



**DP DRAWING LIST – ISSUED FOR M-C1 DR1**

A0.0 TITLE PAGE

**RENDERINGS**

- A1.1 FRONT ELEVATION
- A1.2 BIRDSEY FROM WEST
- A1.3 FROM NE
- A1.4 FROM SE BUILDING ONLY
- A1.5 FROM SW BUILDING ONLY
- A1.6 FROM ALLEY BUILDING ONLY

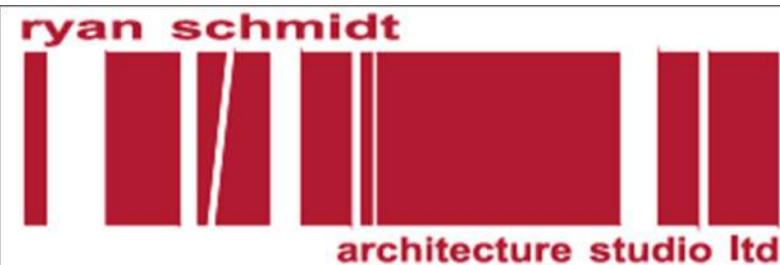
**ARCHITECTURAL**

- A2.1 SITE PLAN
- A2.2 GRADING / DRAINAGE PLAN
- A2.3 CPTED LIGHTING SECURITY
- A3.1 LANDSCAPING PLAN
- A3.2 LANDSCAPING AREA CALCS
- A4.1 BLOCK PLAN
- A5.1 GROUND FLOOR PLAN
- A5.2 2<sup>nd</sup> FLOOR PLAN
- A5.3 3<sup>rd</sup> FLOOR PLAN
- A5.4 4<sup>th</sup> FLOOR PLAN
- A5.5 5<sup>th</sup> FLOOR PLAN
- A6.1 FRONT SE ELEVATION
- A6.2 REAR NW ELEVATION
- A6.3 SIDE NE ELEVATION
- A6.4 SIDE SW ELEVATION
- A7.1 CROSS SECTION FRONT
- A7.2 CROSS SECTION SIDE
- A8.1 SHADOW PLANS EQUINOXES
- A8.2 SHADOW PLANS SOLSTICES

Number	Date	Description
1	23/12/20	UDRP PE2023-01892
2	24/12/16	DC rejected application
3	25/05/23	M-H1 application posted
4	26/01/02	M-C2 application
5	26/02/05	M-C2 renderings update

**MULTI FAMILY 6 UNIT M-C2 DEVELOPMENT PERMIT**

ALL DRAWINGS AND CALCULATIONS BY:  
WILLOW VALLEY DEVELOPMENTS &  
RYAN SCHMIDT ARCHITECTURE STUDIO



DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE:2026/01/22	
<b>TITLE PAGE</b>	DRAWING NO: <b>A0.0</b>



**ryan schmidt**



**architecture studio ltd**

DEVELOPMENT PERMIT APPLICATION

1130/1132 GLADSTONE ROAD NW

PLAN 5609J BLOCK Q LOT 18

**Willow Valley Developments Ltd**

DATE:2026/02/04



1767 1<sup>st</sup> Ave NW Calgary, AB T2N 0B2

**3D RENDERING 1:  
FRONT ELEVATION**

DRAWING NO: **A1.1**



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PLAN 5609J BLOCK Q LOT 17 & 18

DATE:2026/02/04

**3D RENDERING 3: AT  
GRADE FROM NE**

**DRAWING NO: A1.3**

**ONLY THE PROPOSED  
BUILDING IS SHOWN IN THIS  
RENDERING**



**ryan schmidt**



**architecture studio ltd**

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DEVELOPMENT PERMIT APPLICATION

1130/1132 GLADSTONE ROAD NW

PLAN 5609J BLOCK Q LOT 17 & 18

DATE:2026/02/04

**3D RENDERING 4: BUILDING  
ONLYFROM SOUTHEAST**

DRAWING NO: **A1.4**



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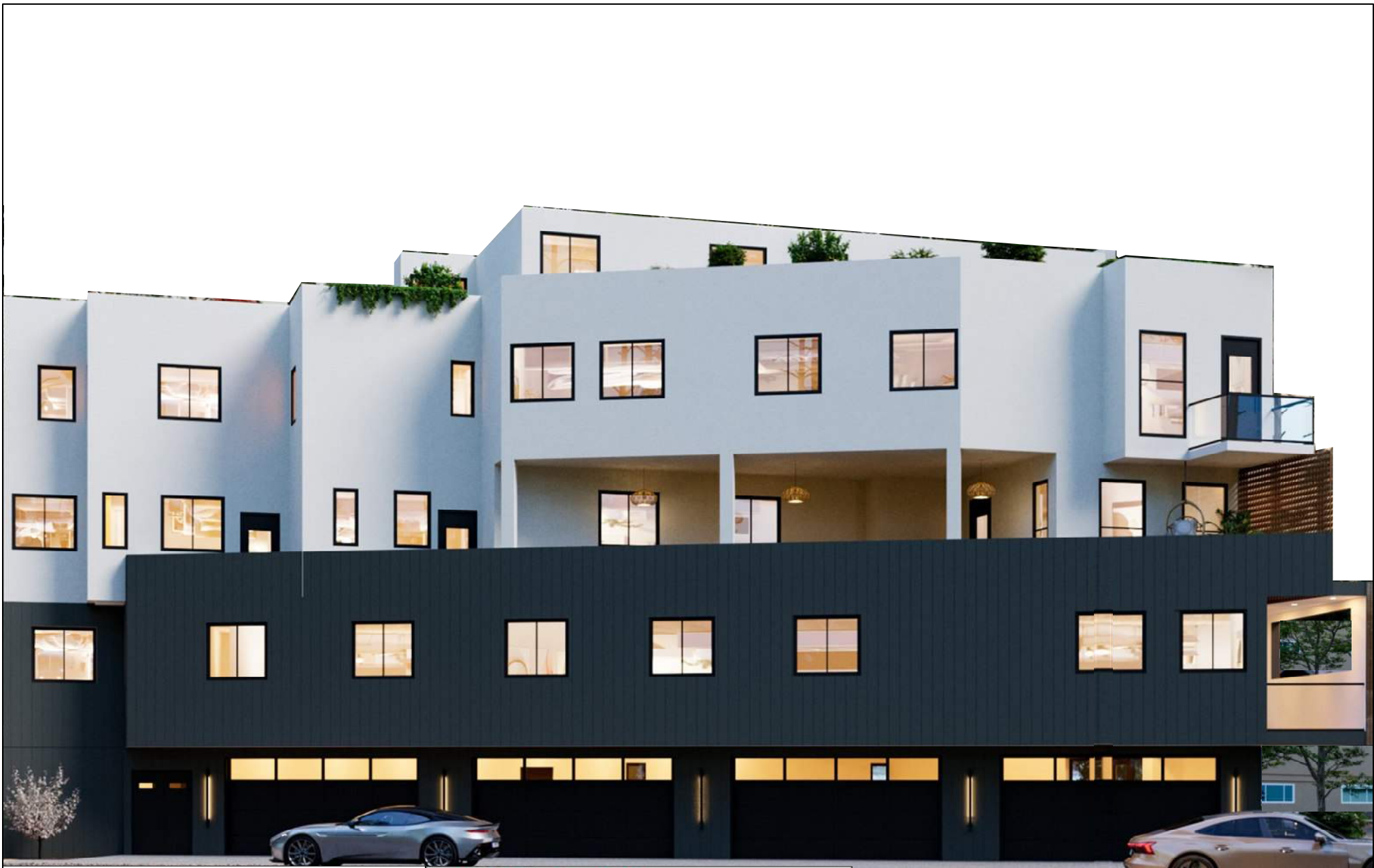
1130/1132 GLADSTONE ROAD NW

