



# MULTI FAMILY 6 UNIT M-C2 DEVELOPMENT PERMIT

## DP DRAWING LIST

A0.0 TITLE PAGE

## RENDERINGS

A1.1 ALL RENDERINGS

## ARCHITECTURAL

- A2.1 SITE PLAN
- A2.2 GRADING / DRAINAGE PLAN
- A2.3 CPTED LIGHTING SECURITY
- A3.1 LANDSCAPING PLAN
- A4.1 BLOCK PLAN
- A5.1 GROUND FLOOR PLAN
- A5.2 2<sup>nd</sup> FLOOR PLAN
- A5.3 3<sup>rd</sup> FLOOR PLAN
- A5.4 4<sup>th</sup> FLOOR PLAN
- A5.5 5<sup>th</sup> FLOOR PLAN
- A5.6 ROOF PLAN
- A6.1 FRONT SE ELEVATION
- A6.2 REAR NW ELEVATION
- A6.3 SIDE NE ELEVATION
- A6.4 SIDE SW ELEVATION
- A7.1 CROSS SECTION FRONT
- A7.2 CROSS SECTION SIDE
- A8.1 SHADOW PLANS
- A9.1 STREETScape

ALL DRAWINGS AND CALCULATIONS BY:  
WILLOW VALLEY DEVELOPMENTS &  
RYAN SCHMIDT ARCHITECTURE STUDIO

**ryan schmidt**



**Willow Valley Developments Ltd**



1767 1<sup>st</sup> Ave NW Calgary, AB T2N 0B2  
Ph:403-869-8610

Drawn by: Glenn Wierzba 403-869-8610

DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18

1130 / 1132 GLADSTONE ROAD NW

DATE:2026/05/06

TITLE PAGE

DRAWING NO: **A0.0**

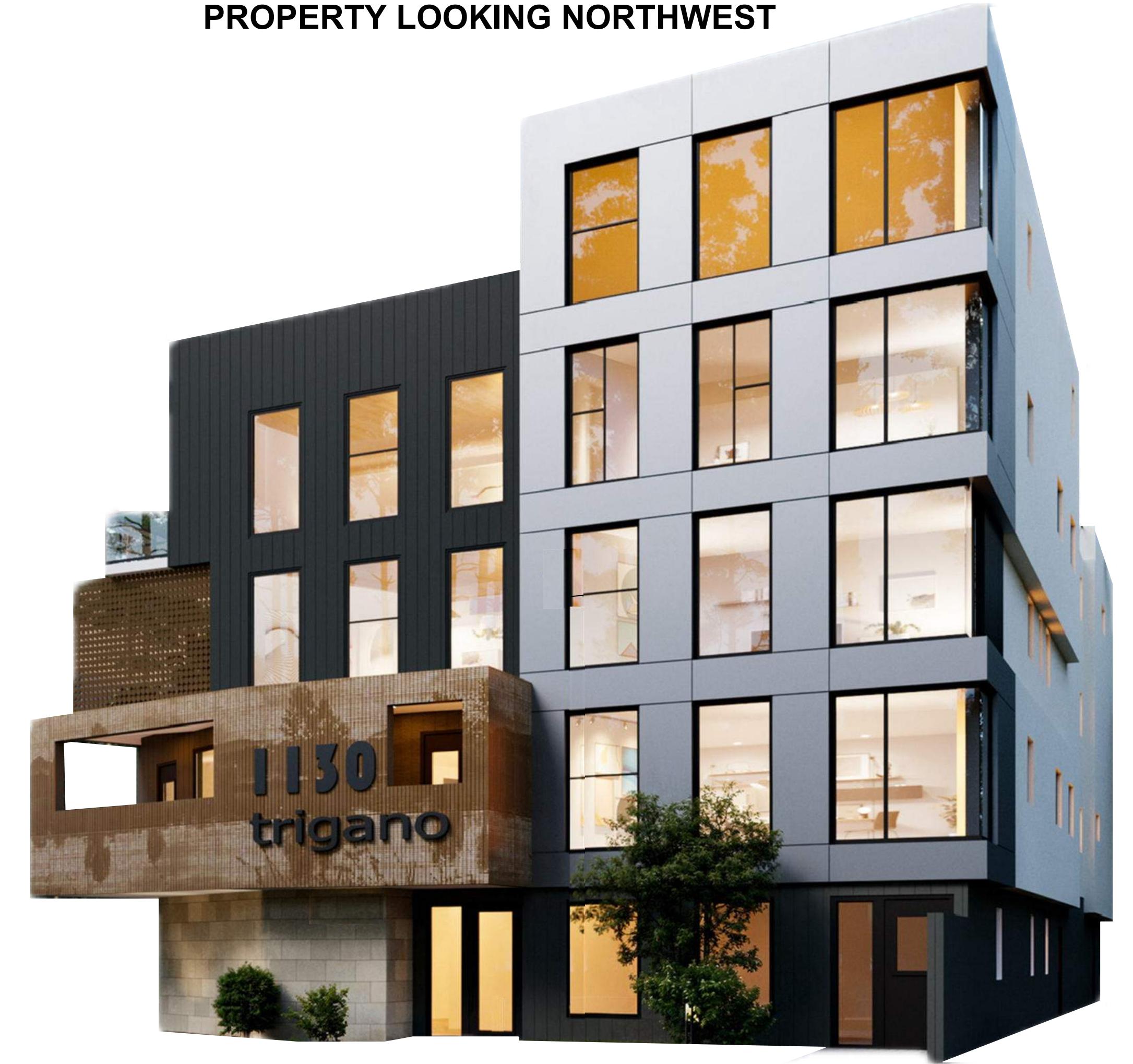
VIEW FROM CORNER OF GLADSTONE ROAD NW AND ALLEY LOOKING NORTHEAST



VIEW FROM GLADSTONE ROAD NW LOOKING NORTHWEST



VIEW FROM GLADSTONE ROAD NW @ EAST CORNER OF PROPERTY LOOKING NORTHWEST



VIEW FROM EAST SIDE OF PROPERTY LOOKING SOUTHWEST

