



ARTIST RENDERING - FOR REFERENCE ONLY.

NORR TRICO - WENTWORTH LANDING - PHASE 1 COMMERCIAL

1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

2300, 411 - 1st Street SE
 Calgary, AB, Canada T2G 4Y5
 norr.com

NORR Architects Engineers Planners
 A Partnership of Corporations
Poon Mokkade Architects (P/Bart) Inc. Poon Mokkade Holdings Inc.

Jonathan Hughes, Architect, A.A.A., O.A.A., A.I.B.C., M.A.A., A.A.N.B., A.A.P.E.
 Adrian Todella, P.Eng., A.P.E.G.A.
 Chris Pal, P.Eng., A.P.E.G.A.

DEVELOPMENT PERMIT: DEVELOPMENT PERMIT NO.
 NORR PROJECT NUMBER: RZ1124-0021-00
 CLIENT PROJECT NUMBER: CLIENT PROJECT NUMBER

ISSUE FOR DR2 - JAN 16, 2026

AMENDED DRAWINGS
 DP No. Date Received
 DP2025-03525 JAN 19 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

<p>SURVEY</p> <p>T.B.D</p> <p>ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER</p>	<p>CIVIL</p> <p>RICHVIEW ENGINEERING</p> <p>203 38th Ave NE SUITE 201 CALGARY, AB, T2E 2M3 +1 403-230-3218</p>	<p>ARCHITECTURE</p> <p>NORR ARCHITECTS & PLANNERS</p> <p>411 - 1st STREET SE CALGARY, AB, T2G 4Y5 +1 403-264-4000</p>	<p>STRUCTURAL</p> <p>GLOTMAN-SIMPSON</p> <p>1661 5TH Ave W VANCOUVER, BC, V6J 1N5 +1 604-734-8822</p>
<p>MECHANICAL</p> <p>301 14 St NW CALGARY, AB, T2N 2A1 +1 825-609-6848</p>	<p>ELECTRICAL</p> <p>301 14 St NW CALGARY, AB, T2N 2A1 +1 825-609-6848</p>	<p>INTERIORS</p> <p>T.B.D</p> <p>ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER</p>	<p>LANDSCAPE</p> <p>818 STUDIO</p> <p>1812 14A St SW CALGARY, AB, T2T 3W6 +1 403-244-8188</p>

PRELIMINARY - NOT FOR CONSTRUCTION

Address: D:\Projects\Norr Trico Wentworth Landing\1127-85 St SW\1127-85 St SW - SITE PLAN - REV1.rvt

Site Information

LEGAL DESCRIPTION	Lot 31 Block 16 Parcel C Plan 6160HF
MUNICIPAL ADDRESS	E.G. 22 Welcome Place SW, Calgary, Alberta
COMMUNITY	West Springs
LAND USE DISTRICT	DC 135D2019 Site 3 (MHI) Multi-Residential - High Density Low Rise

SITE AREA	6,594 SM	70,977 SF
	0.66 HA	1.63 AC

Development Statistics

PROPOSED USE(S)	Commercial Multi-Residential
PROJECT DESCRIPTION	A 2 storey commercial development with a single storey below grade parkade

FLOOR AREA RATIO	
Minimum	0.00
Maximum	4.00
Proposed	0.48

DENSITY	
Minimum	n/a
Maximum	n/a
Proposed	n/a

SETBACKS	
Minimum	To a street 6.00 M Unless per below
	To a street 0.00 M Street oriented Multi-Resi Bldg.
	To a lane 0.00 M
	To another parcel 3.00 M Unless per below
	To another parcel 0.00 M Adjoining parcel is: commercial, industrial, special purpose, or M-C2, M-2, M-H1, M-H2, M-H3 or M-X2

BUILDING HEIGHT	
Maximum	26.00 M
	Reduced to 10.00 M within 4 M of shared PL
	Reduced to 10.00 M within 1.2 M of shared PL
Proposed	10.60 M

SITE COVERAGE		
Building Footprint	1,555.79 SM	23.59%
Hard Surfaced Areas		
Maximum	1,247.00 SM	40.00%
Proposed	840.00	12.74%
Landscaping		
Minimum	2,637.60 SM	40.00%
Proposed	3,117.50 SM	47.28%

