





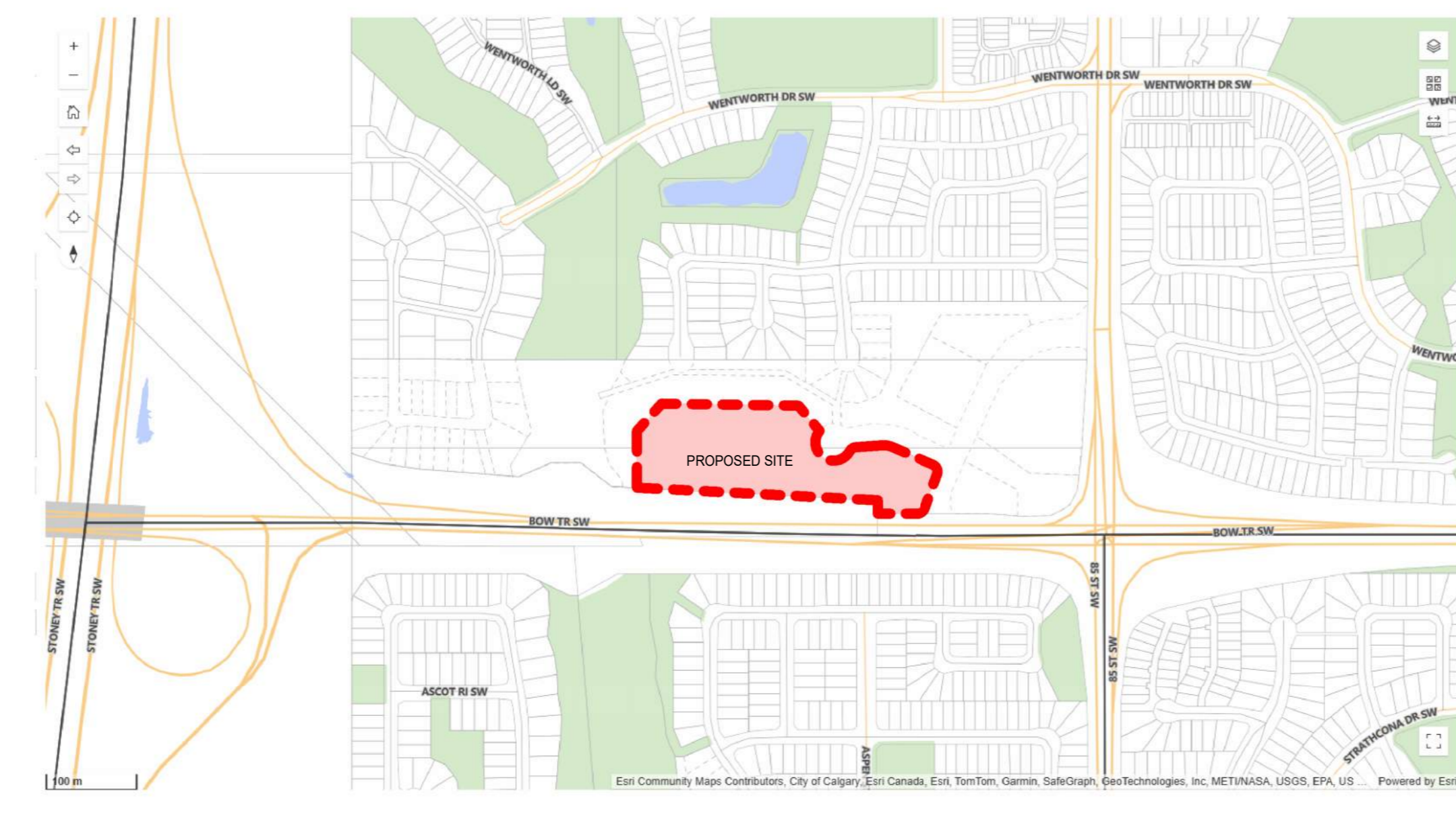
**SITE LEGEND**

- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,500kg (85,000lb) LOAD & NFPA 1901-POINT LOAD OF 517kPa OVER 2424' AREA
- UTILITY RIGHT-OF-WAY - REFER TO CIVIL
- LANDSCAPING - REFER TO LANDSCAPE DRAWINGS
- RAISED PLANTER BEDS - REFER TO LANDSCAPE DRAWINGS
- CONCRETE (SIDEWALK / CURB / WALKWAY / PAVERS) - REFER TO LANDSCAPE DRAWINGS
- HEATED CONCRETE RAMP DOWN TO PARKADE ON TROWELED HERRINGBONE FINISH
- ASPHALT
- 6" C.I.P. CONCRETE RAISED PLANTER WALLS / CURBS - REFER TO LANDSCAPE DRAWINGS
- LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55 000 lb / 25 000 kg (SYMBOL PAINTED ON CONCRETE)
- PRINCIPLE ENTRY - WITHIN 15m OF FIRE ACCESS ROUTE (45m RADIUS FROM FIRE HYDRANT)
- BARRIER-FREE RAMP
- PROPOSED BARRIER-FREE PARKING - SYMBOL PAINTED ON ASPHALT
- BIKE RACK - REFER TO LANDSCAPE DRAWINGS
- 1.5m WIDE PAINTED CROSSWALK
- BARRIER FREE PARKING SIGN (INSTALLED AT ALL RELEVANT LOCATIONS)
- VISITOR PARKING (INSTALL SIGNAGE AT ALL RELEVANT LOCATIONS)
- "STOP" SIGN, "LOADING ZONE, NO PARKING" SIGN, "LOADING" SIGN
- PROPOSED TRANSFORMER AND CONCRETE PAD - REFER TO ELECTRICAL
- FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL
- DIRECTION OF TRAVEL
- VARIOUS TREES - REFER TO LANDSCAPE
- WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
- MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
- SITE ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL
- ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
- FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
- PROPERTY LINE - DELINEATES SCOPE OF WORK
- EXTENTS OF PARKADE WALLS BELOW GRADE
- PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
- PROPOSED / EXISTING STORM LINE - REFER TO CIVIL
- PROPOSED / EXISTING SANITARY LINE - REFER TO CIVIL
- PROPOSED / EXISTING ELECTRICAL (OH OR UG) - REFER TO CIVIL
- UTILITY RIGHT OF WAY (UROW) - REFER TO CIVIL
