

# SITE PLAN

## LEGEND

ELEVATIONS ARE SHOWN THUS:  $\bullet$  = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 55269 AND 179085  
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.  
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\bullet$  denotes Calculation points
- $\square$  denotes Water Valve
- $\diamond$  denotes Gas Valve
- $\circ$  denotes Manhole
- $\odot$  denotes Tree
- $\oplus$  denotes Power Pole
- $\triangle$  denotes Sign
- $\odot$  denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- A.G.T- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall  
 'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

### Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
 Grade Oriented Infill

SCALE 1:200

### LEGAL DESCRIPTION:

Lot 49  
 Block 9  
 Plan 732 GN

### MUNICIPAL ADDRESS:

2803 - 30TH STREET S.W.  
 Calgary, Alberta

### LOT COVERAGE DETAIL: (ROWHOUSE)

LOT SIZE: 651.743 SQ M  
 HOUSE: 290.734 SQ M  
 MAIN CANT.: 0.000 SQ M  
 GARAGE: 78.026 SQ M  
 COVERED PORCH: 0.000 SQ M  
 WING WALL: 1.158 SQ M

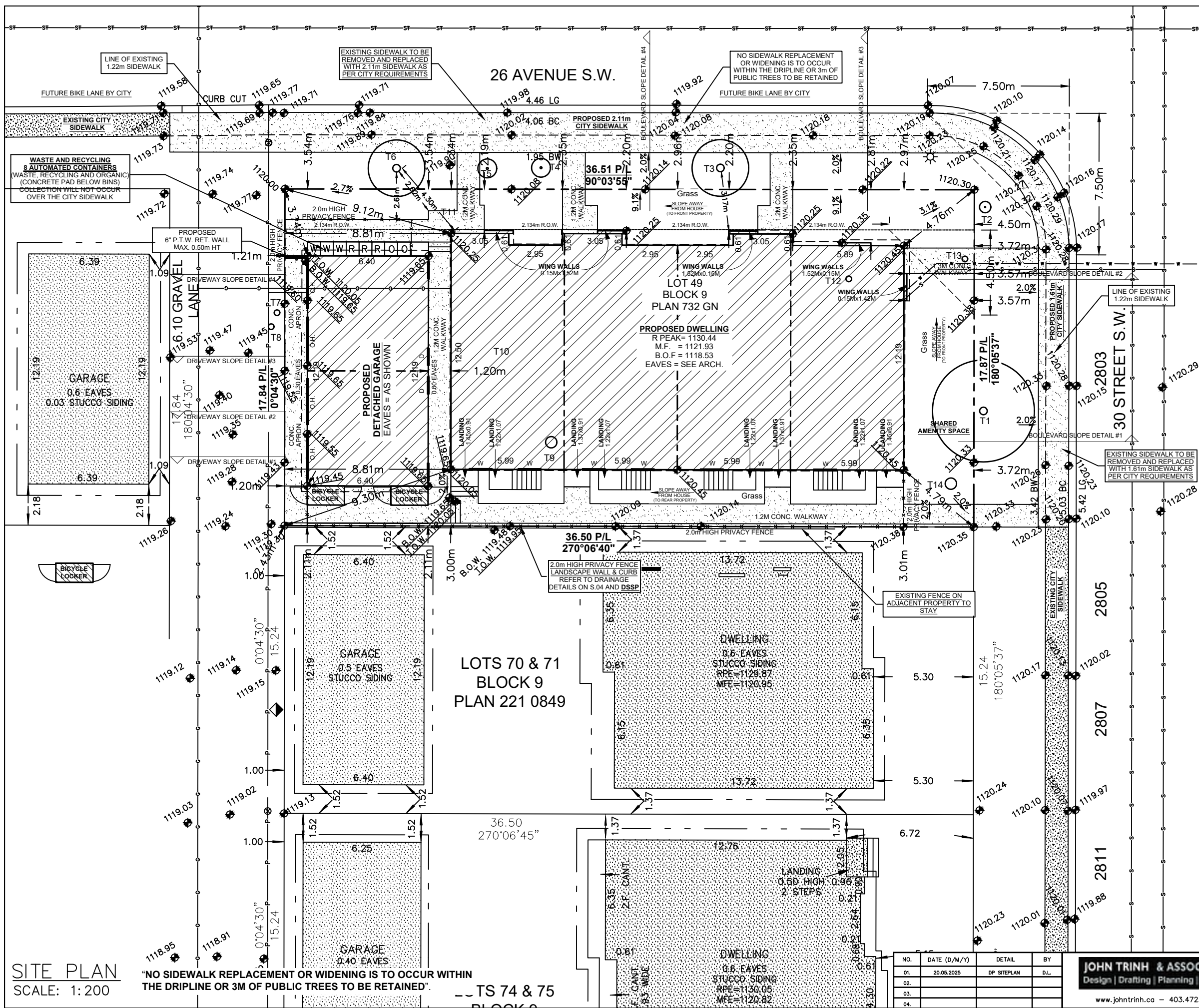
TOTAL UNITS: 4  
 LOT SIZE: 651.743 SQ M (0.065174 ha)  
 DENSITY: 61 UNITS/ha  
 PARKING:  
 PARKING PROVIDED: 4 STALLS

