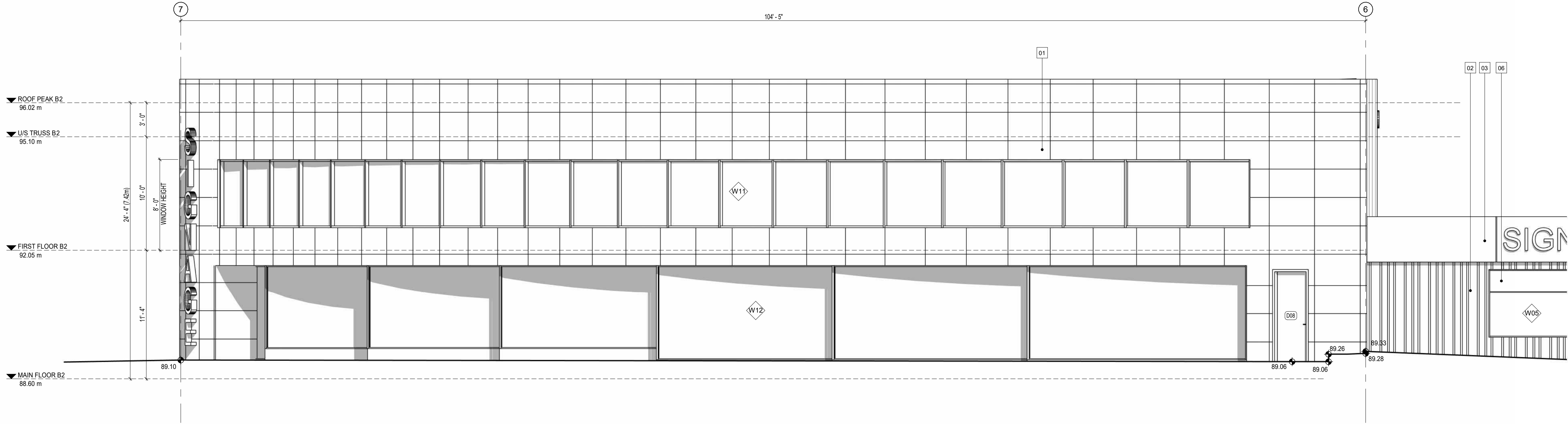
PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	3/16" = 1'-0"

SCHEDULE OF FINISHES1	
MARK	NAME
01	RUSTED METAL
02	RANDOM PLANK (TEXTURED BLACK)
03	RANDOM PLANK (TEXTURED GREY)
04	PRE-FINISHED METAL FASCIA
05	TRIM - HORIZONTAL /VERTICAL 4"
06	BLACK ALUMINIUM PANELS
07	LUX METAL SIDING

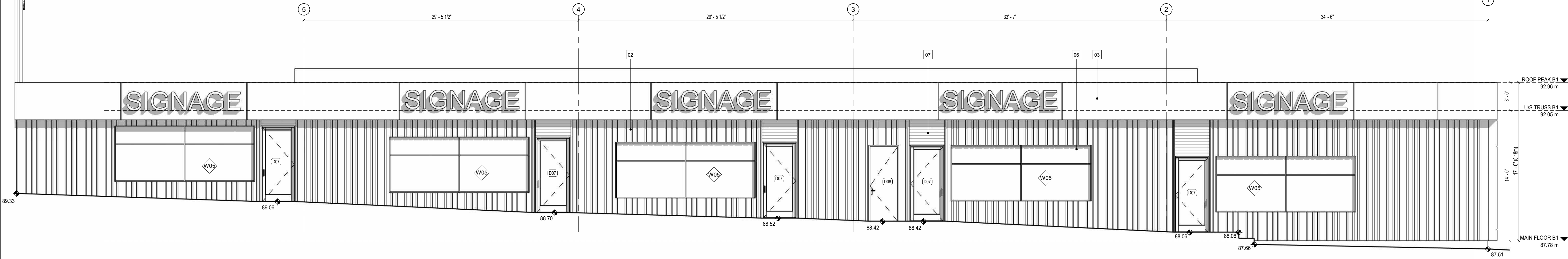
NOTE

ALL GLAZING AS TRANSPARENT AS POSSIBLE TO PROMOTE A VISUAL CONNECTION BETWEEN THE INTERIOR AND EXTERIOR.

INCORPORATE ROOFTOP SOLAR PHOTOVOLTAIC (PV) PANELS.



1 REAR ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION .
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"

ARCHITECT ON RECORD:

ryan schmidt
architecture studio ltd

MAIN CONSULTANT:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. T4E 6K3 FAX: (403)203-1990
EMAIL: info@tricordsg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S/A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT:

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

BUILDING ELEVATIONS

DRAWING NO.

