

AMENDED DRAWINGS
 DP No Date Received
 DP2025-03212 11 10 2025
 THESE DRAWINGS REFER TO THE
 ABOVE DEVELOPMENT PERMIT NO.

PORTE Currie Barracks

for PORTE COMMUNITIES

Development Permit

DP2025-03212



ARTIST RENDERING FOR REFERENCE ONLY

DRAWING LIST

- Architectural
- DP0.0 Cover Sheet
- DP1.1 Context Plan, Project Statistics, Site Photos
- DP1.2 Proposed Site Plan
- DP1.3 Site Details
- DP2.1 Floor Plan - Parkade
- DP2.2 Floor Plan - Level 1
- DP2.3 Floor Plan - Level 2
- DP2.4 Floor Plan - Levels 3 & 4
- DP2.5 Roof Plan
- DP3.1 Building Elevations
- DP3.2 Building Elevations
- DP4.1 Building Sections

| # | DATE | DESCRIPTION |
|------------|---------------------|-------------|
| 2025 01 31 | Issued for AC | |
| 2025 02 28 | Issued for DP Draft | |
| 2025 03 28 | Issued for DP Draft | |
| 2025 05 13 | Issued for DP | |
| 2025 11 05 | DR1 Response | |



PRELIMINARY, NOT FOR CONSTRUCTION

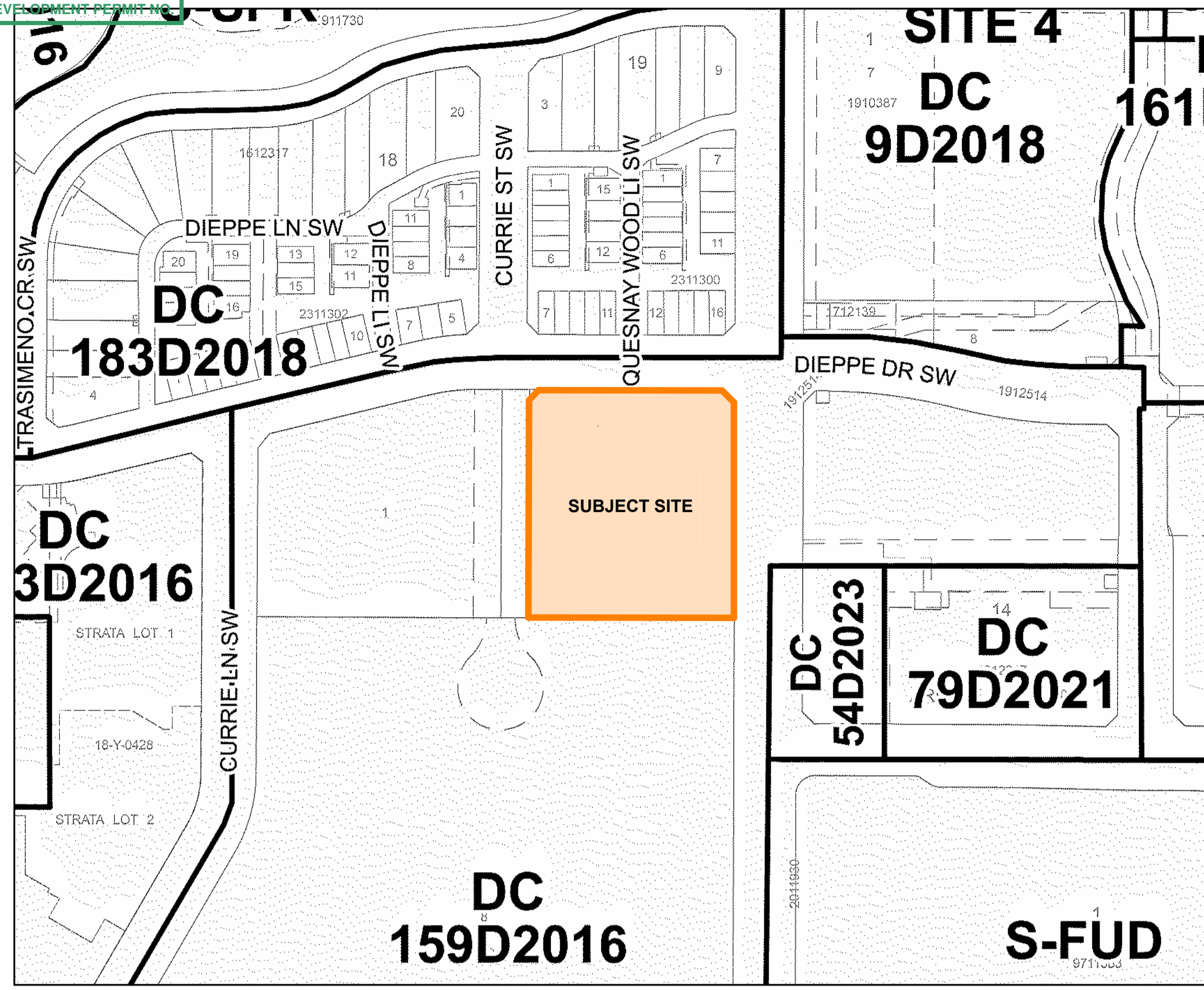
GRAVITY ARCHITECTURE
 CONTACT
 permits@architecture.ca
 P: 1 (403) 243 4030