PLAN 5609J BLOCK Q LOT 17 & 18

DATE:2026/02/04

**3D RENDERING 5:  
BUILDING ONLY FROM  
SOUTHWEST @ GRADE**

**DRAWING NO: A1.5**



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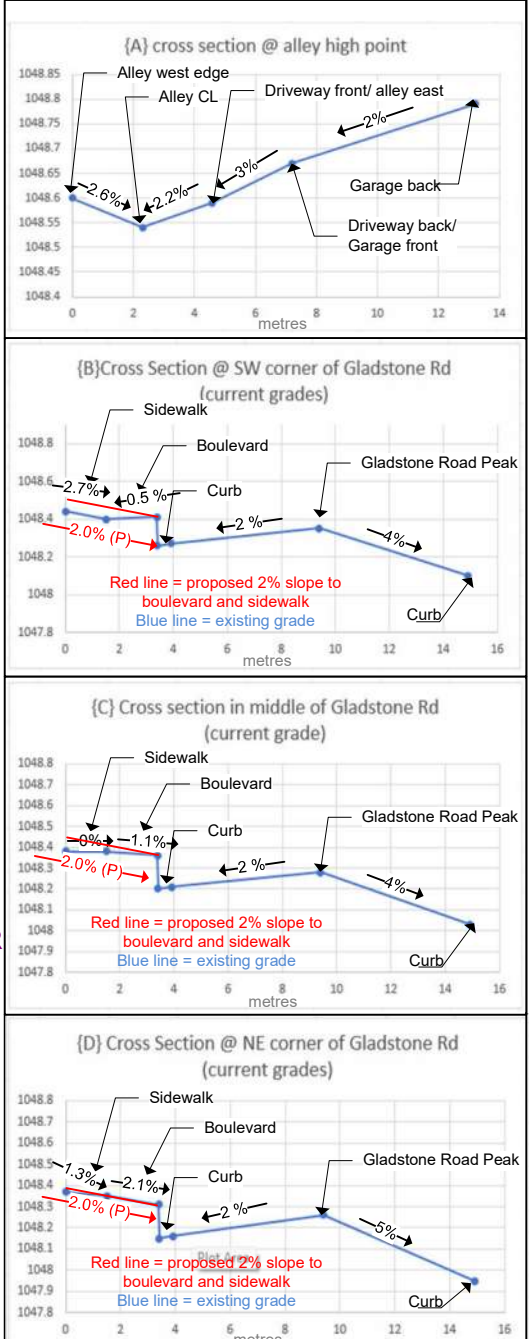
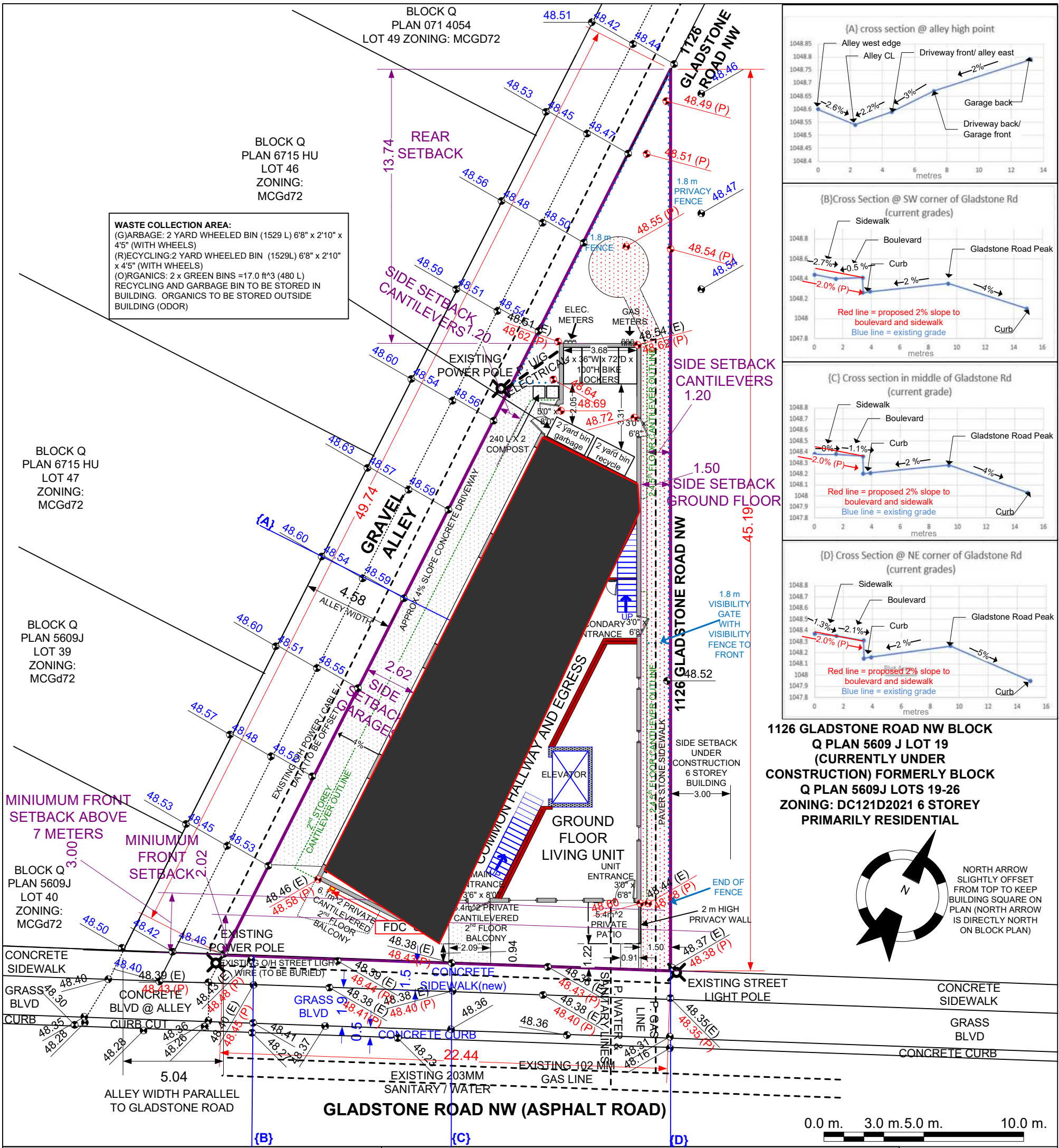
1130/1132 GLADSTONE ROAD NW

PLAN 5609J BLOCK Q LOT 17 & 18

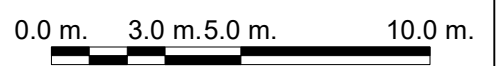
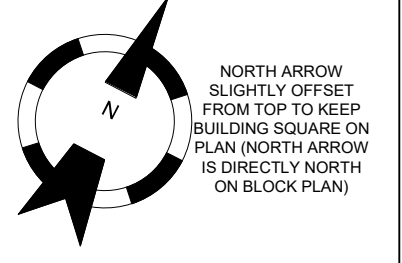
DATE:2026/02/04

**3D RENDERING 6:  
BUILDING ONLY FROM  
ALLEY @ GRADE**

DRAWING NO: **A1.6**



**1126 GLADSTONE ROAD NW BLOCK Q PLAN 5609 J LOT 19 (CURRENTLY UNDER CONSTRUCTION) FORMERLY BLOCK Q PLAN 5609J LOTS 19-26 ZONING: DC121D2021 6 STOREY PRIMARILY RESIDENTIAL**