A-202

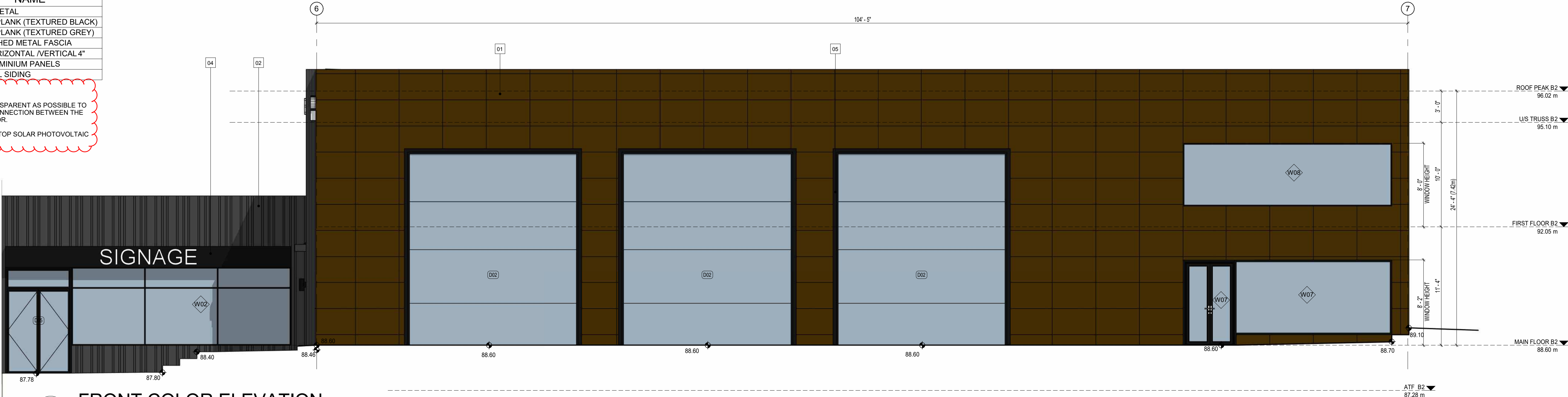
PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	3/16" = 1'-0"

SCHEDULE OF FINISHES1	
MARK	NAME
01	RUSTED METAL
02	RANDOM PLANK (TEXTURED BLACK)
03	RANDOM PLANK (TEXTURED GREY)
04	PRE-FINISHED METAL FASCIA
05	TRIM - HORIZONTAL /VERTICAL 4"
06	BLACK ALUMINIUM PANELS
07	LUX METAL SIDING

NOTE

ALL GLAZING AS TRANSPARENT AS POSSIBLE TO PROMOTE A VISUAL CONNECTION BETWEEN THE INTERIOR AND EXTERIOR.

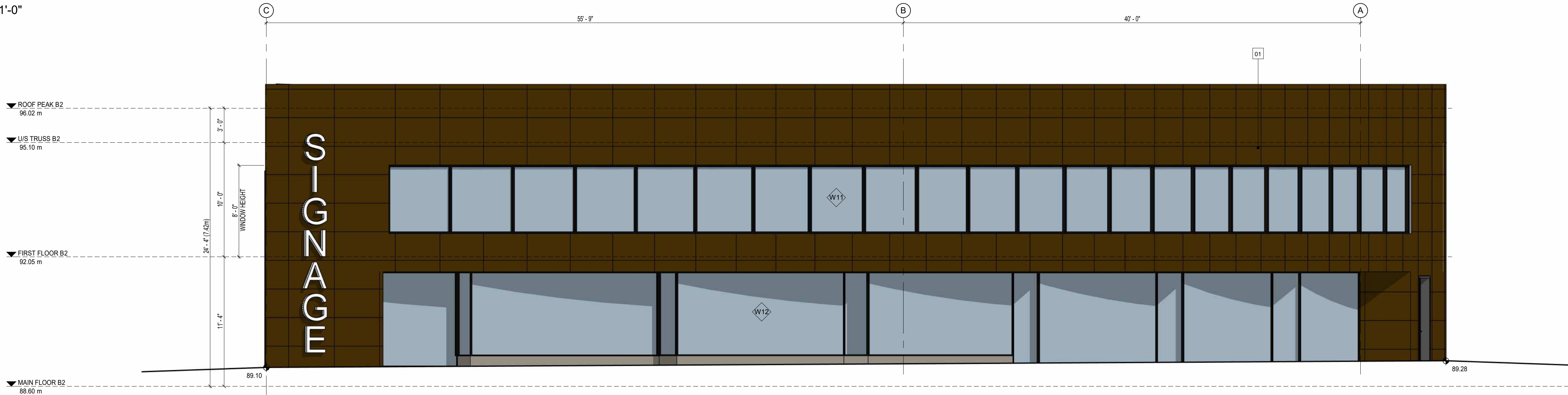
INCORPORATE ROOFTOP SOLAR PHOTOVOLTAIC (PV) PANELS.