TOTAL : 369,918/651,743  
 = 56.76%

PROJECT NAME AND ADDRESS:  
 2803 - 30TH STREET S.W.  
 Calgary, Alberta  
 Lot 49  
 Block 9  
 Plan 732 GN

PROJECT:  
 Multi-Family  
 DATE:  
 MAY 20, 2025

SCALE:  
 1: 200  
 DIVISION NUMBER:  
 S 01



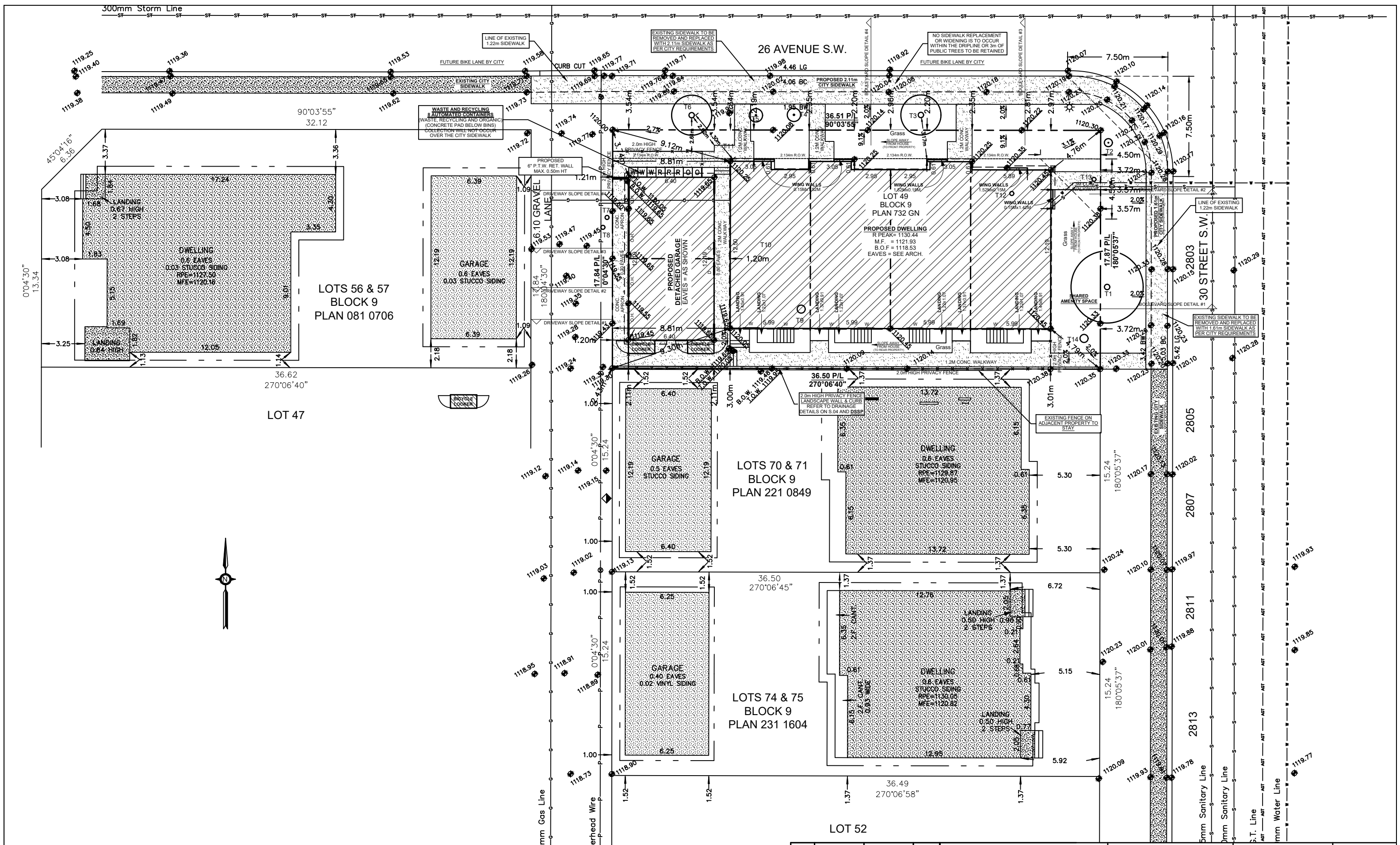
SITE PLAN  
 SCALE: 1:200

"NO SIDEWALK REPLACEMENT OR WIDENING IS TO OCCUR WITHIN THE DRIPLINE OR 3M OF PUBLIC TREES TO BE RETAINED"

NO.	DATE (D/M/Y)	DETAIL	BY
01.	20.05.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