**LEGEND**

- = MAIN FLOOR WINDOW
- = MAIN FLOOR DOOR
- = MAIN FLOOR O/H DOOR
- = CANTILEVERED BUILDING
- = CANTILEVERED BALCONY
- = EXISTING POWER POLE
- = 1.8 M HIGH FENCE / GATE
- = APPROXIMATE DRIVEWAY SLOPE
- = BUILDING SETBACKS FROM PROP. LINE
- = LOT DIMENSIONS
- = EXISTING GEODETIC ELEVATION (48.26 IS 1048.26 M ABOVE SEA LEVEL).
- = PROPOSED ELEVATIONS. (48.44 IS 1048.44 M ABOVE SEA LEVEL)
- = ALLEY FINAL ELEVATION APPROVED UNDER DP2022-06965/ CD2022-0244 (48.42 IS 1048.42 M ABOVE SEA LEVEL)
- = TRACCESS B/T FIRE ALARM LOCKBOX
- = FIRE ALARM CONTROL PANEL/ STROBE
- = FDC FIRE SIAMESE CONNECTION
- = AT GRADE CONCRETE SIDEWALK OR DRIVEWAY
- = AT GRADE PAVER STONES

**NOTES:**

- ALL ELEMENTS WITHIN LOT ARE PROPOSED (EXCEPT CURRENT ELEVATIONS)
- SEE CPTD PLAN FOR LIGHTING LOCATIONS AND FIXTURES.
- SEE GRADING/DRAINAGE PLAN FOR ALL GEODETIC ELEVATIONS AND SLOPES
- GEODETIC ELEVATIONS AT LOT CORNERS TO REMAIN AS THEY ARE
- NO EASEMENTS, SECTION 53 RIGHT OF WAY SETBACKS APPLICABLE
- NO HYDRANTS, UTILITY BOXES, BUS STOPS, STREET SIGNS, STREET FURNITURE, PARKING METERS, MEDIANS, OR PEDESTRIAN CROSSWALKS ADJACENT
- NO CATCH BASINS OR AT GRADE MECHANICAL EQUIPMENT (A/C ON ROOF)
- OUTSIDE FLOODWAY, FLOOD FRINGE, OVERFLOW AREA
- NO ABANDONED GAS/ OIL WELLS OR RETAINING WALLS,
- NO CURB CUTS TO BE ALTERED, NO PUBLIC TREES EXISTING OR ALLOWED
- 3 POWER POLES / LIGHT STANDARDS ADJACENT
- ONE STREET LIGHT LINE TO BE BURIED, ONE POWER RUN TO BE OFFSET OR BURIED
- TOTAL ELEVATION CHANGE UNDER 0.5m
- ALL SLOPES <5%, SEE GRADING PLAN.
- FIREFIGHTING FROM GLADSTONE ROAD NW(>9m) OR 2 WAY ALLEY (<6m)
- CLASS 1 BICYCLE PARKING IN PRIVATE GARAGES & COMMON STORAGE ROOM
- STREET DIRECTLY IN FRONT CAN ACCOMMODATE 3 - 4 VISITOR PARKING SPOTS

**SETBACK SUMMARY**

- THE MINIMUM FRONT SETBACK IS 3.00 M ABOVE 6.5 M IN HEIGHT AND 2.0 M AT GRADE
- THE MINIMUM NEIGHBOUR SIDE SETBACK IS 1.50 M BELOW 2.7 M IN HEIGHT AND 1.20 M ABOVE 2.7 M IN HEIGHT
- THE MINIMUM ALLEY SIDE SETBACK IS 2.62 M FOR THE GARAGE DOORS AND 1.20 M FOR THE LIVING SPACE ABOVE
- THE MINIMUM REAR SETBACK IS 13.7 M

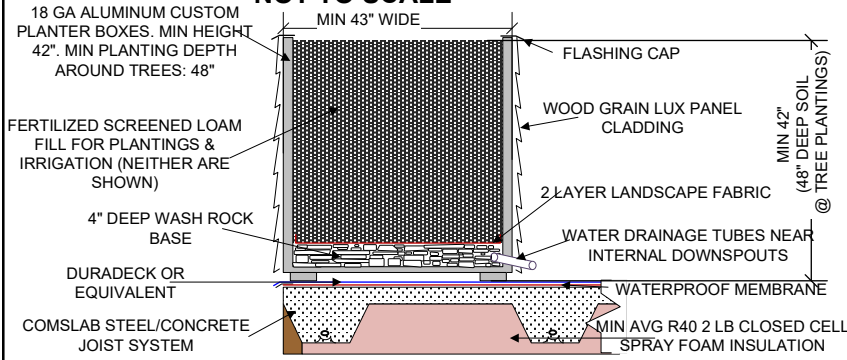
**UNITS:**  
 # OF UNITS: 6  
 LOT AREA: 507.03 m<sup>2</sup>  
 U.P.H.: 118.3  
 AT GRADE BUILDING AREA: 277.55 m<sup>2</sup>  
 PARCEL COVERAGE: 54.7%  
 G.F.A.: 1265.94 m<sup>2</sup>  
 F.A.R.: 2.50  
**PARKING:**  
 6 STALLS = 1.0 STALLS PER UNIT  
**F.A.R. CALCULATIONS**  
 LOT AREA: 45.19m x 22.44m /2 = 507.03m<sup>2</sup>  
 FLOOR 1: 277.55 m<sup>2</sup>  
 FLOOR 2: 315.93 m<sup>2</sup>  
 FLOOR 3: 250.07 m<sup>2</sup>  
 FLOOR 4: 296.22 m<sup>2</sup>  
 FLOOR 5: 126.18 m<sup>2</sup>  
 TOTAL G.F.A.: 1265.94 m<sup>2</sup>  
 F.A.R.: 2.50

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**DEVELOPMENT PERMIT APPLICATION**  
 PLAN 5609J BLOCK Q LOT 17&18  
 1130 / 1132 GLADSTONE ROAD NW  
 DATE: 2025/11/30  
 SCALE: 1:200  
**SITE PLAN**  
 DRAWING NO: **A2.1**

**ABOVE GRADE LANDSCAPING CROSS SECTION:**

**NOT TO SCALE**



0.0 m. 6.0 m. 10.0 m. 20.0 m.

**LANDSCAPING AREA CONCEPTS**

**GENERAL CONCEPTS:**

- PLANTINGS WILL CONSIST OF A VARIETY OF SPECIES WITH THE FOLLOWING CONCEPTS:
- 1) PROVIDE VARYING COLOURS AND VISUAL INTEREST THROUGHOUT THE GROWING SEASON
  - 2) PROVIDE FRUIT AND FLOWER BEARING TREES FOR RESIDENTS, WILDLIFE, AND POLINATORS
  - 3) PLACE PLANTINGS ACCORDING TO SUN REQUIREMENTS
  - 4) PROVIDE PRIVACY FOR RESIDENTS AND NEIGHBOURS
  - 5) TREES THAT ARE COMPATIBLE WITH POWER LINE PROXIMITY
  - 6) SURPASS THE NUMBER OF TREES AND SHRUBS REQUIRED WITH THE ENHANCED LANDSCAPING OPTION
  - 7) SURPASS THE RATIO OF TREES AND SHRUBS THAT ARE LOW WATER COMPLIANT UNDER THE LOW WATER OPTION

**AREA A: AT GRADE COMMON FRONT YARD SPACE**

A TREE AND SHRUB WEST AND SOUTH OF THE GROUND FLOOR AMENITY SPACE FOR PRIVACY AND SHADE.. SMALLER SHRUBS ON THE SOUTHWEST END WHICH WILL GROW TO A MATURE HEIGHT THAT DOES NOT IMPEDE THE VIEW OF PEDESTRIANS AND VEHICLES AT THE ALLEY INTERSECTION, WHILE SEPARATING THE PROPERTY FROM THE ALLEY.