1 FRONT COLOR ELEVATION
3/16" = 1'-0"

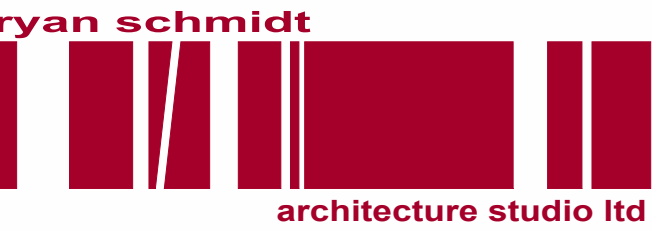


2 FRONT COLOR ELEVATION.
3/16" = 1'-0"



3 RIGHT COLOR ELEVATION
3/16" = 1'-0"

ARCHITECT ON RECORD:



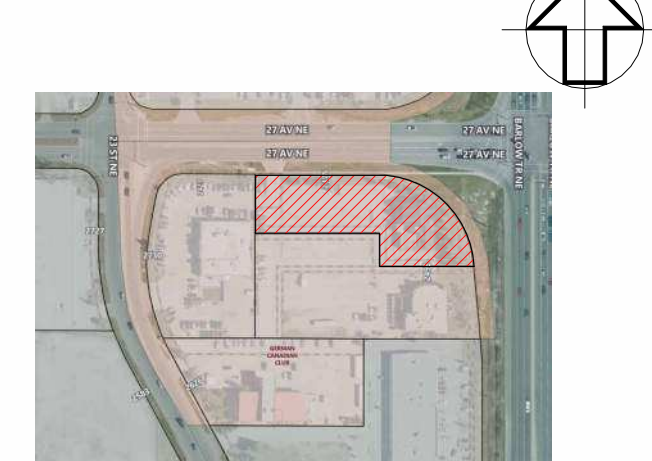
MAIN CONSULTANT:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigins.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T/E R/S E/MAL info@tricordsg.ca

KEY PLAN



NOTES
DRAWINGS ARE NOT TO BE SCALED.
ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S/A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT:

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431, UNIT 1 CONDOMINIUM

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

BUILDING COLOR ELEVATIONS

DRAWING NO.

A-203

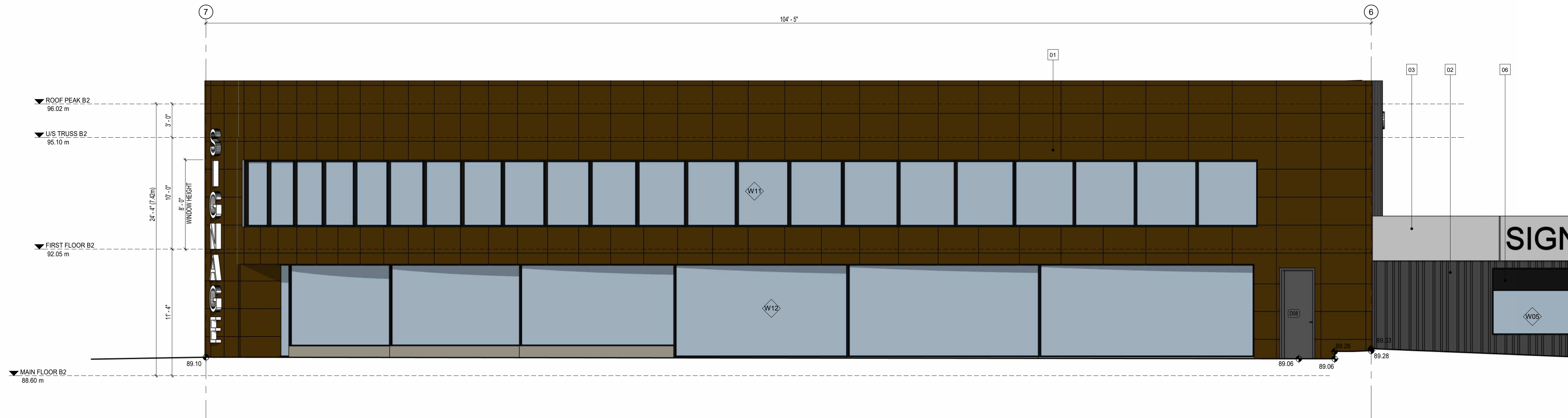
PROJECT NO.	DRAWN BY:	DATE:
2475 27	H.A.N.S/A.A.M.M	2025-11-24
	CHECKED BY:	SCALE:
	E.Z.H.A	3/16" = 1'-0"