**JOHN TRINH & ASSOCIATES**  
 Design | Drafting | Planning | Permits  
 www.johntrinh.ca - 403.472.8184

TS 74 & 75

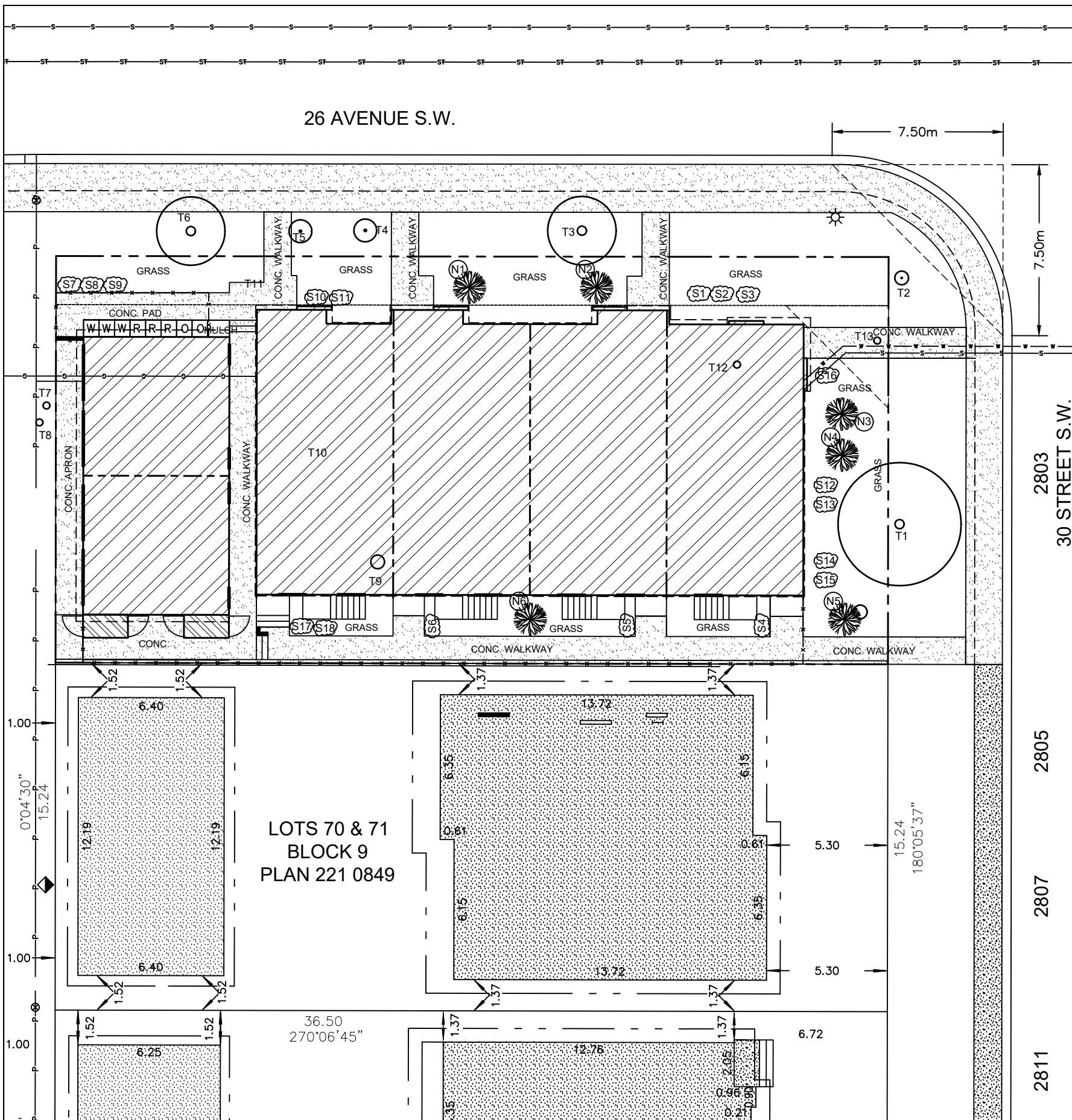


**BLOCK PLAN**  
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	20.05.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits  
www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS: 2803 - 30TH STREET S.W. Calgary, Alberta	SCALE: 1:250
PROJECT: Multi-Family	DIVISION NUMBER: S 02
DATE: MAY 20, 2025	



MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS

**LANDSCAPING PLAN**  
SCALE: 1:250

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

**TREE SCHEDULE:**

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Location
T1	Deciduous	0.60	3.0	8.0	In City Property	To Stay
T2	Deciduous	0.05	0.6	3.0	In City Property	To Stay
T3	Deciduous	0.40	3.0	8.0	In City Property	To Stay
T4	Deciduous	0.10	1.0	4.0	In City Property	To Stay
T5	Deciduous	0.10	1.0	4.0	In City Property	To Be Removed
T6	Deciduous	0.40	3.0	8.0	In City Property	To Stay
T7-T8	Deciduous	0.30	4.0	6.0	In City Property	To Be Removed
T9	Deciduous	0.60	3.0	8.0	In Subject Property	To Be Removed
T10	Bush	---	1.5	3.0	In Subject Property	To Be Removed
T11	Bush	---	1.0	2.0	In Subject Property	To Be Removed
T12	Deciduous	0.30	2.0	10.0	In Subject Property	To Be Removed
T13	Deciduous	0.30	2.0	10.0	In Subject Property	To Be Removed
T14	Deciduous	0.60	3.0	8.0	In Subject Property	To Be Removed