AMENITY SPACE	
Ratio (Area per Unit)	n/a
Proposed	
	Minimum n/a
	Private n/a
	Common Indoor n/a
	Common Outdoor n/a
Total	0.0 SM

Vehicle Parking Provision

ANTICIPATED USES	GROSS FLOOR AREA		GROSS USABLE FLOOR AREA		EFFICIENCY	REQUIREMENT	REQUIRED	PROVIDED	
	SM	SF	SM	SF					
Commercial Stalls							STALLS	STALLS	
Level 1	HEALTH CARE SERVICES	960.7	10,341	816.60	8,790	85.00%	4.00 stalls/100m ² GUFA	33	
	RETAIL & CONSUMER SERVICES	572.3	6,160	486.46	5,236	85.00%	4.00 stalls/100m ² GUFA	19	
Level 2	CHILDCARE SERVICES	1536.1	16,534	1305.70	14,054	85.00%	The greater of 1.00 stalls/ 2 employees OR 1.00 stalls/ 10 children	24	
							Total	76	86
							Deficiency		0
							Surplus		10
Loading							1.0 stall	1	1

These are all estimated values for LUB calculations only

Bicycle Parking Provision

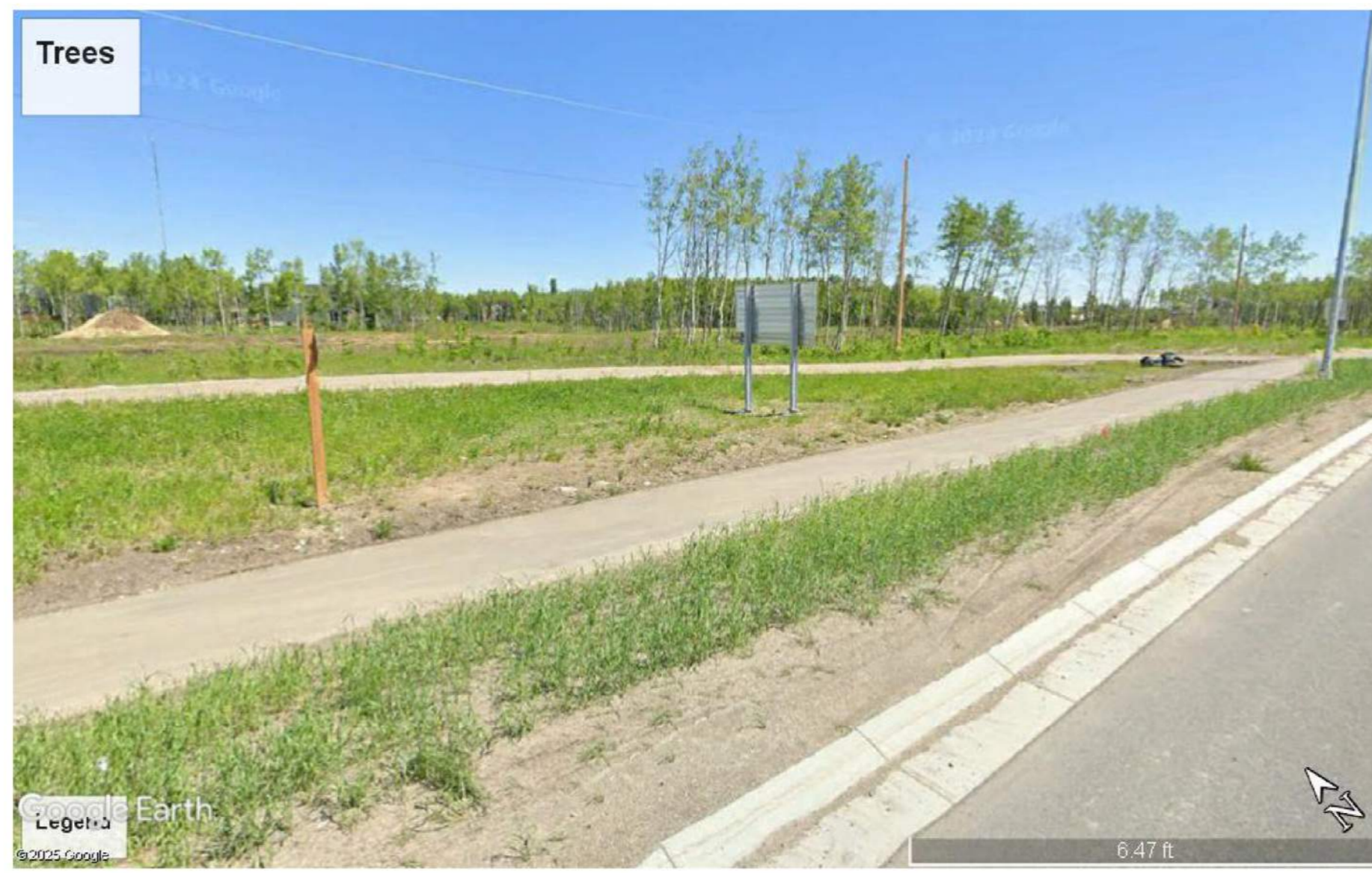
TYPE	REQUIREMENT	REQUIRED		PROVIDED	
		STALLS	STALLS	STALLS	STALLS
Building 1					
Class 1	n/a				0
Class 2	n/a				12
Total		0			12
Deficiency					
Surplus					12