- EXISTING / OFFSITE - REFER TO CIVIL / SURVEY
- LINE OF EAVES AT ROOF OVERHANGS
- LINE OF RETAINING WALL
- LINE OF ACCESS ROAD CURB
- LINE OF THE SAFETY GUARDRAIL ALONG ACCESS ROAD

**NOTE:**  
ALL EXISTING LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UG SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY

**SITE GENERAL NOTES**

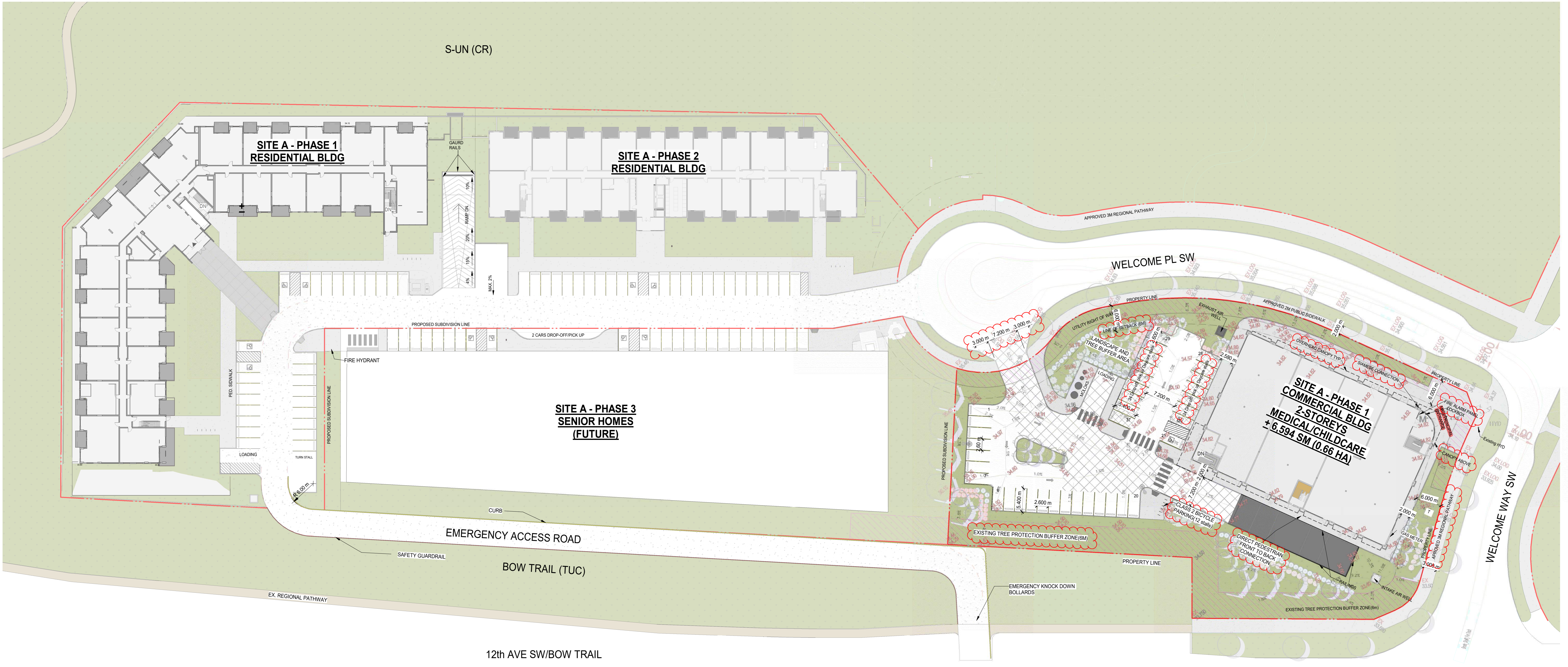
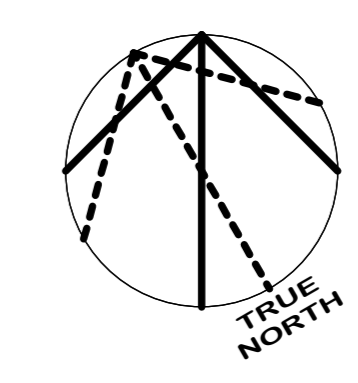
1. ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
2. WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.)
3. NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION
4. NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE
5. LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS
6. SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS
7. FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS
8. SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS
9. ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT
10. REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION
11. PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION IF C.I.P. IS SW 30' AND 15' FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED
12. ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL
13. IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS SHALL BE LOCATED AS PER DESIGN, IF REQUIRED
14. CAST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL
15. PROPOSED LOCATIONS FOR FIRE ALARM CONTROL PANEL AND LOOKBOX INDICATED
16. UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING
17. REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS
18. INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED
19. AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEFINITE TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREES
20. REFER TO CIVIL DRAWINGS FOR LOCATIONS AND SIZING OF TRANSIT ZONES AND TRANSIT PADS



