

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THIS: \bullet = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \bullet ----- denotes Calculation points
- ∇ ----- denotes Water Valve
- \diamond ----- denotes Gas Valve
- \ominus ----- denotes Manhole
- \odot ----- denotes Tree
- \oplus ----- denotes Power Pole
- \triangle ----- denotes Sign
- \odot ----- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- w- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- U.R.W- denotes Utility Right of Way Line
- P.L- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: M-CG Multi Residential
 Contextual Grade Oriented

SCALE 1:200

LEGAL DESCRIPTION:

Lots 11 to 14
 Block 33
 Plan 791 P

MUNICIPAL ADDRESS:

301, 303, 307 - 15TH AVENUE N.E.
 Calgary, Alberta

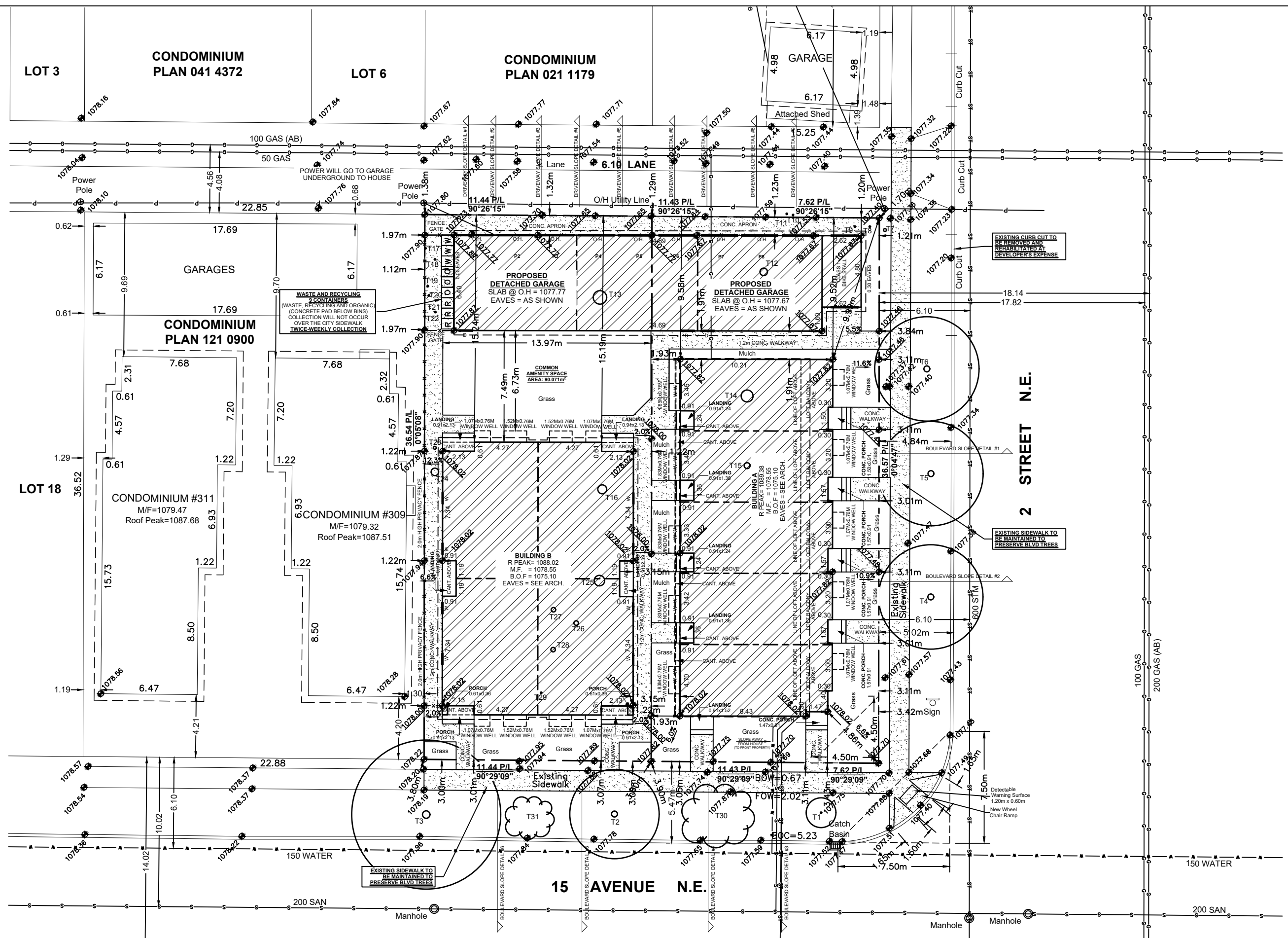
LOT COVERAGE DETAIL:
 (MULTI HOUSE)
 LOT SIZE: 1114.819 SQ M
 HOUSE #A: 236.899 SQ M
 HOUSE #B: 224.547 SQ M
 MAIN CANT.: 0.000 SQ M
 GARAGE + STORAGE: 181.131 SQ M
 COVERED PORCH: 2.168 SQ M
 WING WALL: 0.434 SQ M
 TOTAL UNITS: 9
 LOT SIZE: 1114.819 SQ M (0.111482 ha)
 DENSITY: 81 UNITS/ha
PARKING:
 PARKING PROVIDED: 9 STALLS

SITE PLAN
 SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.09.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
 Design | Drafting | Planning | Permits
 www.johntrinh.ca - 403.472.8184

301, 303, 307 - 15TH AVENUE N.E. Calgary, Alberta	Multi-Family	SCALE: 1:200
Lot 11,12,13 & 14 Block 33 Plan 791 P	DATE: SEP 24, 2025	DIVISION NUMBER: S 01



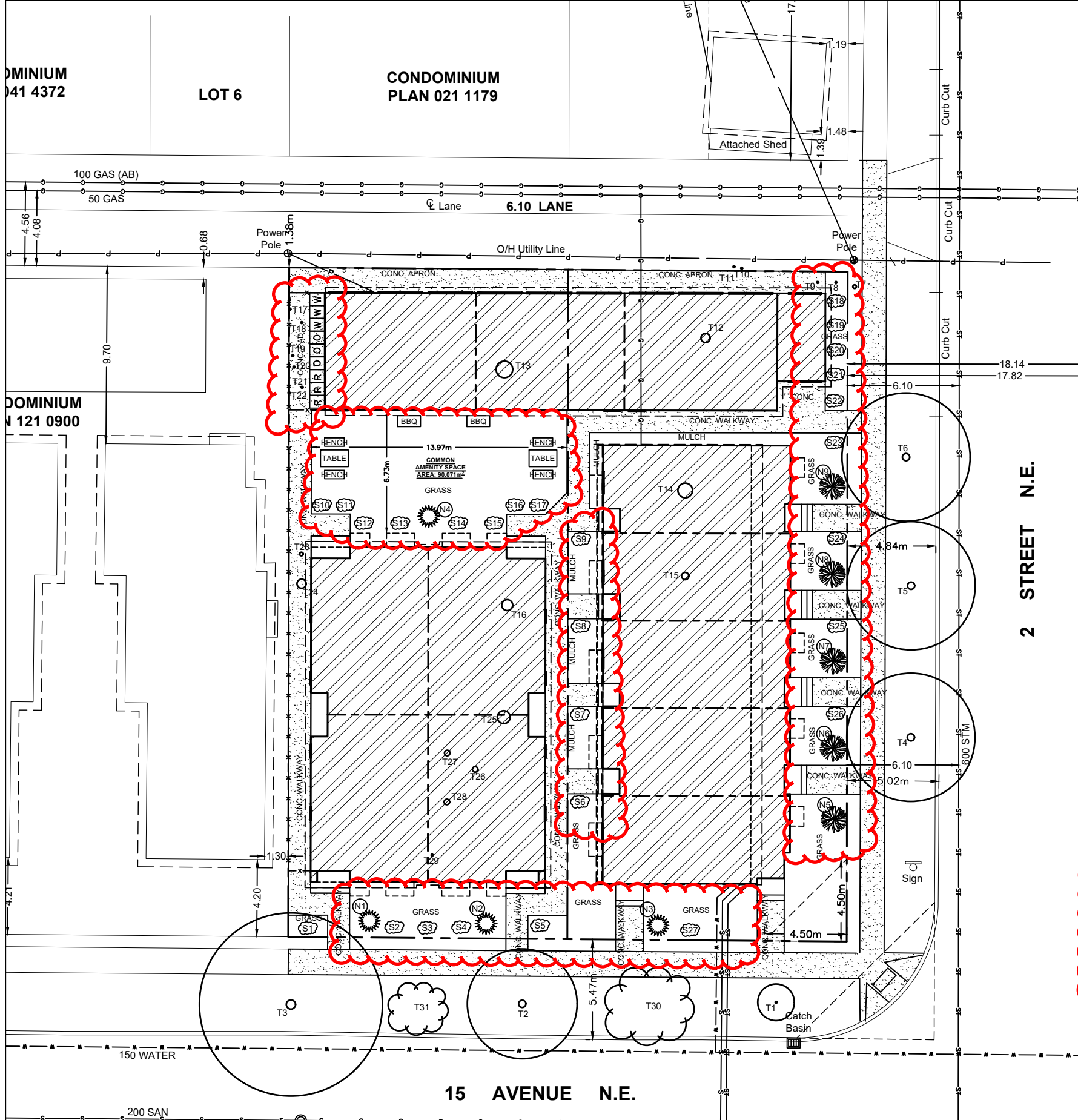
BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.09.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
301, 303, 307 - 15TH AVENUE N.E.
Calgary, Alberta
Lot 11,12,13 & 14
Block 33
Plan 791 P