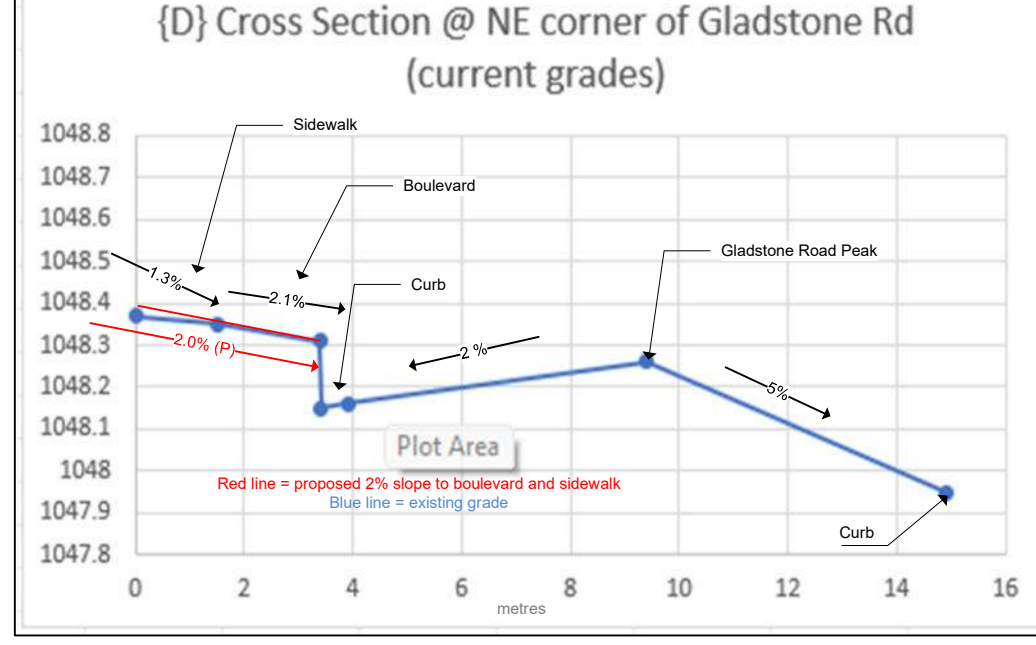
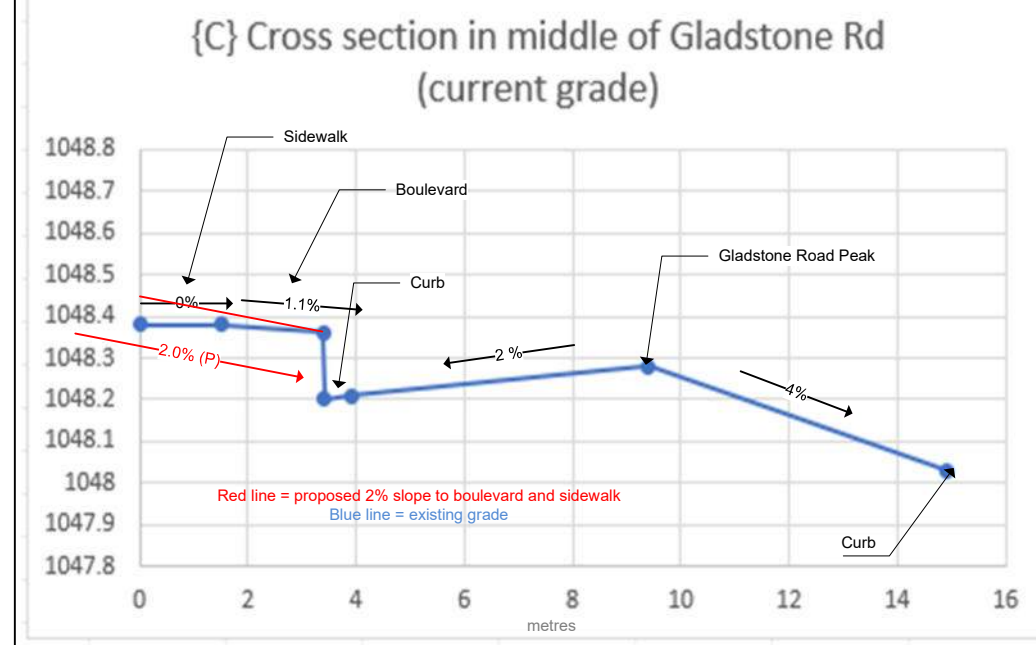
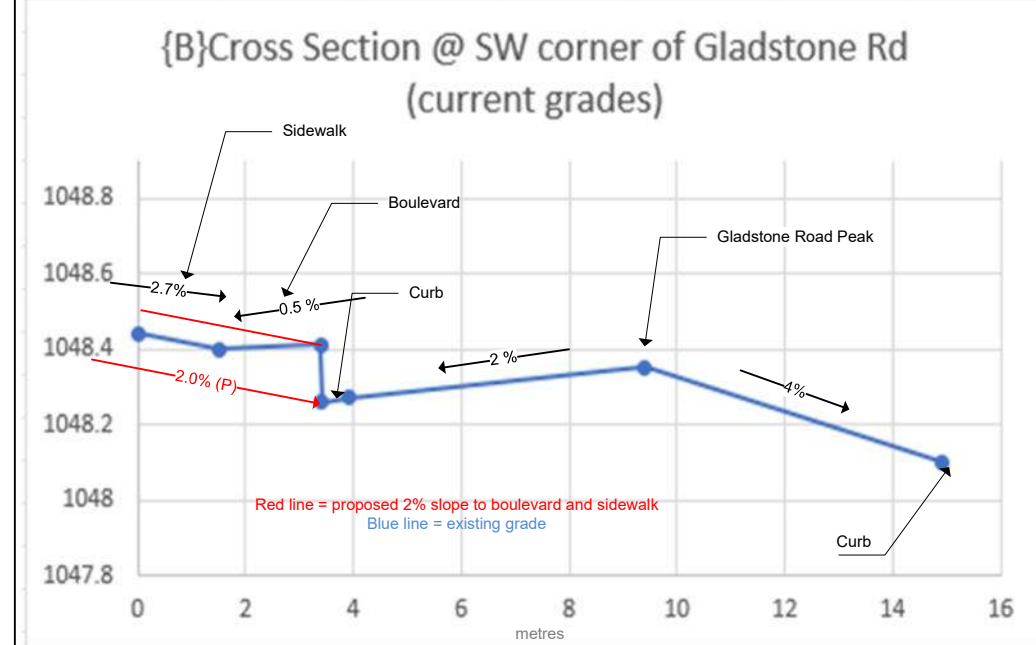
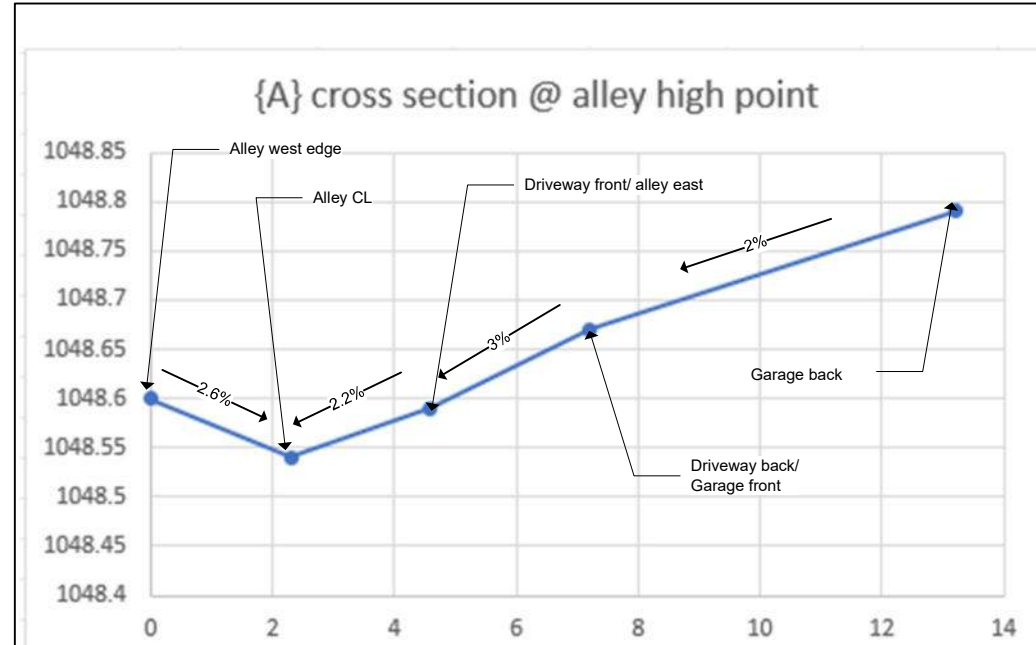


BIRDSEYE VIEW FROM ABOVE PROPERTY ON THE WEST SIDE LOOKING DOWN AND TO THE NORTHEAST

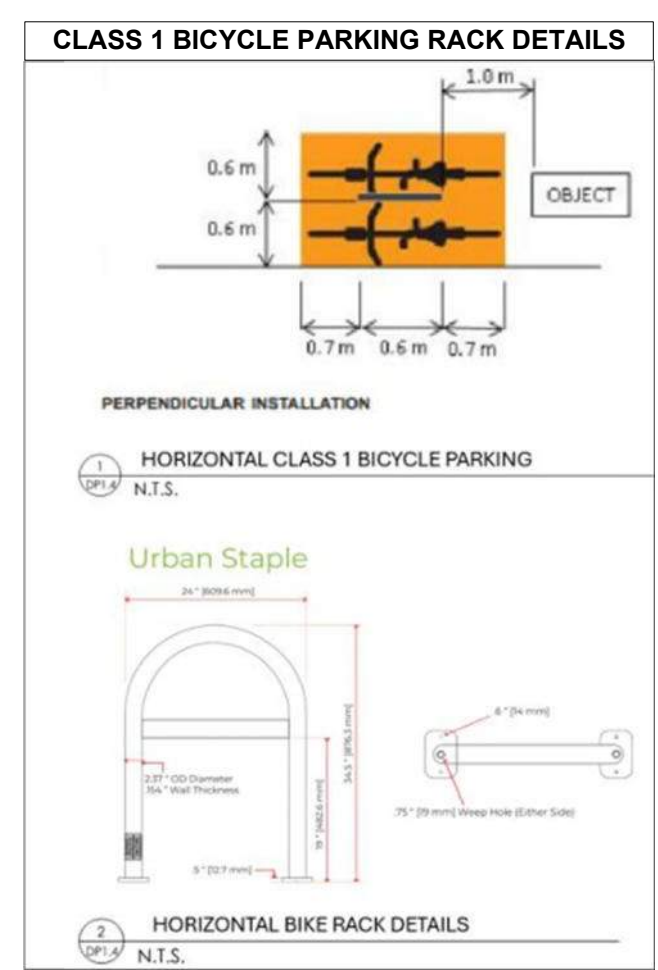
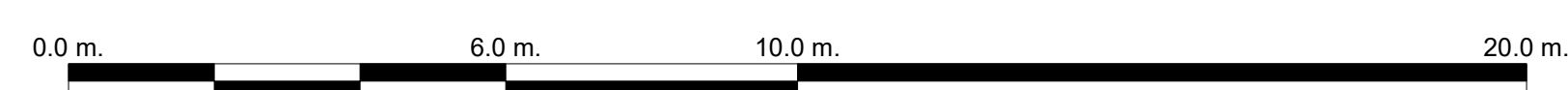


VIEW FROM ALLEY WEST OF PROPERTY LOOKING EAST





**1126 GLADSTONE ROAD NW BLOCK Q PLAN 5609 J LOT 19 (CURRENTLY UNDER CONSTRUCTION) FORMERLY BLOCK Q PLAN 5609J LOTS 19-26 ZONING: DC121D2021 6 STOREY PRIMARILY RESIDENTIAL**



**LEGEND**

- = MAIN FLOOR WINDOW
  - = MAIN FLOOR DOOR
  - = MAIN FLOOR O/H DOOR
  - = EXISTING POWER POLE
  - = 1.8 M HIGH FENCE / GATE
  - = APPROXIMATE DRIVEWAY SLOPE
  - = EXISTING GEODETIC ELEVATION (48.26 IS 1048.26 m ABOVE SEA LEVEL).
  - = PROPOSED ELEVATIONS. (48.44 IS 1048.44 m ABOVE SEA LEVEL)
  - = ALLEY FINAL ELEVATION APPROVED UNDER DP2022-06965/ CD2022-0244 (48.42 IS 1048.42 M ABOVE SEA LEVEL)
  - = TRACE ACCESS B/T FIRE ALARM LOCKBOX
  - = FIRE ALARM CONTROL PANEL/ STROBE
  - = FDC FIRE SIAMESE CONNECTION
  - = PROPERTY LINE
- SURFACE MATERIALS**
- = MULCH
  - = GRASS
  - = PAVER EDGING AT DRIVEWAY AND ALLEY
  - = AT GRADE CONCRETE SIDEWALK OR DRIVEWAY
  - = AT GRADE PAVER STONES