**LANDSCAPING LEGEND**

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

**LANDSCAPING REQUIREMENTS:**

LOT SIZE: 651.743 SQ M  
1 TREE PER/110.000 SQM  
3 SHRUBS PER/110.000 SQM  
651.743/110.000 = 5.924

6 TREES  
18 SHRUBS

**PROPOSED TREE SCHEDULE**

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Swedish Columnar Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Swedish Columnar Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Swedish Columnar Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Columnar Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Columnar Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Swedish Columnar Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S2	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S3	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S4	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S5	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S6	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S7	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S8	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S9	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S10	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S11	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S12	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S13	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S14	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S15	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S16	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S17	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S18	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New

**LANDSCAPE COVERAGE**

LOT SIZE = 651.743 SQ. M  
LANDSCAPE AREA = 240.940 SQ. M  
HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 95.917 SQ. M  
SOFT LANDSCAPE (GRASS + MULCH) = 145.023 SQ. M

95.917 / 240.940 = 39.81% OF HARD LANDSCAPE  
145.023 / 240.940 = 60.19% OF SOFT LANDSCAPE

"An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent existing public trees, during the excavation of the foundation and the installation of the proposed concrete walkways, with a confirmed meeting. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires a minimum two business days notice prior to meeting onsite".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

**NOTE:**  
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

NO.	DATE (D/M/Y)	DETAIL	BY
01.	20.05.2025	DP SITEPLAN	D.L.
02.			
03.			
04.			

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

www.johntrinh.ca -- 403.472.8184

PROJECT NAME AND ADDRESS:  
2803 - 30TH STREET S.W.  
Calgary, Alberta  
Lot 49  
Block 9  
Plan 732 GN

PROJECT:  
Multi-Family  
DATE:  
MAY 20, 2025

SCALE:  
1: 200  
DIVISION NUMBER:  
S 03



GENERAL NOTES:



**LIST OF DRAWINGS**

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Right & Left Elevation
A-3.0	Garage Plans, Elevations & Sections

MUNICIPAL ADDRESS:  
**2803 30 ST. S.W.**  
**CALGARY, AB**

PROJECT:  
**FOUR UNIT ROWHOUSE**

PROJECT NUMBER:  
**197-25**

STATUS:  
 -

LEGAL LAND DISCRPTION:  
 LOT:    BLOCK:    PLAN:  
 --    --    --

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20.05.25	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

**COPYRIGHT:**  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**FLOOR AREAS:**

MAIN FLOOR AREA:            -- SQ.FT.  
 UPPER FLOOR AREA:        -- SQ.FT.  
 LOFT FLOOR AREA:         -- SQ.FT.  
 TOTAL ABOVE GRADE:      -- SQ.FT.

BASEMENT AREA:            -- SQ.FT.

GARAGE AREA:              -- SQ.FT.

DRAWING SET:  
**DP SET**

SHEET NAME:  
**Cover Page**

DESIGN BY:                    JT

DRAWN BY:                    JT

LAST REVISION BY:         T.Y.2

PRINTED:                      2026-03-23 3:20:24 PM

SCALE:

PAGE: **A-0.0**



**FLOOR AREA - UNIT #1**  
 BASEMENT = 767.67 SQ. FT.  
 MAIN = 767.67 SQ. FT.  
 UPPER = 767.67 SQ. FT.  
 TOTAL = 1535.34 SQ. FT.

**FLOOR AREA - UNIT #2**  
 BASEMENT = 787.00 SQ. FT.  
 MAIN = 787.00 SQ. FT.  
 UPPER = 787.00 SQ. FT.  
 TOTAL = 1574.00 SQ. FT.

**FLOOR AREA - UNIT #3**  
 BASEMENT = 787.00 SQ. FT.  
 MAIN = 787.00 SQ. FT.  
 UPPER = 787.00 SQ. FT.  
 TOTAL = 1574.00 SQ. FT.

**FLOOR AREA - UNIT #4**  
 BASEMENT = 787.67 SQ. FT.  
 MAIN = 787.67 SQ. FT.  
 UPPER = 787.67 SQ. FT.  
 TOTAL = 1575.34 SQ. FT.