**AREA B: AT GRADE COMMON BACK YARD GATHERING / SEATING / PLANTING SPACE**

3 MEDIUM SIZED TREES WILL BE PLANTED ALONG THE EAST EDGE TO PROVIDE PRIVACY FROM THE LARGE NEIGHBOURING BUILDING TO THE EAST. SHRUBS WILL SCREEN THE SERVICE METERS AND THE FENCED GARBAGE COLLECTION AREA. A TREE WILL TAKE UP THE AREA IN THE SOUTHWEST CORNER. THE REMAINING AREA WILL BE GRASS AND MULCH WITH A PAVED SEATING AREA WITH A NATURAL GAS FIREPLACE. TREE HEIGHTS WILL CONFORM WITH ENMAX RULES NEAR OVERHEAD POWER LINES. (OVERHEAD POWERLINES TO BE OFFSET FURTHER INTO THE ALLEY)

**AREA C: ABOVE GRADE PRIVATE AMENITY SPACE**

THE 5<sup>TH</sup> FLOOR SOFT LANDSCAPING IS CONTAINED IN CUSTOM BUILT ALUMINUM PLANTERS WITH SMALL TREES (48\"/>

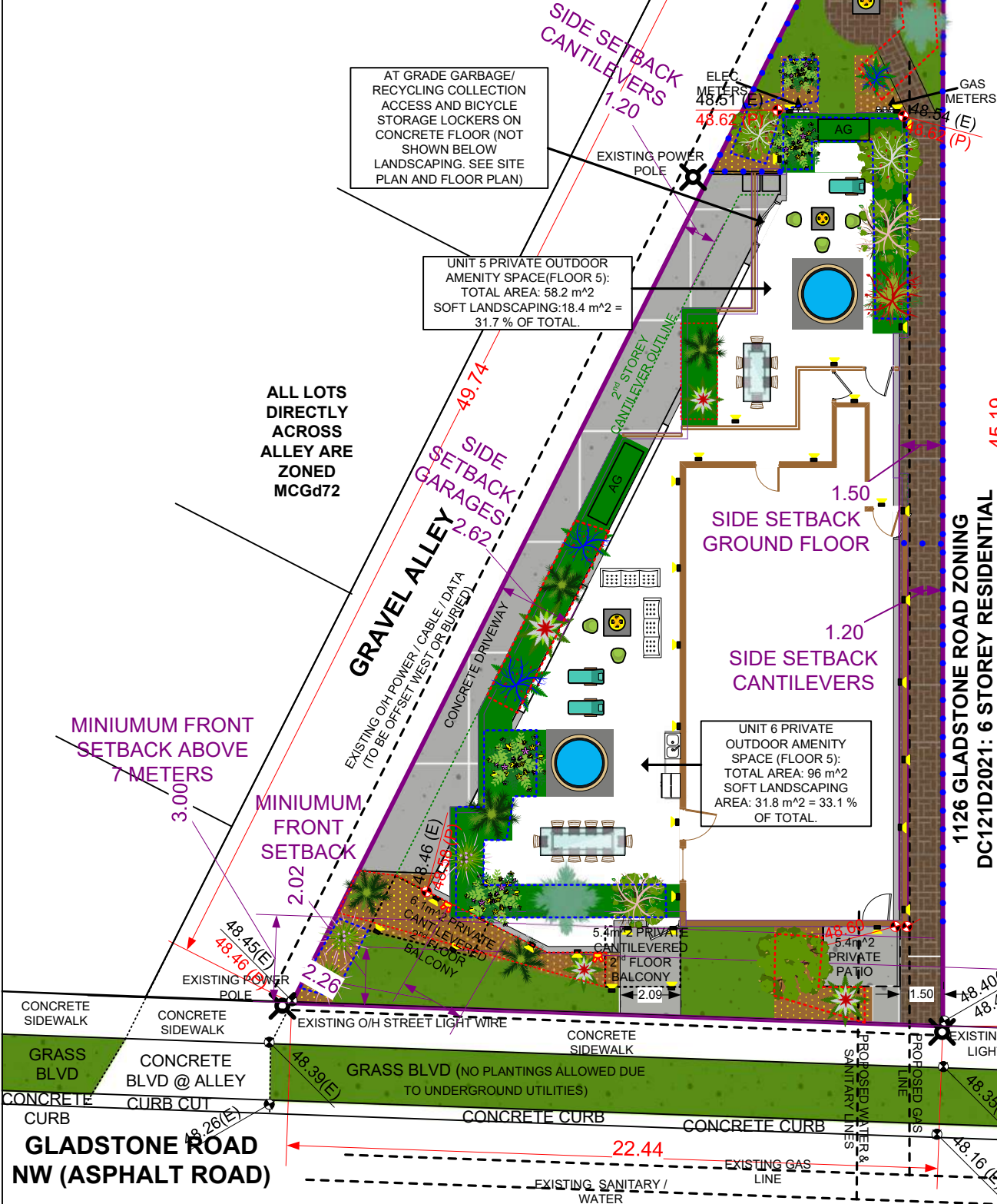
**TREE AND SHRUB DETAIL LEGEND**

TREES (5 REQ'D REGULAR, 8 REQ'D ENHANCED)				
SPECIES	QUANTITY	CALIPER	TYPE	RATIONALE
TOBA HAWTHORN	2	85 mm*	DECIDUOUS	ATTRACTS BIRDS, SPRING BLOOM
PRINCESS KAY PLUM	3	85 mm*	DECIDUOUS	SPRING BLOOM FALL COLOURS
AUTUMN BRILLIANCE SERVICEBERRY	1	85 mm*	DECIDUOUS	EDIBLE BERRIES, SPRING BLOOM FALL COLOURS
AMUR MAPLE	2	85 mm*	LOW WATER DECIDUOUS	SPRING AND FALL COLOURS
(GLOBAL) BLUE SPRUCE	2	0.6 m*	LOW WATER CONIFEROUS	YEAR ROUND FOILAGE

SHRUBS (9 REQ'D REG., 15 REQ'D ENHANCED)				
SPECIES	QUANTITY	HEIGHT/SPREAD	TYPE	RATIONALE
CHERRY PRINSEPIA	3	0.6 m*	LOW WATER SHRUB	EDIBLE FRUIT, FLOWERS, EARLY LEAVES
MUGO PINE	4	0.6 m*	LOW WATER SHRUB	YEAR ROUND FOILAGE
NANNYBERRY	4	0.6 m*	LOW WATER SHRUB	EDIBLE FRUIT, SPRING, FALL COLOURS
AMERICAN HIGHBUSH CRANBERRY	4	0.6 m*	REGULAR SHRUB	EDIBLE FRUIT, SPRING, FALL COLOURS
POTENTILLA	3	0.6 m*	REGULAR SHRUB	SPRING TILL FROST BLOOM

\* ENOUGH SHRUBS AND TREES WILL BE OF ABOVE CALIPER & HEIGHT/SPREAD TO SATISFY LANDSCAPING REQUIREMENTS (BUT NOT ALL)