3 DP LANDUSE BYLAW KEY PLAN Copy 1  
CM-DP-A10-02 SCALE: 1:2



2 DP SITE CONTEXT MAP - SATELLITE VIEW Copy 1  
CM-DP-A10-02 SCALE: 1:1



1 SITE PLAN  
CM-DP-A10-02 SCALE: 1:350

**AMENDED DRAWINGS**  
DP No: DP2025-03525 Date Received: SEP 29 2025  
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component

Key Plan

Consultants

Survey:	T.B.D
Civil:	RICHVIEW ENGINEERING
Architecture:	NORR ARCHITECTS & PLANNERS
Structural:	GLOTMAN-SIMPSON
Mechanical:	
Electrical:	
Interiors:	T.B.D
Landscape:	616 STUDIO

Seal(s)

**NORR**  
2300, 411 - 1st Street SE  
Calgary, AB, Canada T2G 4Y5  
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NORR Architects Engineers Planners  
A Partnership of Corporations

Jonathan Hughes, Architect, SA, CA, OAC, ABC, SAA, LAAS, AASPE  
Aria, Tanya, P.Eng., ORECA  
Chris and Tracy, AIA, CA

Project Manager	Drawn
DH	AAAD
Project Leader	Checked
EF	Checker

Client  
**TRICO HOMES**

Project  
**TRICO - WENTWORTH LANDING - PHASE 1 RESIDENTIAL**  
1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

Drawing Title  
**OVERALL SITE PLAN**

Scale: As indicated

Project No: RZ1124-0021-00

Drawing No: **CM-DP-A10-02**

PRELIMINARY - NOT FOR CONSTRUCTION

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Jonathan Hughes, Architect, AIA, OAA, ABC, NAA, AAAS, AAPA  
Asha Yankar, P.Eng., OPEQA  
Chris Lee, P.Eng., OPEQA

Project Manager: DMH  
Project Leader: EF  
Drawn: AL  
Checked: EF  
Checked: EF