**NOTES:**

- ALL ELEMENTS WITHIN LOT ARE PROPOSED (EXCEPT CURRENT ELEVATIONS)
- SEE CPTD PLAN FOR LIGHTING LOCATIONS AND FIXTURES.
- SEE GRADING/DRAINAGE PLAN FOR ALL GEODETIC ELEVATIONS AND SLOPES
- GEODETIC ELEVATIONS AT LOT CORNERS TO REMAIN AS THEY ARE
- NO AT GRADE MECHANICAL EQUIPMENT (A/C ON ROOF)
- 3 POWER POLES / LIGHT STANDARDS ADJACENT
- ONE STREET LIGHT LINE TO BE BURIED, ONE POWER RUN TO BE OFFSET OR BURIED
- TOTAL ELEVATION CHANGE UNDER 0.5m
- ALL SLOPES <5% SEE GRADING PLAN.
- FIREFIGHTING FROM GLADSTONE ROAD NW (>9m) OR 2 WAY ALLEY (<8m)
- CLASS 1 BICYCLE PARKING IN COMMON STORAGE ROOM

**DEVELOPMENT STATISTICS**

**SITE:**  
 PARCEL AREA: 507.03 SQ M  
 LAND USE DISTRICT (PROPOSED): MULTI-RESIDENTIAL – CONTEXTUAL MEDIUM PROFILE (M-C2)  
**DENSITY:**  
 MAXIMUM ALLOWED UNITS PER HECTARE (UPH): 120 (6 UNITS)  
 TOTAL UNITS PROPOSED: 6 UNITS

**FLOOR AREA RATIO (F.A.R.):**  
 MAXIMUM ALLOWED F.A.R.: 2.5  
 FLOOR 1 GROSS FLOOR AREA: 277.55 SQ M  
 FLOOR 2 GROSS FLOOR AREA: 315.93 SQ M  
 FLOOR 3 GROSS FLOOR AREA: 250.07 SQ M  
 FLOOR 4 GROSS FLOOR AREA: 296.22 SQ M  
 FLOOR 5 GROSS FLOOR AREA: 126.18 SQ M  
 TOTAL GROSS FLOOR AREA PROPOSED: 1265.94 SQ M  
 TOTAL F.A.R. PROPOSED: 2.50

**VEHICULAR PARKING**  
 TOTAL REQUIRED RESIDENTIAL PARKING STALLS: 3 STALLS  
 TOTAL RESIDENTIAL PARKING STALLS PROPOSED: 6 STALLS

**BICYCLE PARKING (CLASS 1)**  
 TOTAL REQUIRED CLASS 1 STALLS: 3 STALLS  
 TOTAL CLASS 1 STALLS PROPOSED: 10 STALLS

**LAND USE BYLAW MINIMUM REQUIRED SETBACKS:**  
 SHARED WITH A STREET: 3 METRES  
 SHARED WITH A LANE: 1.2 METRES  
 SHARED WITH ANOTHER PARCEL: 1.2 METRES

**PROPOSED SETBACKS:**  
 SHARED WITH A STREET (FRONT): MIN 2.02 METRES AT GRADE, 0.94 METRES FOR 2<sup>ND</sup> STOREY BALCONY, AND 3.00 METRES ABOVE 2<sup>ND</sup> STOREY.  
 SHARED WITH A LANE (SIDE): MIN 2.62 METERS TO PARKING GARAGES AT GRADE & 1.2 METRES FOR OTHER AND ABOVE  
 SHARED WITH A LANE (REAR): MIN 13.7 METRES  
 SHARED WITH ANOTHER PARCEL: MIN 1.5 METRES AT GRADE & MIN 1.2 METRES ABOVE 1<sup>ST</sup> FLOOR

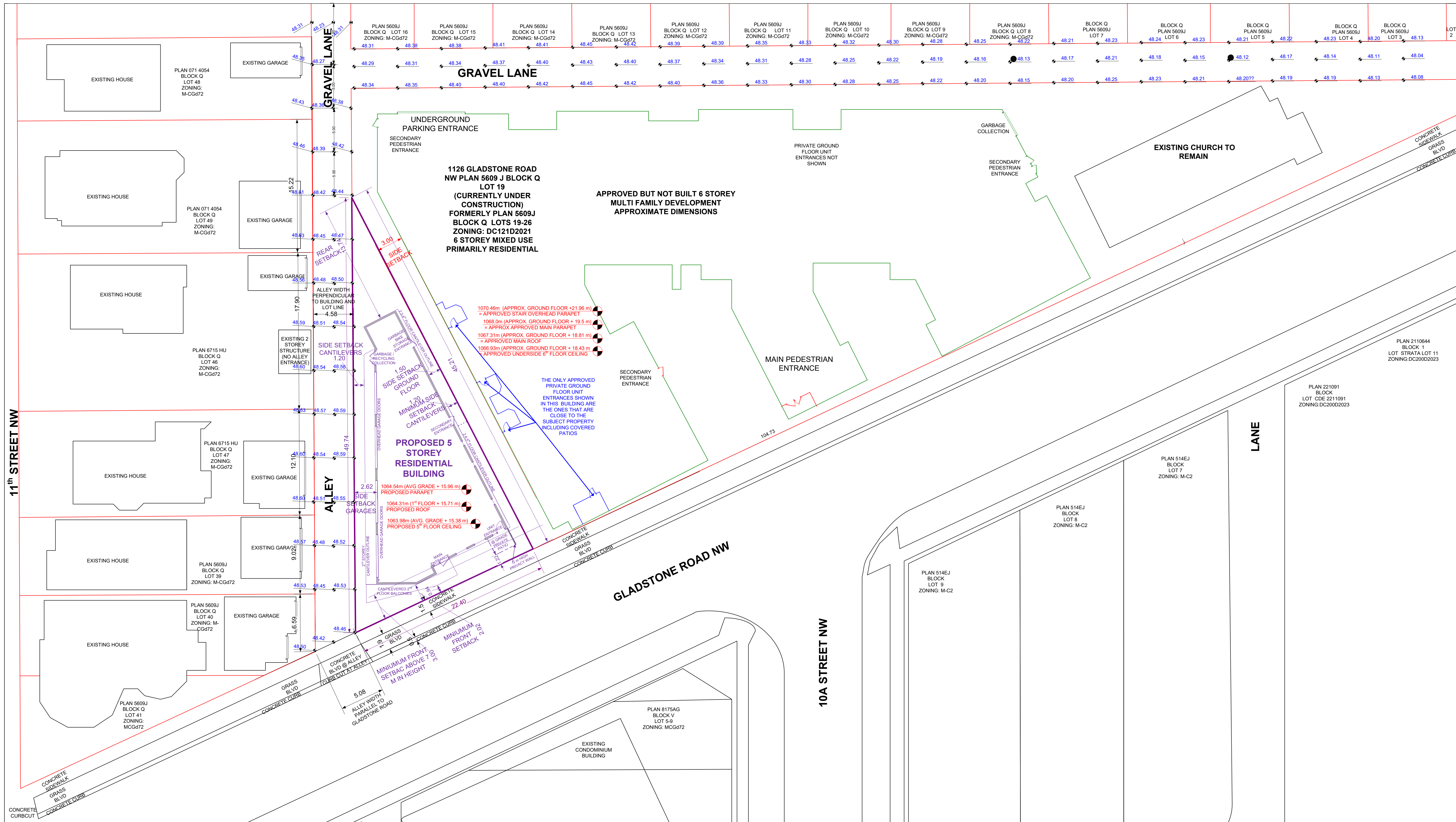
**Willow Valley Developments Ltd**

1767 1<sup>st</sup> Ave NW Calgary, AB T2N 0B2  
 Ph:403-869-8610

Drawn by: Glenn Wierzba

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE: 2026/05/06	SCALE: 1:100
<b>SITE PLAN</b>	DRAWING NO: <b>A2.1</b>



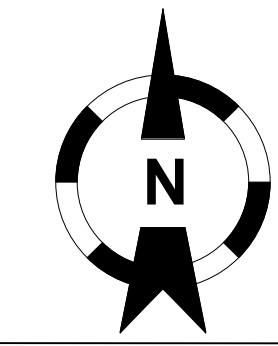


**1126 GLADSTONE ROAD  
NW PLAN 5609 J BLOCK Q  
LOT 19  
(CURRENTLY UNDER  
CONSTRUCTION)  
FORMERLY PLAN 5609J  
BLOCK Q LOTS 19-26  
ZONING: DC121D2021  
6 STOREY MIXED USE  
PRIMARILY RESIDENTIAL**