Drawing List- Architectural

SHEET NUMBER	SHEET NAME
CM-DP-A00-00	COVER SHEET
CM-DP-A10-01	SITE CONTEXT & STATS
CM-DP-A10-02	OVERALL SITE PLAN
CM-DP-A10-03	ENLARGED RESIDENTIAL SITE PLAN
CM-DP-A10-04	SITE WASTE & RECYCLING
CM-DP-A10-05	EMERGENCY ACCESS PLAN
CM-DP-A10-06	RENTERS
CM-DP-A20-01	LEVEL P1 FLOOR PLAN
CM-DP-A20-02	LEVEL 1 OVERALL FLOOR PLAN
CM-DP-A20-03	LEVEL 2 OVERALL FLOOR PLAN
CM-DP-A20-04	OVERALL ROOF PLAN
CM-DP-A40-01	OVERALL BUILDING ELEVATIONS
CM-DP-A40-02	OVERALL BUILDING ELEVATIONS
CM-DP-A42-01	OVERALL BUILDING SECTIONS
CM-DP-A42-02	SITE SECTIONS
CM-DP-A42-03	PARKADE RAMP SECTION

Building Areas (Gross)

LEVEL	GROSS FLOOR AREA	
	SM	SF
Building 1		
Level 1	1,555.8	16,746
Level 2	1,589.7	17,111
Roof	69.8	751
Total	3,145.5 SM	33,857 SF