EXTERIOR FINISHES:

- |                        |                           |                           |
|------------------------|---------------------------|---------------------------|
| 1 ASPHALT SHINGLES     | 4 SMART BOARD - BLACK     | 7 STONE FINISH AS SPEC'D. |
| 2 8" ALUM. FASCIA      | 5 VERTICAL SIDING - BLACK | 8 CAST IN PLACE CONC.     |
| 3 SIDING FINISH - GREY | 6 VERTICAL SIDING - WOOD  | 9 CONCRETE PAVING         |



GENERAL NOTES:

MUNICIPAL ADDRESS:  
2803 30 ST. S.W.  
CALGARY, AB

PROJECT:  
**FOUR UNIT  
ROWHOUSE**

PROJECT NUMBER:  
197-25

STATUS:  
-

LEGAL LAND DISCRPTION:  
LOT: BLOCK: PLAN:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20.05.25	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:  
DP SET

SHEET NAME:  
Front Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: T.Y.2

PRINTED: 2026-03-23 3:20:31 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

VENTED SOFFIT NOTES:  
- VENTED SOFFIT (FRONT AND BACK)  
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES:

1 ASPHALT SHINGLES	4 SMART BOARD - BLACK	7 STONE FINISH AS SPEC'D.
2 8" ALUM. FASCIA	5 VERTICAL SIDING - BLACK	8 CAST IN PLACE CONC.
3 SIDING FINISH - GREY	6 VERTICAL SIDING - WOOD	9 CONCRETE PARGING



GENERAL NOTES:

MUNICIPAL ADDRESS:  
2803 30 ST. S.W.  
CALGARY, AB

PROJECT:  
**FOUR UNIT ROWHOUSE**  
PROJECT NUMBER:  
**197-25**

STATUS:  
--  
LEGAL LAND DISCRPTION:  
LOT:    BLOCK:    PLAN:  
--    --    --

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20.05.25	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:

**DP SET**  
SHEET NAME:  
**Rear Elevation**

DESIGN BY: JT

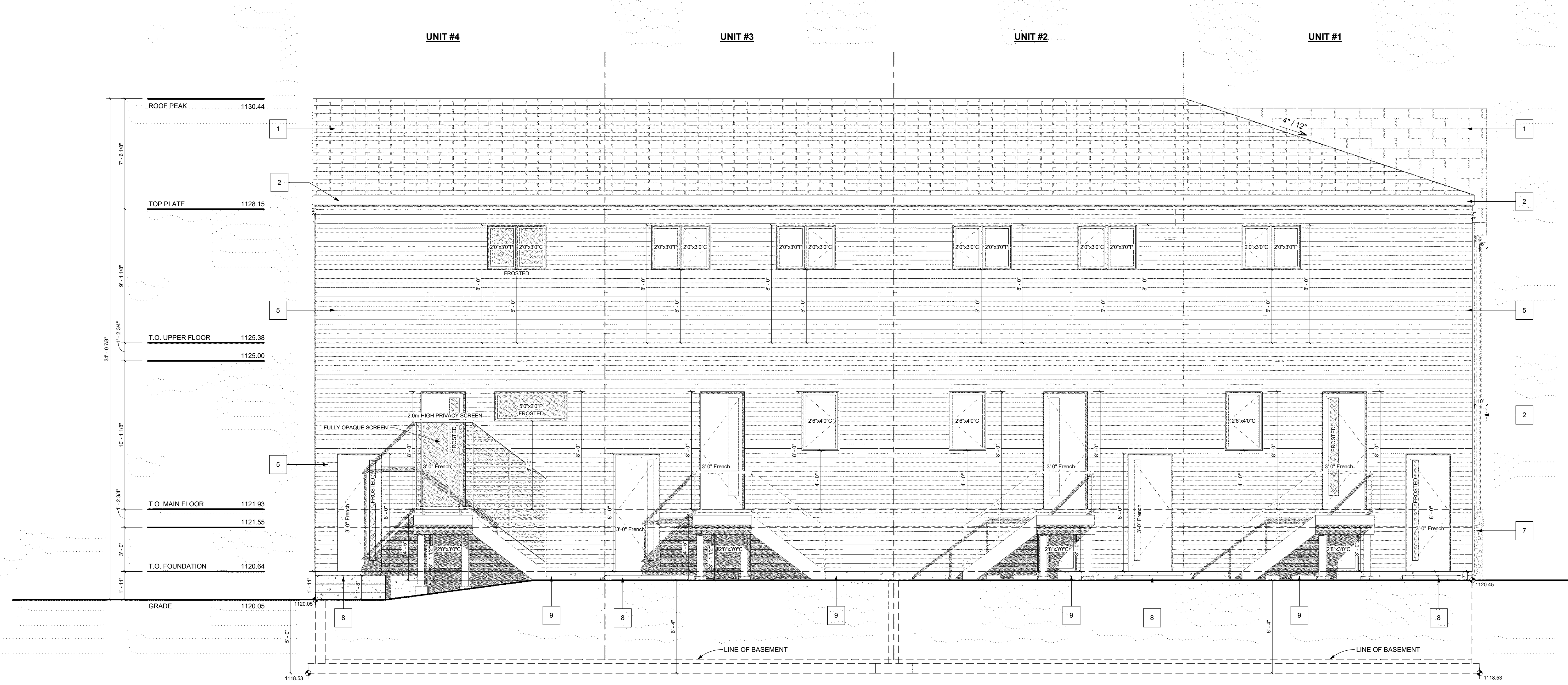
DRAWN BY: Author

LAST REVISION BY: T.Y.2

PRINTED: 2026-03-23 3:20:34 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**



**WINDOW CALCULATION (UNIT 1 & 2)**  
(3.78m LIMITING DISTANCE)

WALL AREA = 1067.88 SQ. FT.  
WINDOW AREA = 90.53 SQ. FT.  
TOTAL: 90.53/1067.88 = 8.48%

**WINDOW CALCULATION (UNIT 3 & 4)**  
(3.78m LIMITING DISTANCE)

WALL AREA = 1082.32 SQ. FT.  
WINDOW AREA = 103.12 SQ. FT.  
TOTAL: 103.12/1082.32 = 9.53%

**VENTED SOFFIT NOTES:**  
- VENTED SOFFIT (FRONT AND BACK)  
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:  
 2803 30 ST. S.W.  
 CALGARY, AB

PROJECT:  
**FOUR UNIT  
 ROWHOUSE**

PROJECT NUMBER:  
**197-25**

STATUS:  
 --

LEGAL LAND DISCRPTION:  
 LOT:    BLOCK:    PLAN:  
 --    --    --

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	20.05.25	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:  
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.  
 NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

FLOOR AREAS:

MAIN FLOOR AREA:	-- SQ.FT.
UPPER FLOOR AREA:	-- SQ.FT.
LOFT FLOOR AREA:	-- SQ.FT.
TOTAL ABOVE GRADE:	-- SQ.FT.
BASEMENT AREA:	-- SQ.FT.
GARAGE AREA:	-- SQ.FT.

DRAWING SET:  
**DP SET**

SHEET NAME:  
**Right & Left Elevation**

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY: T.Y.2

PRINTED: 2026-03-23 3:20:37 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.2**

EXTERIOR FINISHES:

1 ASPHALT SHINGLES	4 SMART BOARD - BLACK	7 STONE FINISH AS SPEC'D.
2 8" ALUM. FASCIA	5 VERTICAL SIDING - BLACK	8 CAST IN PLACE CONC.
3 SIDING FINISH - GREY	6 VERTICAL SIDING - WOOD	9 CONCRETE PAVING

VENTED SOFFIT NOTES:  
 - VENTED SOFFIT (FRONT AND BACK)  
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:  
 - VENTED SOFFIT (FRONT AND BACK)  
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