PROJECT:	SCALE:
Multi-Family	1: 250
DATE: SEP 24, 2025	DIVISION NUMBER: S 02



TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location	Disposition
T1	Green Ash (T-51106600)	0.10	2.00	6.00	In City Property	To Stay
T2	Green Ash (T-32128258)	0.40	6.00	13.00	In City Property	To Stay
T3	Green Ash (T-32126225)	0.50	10.00	12.00	In City Property	To Stay
T4	Green Ash (T-32131873)	0.40	7.00	10.00	In City Property	To Stay
T5	Green Ash (T-32131872)	0.40	7.00	10.00	In City Property	To Stay
T6	Green Ash (T-32131871)	0.40	7.00	10.00	In City Property	To Stay
T7	Deciduous	0.20	5.00	8.00	In Subject Property	To Be Removed
T8	Deciduous	0.10	2.00	8.00	In Subject Property	To Be Removed
T9	Deciduous	0.10	2.00	8.00	In Subject Property	To Be Removed
T10	Deciduous	0.10	3.00	7.00	In Subject Property	To Be Removed
T11	Deciduous	0.10	3.00	7.00	In Subject Property	To Be Removed
T12	Deciduous	0.50	8.00	13.00	In Subject Property	To Be Removed
T13	Deciduous	0.90	8.00	5.00	In Subject Property	To Be Removed
T14	Deciduous	0.80	7.00	8.00	In Subject Property	To Be Removed
T15	Deciduous	0.40	4.00	8.00	In Subject Property	To Be Removed
T16	Coniferous	0.60	8.00	13.00	In Subject Property	To Be Removed
T17	Deciduous	0.10	4.00	10.00	In Subject Property	To Be Removed
T18	Deciduous	0.10	4.00	10.00	In Subject Property	To Be Removed
T19	Deciduous	0.10	4.00	10.00	In Subject Property	To Be Removed
T20	Deciduous	0.10	4.00	10.00	In Subject Property	To Be Removed
T21	Deciduous	0.10	4.00	10.00	In Subject Property	To Be Removed
T22	Deciduous	0.10	4.00	10.00	In Subject Property	To Be Removed
T23	Deciduous	0.20	3.00	17.00	In Subject Property	To Be Removed
T24	Deciduous	0.50	3.00	19.00	In Subject Property	To Be Removed
T25	Deciduous	0.70	7.00	10.00	In Subject Property	To Be Removed
T26	Deciduous	0.30	3.00	16.00	In Subject Property	To Be Removed
T27	Deciduous	0.30	3.00	16.00	In Subject Property	To Be Removed
T28	Deciduous	0.30	3.00	16.00	In Subject Property	To Be Removed
T29	Deciduous	0.10	1.00	9.00	In Subject Property	To Be Removed
T30	Green Ash (T-51314253)	0.20	2.00	6.00	In City Property	To Stay
T31	Green Ash (T-32126224)	0.20	2.00	6.00	In City Property	To Stay

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

LANDSCAPING REQUIREMENTS:
 LOT SIZE: 1114.819 SQ M
 LANDSCAPE AREA: 424.295 SQ.M
 1 TREE PER 145,000 SQ.M OF LANDSCAPE
 2 SHRUBS PER 145,000 SQ.M OF LANDSCAPE
 401.530/45,000 = 8.923
 9 TREES
 18 SHRUBS

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Prairie Spire Green Ash (Deciduous Tree)	0.075	0.75	3.00	In Subject Property	New
N6	Prairie Spire Green Ash (Deciduous Tree)	0.075	0.75	3.00	In Subject Property	New
N7	Prairie Spire Green Ash (Deciduous Tree)	0.075	0.75	3.00	In Subject Property	New
N8	Prairie Spire Green Ash (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N9	Prairie Spire Green Ash (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S2	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S3	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S4	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S5	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S6	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S7	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S8	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S9	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S10	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S11	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S12	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S13	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S14	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S15	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S16	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S17	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S18	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S16	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S17	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S18	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New

LANDSCAPE COVERAGE

LOT SIZE = 1114.819 SQ. M
 LANDSCAPE AREA = 395.195 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 144.282 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 250.913 SQ. M
 144.282 / 395.195 = 36.51% OF HARD LANDSCAPE
 250.913 / 395.195 = 63.49% OF SOFT LANDSCAPE

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"LOW WATER IRRIGATION SYSTEM IS PROVIDED".

NOTE:
 "If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

LANDSCAPING PLAN
 SCALE: 1:250

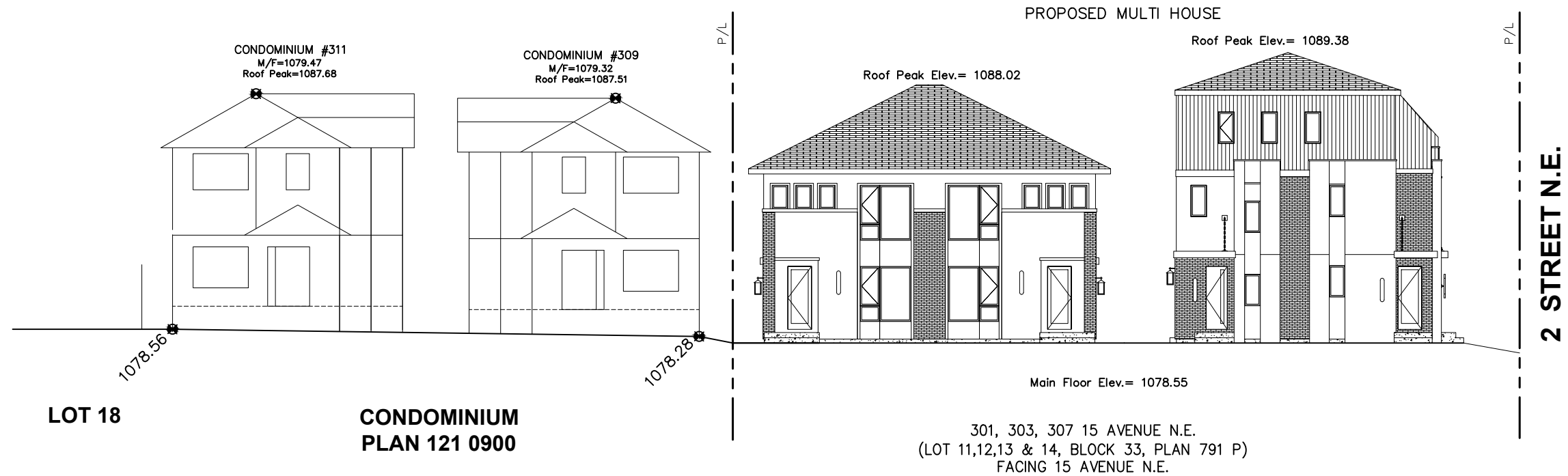
"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.09.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