#405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1J5
 #820, 1199 West Pender ST
 Vancouver BC Canada
 V6E 2R1
 gravityarchitecture.com



Copyright reserved. This drawing, its contents and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work. This includes any errors or omissions.

| | |
|----------------------------------|--|
| PERMIT NUMBERS DP2025-03212 | PROJECT STATUS Development Permit |
| PROJECT PORTE Currie Barracks | 270 Dieppe Drive SW Lot 2 Block 12 Plan 2311868 |
| TITLE Cover Sheet | PROJECT NUMBER 24-027 |
| SCALE 12" = 1'-0" | DRAWING NUMBER DP0.0 |
| DESIGNER RTA | VERSION ISSUE DATE 2025 11 05 |
| DP DRAFTSPERSON SR / DP | DP CHECKED |
| BP DRAFTSPERSON | BP CHECKED |



1 LUB Context Plan
 1 : 1500



2 Vicinity Plan
 1 : 1500



1. Site Photo (Dieppe Drive)



2. Site Photo (North East Corner)



3. Site Photo (Northwest Corner)



4. Site Photo (Southeast Corner)

**LAND USE BYLAW ANALYSIS
 BASED ON 1P2007**

SITE AREA
 • 6,731 m² = 0.67 ha (72,456 ft²)

LAND USE DESIGNATION
 • DC 159D2016
 • Neighbouring Lots' Designations: DC 159D2016

(4) DISCRETIONARY USES
 • Multi-Residential Development

FLOOR AREA RATIO
 • 11 (1) Minimum floor area ratio is 0.6
 (2) There is no maximum floor area ratio

BUILDING HEIGHT
 • 12 (1) The minimum building height is 5.5 m.
 (2) Unless otherwise referenced, the maximum building height is 65.0 m
 (4) Where the parcel shares a property line with Dieppe Dr SW, the maximum building height is
 a) 32.0 m from grade within 10.0 m of that shared property line
 b) 48.0 m from grade at a distance between 10.0 m and 25 m from that shared property line

BUILDING DESIGN
 • 13 (1) All buildings must comply with the following general requirements:
 b) the ceiling height of any residential unit on the first storey must not be less than 3.0 m from grade
 c) a unit with any portion of its floor area located on the floor closest to grade must have an individual, separate, and direct access to grade
 d) any unit of the floor closest to grade must have a finished floor at a maximum of 0.4 m above grade

SETBACKS
 • 15 1) The minimum building setback from a property line shared with Currie Street SW is 2.0m
 2) The minimum building setback from the following streets is:
 b) 3.0 m for parcels located on Dieppe Dr SW
 c) 5.0 m for parcels located on Quesnay Wood Dr SW from Flanders Ave SW to Dieppe Dr SW.

SPECIFIC RULES FOR LANDSCAPED AREAS
 • 20 (1) minimum of 25% of the site area must be landscaped area.

AMENITY SPACE
 • 23(1) Minimum Amenity Space of 5.0m² per unit
 2) Amenity space may be provided as common, private amenity space or a combination of both.
 5) Private amenity space may be in the form of balcony, deck or patio with no minimum dimensions of less than 2.0m.
 6) Common amenity space must have a contiguous area of not less than 50 m² with no dimension less than 6m

MECHANICAL SCREENING
 • 24 Mechanical systems or equipment that is located outside of a building must be screened

GARBAGE STORAGE
 • 25 Garbage containers and waste material must be stored inside a building that contains another approved use.

RECYCLING FACILITIES
 • 26 Recycling facilities must be provided for every building containing Dwelling Units.