VIEW 01 FROM 85 ST. SW LOOKING SW



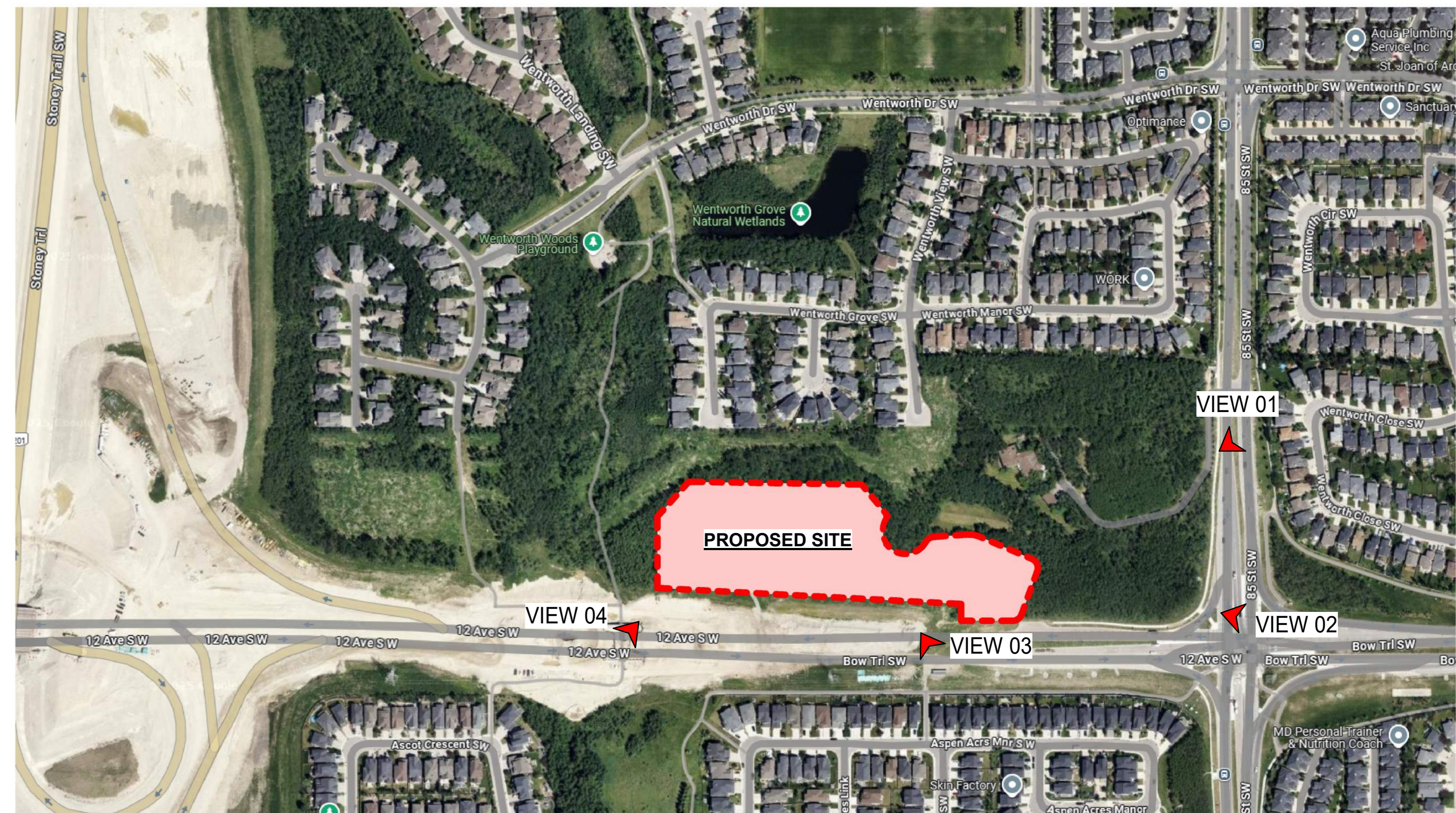
VIEW 02 FROM 85 ST. SW LOOKING NW



VIEW 03 FROM BOW TRL. SW LOOKING NW



VIEW 04 FROM BOW TRL. SW LOOKING NE



1 DP SITE CONTEXT KEY MAP
SCALE: 1:1

DATE	ISSUED FOR	REV
2025/05/28	DP Submission	1

AMENDED DRAWINGS
 DP No: DP2025-03525
 Date Received: JAN 19 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

This drawing has been prepared solely for the use of TRICO HOMES and there are no representations of any kind made by NORR ARCHITECTS & PLANNERS to any party with whom NORR ARCHITECTS & PLANNERS has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component	
Key Plan	

Consultants	
Survey	T.B.D
Civil	RICHVIEW ENGINEERING
Architecture	NORR ARCHITECTS & PLANNERS
Structural	GLOTMAN-SIMPSON
Mechanical	
Electrical	
Interiors	T.B.D
Landscape	616 STUDIO

Seal(s)	
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NORR
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 Calgary, AB, Canada T2G 4Y5
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Member of the NORR Group of Companies

Project Manager	Drawn
DH	AAJ/EEC
Project Leader	Checked
EF	DH/EF

Client
TRICO HOMES

Project
TRICO - WENTWORTH LANDING - PHASE 1 COMMERCIAL
 1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