Client: **TRICO HOMES**

Project: **TRICO - WENTWORTH LANDING - PHASE 1 RESIDENTIAL**

1127 85 ST SW and 8888 BOW TR SW, CALGARY, AB

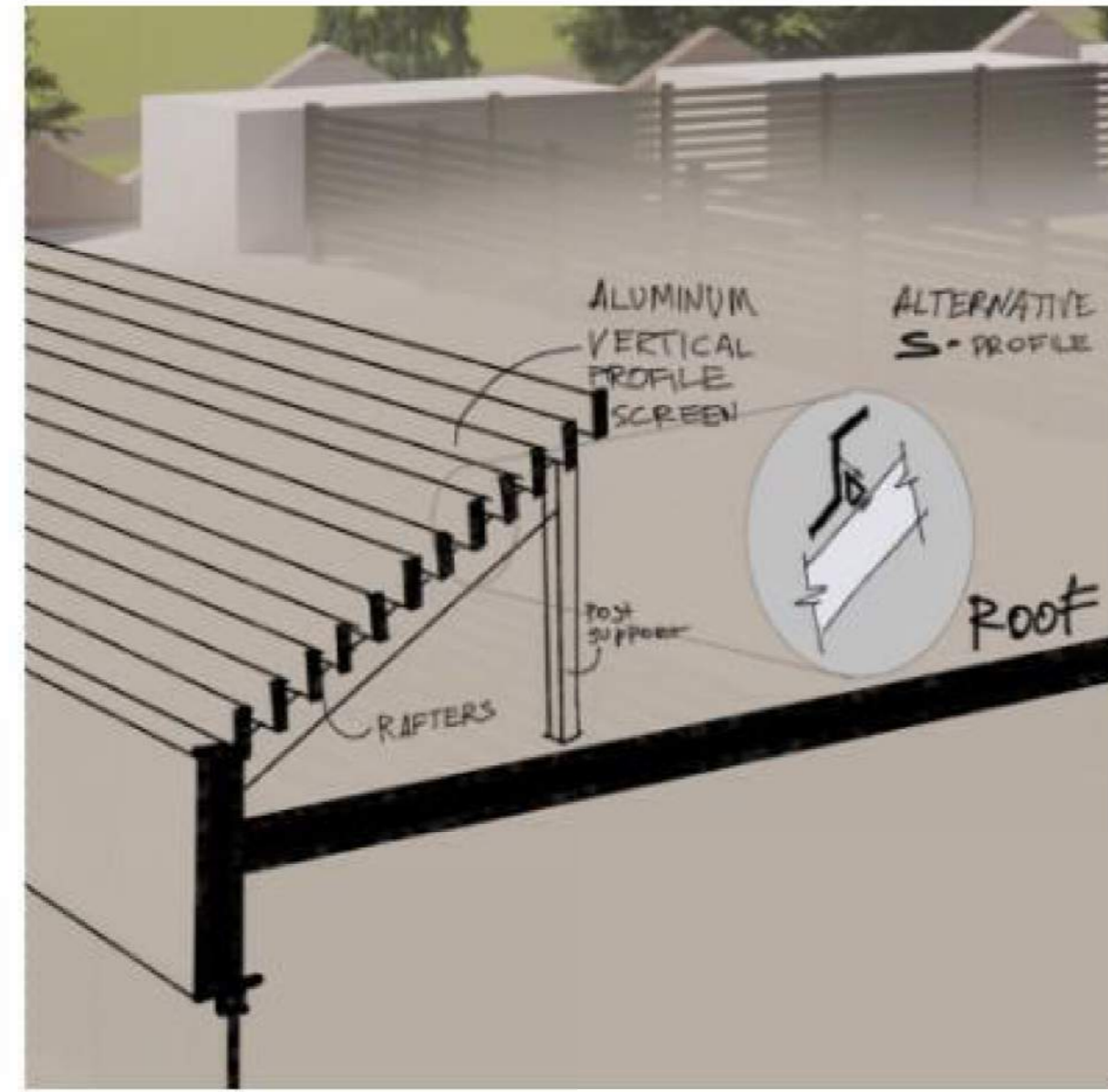
Drawing Title: **COMMERCIAL RENDERERS**

Scale

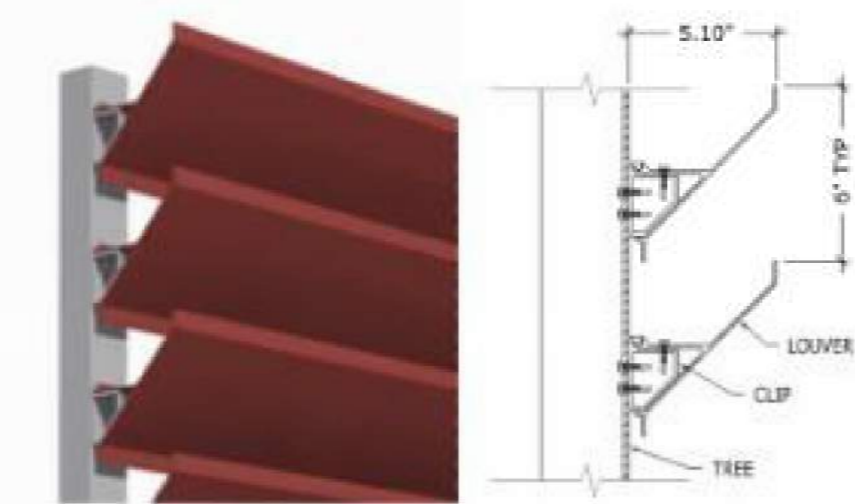
Project No. RZ1124-0021-00

Drawing No. **CM.DP-A10-07**

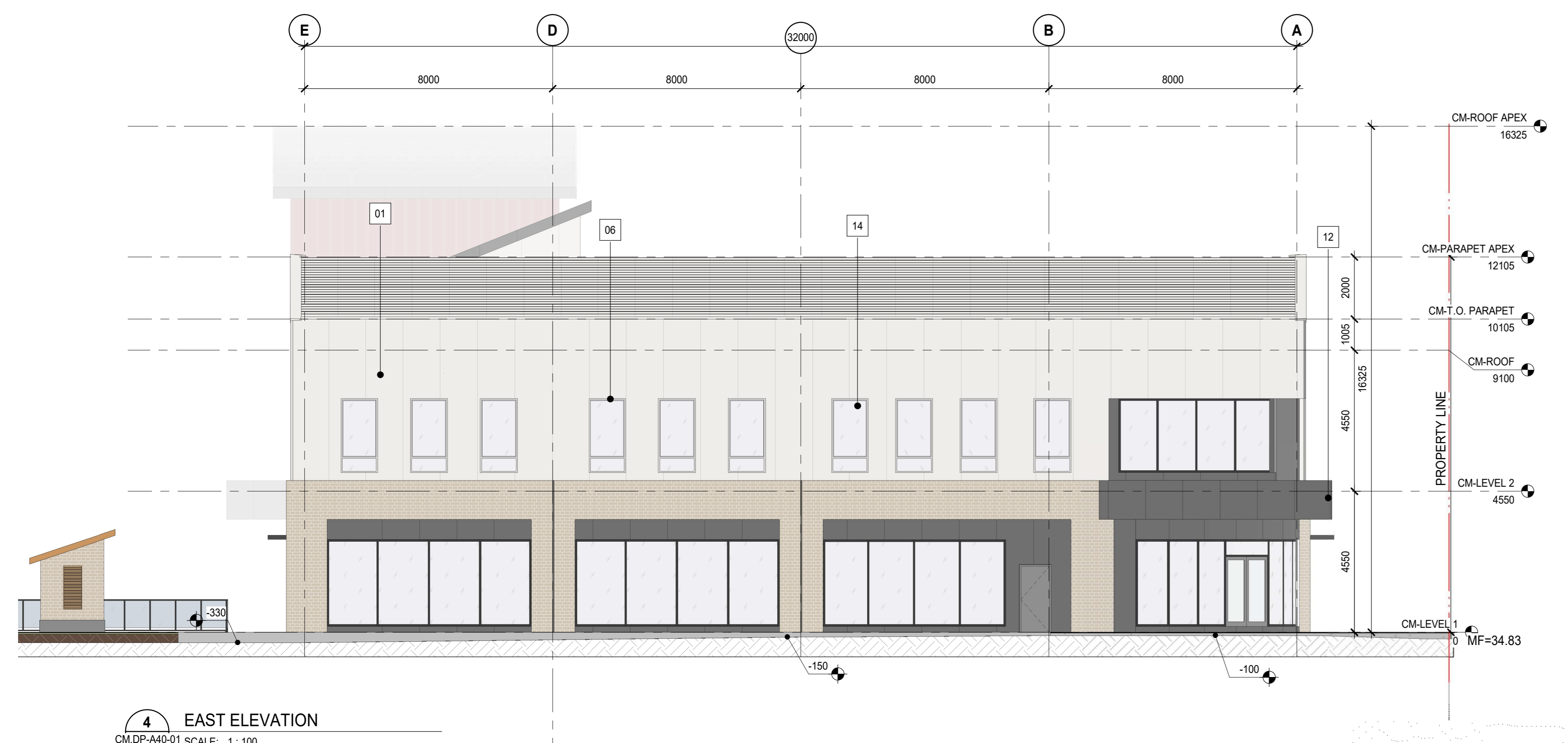
Roof screening



02 Brick veneer, Hebron Madison



PRELIMINARY - NOT FOR CONSTRUCTION



4 EAST ELEVATION  
CM-DP-A40-01 SCALE: 1:100



3 WEST ELEVATION  
CM-DP-A40-01 SCALE: 1:100



2 SOUTH ELEVATION  