**LEGEND**

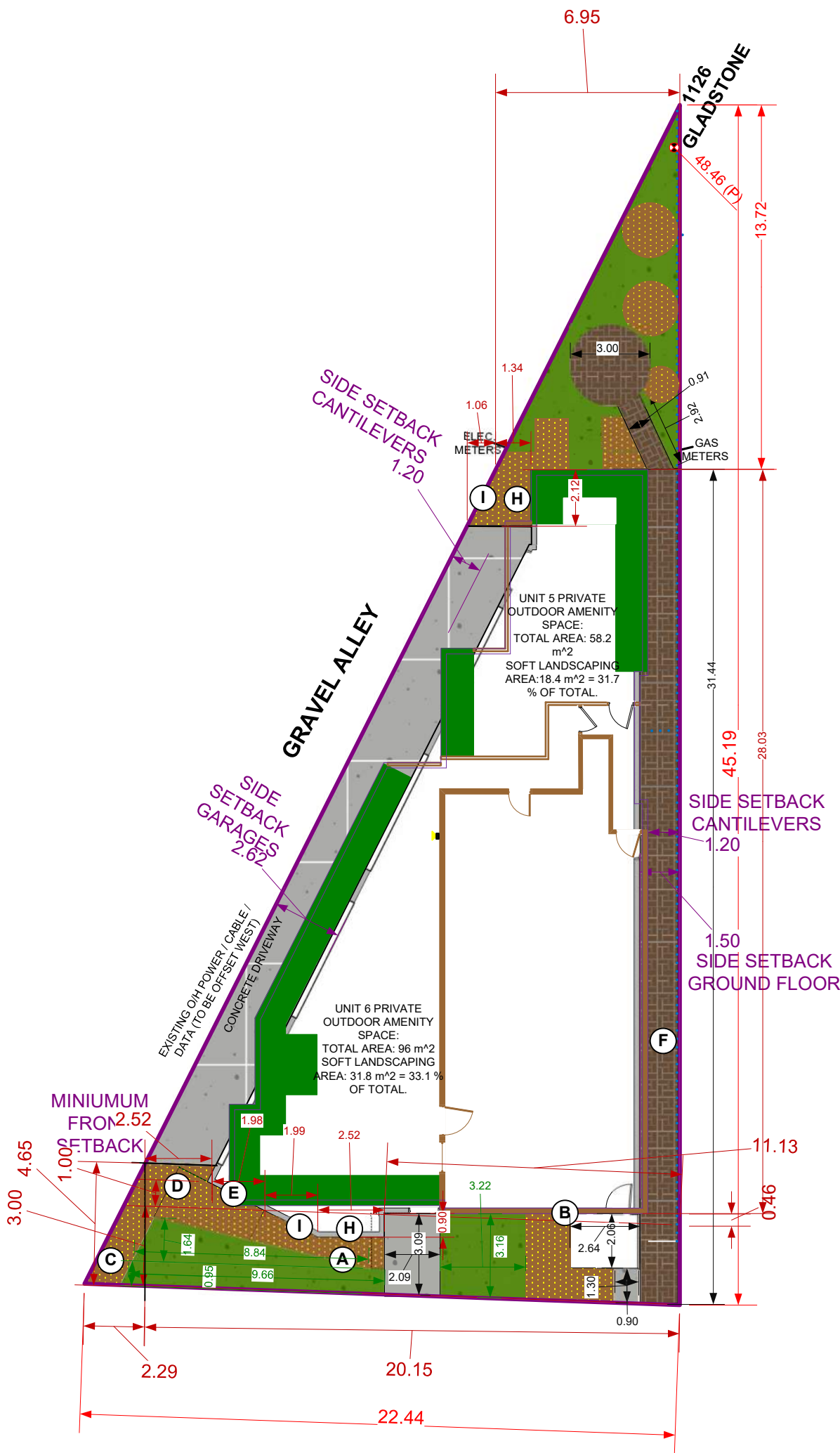
	= DOOR		= (E)XISTING & (P)ROPOSED GEODETIC ELEVATIONS 48.44 IS 1048.44 m ABOVE SEA LEVEL
	= FENCE / GATE		= EXISTING POWER POLE OR LIGHT POLE
	= AT GRADE GRASS		= UNDERGROUND UTILITIES
	= AT GRADE MULCH		= LAMP
	= ABOVE GRADE SOFT LANDSCAPING AREA (MULCH)		= GAS METER
	= CANTILEVERED BALCONY		= URBAN AGRICULTURE SPACE
	= CANTILEVERED BUILDING		= ELECTRICAL METER
	= @ GRADE CONCRETE WALK		= EXTERIOR WALL OR CEILING MOUNTED LIGHT
	= AT GRADE PAVERS WALK		= GAS FIREPLACE
	= DIMENSIONS SETBACKS		= REGULAR WATER IRRIGATION ZONE
	= DIMENSIONS LOT LINES		= LOW WATER IRRIGATION ZONE

- NOTES:**
- ALL VEGETATION & OTHER ELEMENTS WITHIN LOT ARE PROPOSED
  - NO EASEMENTS, RETAINING WALLS, BERMS, DETACHED BUILDINGS, INTERIOR UTILITY R.O.W.'s, PARKADE VENTS, OR A/C UNITS IN LANDSCAPING AREA
  - TOTAL GRADE CHANGE UNDER 0.25 m IN LANDSCAPED AREAS ACROSS EXTERIOR AT GRADE SPACE
  - NO PUBLIC TREES EXISTING OR ALLOWED DUE TO U/G PUBLIC UTILITES
  - 4 CLASS 1 BIKE STORAGE LOCKERS AT NORTH OF BUILDING AND 2 WALL MOUNTED BIKE RACKS IN PRIVATE GARAGES ON CONCRETE
  - ALL AT AND ABOVE GRADE SOFTSCAPE AREAS WILL BE IRRIGATED BY AUTOMATIC IRRIGATION WITH A COMBINATION OF DRIP AND SURFACE SPAY METHODS UNLESS LOW WATER LANDSCAPING IS REQUESTED IN WHICH CASE LOW WATER IRRIGATION WILL BE ADHERED TO AS PER ZONES IN DRAWING
  - GARBAGE/RECYCLING AREA IS ENCLOSED AT GRADE ON NORTH END OF BUILDING
  - ELECTRICAL/GAS METERS SCREENED BY TREES
  - ALL LANDSCAPING, INCLUDING ABOVE GRADE LANDSCAPING WILL BE INSTALLED BY THE DEVELOPER WITH A MAINTENANCE AGREEMENT
  - MULCH WILL BE PLACED AROUND TREES AND SHRUBS
  - APPLYING FOR RELAXATION OF ABOVE GRADE LANDSCAPING MAXIMUM FROM 10% TO 20%. SEE APPENDIX B & C FOR EXPLANATION
  - SEE DRAWING A3.2 LANDSCAPING CALCULATIONS AND APPENDIX D: FLOORPLANS DETAILED (pg 5) FOR DIMENSIONS OF THE LANDSCAPING AREAS. SEE DRAWINGS A8.1 & A8.2 SHADOW PLAN(S) FOR SHADOWS

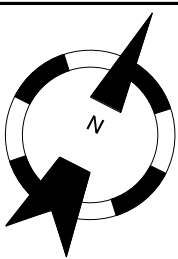


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 1767 1<sup>st</sup> Ave NW Calgary, AB T2N 0B2  
 Drawn by [Redacted]

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE: 2025/11/30	SCALE: 1:200
<b>LANDSCAPING PLAN</b>	<b>DRAWING NO: A3.1</b>



**TOTAL LOT AREA: 507.03 M<sup>2</sup>**  
**MAX HARDSCAPE @ 37% 75.04 M<sup>2</sup>**  
**MAX HARDSCAPE @ 40% 81.13 M<sup>2</sup>**  
**ACTUAL AT GRADE HARDSCAPE: 70.00 M<sup>2</sup>**  
**MAX CONCRETE @ 37% 22.51 M<sup>2</sup>**  
**MAX CONCRETE @ 40% 24.34 M<sup>2</sup>**  
**ACTUAL @ GRADE LANDSCAPING CONCRETE: 13.12 M<sup>2</sup>**  
**MAX SOD/GRASS FOR LOW WATER @ 37%: 56.28 M<sup>2</sup>**  
**MAX SOD/GRASS FOR LOW WATER @ 40%: 60.84 M<sup>2</sup>**  
**ACTUAL SOD / GRASS: 50.44 M<sup>2</sup>**



NORTH ARROW  
SLIGHTLY  
OFFSET FROM  
TOP TO KEEP  
BUILDING  
SQUARE ON  
PLAN (NORTH  
ARROW IS  
DIRECTLY  
NORTH ON  
BLOCK PLAN)