WASTE & RECYCLING CALCULATION
 Residential: 0.3yd³ per unit x 159 units = 48yd³

27 MOTOR VEHICLE PARKING STALL REQUIREMENTS
 Minimum for each Dwelling Unit:
 • 0.7 stalls for resident parking x 159 = 112 stalls
 • 0.1 visitor stalls per unit x 159 = 16 stalls
 Maximum for each Dwelling Unit:
 • 2.0 stalls for resident parking x 159 = 318 stalls
 • 0.15 visitor stalls per unit x 159 = 24 stalls
 Provided: 159 resident, 16 visitor

28 REQUIRED BICYCLE PARKING STALLS
 Required:
 0.5 Class 1 per unit x 159 = 80
 0.1 Class 2 per unit x 159 = 16
 Provided: 80 Class 1 + 16 Class 2

**LAND USE BYLAW ANALYSIS
 BASED ON 1P2007**

SITE AREA
 • 6,731 m² = 0.67 ha (72,456 ft²)

LAND USE DESIGNATION
 • DC 159D2016
 • Neighbouring Lots' Designations: DC 159D2016

(4) DISCRETIONARY USES
 • Multi-Residential Development

FLOOR AREA RATIO
 • 11 (1) Minimum floor area ratio is 0.6
 (2) There is no maximum floor area ratio

BUILDING HEIGHT
 • 12 (1) The minimum building height is 5.5 m.
 (2) Unless otherwise referenced, the maximum building height is 65.0 m
 (4) Where the parcel shares a property line with Dieppe Dr SW, the maximum building height is
 a) 32.0 m from grade within 10.0 m of that shared property line
 b) 48.0 m from grade at a distance between 10.0 m and 25 m from that shared property line

BUILDING DESIGN
 • 13 (1) All buildings must comply with the following general requirements:
 b) the ceiling height of any residential unit on the first storey must not be less than 3.0 m from grade
 c) a unit with any portion of its floor area located on the floor closest to grade must have an individual, separate, and direct access to grade
 d) any unit of the floor closest to grade must have a finished floor at a maximum of 0.4 m above grade

SETBACKS
 • 15 1) The minimum building setback from a property line shared with Currie Street SW is 2.0m
 2) The minimum building setback from the following streets is:
 b) 3.0 m for parcels located on Dieppe Dr SW
 c) 5.0 m for parcels located on Quesnay Wood Dr SW from Flanders Ave SW to Dieppe Dr SW.

SPECIFIC RULES FOR LANDSCAPED AREAS
 • 20 (1) minimum of 25% of the site area must be landscaped area.

AMENITY SPACE
 • 23(1) Minimum Amenity Space of 5.0m² per unit
 2) Amenity space may be provided as common, private amenity space or a combination of both.
 5) Private amenity space may be in the form of balcony, deck or patio with no minimum dimensions of less than 2.0m.
 6) Common amenity space must have a contiguous area of not less than 50 m² with no dimension less than 6m

MECHANICAL SCREENING
 • 24 Mechanical systems or equipment that is located outside of a building must be screened

GARBAGE STORAGE
 • 25 Garbage containers and waste material must be stored inside a building that contains another approved use.

RECYCLING FACILITIES
 • 26 Recycling facilities must be provided for every building containing Dwelling Units.

WASTE & RECYCLING CALCULATION
 Residential: 0.3yd³ per unit x 159 units = 48yd³

27 MOTOR VEHICLE PARKING STALL REQUIREMENTS
 Minimum for each Dwelling Unit:
 • 0.7 stalls for resident parking x 159 = 112 stalls
 • 0.1 visitor stalls per unit x 159 = 16 stalls
 Maximum for each Dwelling Unit:
 • 2.0 stalls for resident parking x 159 = 318 stalls
 • 0.15 visitor stalls per unit x 159 = 24 stalls
 Provided: 159 resident, 16 visitor

28 REQUIRED BICYCLE PARKING STALLS
 Required:
 0.5 Class 1 per unit x 159 = 80
 0.1 Class 2 per unit x 159 = 16
 Provided: 80 Class 1 + 16 Class 2



SITE INFORMATION

LAND USE DISTRICT
 Direct Control District - DC20164159

LEGAL DESCRIPTION
 Plan 2311868, Block 12, Lot 2

MUNICIPAL ADDRESS
 270 Dieppe Drive SW

COMMUNITY
 Currie Barracks

SITE AREA

| | |
|----------|-----------|
| 6.731 SM | 72,456 SF |
| 1.66 AC | 0.67 HA |

DEVELOPMENT STATISTICS

PROPOSED USE
 Dwelling Unit
 (4 Storey Multi-Family Residential, 159 Units Total)

PROPOSED UNIT COUNT

| Building | Studio | 6 Units | 5.0% |
|--------------|------------|--------------|---------------|
| 1 | 95 | Units | 53.5% |
| 2 | 58 | Units | 36.5% |
| 3 | 6 | Units | 3.0% |
| TOTAL | 159 | Units | 100.0% |