CM-DP-A40-01 SCALE: 1:100



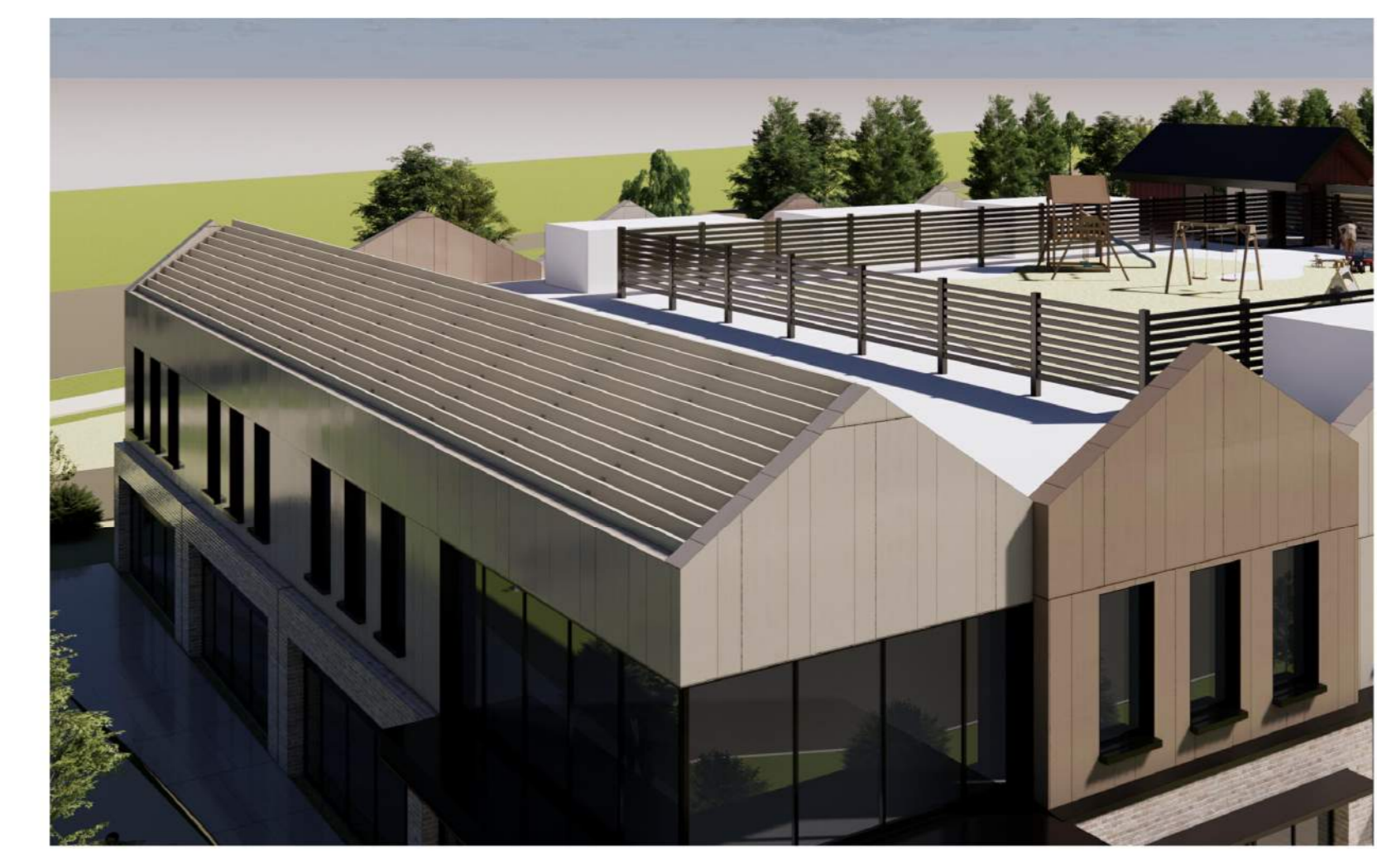
1 NORTH ELEVATION  
CM-DP-A40-01 SCALE: 1:100

MATERIALS LEGEND

01 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: COBLE STONE	07 MATERIAL: BALCONY QUADRANT GLASS SYSTEM MANUFACTURER: T.B.D COLOR: BLACK HARDWARE, CLEAR GLASS	13 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: BLACK
02 MATERIAL: THIN BRICK VENEER MANUFACTURER: HERBON BRICK COLOR: MADISON	08 MATERIAL: ALUMINUM SOFFIT MANUFACTURER: LIX COLOR: HEMLOCK	14 MATERIAL: ALUMINUM STORE FRONT FRAMING MANUFACTURER: T.B.D COLOR: BLACK
03 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: KHAKI BROWN	09 MATERIAL: PRE-FINISHED ALUMINUM FLASHING MANUFACTURER: T.B.D COLOR: TO MATCH FACADE	
04 MATERIAL: FIBRE CEMENT PANEL MANUFACTURER: JAMES HARDIE COLOR: COUNTRYLANE RED	10 MATERIAL: A41 EQUIPMENT SCREEN MANUFACTURER: T8D COLOR: BLACK	
05 MATERIAL: ALUMINUM ENTRANCE DOORS MANUFACTURER: T.B.D COLOR: BLACK	11 MATERIAL: EXPOSED CONCRETE WALL FINISH MANUFACTURER: T.B.D COLOR: GREY	
06 MATERIAL: METAL GLAZ PVC WINDOW MANUFACTURER: T.B.D COLOR: BLACK	12 MATERIAL: METAL CLADDING MANUFACTURER: T.B.D COLOR: BLACK, MATTE	