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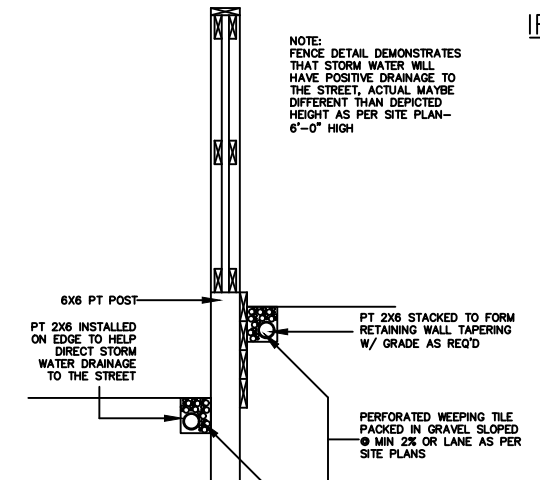
PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
301, 303, 307 - 15TH AVENUE N.E. Calgary, Alberta	Multi-Family	1: 200
Lot 11,12,13 & 14 Block 33 Plan 791 P	DATE: SEP 24, 2025	DIVISION NUMBER: S 03



STREETSCAPE
SCALE: 1:200

BUILDING AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA	UNIT #5 AREA	UNIT #6 AREA	UNIT #7 AREA	UNIT #8 AREA	UNIT #9 AREA
BASEMENT	559.13 SQ FT	559.13 SQ FT	559.13 SQ FT	559.13 SQ FT	559.13 SQ FT	630.00 SQ FT	630.00 SQ FT	630.00 SQ FT	630.00 SQ FT
MAIN FLOOR	541.96 SQ FT	541.96 SQ FT	541.96 SQ FT	541.96 SQ FT	541.96 SQ FT	604.25 SQ FT	604.25 SQ FT	604.25 SQ FT	604.25 SQ FT
UPPER FLOOR	554.21 SQ FT	554.21 SQ FT	554.21 SQ FT	554.21 SQ FT	554.21 SQ FT	630.00 SQ FT	630.00 SQ FT	630.00 SQ FT	630.00 SQ FT
LOFT FLOOR	448.88 SQ FT	448.88 SQ FT	448.88 SQ FT	448.88 SQ FT	448.88 SQ FT				
TOTAL AREA	1545.05 SQ FT	1545.05 SQ FT	1545.05 SQ FT	1545.05 SQ FT	1545.05 SQ FT	1234.25 SQ FT	1234.25 SQ FT	1234.25 SQ FT	1234.25 SQ FT

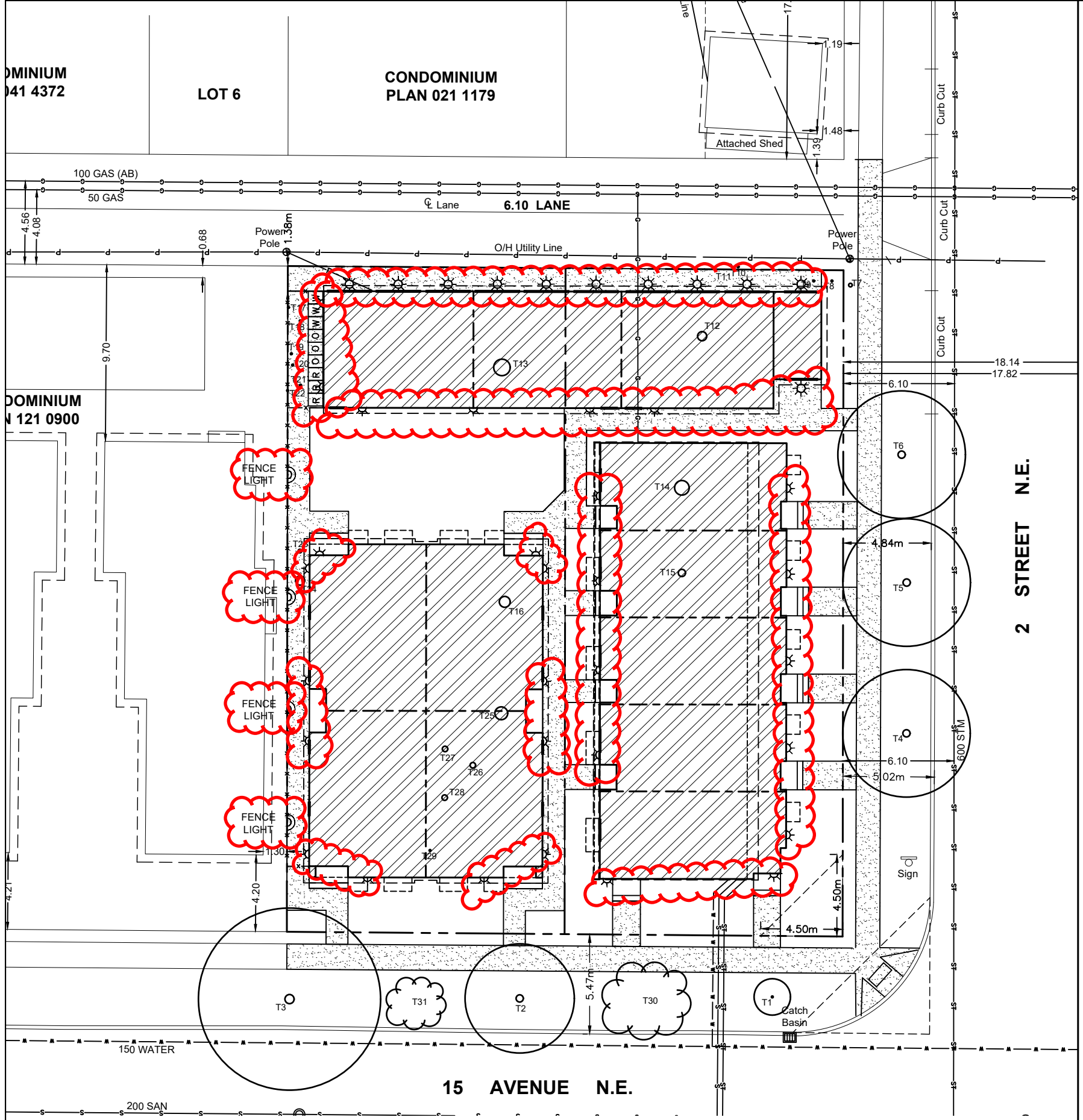


FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE
01.	24.09.2025	DP SITEPLAN	D.L.	301, 303, 307 - 15TH AVENUE N.E. Calgary, Alberta	Multi-Family	AS SHOWN
02.				Lot 11,12,13 & 14 Block 33 Plan 791 P		
03.						
04.						