GROSS FLOOR AREA*

| | | |
|--------------|------------------|-------------------|
| Building 1 | 12,039 SM | 129,990 SF |
| TOTAL | 12,039 SM | 129,990 SF |

FAR
 Minimum: 0.60
 Proposed: 1.79

DENSITY
 Minimum: 150 units / ha
 Proposed: 236 units / ha

SITE COVERAGE
 44.9%

LANDSCAPE AREA
 Minimum: 25.0%
 Proposed: TBD Refer to Landscape

BUILDING HEIGHT
 Maximum: 65m

VEHICLE PARKING

Required

| | | |
|--------------|-------------------|-------------------|
| Resident | 111 stalls | 0.700 stalls/unit |
| Visitor | 16 stalls | 0.10 stalls/unit |
| TOTAL | 127 stalls | |

Proposed

| | | |
|--------------|-------------------|-------------------------|
| Resident | 134 stalls | Passade |
| Visitor | 16 stalls | Passade |
| TOTAL | 150 stalls | 4.44 stalls/unit |

BICYCLE PARKING

Required

| | | |
|--------------|------------------|------------------|
| Class 1 | 80 stalls | 0.50 stalls/unit |
| Class 2 | 16 stalls | 0.10 stalls/unit |
| TOTAL | 96 stalls | |

Proposed

| | | |
|--------------|------------------|-------------------|
| Class 1 | 80 stalls | Bike Storage Room |
| Class 2 | 16 stalls | Surface |
| TOTAL | 96 stalls | |

WASTE & RECYCLING

Required

| | | |
|-------------|--------------------|----------------------------|
| Residential | 48 yd ³ | 0.3 yd ³ / unit |
|-------------|--------------------|----------------------------|

Proposed

| | | |
|--------------|--------------------------|-----------------------|
| Waste | 4 Bins | @ 4.0 yd ³ |
| Recycling | 4 Bins | @ 4.0 yd ³ |
| Organics | 2 Bins | @ 3.0 yd ³ |
| TOTAL | 38 yd³ | Total Volume |

*Based on waste control recommendations

AMENITY SPACE

| | | |
|----------|----------------------|--|
| Required | 795 m ² | 5.00 m ² /unit Patios, Balconies, Indoor Amenities |
| Proposed | 1,015 m ² | |

Detailed Project Statistics

G.F.A. (Indoor Amenity)

| Room Name | Level | Total Area (sq.ft) | Total Area (sq.m) |
|-----------------------------------|---------|--------------------|-------------------|
| Amenity Gym | Level 1 | 1,179 | 109.28 |
| Amenity Lounge | Level 1 | 1,126 | 104.21 |
| Total GFA (Indoor Amenity) | | 2,315 | 215.06 |

G.F.A. (Circulation / Bldg Services)

| Level | Total Area (sq.ft) | Total Area (sq.m) |
|--|--------------------|-------------------|
| Level 1 | 3,861 | 356.79 |
| Level 2 | 3,861 | 356.79 |
| Level 4 | 3,861 | 356.79 |
| Total GFA (Circ. / Bldg Services) | 16,317 | 1,422.96 |

G.F.A. (Dwelling Units)

| Unit Name | Unit Type | Count | Total Area (sq.ft) | Total Area (sq.m) |
|-------------------------------------|-------------|----------------|--------------------|-------------------|
| Unit A | 1 Bed | 52 | 37,866 | 3,498.21 |
| Unit A1 | 1 Bed | 5 | 4,299 | 397.81 |
| Unit A2 | 1 Bed | 25 | 19,112 | 1,773.89 |
| Unit B | 1 Bed + Den | 3 | 2,361 | 219.23 |
| Unit C | 2 Bed + Den | 39 | 33,135 | 3,076.36 |
| Unit D | 2 Bed | 8 | 7,212 | 668.66 |
| Unit D1 | 2 Bed | 5 | 6,707 | 626.66 |
| Unit E | 3 Bed | 4 | 4,164 | 387.27 |
| Unit F | 3 Bed + Den | 4 | 4,586 | 424.87 |
| Unit G | 1 Bed | 4 | 1,810 | 168.20 |
| Unit H | 1 Bed | 4 | 1,868 | 173.82 |
| Grand Total (Dwelling Units) | 159 | 111,930 | 10,386.66 | |

Total Gross Floor Area

| Area Category | Total Area (sq.ft) | Total Area (sq.m) |
|---------------------------------|--------------------|-------------------|
| Circulation & Building Services | 16,317 | 1,422.96 |
| Dwelling Unit | 111,930 | 10,386.66 |
| Indoor Amenity | 2,315 | 215.06 |
| Total GFA: | 129,562 | 12,044.68 |