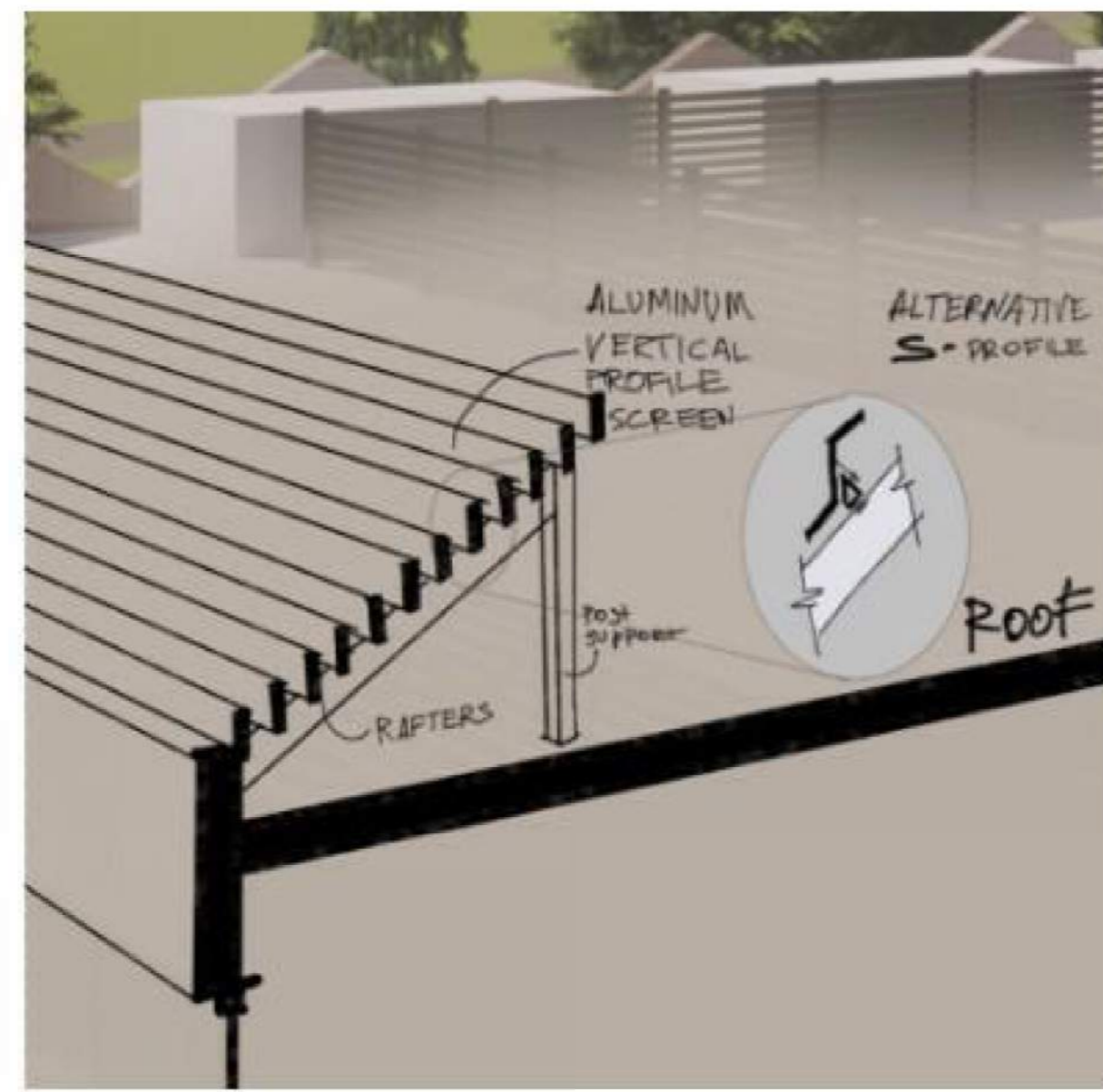
Drawing Title
SITE CONTEXT & STATS

Scale	1:1
Project No.	RZ1124-0021-00
Drawing No.	CM-DP-A10-01

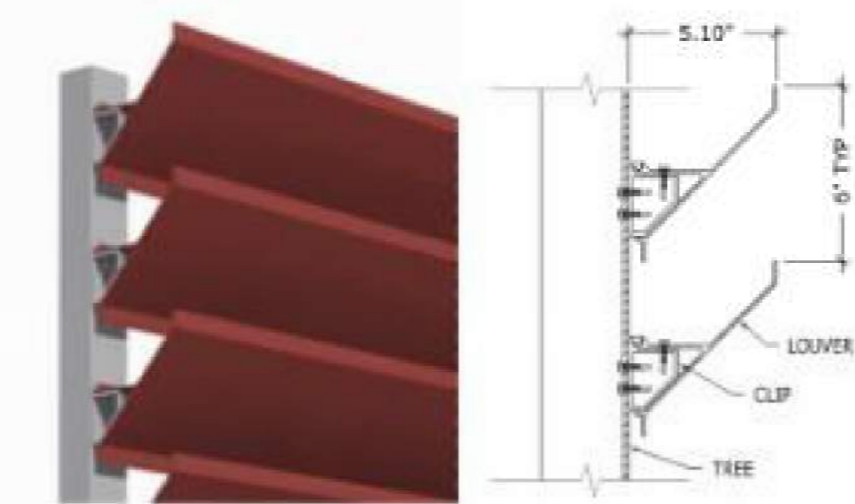
PRELIMINARY - NOT FOR CONSTRUCTION



Roof screening



02 Brick veneer, Hebron Madison



DATE	ISSUED FOR	REV