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Drawn by

DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18

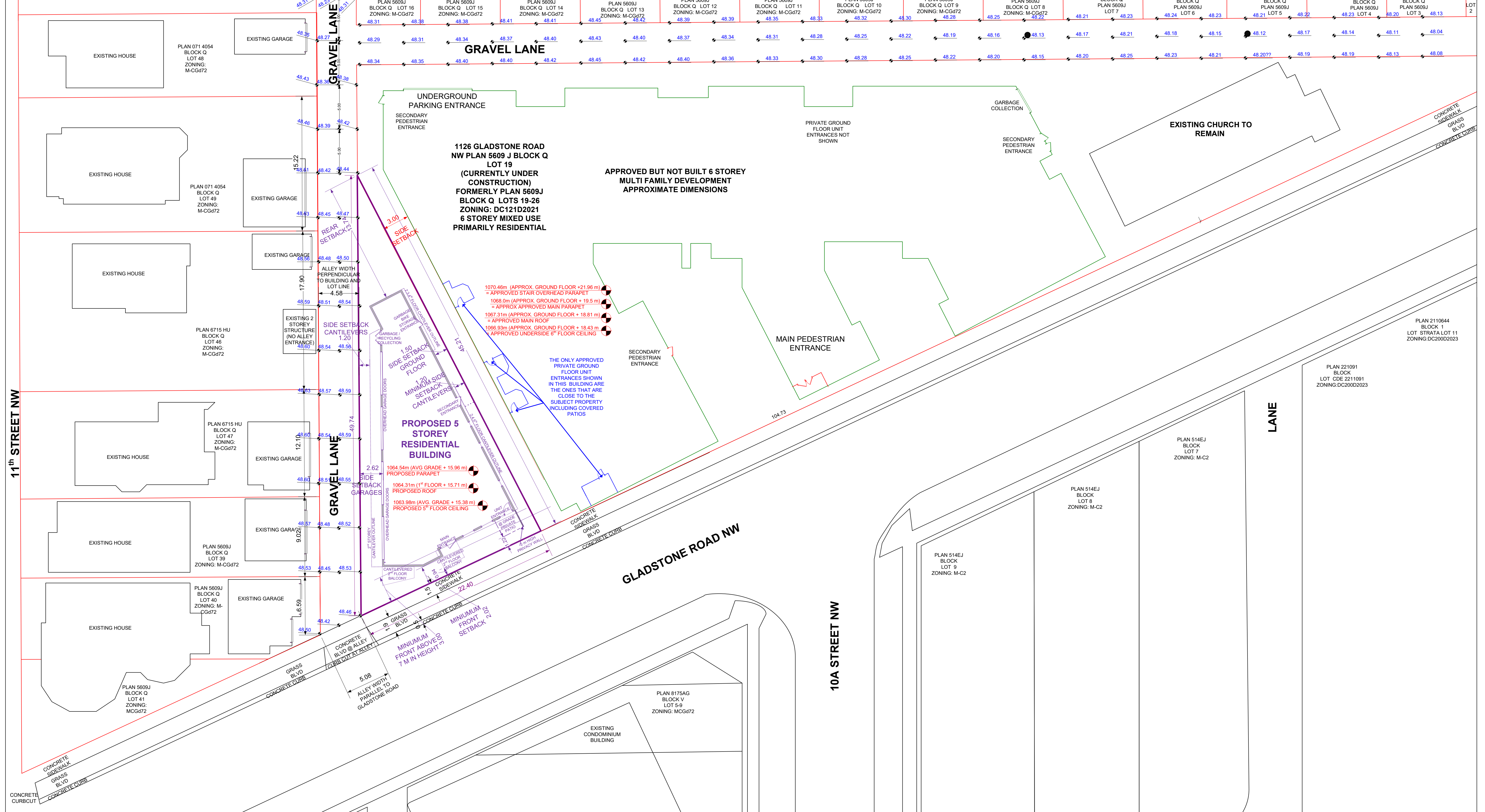
1130 / 1132 GLADSTONE ROAD NW

DATE: 2025/11/30

SCALE: 1:200

**LANDSCAPING AREA  
CALCULATIONS**

DRAWING NO: **A3.2**



11<sup>th</sup> STREET NW

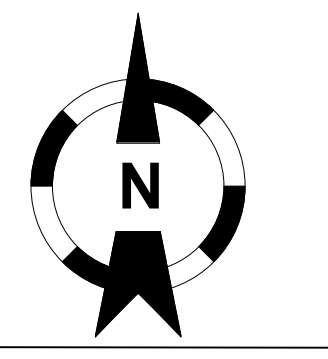
LANE

GLADSTONE ROAD NW

10A STREET NW

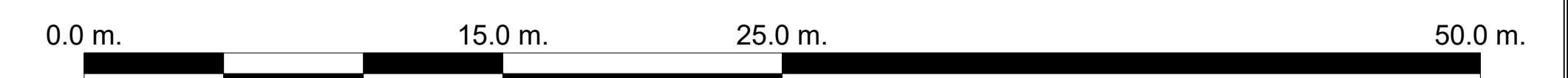
**COLOUR LEGEND**

- = SUBJECT PROPERTY PROPOSED BUILDING LOT OUTLINE/ BUILDING OUTLINE/ SETBACK DIMENSIONS
- = NEIGHBOURING LOT LINES
- = APPROVED BUT NOT BUILT BUILDING LOT LINES AND ENTRANCES
- = APPROVED BUILDING INDIVIDUAL ENTRANCES AND COVERED PATIOS NEAR SUBJECT PROPERTY
- = EXISTING STRUCTURES



=ALLEY FINAL GRADE ELEVATION APPROVED UNDER DP2022-06965/ CD2022-0244  
48.42 = 1048.42 M ABOVE SEA LEVEL

- SETBACK SUMMARY**
- THE MINIMUM FRONT SETBACK IS 2.0 M AT GRADE AND 3.0 M ABOVE 7 M IN HEIGHT
  - THE MINIMUM NEIGHBOUR SIDE SETBACK IS 1.50 M AT GRADE AND 1.20 M ABOVE GRADE
  - THE MINIMUM ALLEY SIDE SETBACK IS 1.20 M FOR CANTILEVERS AND LIVING AREA AND 2.62 M FOR THE GARAGES
  - THE MINIMUM REAR SETBACK IS



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Drawn by [Redacted]

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DATE: 2025/11/30	SCALE: 1:200
<b>BLOCK PLAN</b>	DRAWING NO: <b>A4.1</b>

SOUTH WEST PROPERTY CORNER LINE

SOUTH EAST TO NORTH PROPERTY LINE (BOTH CORNERS)



**EXTERIOR FINISH LEGEND**

<b>(A)</b>	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
<b>(B)</b>	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
<b>(C)</b>	BLACK METAL TRIMMED WINDOWS/DOORS
<b>(D)</b>	ILLUMINATED ANNODIZED OMBREA METAL PANELS
<b>(E)</b>	IRRIGATED FLORA
<b>(F)</b>	BLACK METAL / GLASS RAILINGS
<b>(G)</b>	OFF WHITE STUCCO (DISTANT FLOOR 3 WALL)
<b>(H)</b>	ONYX BLACK / CARBON LUX METAL PANELS
<b>(I)</b>	WHITE / LIGHT GREY STONE
<b>(J)</b>	SILVER / GREY ACM PANELS
<b>(K)</b>	ILLUMINATED BUILDING NAME AND NUMBER
<b>(L)</b>	2 METER HIGH ONYX BLACK / CARBON METAL PRIVACY WALL

**LIGHTS**

	= 75-100 WATT WALL LIGHTS @ APPROX 9'9\"/>
	= 75-100 WATT POT LIGHTS @ APPROX 9'9\"/>

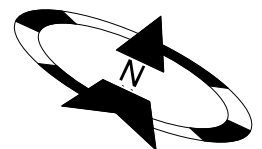
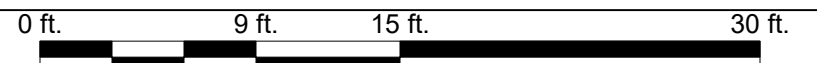
**FOOTPRINT / AREA SUMMARIES**