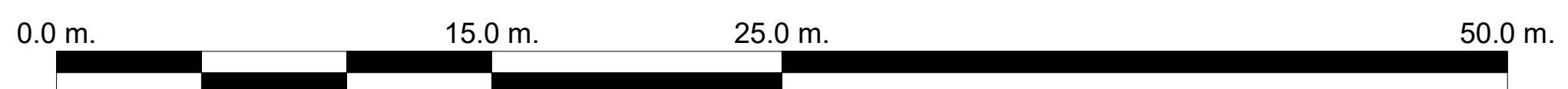
**APPROVED BUT NOT BUILT 6 STOREY  
MULTI FAMILY DEVELOPMENT  
APPROXIMATE DIMENSIONS**

**PROPOSED 5  
STOREY  
RESIDENTIAL  
BUILDING**

- COLOUR LEGEND**
- = SUBJECT PROPERTY PROPOSED BUILDING LOT OUTLINE/ BUILDING OUTLINE/ SETBACK DIMENSIONS
  - = NEIGHBOURING LOT LINES
  - = APPROVED BUT NOT BUILT BUILDING LOT LINES AND ENTRANCES
  - = APPROVED BUILDING INDIVIDUAL ENTRANCES AND COVERED PATIOS NEAR SUBJECT PROPERTY
  - = EXISTING STRUCTURES



=ALLEY FINAL GRADE ELEVATION APPROVED UNDER DP2022-06965/ CD2022-0244  
48.42 = 1048.42 M ABOVE SEA LEVEL



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<b>DEVELOPMENT PERMIT APPLICATION</b>	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE: 2026/05/06	SCALE: 1:200
<b>BLOCK PLAN</b>	<b>DRAWING NO: A4.1</b>

THIS ELEVATION IS SHOWN ON A PLAIN PERPENDICULAR TO THE NORTH TO SOUTHEAST PROPERTY LINE (LOOKING TOWARDS THE NORTH WEST FROM GLADSTONE ROAD NW)

**ANGLED WALL WIDTH:**

1

WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS RIGHT (CLOCKWISE (NORTH) 27 DEGREES. THE ACTUAL WALL FACE LENGTHS ARE 192' 1" / 152' 2" BUT ON THIS HORIZONTAL PLANE THEY REPRESENT 171' 1" / 137' 2" OF LENGTH.

**NOTES:**

- ALL ELEMENTS ON PLAN ARE PROPOSED.
- SEE OPTED PLAN FOR EXTERIOR LIGHTING DETAILS.
- SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
- NO RETAINING WALLS PROPOSED.

**EXTERIOR FINISH LEGEND**

A	ROOFTOP A/C W/ PRIVACY SCREENING PLUS POSSIBLE ELEVATOR MECHANICAL
B	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
C	BLACK METAL TRIMMED WINDOWS/DOORS
D	ILLUMINATED ANNOXIDIZED OMBREA METAL PANELS
E	IRRIGATED FLORA
F	BLACK METAL / GLASS RAILINGS
G	OFF WHITE STUCCO (DISTANT FLOOR 3 WALL)
H	ONYX BLACK / CARBON LUX METAL PANELS
I	WHITE / LIGHT GREY STONE
J	SILVER / GREY ACM PANELS
K	ILLUMINATED BUILDING NAME AND NUMBER
L	1.2 METER HIGH ONYX BLACK / CARBON METAL PRIVACY WALL

**FOOTPRINT / AREA SUMMARIES**

1 <sup>st</sup> FLOOR AREA:	2987.5 SF	87.9% OF BUILDING FOOTPRINT 54.7% OF LOT FOOTPRINT
2 <sup>nd</sup> FLOOR AREA:	3400.6 SF	100% OF BUILDING FOOTPRINT 62.3% OF LOT FOOTPRINT
3 <sup>rd</sup> FLOOR AREA:	2691.7 SF	79.1% OF BUILDING FOOTPRINT 49.3% OF LOT FOOTPRINT
4 <sup>th</sup> FLOOR AREA:	3188.5 SF	93.8% OF BUILDING FOOTPRINT 58.4% OF LOT FOOTPRINT
5 <sup>th</sup> FLOOR AREA:	1358.2 SF	39.9% OF BUILDING FOOTPRINT 24.9% OF LOT FOOTPRINT

**EXTERIOR MATERIAL IMAGES / LEGEND**

- = BLACK METAL EXTERIOR TRIPLE PANED WINDOWS (+ DRAWING LEGEND)
- = CARBON OR ONYX LUX CHANNEL PANELS (+ DRAWING LEGEND)
- = DARK SILVER METAL PANELS (+ DRAWING LEGEND)
- = OMBREA ANNOXIDIZED BRONZE PANELS (+ DRAWING LEGEND) FOR PRIVACY WALLS
- = WHITE / LIGHT GREY STONE (+ DRAWING LEGEND)
- = SAMPLE BLACK METAL FRAMED GLASS RAILINGS
- = APPROXIMATE STUCCO COLOUR

FLOOR #	AREA AS % OF LOT FOOTPRINT	% OF LOT FRONT WIDTH @ STREET
1	54%	73%
2	62%	79%
3	49%	66%
4	58%	70%
5	25%	35%

**LIGHTS**

- = 75-100 WATT WALL LIGHTS @ APPROX 9'9" ABOVE GRADE
- = 75-100 WATT POT LIGHTS @ APPROX 9'9" ABOVE GRADE

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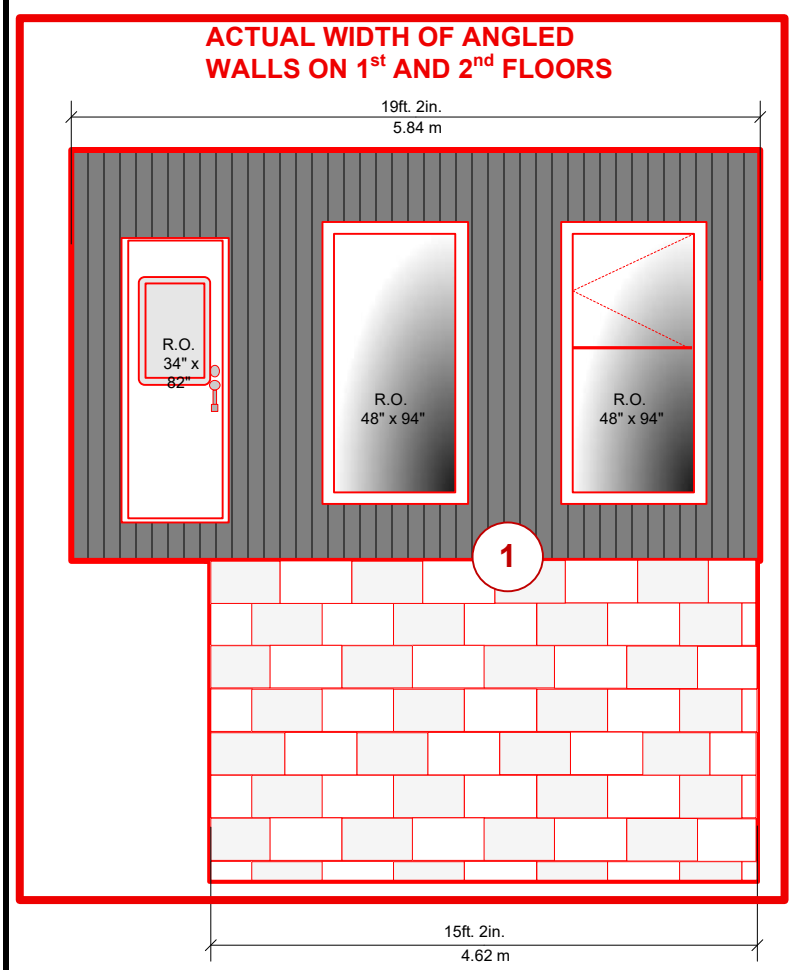
**DEVELOPMENT PERMIT APPLICATION**