Area Schedule (Gross Building SIMPLE)

| Level | Name | Area | Area Metric |
|---------|--------|-------|-------------|
| Level 1 | Area 1 | 15316 | 1,422.92 |
| | Area 2 | 17285 | 1,603.94 |
| Level 2 | Area 1 | 15178 | 1,409.89 |
| | Area 2 | 17190 | 1,595.95 |
| Level 3 | Area 1 | 3251 | 3,006.44 |
| | Area 2 | 15176 | 1,409.89 |
| Level 4 | Area 1 | 15176 | 1,409.89 |
| | Area 2 | 17190 | 1,595.95 |
| Level 4 | Area 1 | 3251 | 3,006.44 |
| | Area 2 | 15176 | 1,409.89 |
| Level 4 | Area 1 | 17190 | 1,595.95 |
| | Area 2 | 3251 | 3,006.44 |
| Level 4 | Area 1 | 17190 | 1,595.95 |
| | Area 2 | 3251 | 3,006.44 |

REVISIONS

| # | DATE | DESCRIPTION |
|------------|--------------------------|-------------|
| 2025 01 31 | Issued for AC | |
| 2025 02 28 | Issued for DP Draft | |
| 2025 03 28 | Issued for DP Draft | |
| 2025 05 13 | Issued for DP | |
| 2025 08 12 | Client Coordination Plan | |
| 2025 11 05 | DR1 Response | |

GRAVITY ARCHITECTURE
 CONTACT: permits@architecture.ca
 P: 1 (403) 243 4030

4405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1J5

#820, 1199 West Pender ST
 Vancouver BC Canada
 V6E 2R1
 gravityarchitecture.com

SEAL

STEPHEN H. BERG
 ARCHITECT
 24-027 DP
 ALBERTA 2025 11 05

GRAVITY ARCHITECTURE CORPORATION
 PERMIT No. AC 13941
 ISSUED PURSUANT TO THE
 ARCHITECTS ACT OF ALBERTA

Copyright reserved. This drawing, its contents and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work. This includes any errors or omissions.

PROJECT NUMBERS
 DP2025-03212

PROJECT STATUS
 Development Permit
 PORTÉ Currie Barracks

270 Dieppe Drive SW
 Lot 2 Block 12 Plan 2311868

Context Plan, Project Statistics, Site Photos

PROJECT NUMBER
 24-027

SCALE
 As indicated

DESIGNER
 RTA

SR / DP
 DP DRAFT/PERSON
 BP DRAFT/PERSON

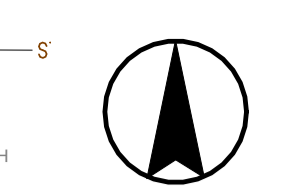
NUMBER
 DP1.1

DATE
 2025 11 05

CHECKED
 DP CHECKED
 BP CHECKED

PRELIMINARY, NOT FOR CONSTRUCTION

DIEPPE DRIVE SW



SURVEY INFORMATION

MUNICIPAL ADDRESS:
 270 DIEPPE DR SW
 LEGAL ADDRESS:
 LOT 2 BLOCK 12 PLAN 2311868
 LAND USE DESIGNATION: Direct
 Control 159D2016
 COMMUNITY: Currie Barracks
 INFILL: No
 Ward: 8
 Councillor: Courtney Walcott
 Survey completed by:
 ARCADIS GEOMATICS (CANADA) INC.
 3rd Floor - 277 11 Ave S.W.
 Calgary, Alberta
 Phone: (403) 270-5600
 Dated: 2023 09 22

| # | DATE | DESCRIPTION |
|------------|------------------------------------|-------------|
| 2025 01 31 | Issued for AC | |
| 2025 02 28 | Issued for DP Draft | |
| 2025 03 28 | Issued for DP Draft | |
| 2025 05 13 | Issued for DP | |
| 2025 09 24 | Issued for Consultant Coordination | |
| 2025 11 05 | DR1 Response | |

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.
 Positions of spot elevations are approximate.
 Distances are in metres and decimals thereof.

HARD / NON-PERMEABLE LANDSCAPING

- Concrete (Sidewalk/Pavement)

NON-LANDSCAPED AREAS

- Building Footprint
- Asphalt (Roads & Lanes)
- Heavy Duty Hard Surface (Capable of supporting min. a 25,000 kg/55,115 lbs load)

LANDSCAPED AREAS

- Extent of Soft Landscaping

LINE TYPES

- Subject Property Lines
- Adjacent Property Lines
- Phasing Lines
- Cantilevers / Projections
- Eaves / Canopies

UTILITY LINE TYPES

- W — Water
- SA — Sanitary Sewer
- ST — Storm Sewer
- G — Gas
- T — Telecom
- P — Power
- OH — Overhead
- (Misc.)