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4

AMENDED DRAWINGS
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Seal(s)	
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 Class No. 10000, 10000, 10000, 10000, 10000, 10000

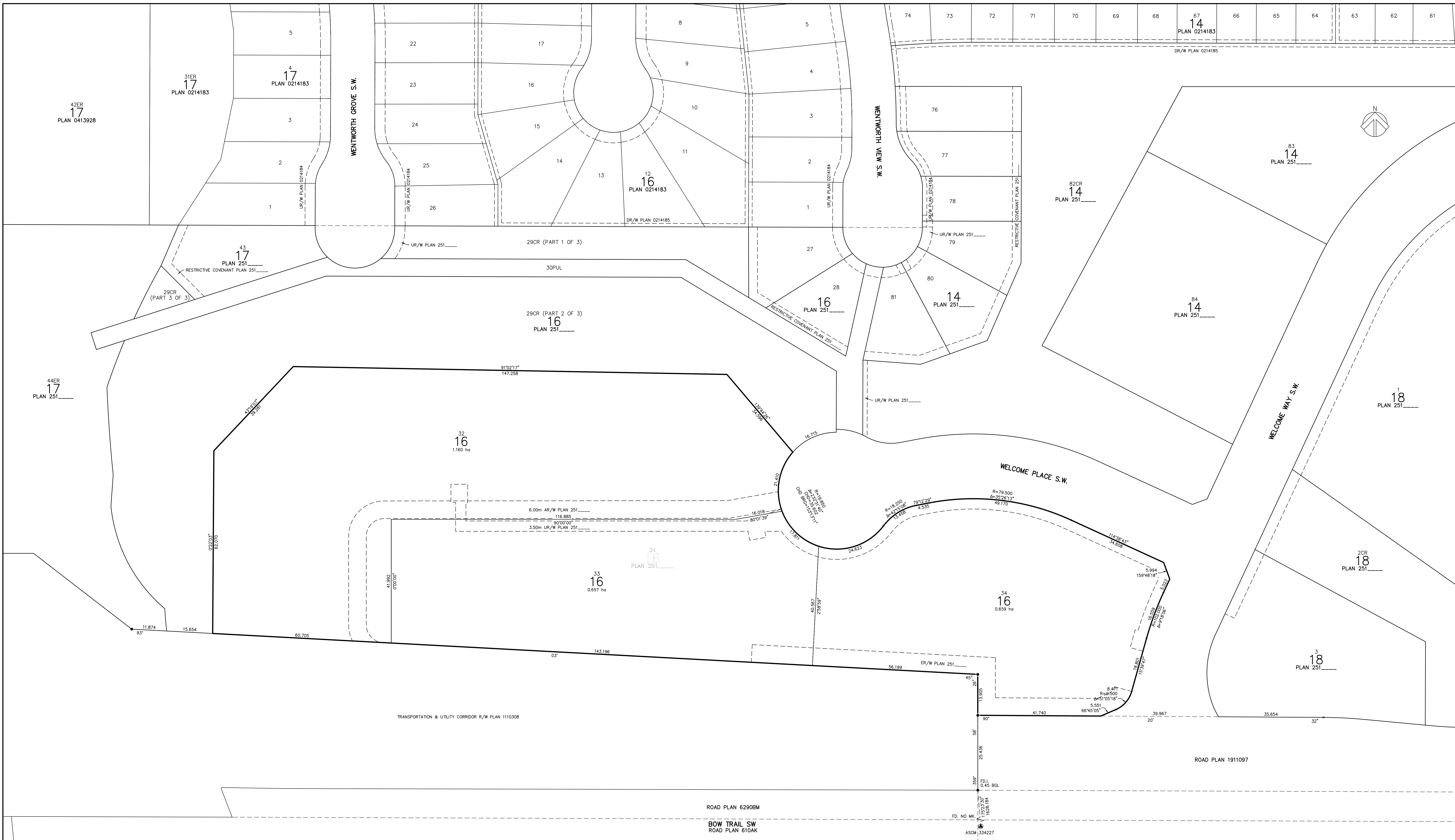
Project Manager	Drawn
DH	AL
Project Leader	Checked
EF	Checker