MATERIALS BOARD

MATERIAL: THIN BRICK VENEER MANUFACTURER: HERBON BRICK COLOR: MADISON	MATERIAL: FIBRE CEMENT (SMOOTH PANEL) MANUFACTURER: JAMES HARDIE COLOR: KHAKI BROWN	MATERIAL: FIBRE CEMENT (SMOOTH PANEL) MANUFACTURER: JAMES HARDIE COLOR: COUNTRYLANE RED
MATERIAL: FIBRE CEMENT (SMOOTH PANEL) MANUFACTURER: JAMES HARDIE COLOR: COBLE STONE	MATERIAL: SOFFIT ALUMINUM TRIM MANUFACTURER: LIX COLOR: HEMLOCK	



AMENDED DRAWINGS  
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Seal(s)

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A Partnership of Corporations  
Professional Corporation - Not-for-Profit

Project Manager	Drawn
CM	SAARAJ
Project Leader	Checked
RR	Checker

Client  
**TRICO HOMES**

Project  
**TRICO - WENTWORTH LANDING - PHASE 1 COMMERCIAL**

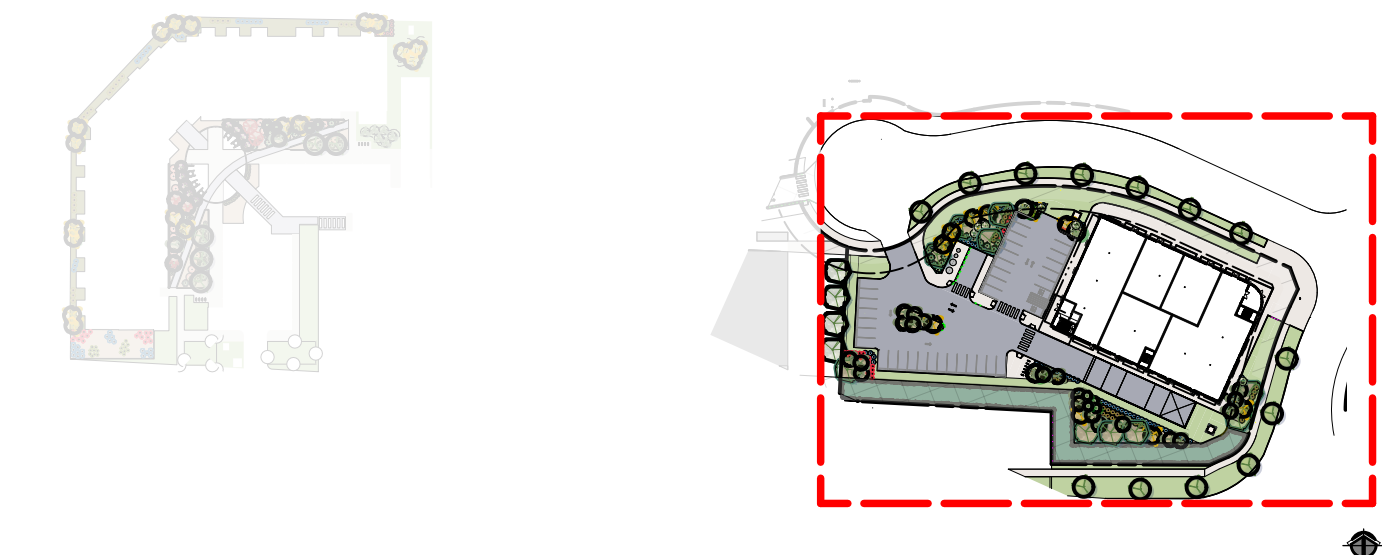
E.G. 22 WELCOME PLACE SW, CALGARY, ALBERTA  
Drawing Title  
**COMMERCIAL BUILDING OVERALL ELEVATIONS**

Scale  
As indicated

Project No.  
RZ1124-0021-00

Drawing No.  
**CM-DP-A40-01**

PRELIMINARY - NOT FOR CONSTRUCTION



keyplan

land use bylaw landscape requirements		
City Of Calgary Zoning	M-H1	
landscape area	required	provided
<b>total parcel area</b>	m2	<b>6,593.38 m2</b>
landscape area required for M-H1 zoning (40% of parcel area)	2,637.35 m2	2397.50 m2
existing tree protection buffer zone		720 m2
item 556 low water landscaping reduction -3%		
<b>total landscape area required (37% of parcel area)</b>	2,439.55 m2	
<b>total landscape area provided</b>		<b>3117.50 m2</b>
total landscape area provided (percentage of total parcel area):		47 %
hard surfaced landscape area (maximum of 40% of provided landscape area)	1,247.00 m2	840.00 m2
hard surfaced landscape area provided (percentage of landscape area provided)		27 %
sod area as per item 556 (maximum of 30% of provided landscape area)	935.25 m2	893.81 m2
<b>total number of trees</b>	required	provided
555)		
number of existing trees on site:	0	
number of new trees required:	53	54
low water trees required as per item 556 (30% minimum of trees provided)	16	17
<b>deciduous trees</b>	required	provided
large trees as per item 552 (50% min 75mm cal)	20	20
medium trees as per item 552 (50% min 50mm cal)	20	20
total deciduous trees	40	40
<b>coniferous trees</b>	required	provided
large trees as per item 552 (50% 3.0m ht min)	7	7
medium trees as per item 552 (50% 2.0m ht min)	7	7
total coniferous trees	13	14
<b>shrubs (ground level and first floor terrace only)</b>	required	provided
(2/45 m2 of required landscape area excluding tree protection buffer zone as per item 552) (min 600mm height and spread)	103	208
low water shrubs required as per item 556 (30% minimum of shrubs provided)	62	64