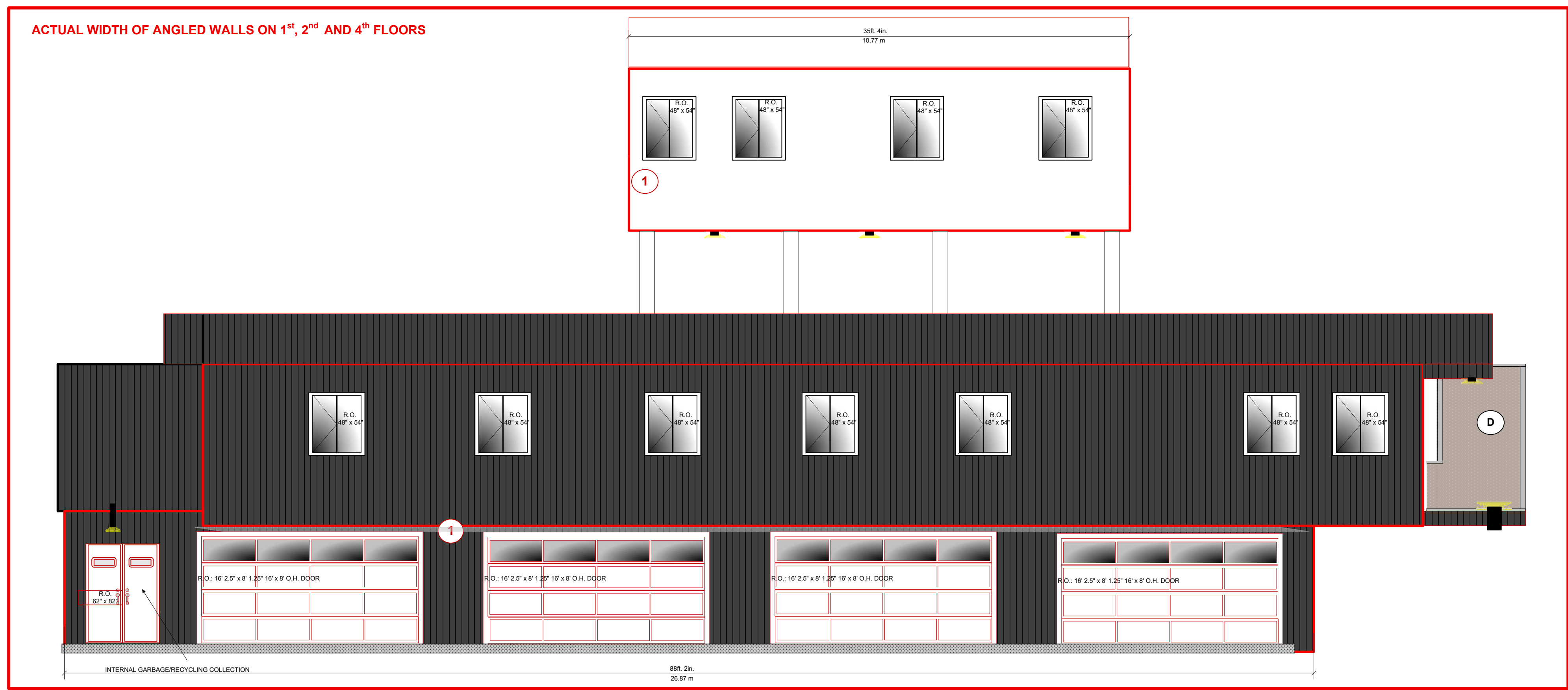
PLAN 5609J BLOCK Q LOT 17&18

1130 / 1132 GLADSTONE ROAD NW

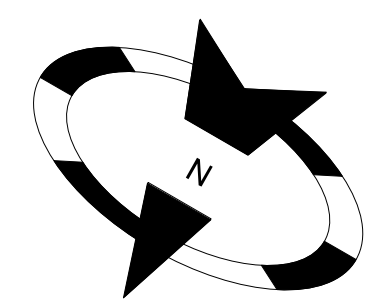
SCALE: 3/16" = 1' DATE:2026/05/06

**FRONT / SE (FACING NW) ELEVATION** DRAWING NO: **A6.1**





EXTERIOR FINISH LEGEND	
A	ROOFTOP A/C W/ PRIVACY SCREENING PLUS POSSIBLE ELEVATOR MECHANICAL
B	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
C	BLACK METAL TRIMMED WINDOWS/DOORS
D	ILLUMINATED OMBREA METAL PANELS
E	IRRIGATED FLORA
F	BLACK METAL / GLASS RAILINGS
G	OFF WHITE STUCCO
H	ONYX BLACK / CARBON METAL PANELS
I	OVERHEAD DOORS (ESTEEM SERIES W/ CUSTOMIZED GLASS)



THIS ELEVATION IS SHOWN ON A PLAIN PERPENDICULAR TO THE NORTH TO SOUTHEAST PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE SOUTH EAST TOWARDS THE STREET FROM THE ALLEY)

FOOTPRINT / AREA SUMMARIES	
1 <sup>st</sup> FLOOR AREA:	2987.5 SF
87.9% OF BUILDING FOOTPRINT	54.7% OF LOT FOOTPRINT
2 <sup>nd</sup> FLOOR AREA:	3400.6 SF
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4 <sup>th</sup> FLOOR AREA:	3198.5 SF
93.8% OF BUILDING FOOTPRINT	58.4% OF LOT FOOTPRINT
5 <sup>th</sup> FLOOR AREA:	1358.2 SF
39.9% OF BUILDING FOOTPRINT	24.9% OF LOT FOOTPRINT

**1** ANGLED WALL WIDTH: WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS LEFT (COUNTER CLOCKWISE (SOUTH) 63 DEGREES. THE ACTUAL WALL FACE LENGTHS ARE 882' 1\"/>

- NOTES**
- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
  - ALL ELEMENTS ON PLAN ARE PROPOSED.
  - SEE CPTED PLAN FOR EXTERIOR LIGHTING DETAILS.
  - SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
  - NO RETAINING WALLS PROPOSED.

**EXTERIOR MATERIAL IMAGES / LEGEND**

- = BLACK METAL EXTERIOR TRIPLE PANED WINDOWS (+ DRAWING LEGEND)
- = CARBON OR ONYX LUX CHANNEL PANELS (+ DRAWING LEGEND)
- = DARK SILVER METAL PANELS (+ DRAWING LEGEND)
- = OMBREA ANODIZED BRONZE PANELS (+ DRAWING LEGEND) FOR PRIVACY WALLS
- = WHITE / LIGHT GREY STONE (+ DRAWING LEGEND)
- = SAMPLE BLACK METAL FRAMED GLASS RAILINGS
- = APPROXIMATE STUCCO COLOUR

**LIGHTS**

- = 75-100 WATT WALL LIGHTS @ APPROX 9'4\"/>
- = 75-100 WATT POT LIGHTS @ APPROX 9'4\"/>

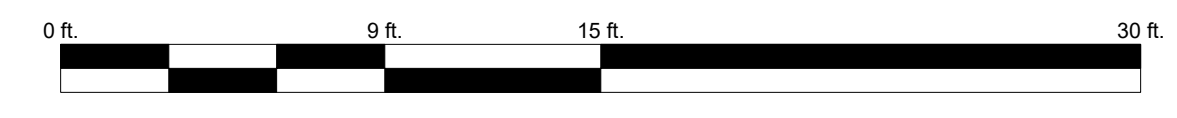
FLOOR #	AREA AS % OF LOT FOOTPRINT	% OF LOT FRONT WIDTH @ STREET
1	63%	78%
2	60%	73%
3	47%	59%
4	43%	52%
5	37%	37%
6	37%	37%

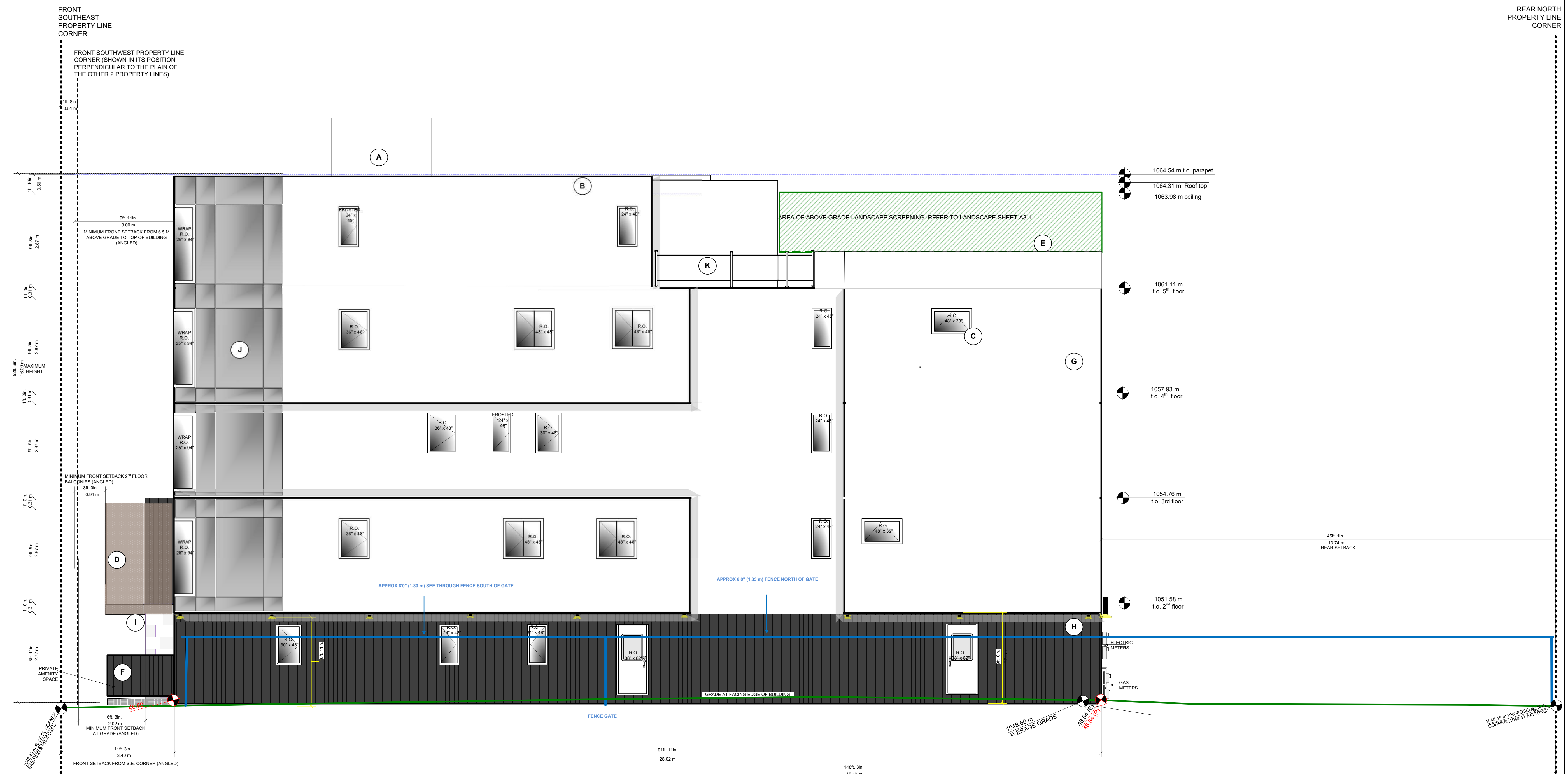
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DEVELOPMENT PERMIT APPLICATION  
 PLAN 5609J BLOCK Q LOT 17&18  
 1130 / 1132 GLADSTONE ROAD NW