1 <sup>st</sup> FLOOR AREA:	2987.5 SF	87.9% OF BUILDING FOOTPRINT 54.7% OF LOT FOOTPRINT
2 <sup>nd</sup> FLOOR AREA:	3400.6 SF	100% OF BUILDING FOOTPRINT 62.3% OF LOT FOOTPRINT
3 <sup>rd</sup> FLOOR AREA:	2691.7 SF	79.1% OF BUILDING FOOTPRINT 49.3% OF LOT FOOTPRINT
4 <sup>th</sup> FLOOR AREA:	3188.5 SF	93.8% OF BUILDING FOOTPRINT 58.4% OF LOT FOOTPRINT
5 <sup>th</sup> FLOOR AREA:	1358.2 SF	39.9% OF BUILDING FOOTPRINT 24.9% OF LOT FOOTPRINT

**EXTERIOR MATERIAL IMAGES / LEGEND**

	+	= BLACK METAL EXTERIOR TRIPLE PANED WINDOWS (+ DRAWING LEGEND)
	+	= CARBON OR ONYX LUX CHANNEL PANELS (+ DRAWING LEGEND)
	+	= DARK SILVER METAL PANELS (+ DRAWING LEGEND)
	+	= OMBREA ANNODIZED BRONZE PANELS (+ DRAWING LEGEND) FOR PRIVACY WALLS
	+	= WHITE / LIGHT GREY STONE (+ DRAWING LEGEND)
		= SAMPLE BLACK METAL FRAMED GLASS RAILINGS
		= APPROXIMATE STUCCO COLOUR

THIS ELEVATION IS SHOWN ON A PLAIN PERPENDICULAR TO THE NORTH TO SOUTHEAST PROPERTY LINE (LOOKING TOWARDS THE NORTH WEST FROM GLADSTONE ROAD NW)

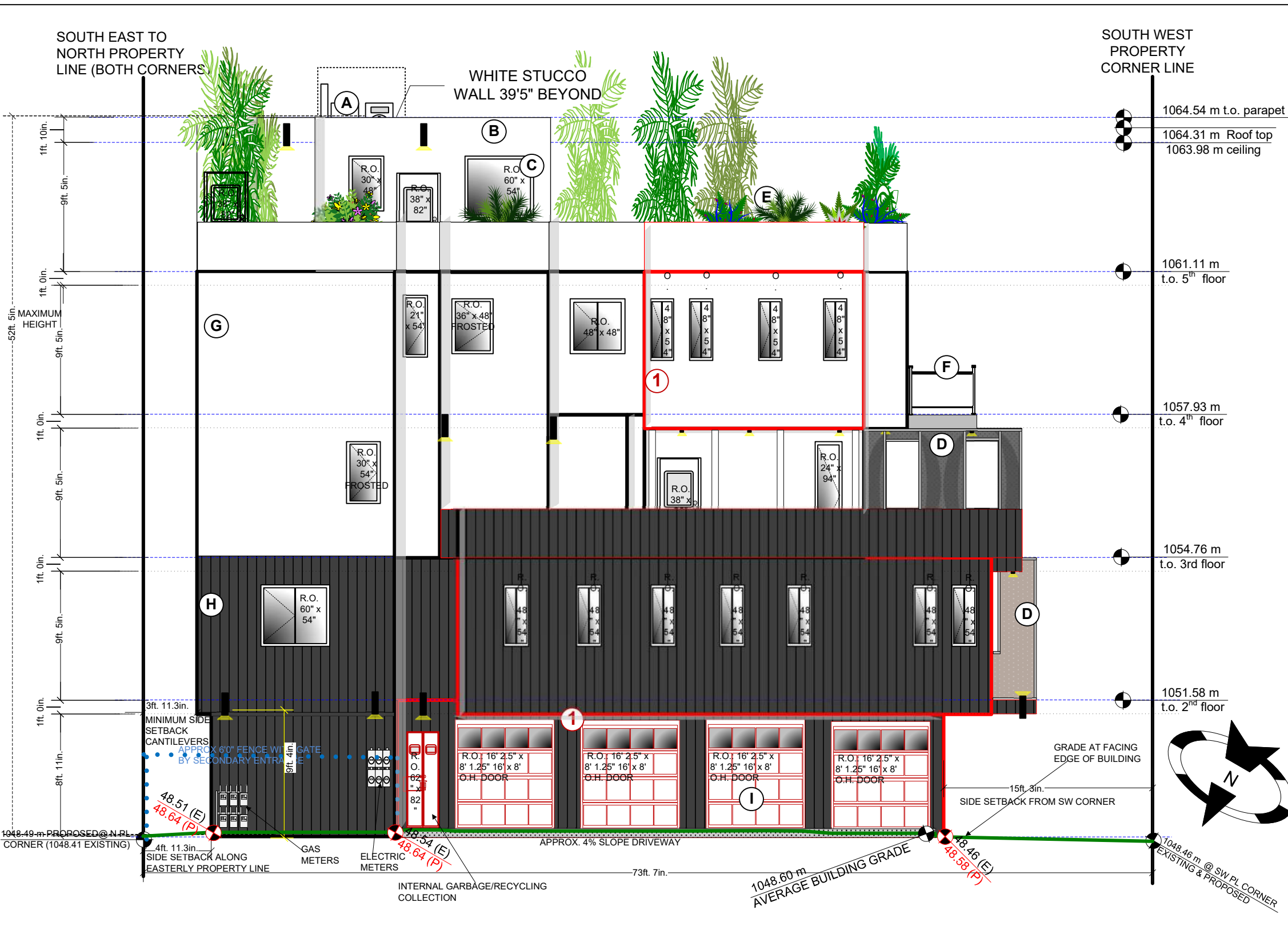


**ANGLED WALL WIDTH:**  
 WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS RIGHT / CLOCKWISE (NORTH) 27 DEGREES. THE ACTUAL WALL FACE LENGTHS ARE 19'2" 1<sup>st</sup> / 15'2" 2<sup>nd</sup> BUT ON THIS HORIZONTAL PLANE THEY REPRESENT 17'1" 1<sup>st</sup> / 13'7" 2<sup>nd</sup> OF LENGTH.

- NOTES:**
- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
  - ALL ELEMENTS ON PLAN ARE PROPOSED.
  - SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
  - SEE GRADING PLAN FOR ELEVATION DETAILS.
  - PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
  - NO RETAINING WALLS PROPOSED.