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DATE: SEP 24, 2025
DIVISION: S
NUMBER: 04



DETAILED LIGHTING LEGEND

- denotes Pot Light
Metal Shielding
Soffit Mounted
- denotes Wall Mounted Light
Metal Shielding
8' From Slab/Floor Level
- denotes Fence Light
Metal Shielding
7' From Adjacent Walkway



LIGHTING PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.09.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

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PROJECT NAME AND ADDRESS:
301, 303, 307 - 15TH AVENUE N.E.
Calgary, Alberta
Lot 11,12,13 & 14
Block 33
Plan 791 P

PROJECT	SCALE
Multi-Family	1: 200
DATE: SEP 24, 2025	DIVISION NUMBER: S 06



GENERAL NOTES:

MUNICIPAL ADDRESS:
301, 303, 307 15 Ave NE
CALGARY, ALBERTA

PROJECT:
Multi-plex

PROJECT NUMBER:
121-25

STATUS:
-

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/09/2025	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-03-27 2:19:24 PM

SCALE:

PAGE: **A-0.0**

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Building A Elevations
A-2.1	Building B Elevations
A-3.0	Garage Plan
A-3.1	Garage Elevations

FLOOR AREA - UNIT #1
BASEMENT = 527.63 SQ. FT.
MAIN = 510.46 SQ. FT.
UPPER = 554.21 SQ. FT.
LOFT = 414.75 SQ. FT.
TOTAL = 1545.05 SQ. FT.

FLOOR AREA - UNIT #2
BASEMENT = 527.63 SQ. FT.
MAIN = 510.46 SQ. FT.
UPPER = 522.71 SQ. FT.
LOFT = 414.75 SQ. FT.
TOTAL = 1447.92 SQ. FT.

FLOOR AREA - UNIT #3
BASEMENT = 527.63 SQ. FT.
MAIN = 510.46 SQ. FT.
UPPER = 522.71 SQ. FT.
LOFT = 414.75 SQ. FT.
TOTAL = 1447.92 SQ. FT.

FLOOR AREA - UNIT #4
BASEMENT = 527.63 SQ. FT.
MAIN = 510.46 SQ. FT.
UPPER = 522.71 SQ. FT.
LOFT = 414.75 SQ. FT.
TOTAL = 1447.92 SQ. FT.

FLOOR AREA - UNIT #5
BASEMENT = 527.63 SQ. FT.
MAIN = 510.46 SQ. FT.
UPPER = 522.71 SQ. FT.
LOFT = 414.75 SQ. FT.
TOTAL = 1447.92 SQ. FT.

FLOOR AREA - UNIT #6
BASEMENT = 630.00 SQ. FT.
MAIN = 604.25 SQ. FT.
UPPER = 630.00 SQ. FT.
TOTAL = 1234.25 SQ. FT.

FLOOR AREA - UNIT #7
BASEMENT = 630.00 SQ. FT.
MAIN = 604.25 SQ. FT.
UPPER = 630.00 SQ. FT.
TOTAL = 1234.25 SQ. FT.

FLOOR AREA - UNIT #8
BASEMENT = 630.00 SQ. FT.
MAIN = 604.25 SQ. FT.
UPPER = 630.00 SQ. FT.
TOTAL = 1234.25 SQ. FT.

FLOOR AREA - UNIT #9
BASEMENT = 630.00 SQ. FT.
MAIN = 604.25 SQ. FT.
UPPER = 630.00 SQ. FT.
TOTAL = 1234.25 SQ. FT.



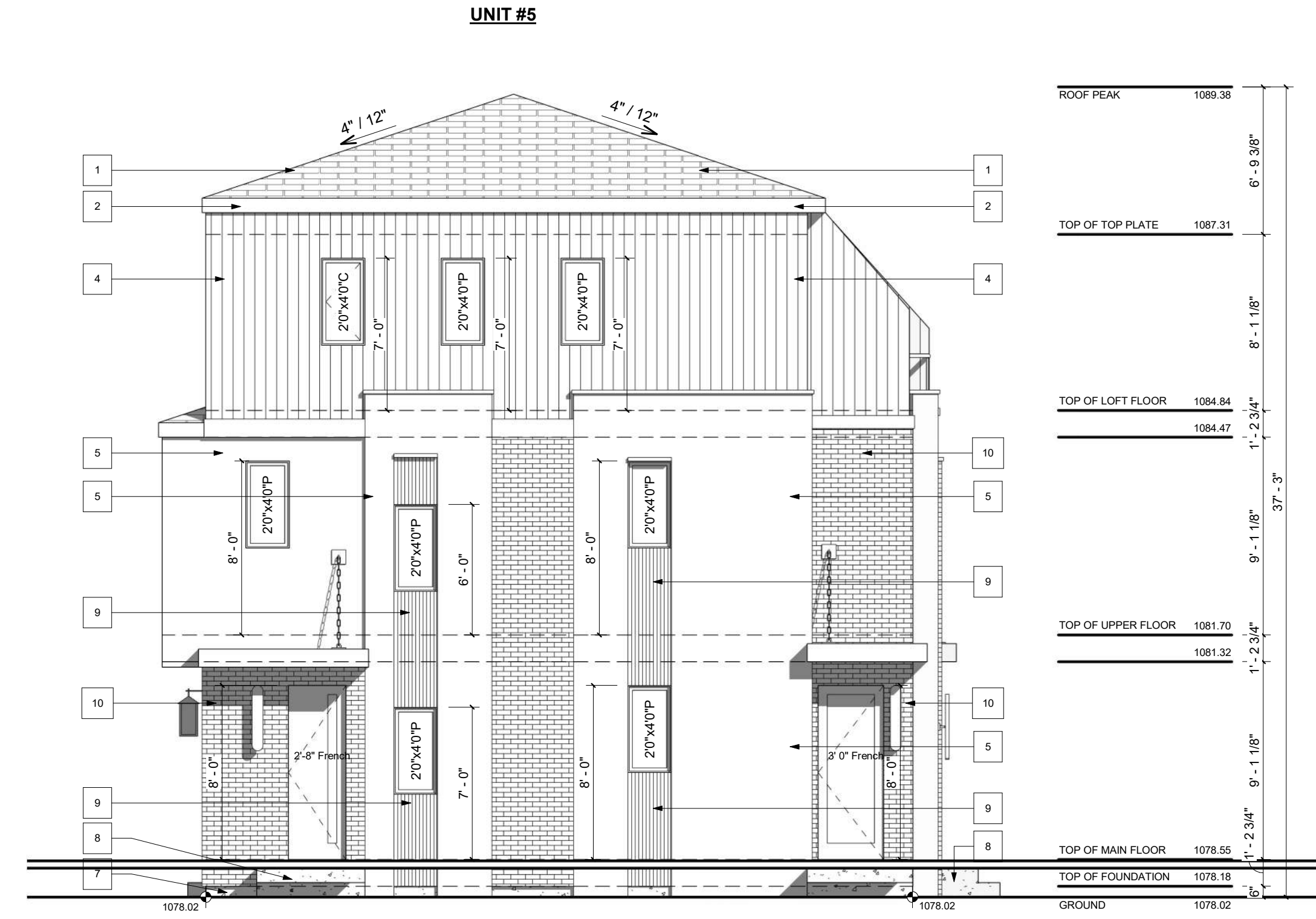
EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES 4 VERTICAL SIDING FINISH- DARK GRAY 7 CONC. PARGING 10 BRICK - RED
- 2 6" ALUMINUM FASCIA - BLACK 5 SMOOTH STUCCO - LIGHT BEIGE 8 CAST-IN PLACE CONCRETE
- 3 SMOOTH STUCCO - DARK GRAY 6 PANEL SMART BOARD - BLACK 9 SLAT SIDING - BLACK



FRONT ELEVATION (BUILDING A)

SCALE: 3/16" = 1'-0"



LEFT ELEVATION (BUILDING A)

SCALE: 3/16" = 1'-0"



REAR ELEVATION (BUILDING A)