SPOT ELEVATION / GEODETICS

- 55.55 Existing Grade
- 55.55 Proposed Grade

SITE LEGEND

- Site Light
- Site Light Bollard
- Fire Hydrant
- Power Pole
- Manhole
- Catch Basin
- Site Sign
- Primary Entrance

Keynote Legend

Keynote Text

- 1.06 EXISTING BARRIER FREE CURB CUT TO REMAIN
- 2.03 PROPOSED GAS METER LOCATION
- 2.04 PROPOSED FIRE HYDRANT
- 3.06 PROPOSED FIRE DEPARTMENT CONNECTION
- 2.11 PROPOSED EDGE OF CANOPY/SOFT ABOVE
- 2.14 PROPOSED PARADE INTAKE / EXHAUST WELL
- 2.18 PROPOSED LINE OF PARKADE BELOW
- 3.04 PROPOSED 'LOADING ZONE, NO PARKING' SIGN
- 3.05 PROPOSED 'STOP' SIGN

GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR PROPOSED SITE SERVICES AND GRADES.
- REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS ON HARD AND SOFT LANDSCAPING, PROPOSED PLANTING, AND SITE FURNITURE.
- REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LAYOUT.

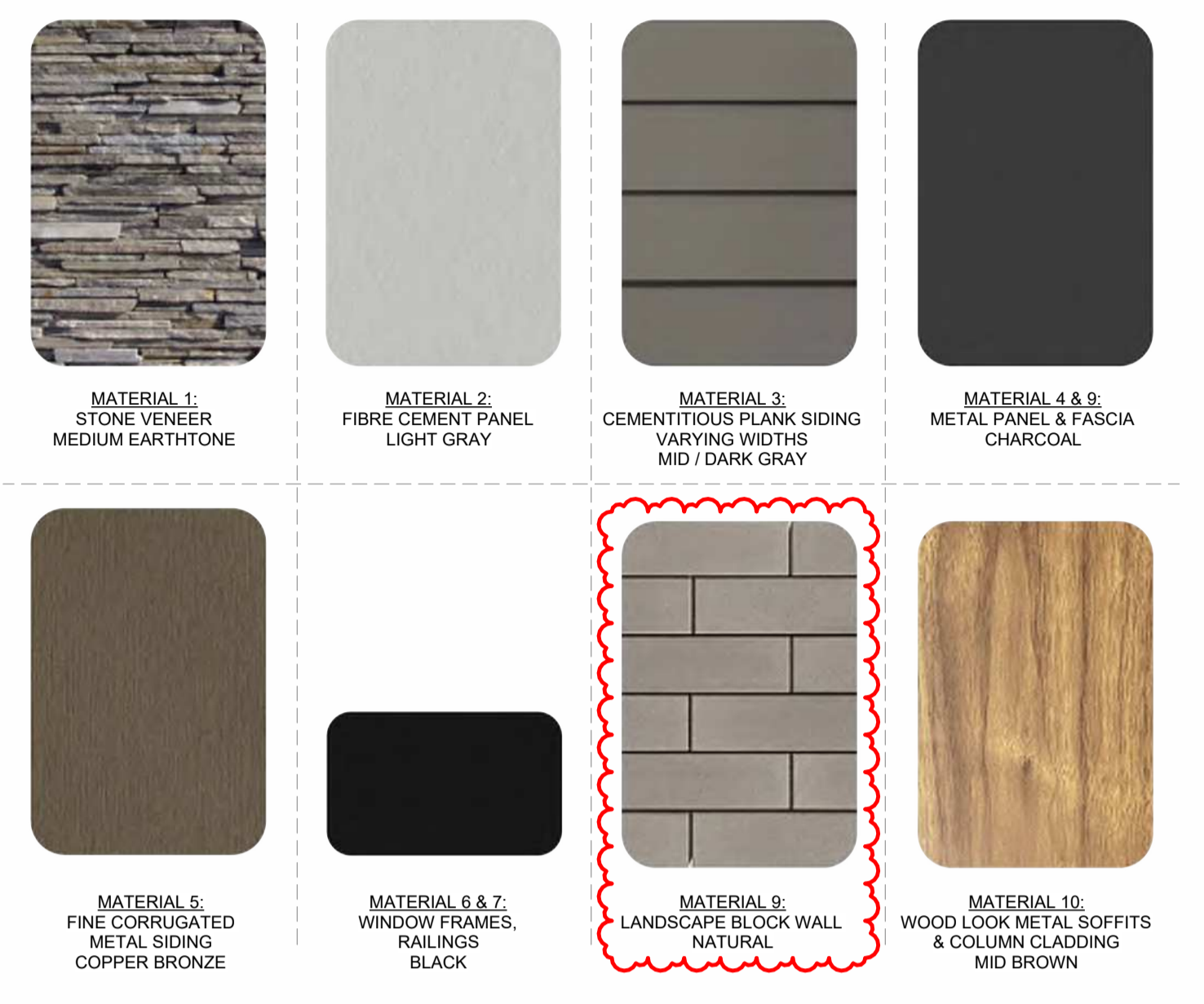
CURRIE ST. SW

EXISTING CYCLE TRACK
 QUESNAY WOOD DRIVE SW





| # | Description | Colour |
|----|------------------------------------|------------------|
| 1 | Stone Veneer | Medium Earthtone |
| 2 | Fibre Cement Panel | Light Gray |
| 3 | Cementitious Plank Siding | Mid / Dark Gray |
| 4 | Metal Panel | Charcoal |
| 5 | Fine Corrugated Metal Siding | Copper Bronze |
| 6 | Residential Windows & Doors | Black Frame |
| 7 | Balcony Railings & Privacy Screens | Black |
| 8 | Landscaping | Black |
| 9 | Landscape Block Wall | Natural |
| 10 | Metal Panel Siding & Soffit | Woodlook |
| 11 | Horizontal Metal Screens | Charcoal |
| 12 | Asphalt Shingles | Driftwood |



| # | DATE | DESCRIPTION |
|------------|---------------------|-------------|
| 2025 01 31 | Issued for AC | |
| 2025 02 28 | Issued for DP Draft | |
| 2025 03 13 | Issued for DP | |
| 2025 11 05 | DR1 Response | |

GRAVITY ARCHITECTURE
 CONTACT
 permits@gravityarch.com
 P: 1 (403) 243 4030

#405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1J5

#820, 1199 West Pender ST
 Vancouver BC Canada
 V6E 2R1
 gravityarchitecture.com



Copyright reserved. This drawing, its contents and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work. This includes any errors or omissions.