Client
TRICO HOMES

Project
TRICO - WENTWORTH LANDING - PHASE 1 RESIDENTIAL
 1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB
 Drawing Title
COMMERCIAL RENDERS

Scale	
Project No.	RZ1124-0021-00
Drawing No.	CM.DP-A10-07

PRELIMINARY - NOT FOR CONSTRUCTION



REGISTRAR
 LAND TITLES OFFICE
 ENTERED AND REGISTERED
 ON _____
 INSTRUMENT NO. _____
 A.D. REGISTRAR _____

WEST SPRINGS
 PHASE 2
CALGARY, ALBERTA
 PLAN SHOWING SUBDIVISION OF
 LOT 31, BLOCK 16, PLAN 251 _____
 IN THE
 S.E. ¼ SEC. 21, TWP. 24, RGE. 2, W.5M.

SCALE 1:500
 2026 RARES G. CARABA, A.L.S.
 METRES 0 5 10 25 50 METRES

- NOTES:**
1. Statutory Iron Survey Post found shown thus: ○
 2. Statutory Iron Survey Post, stamped P223, placed shown thus: ○
 3. Alberta Survey Control Marker (ASCM) shown thus: ●
 4. Reference Control Point (<TYPE>) shown thus: ▲
 5. The Geo-Referenced Point coordinates are Northing 5657371.69m and Easting -15067.42m and derived from the Alberta Survey Control Markers shown on this plan.
 The Geo-Referenced Point is ASCM 334227 and shown thus: ○ RP
 6. All distances are in metres and decimals thereof.
 7. Distances on curves are arc.
 8. Bearings are grid and are derived from GNSS observations.
 (NAD83 Original, 3TM projection, reference meridian -114°, combined factor 0.999712)
 9. This plan contains 3 lots.
 10. Area registered shown outlined thus: _____ and contains within: _____ PARCEL "C", PLAN 6160HF: _____ 2.477 ha

LEGEND:

List of typical abbreviations shown thus:

SEC.	Section	R	Radius
TWP.	Township	Δ	Central Angle of Curve
RGE.	Range	CHD	Chord
W.5M.	West of the 5th Meridian	BRG	Bearing
N.	North	FD.	Found
S.	South	I.	Statutory Iron Survey Post
E.	East	NAD83	North American Datum 1983
W.	West	3TM	3 Degree Transverse Mercator
RP.	Geo-Referenced Point	GNSS	Global Navigation Satellite System
CR	Conservation Reserve	ASCM	Alberta Survey Control Marker
ER	Environmental Reserve		
PUL	Public Utility Lot		
AR/W	Access Right of Way		
DR/W	Overland Drainage Right of Way		
ER/W	Environmental Right of Way		
UR/W	Utility Right of Way		
ha	Hectares		

AMENDED DRAWINGS
 DP No _____ Date Received _____
 DP2025-03525 JAN 19 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO. _____

SURVEYOR:
 RARES G. CARABA, A.L.S. PRELIMINARY
 Surveyed between the dates of August 8, 2019 to May 6, 2020 in accordance with the provisions of the Survey Act.
 THIS PLAN IS PARTIALLY BASED ON REGISTERED SURVEY PLANS AND IS SUBJECT TO CONTRADICTION.

REGISTERED OWNER:
 TRICO DEVELOPMENTS (1990) LTD.

SUBDIVISION AUTHORITY:
 NAME: THE CITY OF CALGARY
 FILE NO.: _____ PS: SUB

LAND TITLES OFFICE SURVEYOR'S REF. NO.: 3028149-200-01
 ARCADIS GEOMATICS (CANADA) INC. 3rd FLOOR 227 11 AVENUE S.W., CALGARY ALBERTA T2C 1A9-200-01