SCALE: 3/16" = 1'-0"

WINDOW CALCULATION UNIT #1, #2 WALL AREA= 950.37 SQ. FT. WINDOW AREA = 84.84 SQ. FT. TOTAL: 84.84/950.37 = 8.75%	WINDOW CALCULATION UNIT #3, #4 WALL AREA= 954.69 SQ. FT. WINDOW AREA = 81.24 SQ. FT. TOTAL: 81.24/954.69 = 8.51%	WINDOW CALCULATION UNIT #5 WALL AREA= 479.88 SQ. FT. WINDOW AREA = 40.62 SQ. FT. TOTAL: 40.62/479.88 = 8.50%
--	--	--

VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
**301, 303, 307 15 Ave NE
CALGARY, ALBERTA**

PROJECT:
Multi-plex

PROJECT NUMBER:
121-25

STATUS:
-

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01.	24/09/2025	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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DRAWING SET:

SHEET NAME:
Building A Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

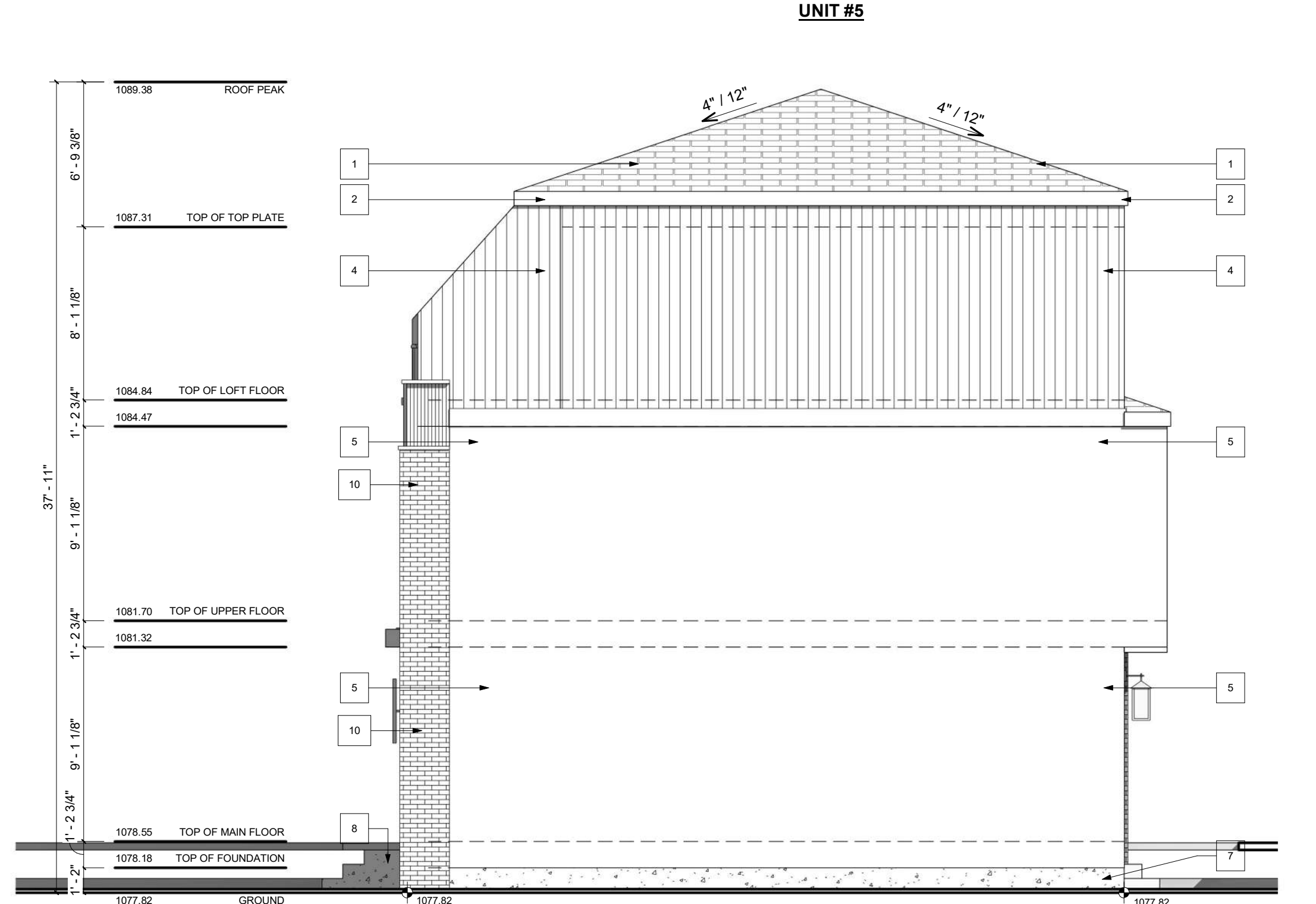
PRINTED: 2026-03-27 2:19:40 PM

SCALE: 3/16" = 1'-0"

PAGE: **A-2.0**

RIGHT ELEVATION (BUILDING A)

SCALE: 3/16" = 1'-0"