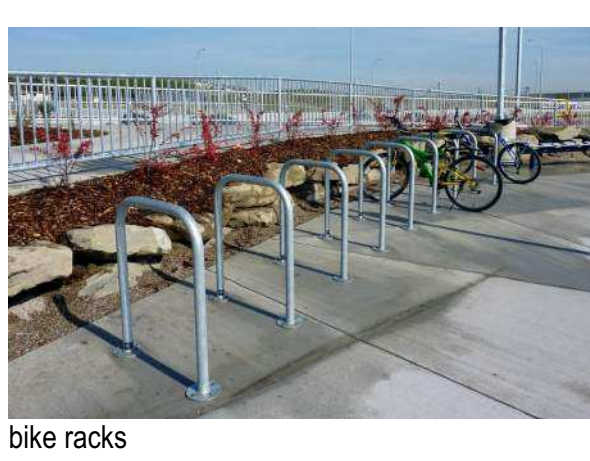
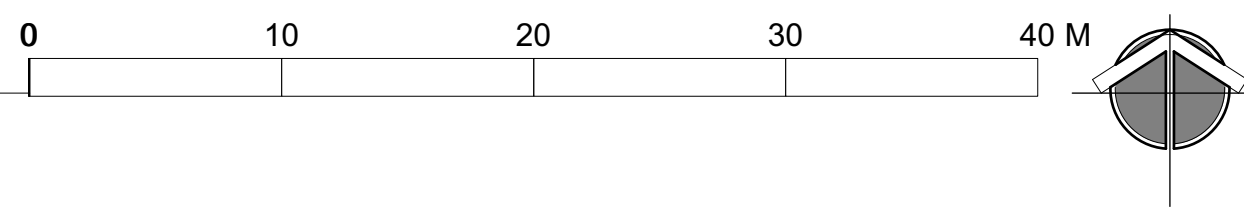
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- notes
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  2. Do not scale drawings.
  3. Refer to Civil drawings for all grading information.
  4. All walkways are plain concrete unless noted otherwise.
  5. All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
  6. All planting beds and tree wells to be mulched with bark chip much, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

**EIGHT ONE EIGHT STUDIO**  
PLANNING + DESIGN COLLABORATIVE  
1812 14th STREET SW CALGARY, AB T2T3W6

number	revision	date	by	approved
3	issued for DR			2025-09-29
2	issued for DR			2025-09-26
1	development permit			2025-06-12
	issued for			date (y.m.d)

1 Commercial Building Siteplan  
Scale: 1:300



- trees**
- brandon elm**  
*Ulmus americana 'Brandon'*  
Qty: 10  
75mm caliper balled and burlapped
  - colorado spruce**  
*Picea pungens*  
Qty: 3  
3m height balled and burlapped
  - paper birch**  
*Betula papyrifera*  
Qty: 20  
50mm caliper balled and burlapped
  - trembling aspen**  
*Populus tremuloides*  
Qty: 10  
75mm caliper balled and burlapped
  - lodgepole pine**  
*Pinus contorta 'var. latifolia'*  
Qty: 4  
3m height balled and burlapped
  - bakeri blue spruce**  
*Picea pungens 'Baker'*  
Qty: 7  
2m height balled and burlapped

- shrubs**
- andorra juniper**  
*Juniperus horizontalis 'Plumosa Compacta'*  
Qty: 18  
#5 container 500 mm min height + spread
  - lilac**  
*Syringa 'Jesse'*  
Qty: 45  
#5 container 600 mm min height + spread
  - juniper**  
*Juniperus horizontalis*  
Qty: 95  
#5 container 600 mm min height + spread
  - wood's rose**  
*Rosa woodsii*  
Qty: 45  
#5 container 600 mm min height + spread

- landscape area**
- sod
  - concrete sidewalk
  - planting bed

project  
**wentworth landing**  
**phase 1 commercial site**  
1127 85 ST SW & 8888 BOW TR SW

drawing  
wentworth landing development  
permit landscape plan

drawn	rr	approved	rbg
checked	bhm	project number	04120.1
date	2025 09 29	sheet	
scale	as noted	<b>DPL1.0</b>	

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