SCALE: 3/16" = 1' DATE:2026/05/06

REAR / NW (FACING SE) ELEVATION DRAWING NO: **A6.2**



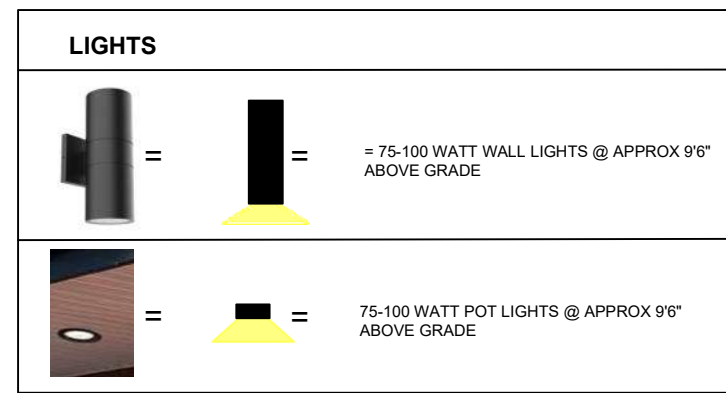


**GLAZING AREA CALCULATIONS**  
**WALL AREA @ 1.2m-3m FROM PL : 413.37 m<sup>2</sup>**  
**GLAZING AREA:**

1 <sup>st</sup> FLOOR:	1.90+1.90+0.74+0.74+0.93= 6.22 m <sup>2</sup>
2 <sup>nd</sup> FLOOR:	0.93+0.74+1.49+1.49+1.11+1.52 = 7.28 m <sup>2</sup>
3 <sup>rd</sup> FLOOR:	0.74+0.93+0.74+1.11+1.52 = 5.05 m <sup>2</sup>
4 <sup>th</sup> FLOOR:	0.93+0.74+1.49+1.49+1.11+1.52 = 7.28 m <sup>2</sup>
5 <sup>th</sup> FLOOR:	0.74+0.74+1.52 = 3.00 m <sup>2</sup>
<b>TOTAL:</b>	<b>28.83 m<sup>2</sup></b>
<b>TOTAL AS A PERCENTAGE:</b>	<b>6.97 %</b>

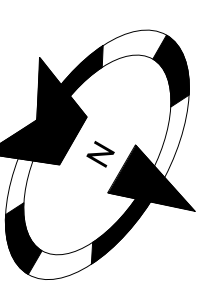
THIS ELEVATION IS SHOWN ON A PLAIN PARALLEL TO THE FRONT SOUTHEAST TO NORTH REAR PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE SOUTHWEST FROM THE SHARED PROPERTY LINE WITH 1128 GLADSTONE ROAD NW)

- NOTES:**
- ALL ELEMENTS ON PLAN ARE PROPOSED.
  - SEE OPTED PLAN FOR EXTERIOR LIGHTING DETAILS.
  - SEE GRADING PLAN FOR ELEVATION DETAILS.
  - PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
  - NO RETAINING WALLS PROPOSED.



**EXTERIOR FINISH LEGEND**

A	ROOFTOP AC W/ PRIVACY SCREENING PLUS POSSIBLE ELEVATOR MECHANICAL
B	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
C	BLACK METAL TRIMMED WINDOWS/DOORS
D	ILLUMINATED ANNOXIDIZED BRONZE OMBREA METAL PANELS
E	IRRIGATED FLORA
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G	OFF WHITE STUCCO
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K	BLACK METAL / GLASS RAILINGS



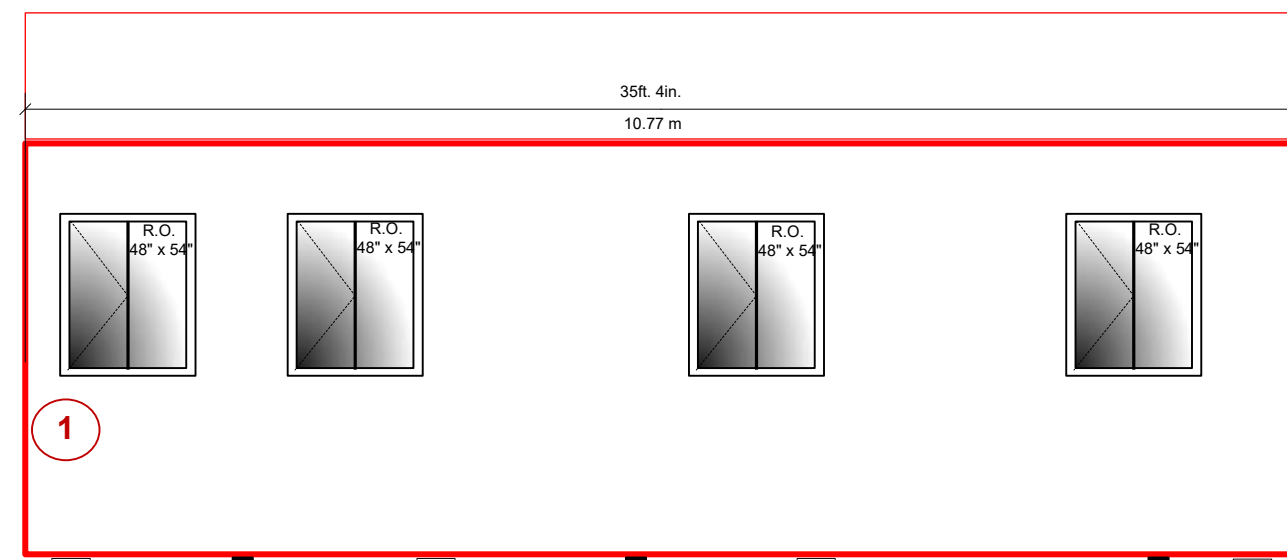
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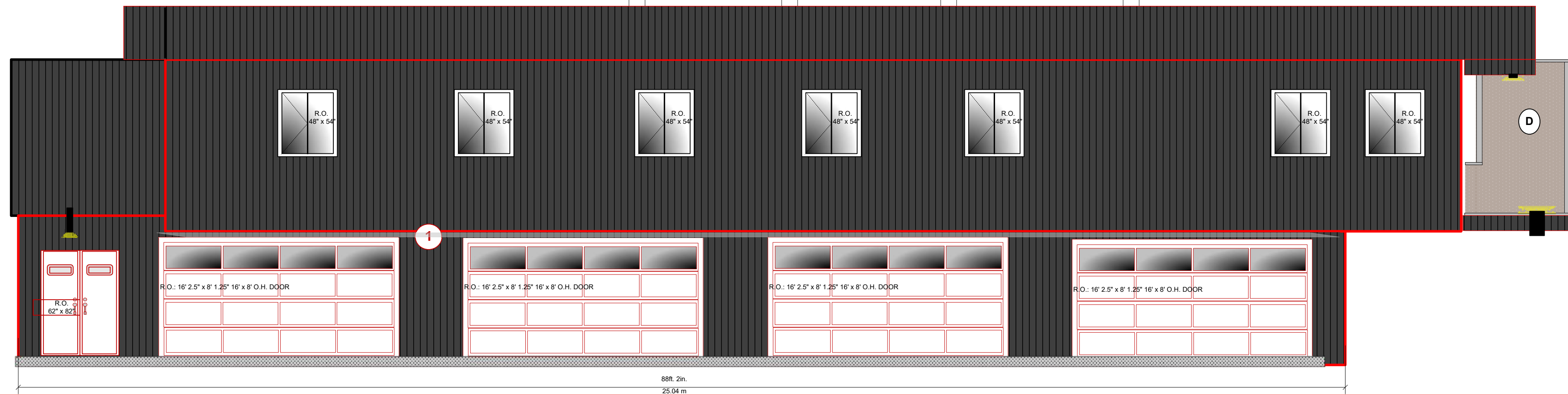
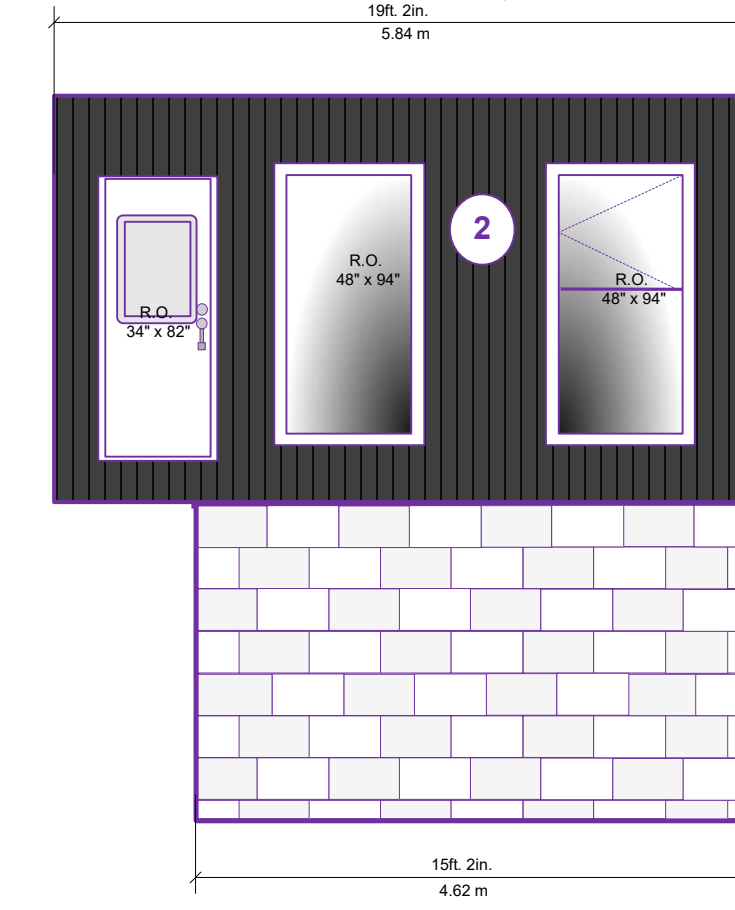
Drawn by: Glenn Wierzba 403-869-8610