SCHEDULE OF FINISHES1	
MARK	NAME
01	RUSTED METAL
02	RANDOM PLANK (TEXTURED BLACK)
03	RANDOM PLANK (TEXTURED GREY)
04	PRE-FINISHED METAL FASCIA
05	TRIM - HORIZONTAL /VERTICAL 4"
06	BLACK ALUMINIUM PANELS
07	LUX METAL SIDING

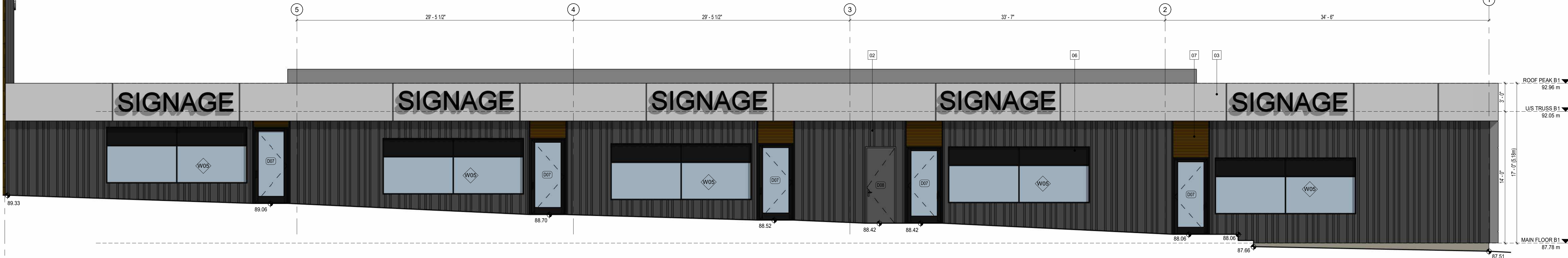
NOTE

ALL GLAZING AS TRANSPARENT AS POSSIBLE TO PROMOTE A VISUAL CONNECTION BETWEEN THE INTERIOR AND EXTERIOR.

INCORPORATE ROOFTOP SOLAR PHOTOVOLTAIC (PV) PANELS.



1 REAR COLOR ELEVATION
3/16" = 1'-0"

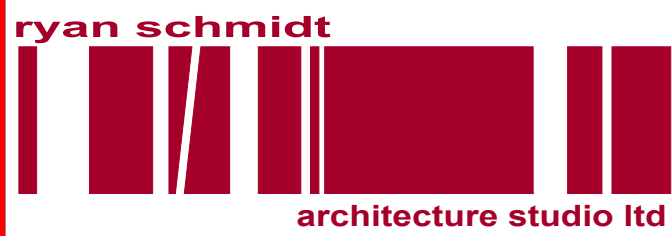


2 REAR COLOR ELEVATION .
3/16" = 1'-0"



3 LEFT COLOR ELEVATION
3/16" = 1'-0"

ARCHITECT ON RECORD:



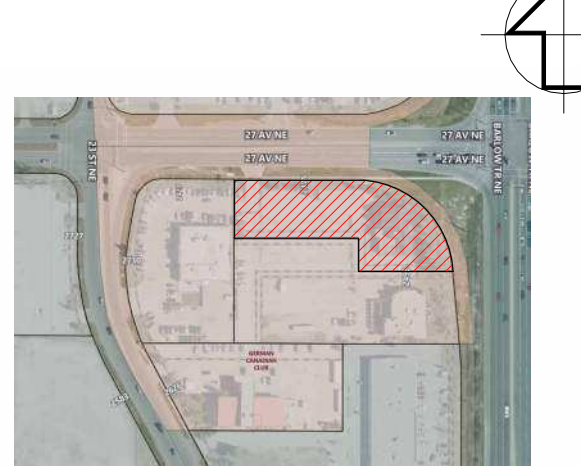
MAIN CONSULTANT:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. T2E 6K3 FAX: (403)203-1990
EMAIL: info@tricordesign.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-09-09	DTR 1	A.A.N.S	E.Z.H.A
02	2025-11-24	REVISED D.P	M.M	E.Z.H.A
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025-06-30	DEVELOPMENT PERMIT	N.S./A.A	E.Z.H.A
02				
03				
04				
05				

THE CLIENT:

1837707 ALBERTA LTD

PROJECT

CAR DEALERSHIP

ADDRESS

2475 27 AVENUE N.E
CALGARY, ALBERTA
PLAN 051 0431 , UNIT 1 CONDOMINIUM

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

BUILDING COLOR ELEVATIONS

DRAWING NO.

A-204

PROJECT NO.

2475 27

DRAWN BY:

H.A.N./S.A.A./M.M

DATE:

2025-11-24

CHECKED BY:

E.Z.H.A

SCALE:

3/16" = 1'-0"