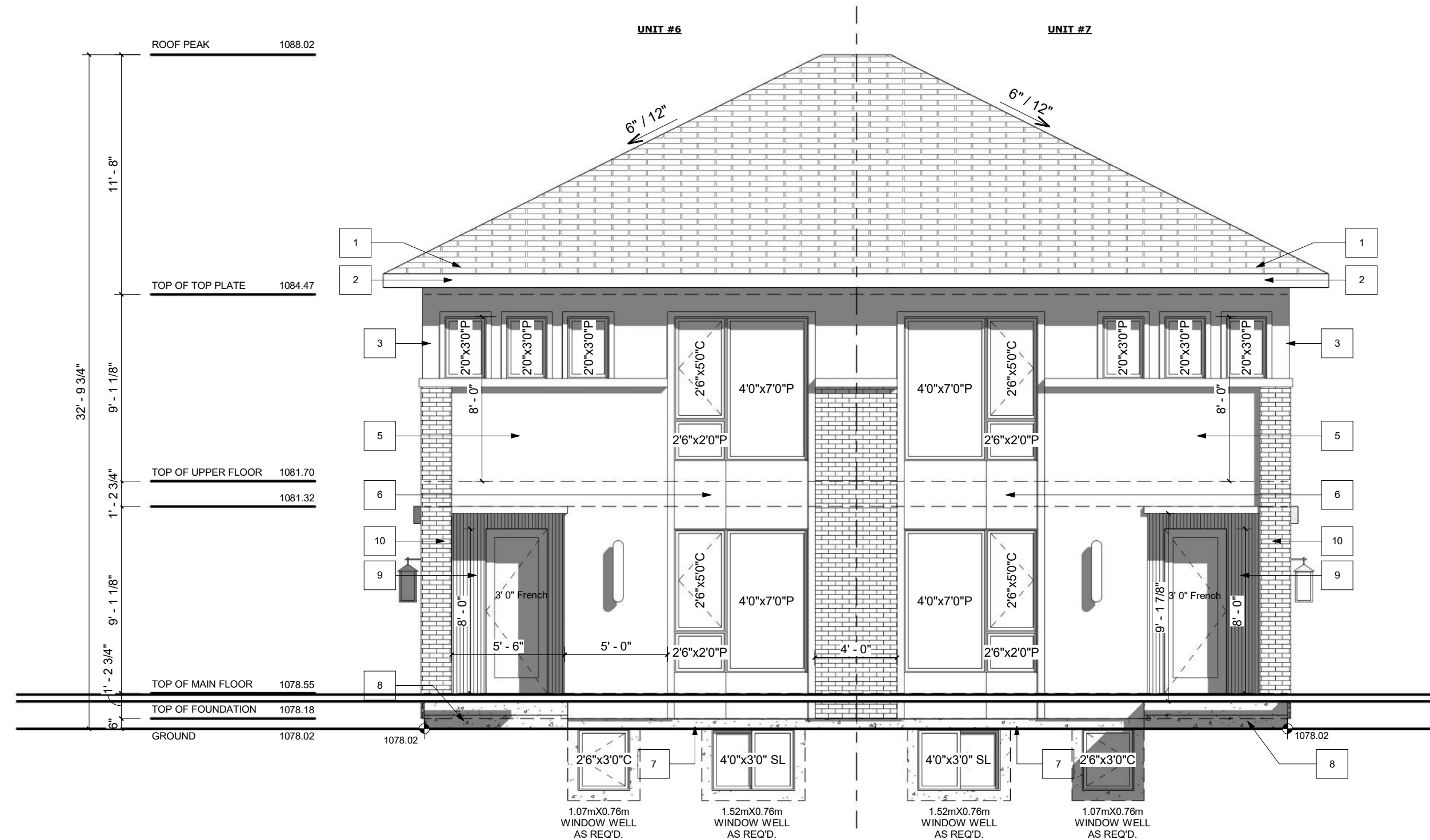


EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES 4 VERTICAL SIDING FINISH- DARK GRAY 7 CONC. PAVING 10 BRICK - RED
- 2 6" ALUMINUM FASCIA - BLACK 5 SMOOTH STUCCO - LIGHT BEIGE 8 CAST-IN PLACE CONCRETE
- 3 SMOOTH STUCCO - DARK GRAY 6 PANEL SMART BOARD - BLACK 9 SLAT SIDING - BLACK

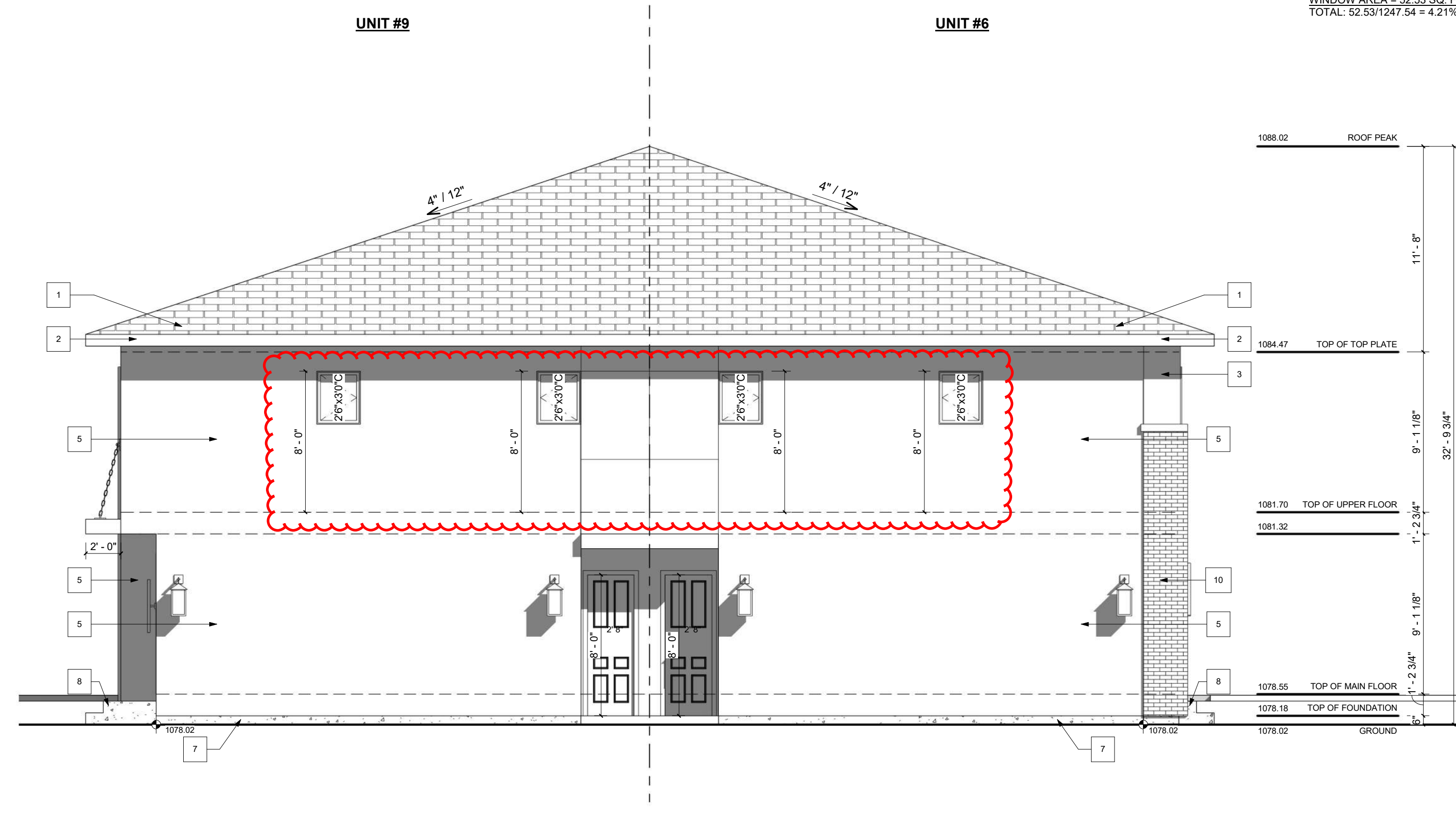
VENTED SOFFIT NOTES:
 - VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION UNIT #6, #9
 WALL AREA= 1247.54 SQ. FT.
 WINDOW AREA = 52.53 SQ. FT.
 TOTAL: 52.53/1247.54 = 4.21%



FRONT ELEVATION (BUILDING B)

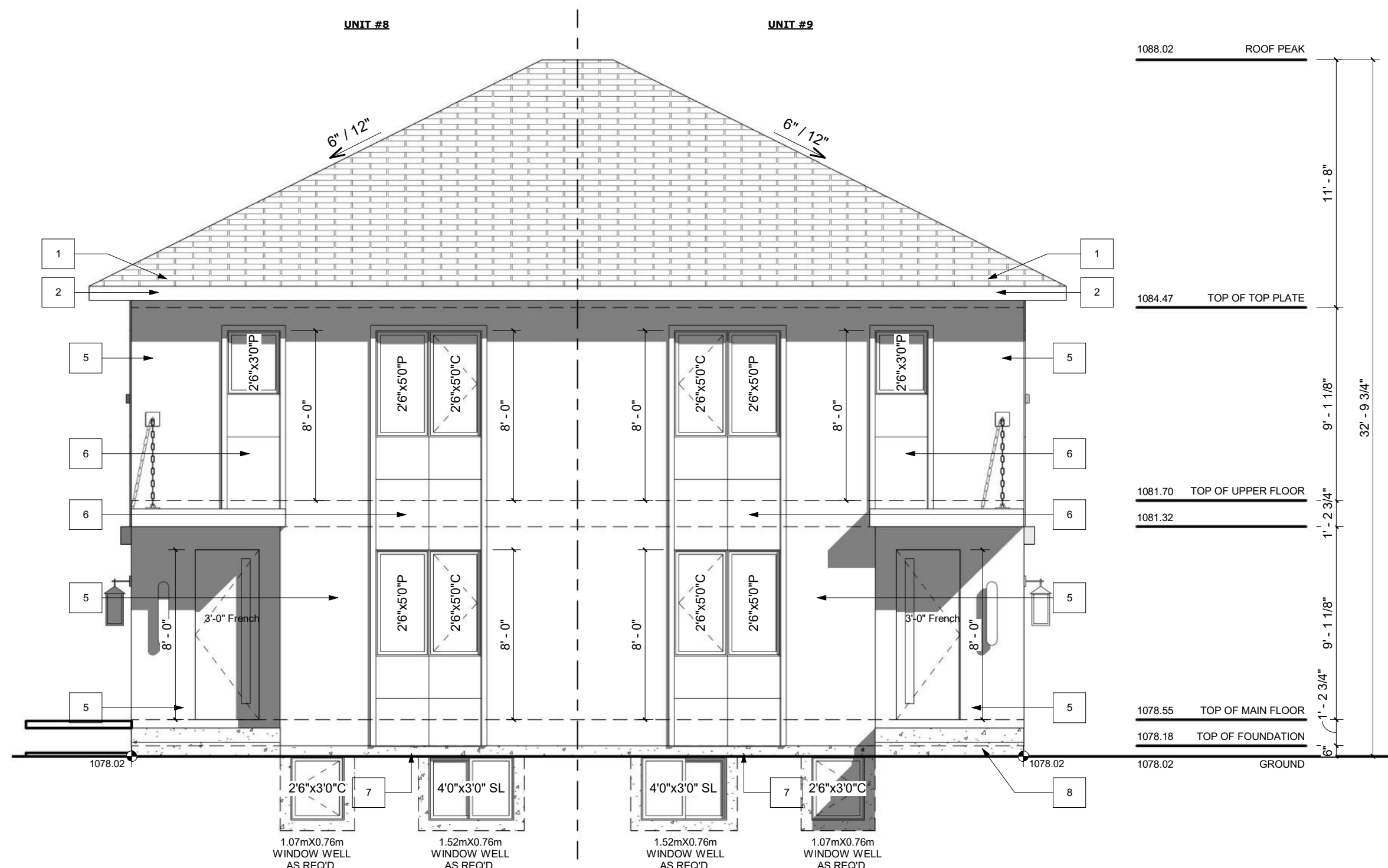
SCALE: 3/16" = 1'-0"