DEVELOPMENT PERMIT APPLICATION  
 PLAN 5609J BLOCK Q LOT 17&18  
 1130 / 1132 GLADSTONE ROAD NW  
 SCALE: 3/16" = 1' DATE: 2026/05/06  
 SIDE / NE (FACING SW) ELEVATION DRAWING NO: **A6.3**

**ACTUAL WIDTH OF ANGLED WALLS ON 1<sup>st</sup>, 2<sup>nd</sup> AND 4<sup>th</sup> FLOORS**



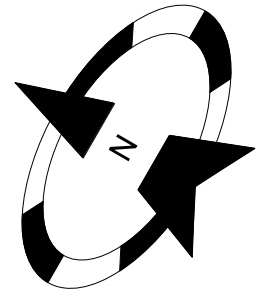
**ACTUAL WIDTH OF ANGLED WALLS ON 1<sup>st</sup>, AND 2<sup>nd</sup> FLOORS**



FRONT SOUTHWEST PROPERTY LINE CORNER (SHOWN IN ITS POSITION PERPENDICULAR TO THE PLANE OF THE OTHER 2 PROPERTY LINES)

FRONT SOUTHEAST PROPERTY LINE CORNER

THIS ELEVATION IS SHOWN ON A PLAIN FACING PARALLEL TO THE FRONT SOUTHEAST TO NORTH REAR PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE NORTH EAST AND THE SIDE SHARED PROPERTY LINE WITH 1128 GLADSTONE ROAD FROM THE ALLEY)

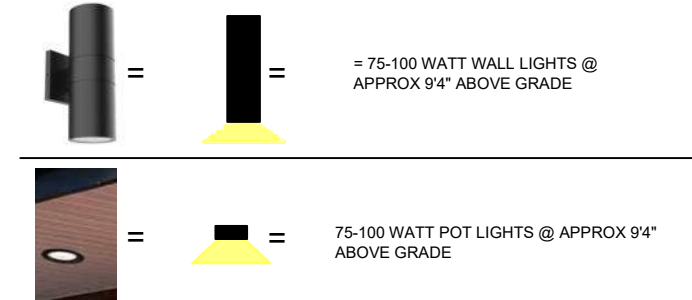


- NOTES**
- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
  - ALL ELEMENTS ON PLAN ARE PROPOSED.
  - SEE OPTED PLAN FOR EXTERIOR LIGHTING DETAILS.
  - SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
  - NO RETAINING WALLS PROPOSED.

**ANGLED WALL WIDTHS:**

- 1** **CLOCKWISE ANGLED WALLS:** WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS RIGHT (CLOCKWISE) 27 DEGREES. THE ACTUAL WALL FACE LENGTHS ARE 862' 1" / 862' 2" / 354' 4" BUT ON THIS HORIZONTAL PLANE THEY REPRESENT 789' 1" / 789' 1" 2" / 317" OF LENGTH.
- 2** **COUNTER CLOCKWISE ANGLED WALLS:** WHERE THE WALL IS DRAWN IN PURPLE, THE ANGLE OF THE BUILDING TURNS LEFT / COUNTER CLOCKWISE (WEST) 63 DEGREES. THE ACTUAL WALL FACE LENGTHS ARE 152' 1" / 192' 2" BUT ON THIS HORIZONTAL PLANE THEY REPRESENT 610' 1" / 87' 2" OF LENGTH.

**LIGHTS**



**EXTERIOR FINISH LEGEND**

- A** ROOFTOP A/C W/ PRIVACY SCREENING PLUS POSSIBLE ELEVATOR MECHANICAL
- B** FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
- C** BLACK METAL TRIMMED WINDOWS/DOORS
- D** ILLUMINATED ANODIZED BRONZE OMBREA METAL PANELS
- E** IRRIGATED FLORA
- F** BLACK METAL / GLASS RAILINGS
- G** OFF WHITE STUCCO
- H** ONYX BLACK / CARBON METAL PANELS
- I** WHITE / LIGHT GREY STONE
- J** OVERHEAD DOORS ( ESTEEM SERIES W/ CUSTOMIZED GLASS)



**Willow Valley Developments Ltd**

1767 1<sup>st</sup> Ave NW Calgary, AB T2N 0B2  
Ph: 403-869-8610

Drawn by: Glenn Wierzbza 403-869-8610

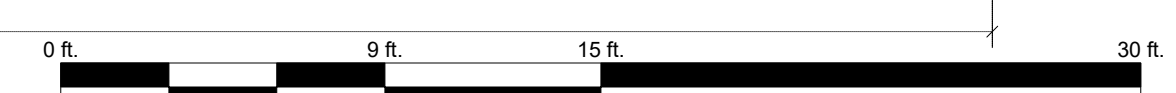
**DEVELOPMENT PERMIT APPLICATION**

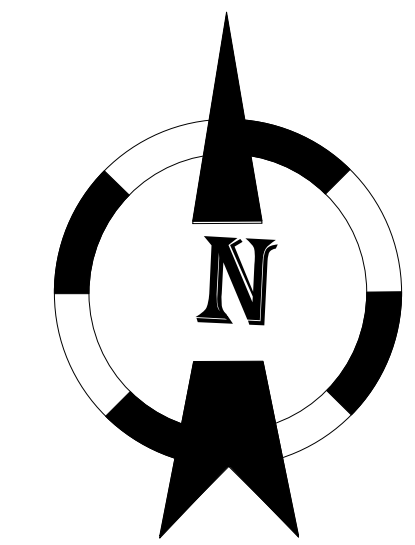
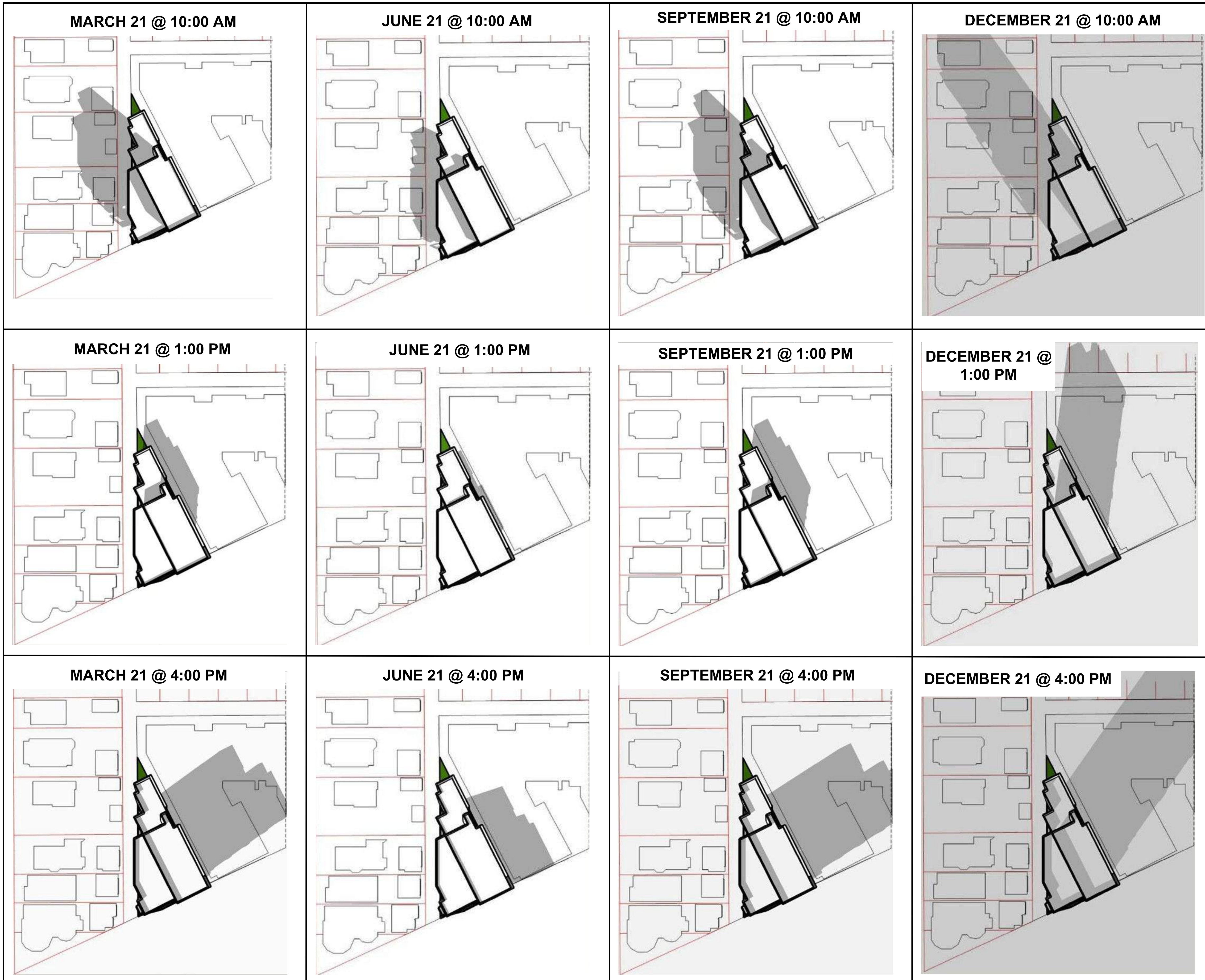
PLAN 5609J BLOCK Q LOT 17&18