PERMIT NUMBERS
 DP2025-03212

PROJECT STATUS
 Development Permit

PROJECT
 PORTE Currie Barracks

270 Dieppe Drive SW
 Lot 2 Block 12 Plan 2311868

TITLE
 Building Elevations

PROJECT NUMBER
 24-027

SCALE
 As indicated

DESIGNER
 RTA

DP DRAFTER/PERSON
 SR / DP

BP DRAFTER/PERSON
 -

VERSION
 2025 11 05

DP CHECKED
 -

BP CHECKED
 -

PRELIMINARY, NOT FOR CONSTRUCTION



1 West Elevation - Courtyard
 2/25" = 1'-0"

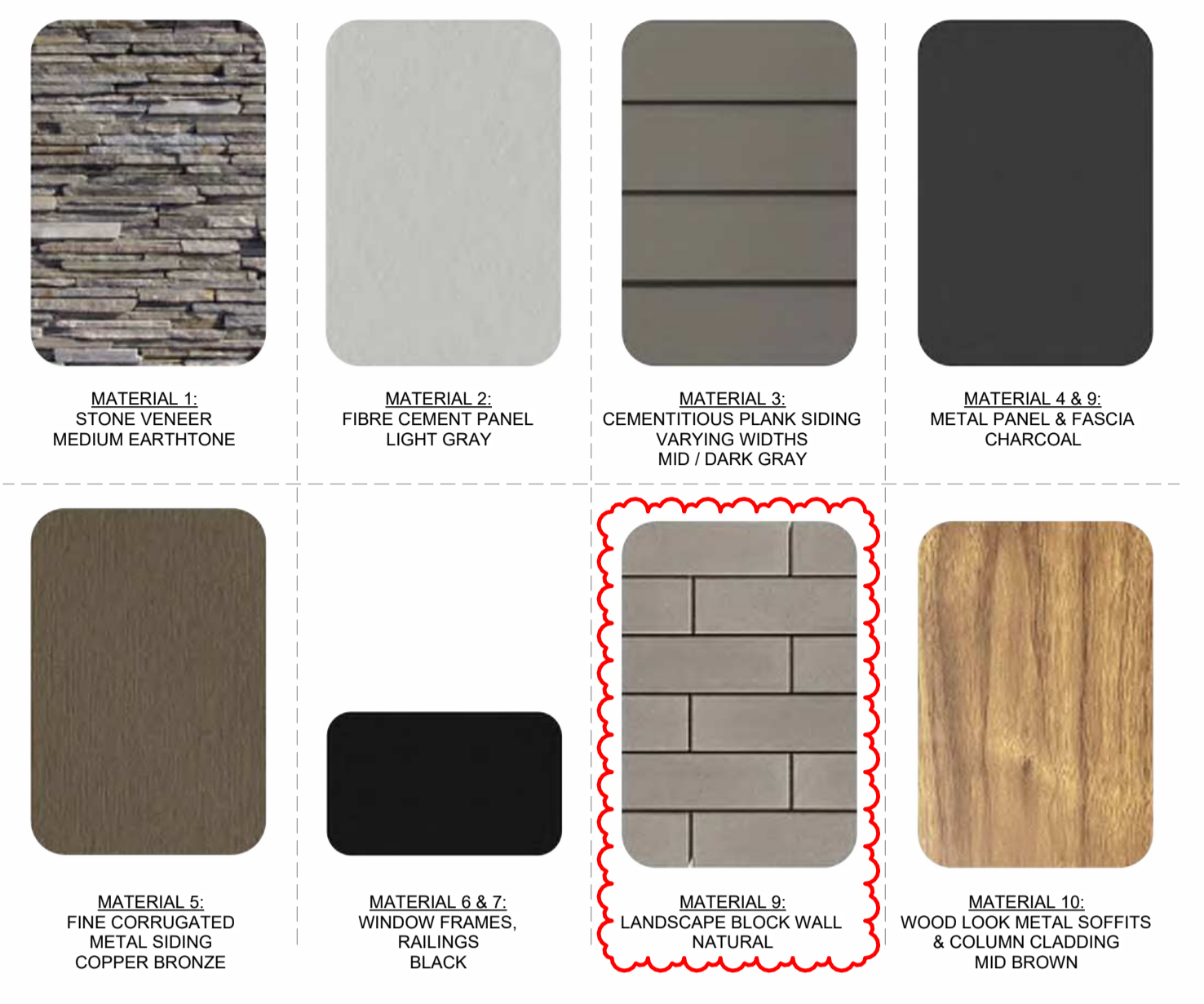


2 East Elevation - Courtyard
 2/25" = 1'-0"



3 South Elevation - Courtyard
 2/25" = 1'-0"

| Materials | | |
|-----------|------------------------------------|-------------------|
| # | Description | Colour |
| 1 | Stone Veneer | Medium Earthtone |
| 2 | Fibre Cement Panel | Light Gray |
| 3 | Cementitious Plank Siding | Mid / Dark Gray |
| 4 | Metal Panel | Charcoal |
| 5 | Fine Corrugated Metal Siding | Copper Bronze |
| 6 | Residential Windows & Doors | Black Frame |
| 7 | Balcony Railings & Privacy Screens | Black |
| 8 | Asphalt Shingles | Asphalt |
| 9 | Landscape Block Wall | Natural |
| 10 | Metal Panel Siding & Soffit | Woodlook Charcoal |
| 11 | Horizontal Metal Screens | Charcoal |
| 12 | Asphalt Shingles | Driftwood |



Exterior Material Board

| REVISIONS | |
|------------|---------------------|
| # | DATE DESCRIPTION |
| 2025 01 31 | Issued for AC |