LEFT ELEVATION (BUILDING B)

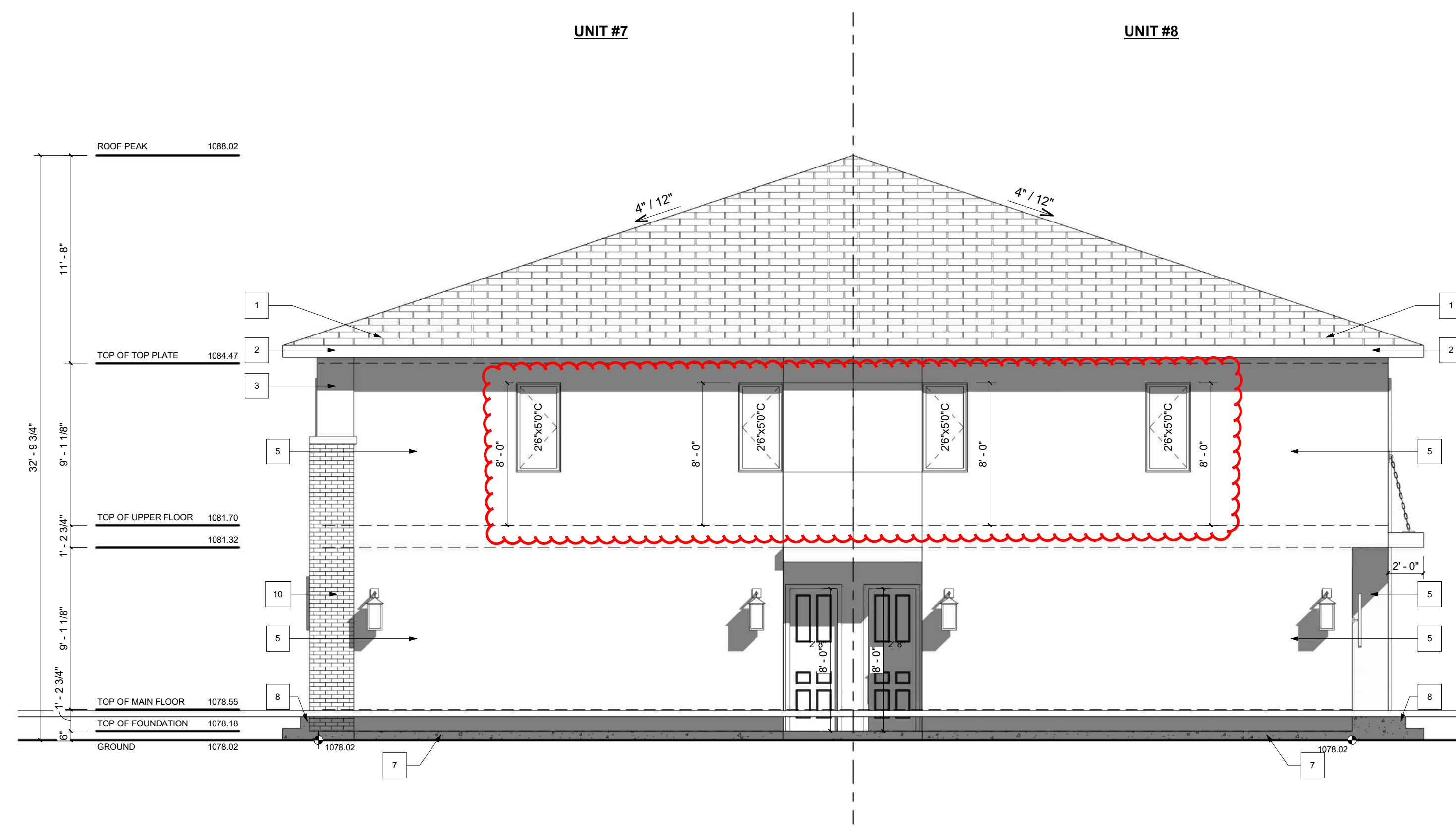
SCALE: 3/16" = 1'-0"

WINDOW CALCULATION UNIT #7, #8
 WALL AREA= 1247.54 SQ. FT.
 WINDOW AREA = 52.53 SQ. FT.
 TOTAL: 52.53/1247.54 = 4.21%



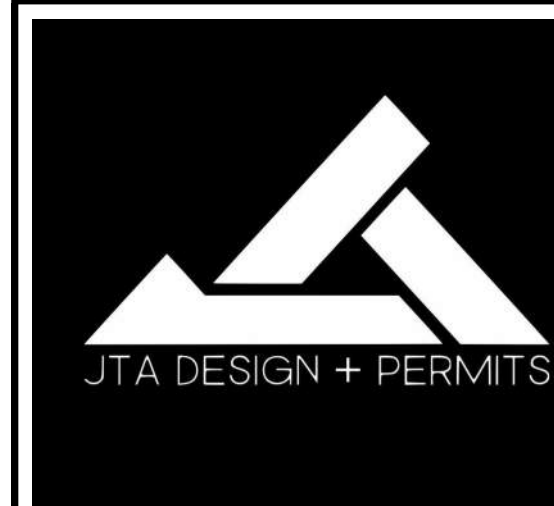
REAR ELEVATION (BUILDING B)

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION (BUILDING B)

SCALE: 3/16" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
 301, 303, 307 15 Ave NE
 CALGARY, ALBERTA

PROJECT:
 Multi-plex

PROJECT NUMBER:
 121-25

STATUS:
 -

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/09/2025	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

DRAWING SET:

SHEET NAME:
 Building B Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-03-27 2:19:48 PM

SCALE: 3/16" = 1'-0"

PAGE: **A-2.1**



GENERAL NOTES:

- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA
 - 3 STUCCO FINISH
 - 4 CONC. PAVING
 - 5 BRICK - RED

MUNICIPAL ADDRESS:
301, 303, 307 15 Ave NE
CALGARY, ALBERTA

PROJECT:
Multi-plex

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STATUS:
-

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06.	--	--	--

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DRAWING SET:

SHEET NAME:
Garage Elevations

DESIGN BY: JT

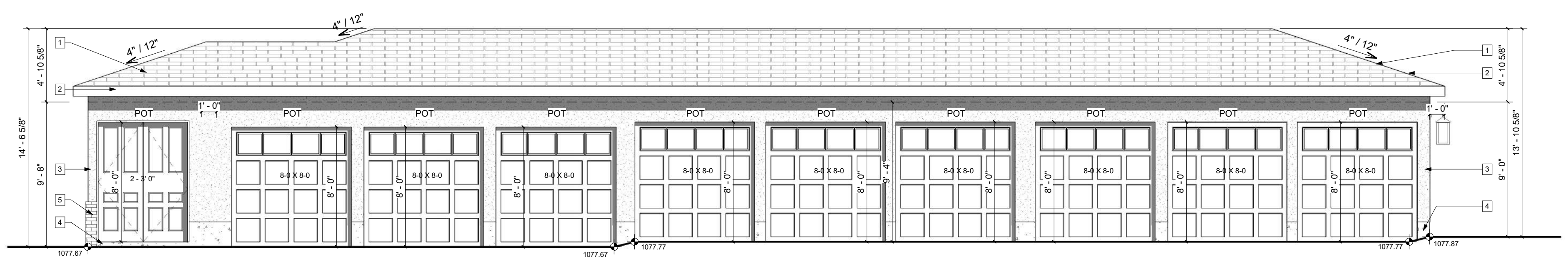
DRAWN BY: JT

LAST REVISION BY:

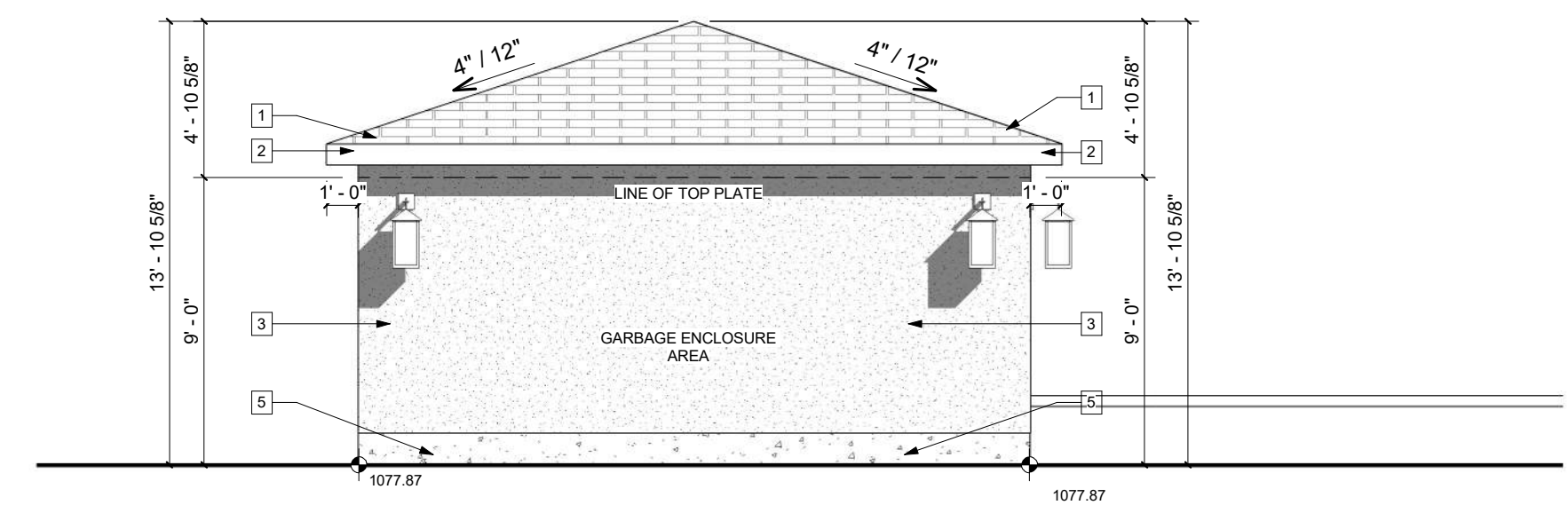
PRINTED: 2026-03-27 2:19:49 PM

SCALE: 3/16" = 1'-0"

PAGE: **A-3.1**



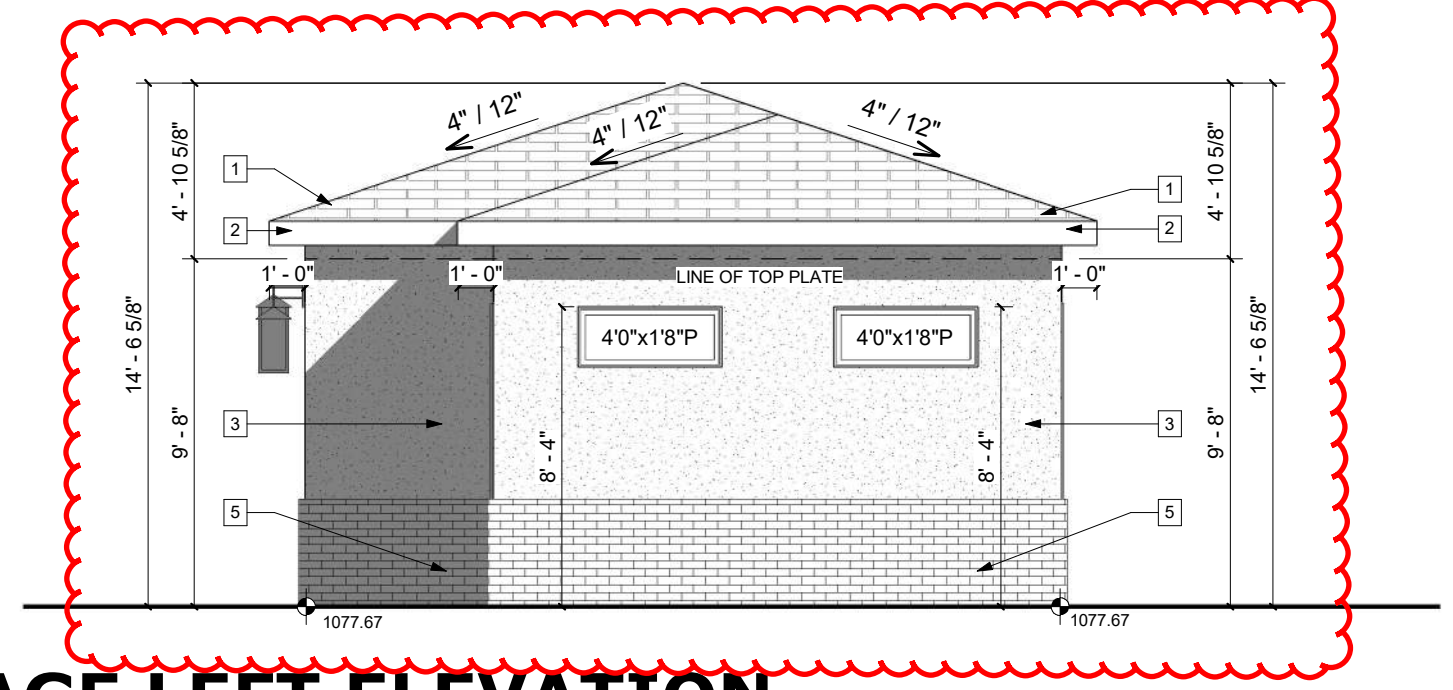
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE LEFT ELEVATION
SCALE: 3/16" = 1'-0"

ULINE
1-LOOP WAVE STYLE BIKE RACK



MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27

CLASS-1 BICYCLE STALLS DETAILS
SCALE: N.T.S.