1130 / 1132 GLADSTONE ROAD NW

SCALE: 3/16" = 1'      DATE: 2026/05/06

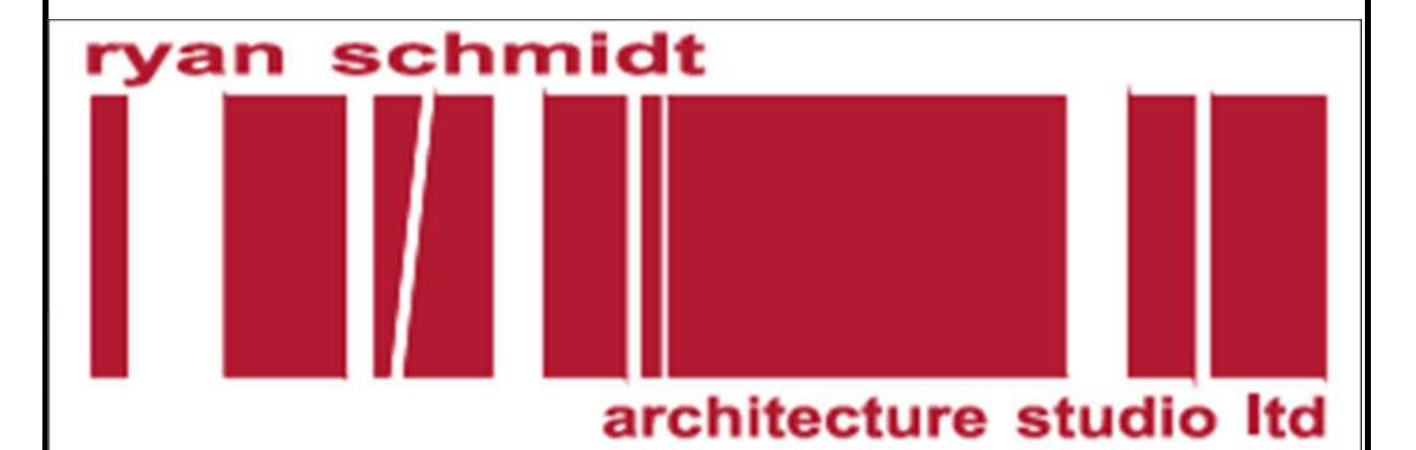
ALLEY SIDE / SW (FACING NE) ELEVATION      DRAWING NO: **A6.4**





**NOTES:**

- IN THIS SHADOW STUDY, NEIGHBOURING PROPERTIES TO THE EAST AND WEST HAVE NOT BEEN MODELLED 3 DIMENSIONALLY. ONLY THEIR OUTLINES ARE SHOWN IN THIS DRAWING TO KEEP THE SUBJECT BUILDING'S IMPACT IN FOCUS.
- DUE TO THIS LOT'S SHAPE AS A TRIANGLE COMING TO ITS POINT TO THE NORTH, ITS SHADOW IMPACT ON THE SINGLE FAMILY HOMES IS MINIMAL FOR A BUILDING OF THIS HEIGHT.



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DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18

1130 / 1132 GLADSTONE ROAD NW

DATE:2026/05/06

SHADOW PLANS

DRAWING NO: **A8.1**

PROPERTY LINE  
FACING 11<sup>th</sup>  
STREET NW

PROPERTY  
LINE / WEST  
END OF ALLEY

PROPERTY  
LINE / EAST  
END OF ALLEY

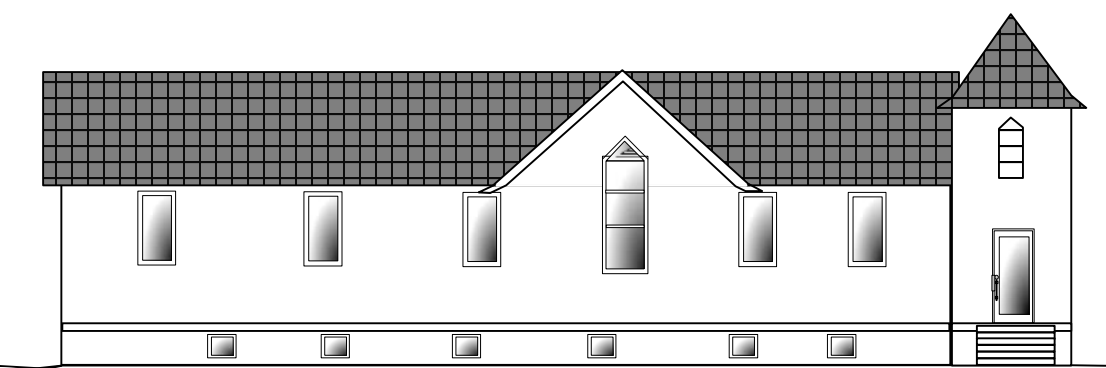
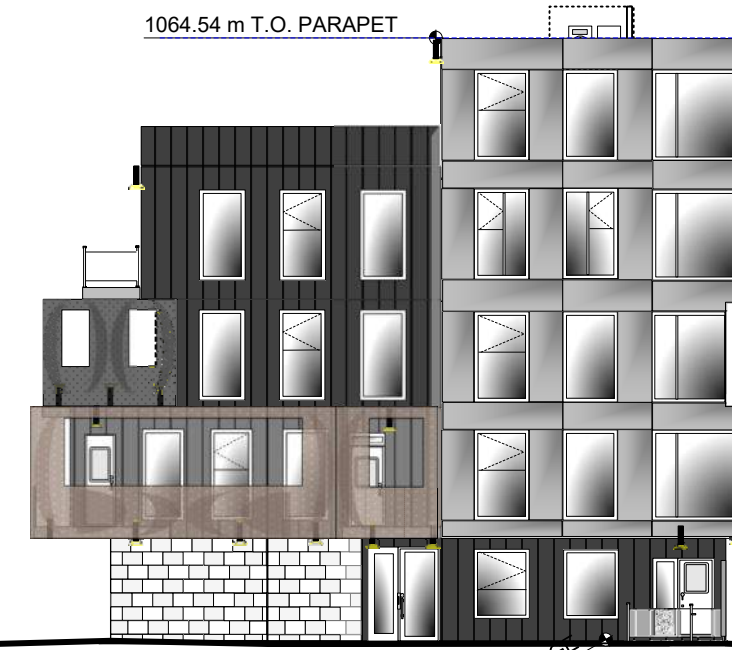
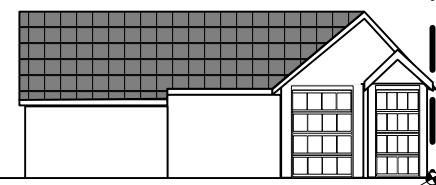
PROPERTY  
LINE

10<sup>th</sup> STREET  
NW BEYOND

**SUBJECT SITE**  
(5 STOREYS TRANSITIONING  
DOWN TO 3 STOREYS)

APPROVED DEVELOPMENT PERMIT (DP2022-06965)  
FOR 6 STOREY BUILDING UNDER CONSTRUCTION

1064.54 m T.O. PARAPET



1048.50  
LANE WEST

LANE

1048.42  
LANE CENTER

1048.46 m @ SW PL CORNER  
EXISTING & PROPOSED

1048.60 m AVERAGE  
BUILDING GRADE

1048.40 m @ SE PL CORNER  
EXISTING & PROPOSED

0.0 m. 15.0 m. 25.0 m. 50.0 m.

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DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18

1130 / 1132 GLADSTONE ROAD NW

DATE:2026/05/06

SCALE: 1:200

DRAWING NO: **A9.1**

**GLADSTONE ROAD  
STREETSCAPE CONTEXT**