| 2025 02 28 | Issued for DP Draft |
| 2025 03 28 | Issued for DP |
| 2025 05 13 | Issued for DP |
| 2025 11 05 | DR1 Response |

porte¹
 GRAVITY ARCHITECTURE
 CONTACT
 permits@architecture.ca
 P: 1 (403) 243 4030

#405, 999 - 8 ST SW
 Calgary AB Canada
 T2R 1J5
 #820, 1199 West Pender ST
 Vancouver BC Canada
 V6E 2R1
 gravityarchitecture.com



Copyright reserved. This drawing, its contents and its design are and remain at all times the property of Gravity Architecture Corporation and cannot be used or reproduced, in whole or in part, without the expressed written consent of Gravity Architecture Corporation. These drawings are not to be scaled. All dimensions are to face of stud unless noted otherwise. Contractor must verify all job dimensions, all drawings, details and specifications. Any discrepancies are to be reported to Gravity Architecture Corporation prior to proceeding with work, this includes any errors or omissions.

PERMIT NUMBERS
 DP2025-03212

PROJECT STATUS
 Development Permit
 PROJECT
PORTE Currie Barracks

270 Dieppe Drive SW
 Lot 2 Block 12 Plan 2311868
 TITLE
Building Elevations

PROJECT NUMBER
24-027
 SCALE
 As indicated
 DESIGNER
 RTA
 DP DRAFTSPERSON
 SR / DP
 BP DRAFTSPERSON

DRAWING NUMBER
DP3.2
 VERSION ISSUE DATE
 2025 11 05
 DP CHECKED
 BP CHECKED

PRELIMINARY, NOT FOR CONSTRUCTION