**Willow Valley Developments Ltd**

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
SCALE SIDES: 1/8"=1'	DATE: 2025/11/30
FRONT / SE (FACING NW) ELEVATION	DRAWING NO: <b>A6.1</b>

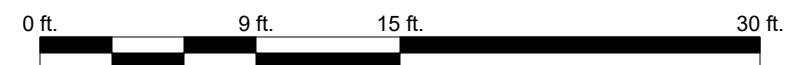


EXTERIOR FINISH LEGEND	
(A)	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
(B)	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
(C)	BLACK METAL TRIMMED WINDOWS/DOORS
(D)	ILLUMINATED OMBREA METAL PANELS
(E)	IRRIGATED FLORA
(F)	BLACK METAL / GLASS RAILINGS
(G)	OFF WHITE STUCCO
(H)	ONYX BLACK / CARBON METAL PANELS
(I)	OVERHEAD DOORS ( ESTEEM SERIES W/ CUSTOMIZED GLASS)

LIGHTS	
	= 75-100 WATT WALL LIGHTS @ APPROX 9'4" ABOVE GRADE
	= 75-100 WATT POT LIGHTS @ APPROX 9'4" ABOVE GRADE

FOOTPRINT / AREA SUMMARIES	
1 <sup>st</sup> FLOOR AREA:	2987.5 SF
87.9% OF BUILDING FOOTPRINT	54.7% OF LOT FOOTPRINT
2 <sup>nd</sup> FLOOR AREA:	3400.6 SF
100% OF BUILDING FOOTPRINT	62.3% OF LOT FOOTPRINT
3 <sup>rd</sup> FLOOR AREA:	2691.7 SF
79.1% OF BUILDING FOOTPRINT	49.3% OF LOT FOOTPRINT
4 <sup>th</sup> FLOOR AREA:	3188.5 SF
93.8% OF BUILDING FOOTPRINT	58.4% OF LOT FOOTPRINT
5 <sup>th</sup> FLOOR AREA:	1358.2 SF
39.9% OF BUILDING FOOTPRINT	24.9% OF LOT FOOTPRINT

EXTERIOR MATERIAL IMAGES / LEGEND	
	= BLACK METAL EXTERIOR TRIPLE PANED WINDOWS (+ DRAWING LEGEND)
	= CARBON OR ONYX LUX CHANNEL PANELS (+ DRAWING LEGEND)
	= DARK SILVER METAL PANELS (+ DRAWING LEGEND)
	= OMBREA ANNOIDIZED BRONZE PANELS (+ DRAWING LEGEND) FOR PRIVACY WALLS
	= WHITE / LIGHT GREY STONE (+ DRAWING LEGEND)
	= SAMPLE BLACK METAL FRAMED GLASS RAILINGS
	= APPROXIMATE STUCCO COLOUR



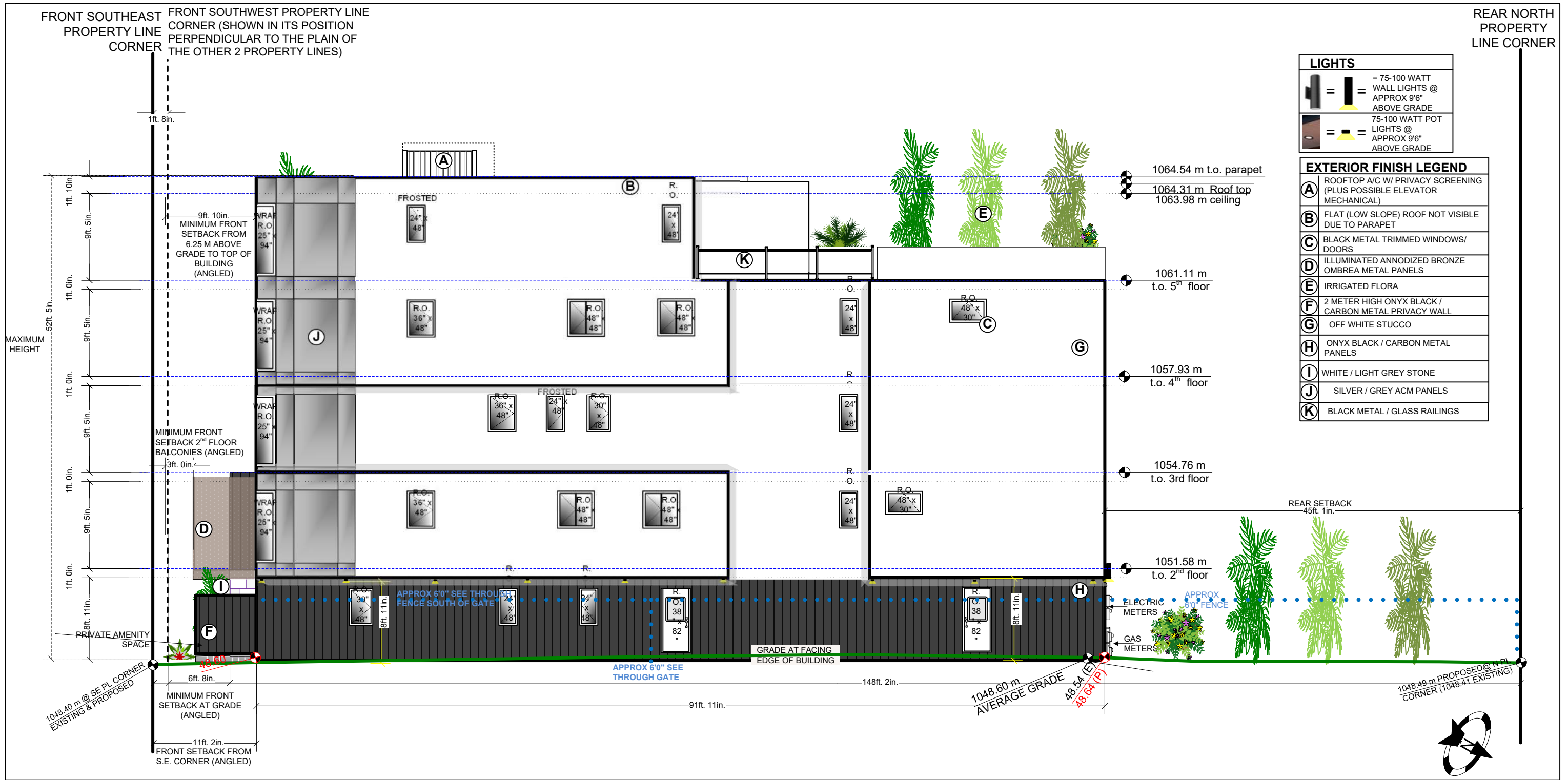
**ANGLED WALLS:** WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS LEFT /COUNTER CLOCKWISE (SOUTH) 63 DEGREES. THE ACTUAL WALL FACE LENGTHS ARE 88'2" 1<sup>st</sup> / 86'2" 2<sup>nd</sup> / 35'4" 4<sup>th</sup> BUT ON THIS HORIZONTAL PLANE THEY REPRESENT 39'9" 1<sup>st</sup> / 38'11" 2<sup>nd</sup> / 15'11" OF LENGTH.

- NOTES:**
- AT GRADE LANDSCAPING NOT SHOWN ON THIS ELEVATION AS IT WOULD OBSCURE BUILDING. ALL AT GRADE PLANTINGS VISIBLE ON ONE OR MORE OF THE OTHER ELEVATIONS
  - THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
  - ALL ELEMENTS ON PLAN ARE PROPOSED.
  - SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
  - SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
  - NO RETAINING WALLS PROPOSED.

THIS ELEVATION IS SHOWN ON A PLAIN PERPENDICULAR TO THE NORTH TO SOUTHEAST PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE SOUTH EAST TOWARDS THE STREET FROM THE ALLEY)

**Willow Valley Developments Ltd**

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
SCALE SIDES: 1/8"=1'	DATE: 2025/11/30
REAR / NW (FACING SE) ELEVATION	DRAWING NO: <b>A6.2</b>



LIGHTS	
	= 75-100 WATT WALL LIGHTS @ APPROX 9'6" ABOVE GRADE
	= 75-100 WATT POT LIGHTS @ APPROX 9'6" ABOVE GRADE

EXTERIOR FINISH LEGEND	
(A)	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
(B)	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
(C)	BLACK METAL TRIMMED WINDOWS/DOORS
(D)	ILLUMINATED ANNOXIDIZED BRONZE OMBREA METAL PANELS
(E)	IRRIGATED FLORA
(F)	2 METER HIGH ONYX BLACK / CARBON METAL PRIVACY WALL
(G)	OFF WHITE STUCCO
(H)	ONYX BLACK / CARBON METAL PANELS
(I)	WHITE / LIGHT GREY STONE
(J)	SILVER / GREY ACM PANELS
(K)	BLACK METAL / GLASS RAILINGS

**GLAZING AREA CALCULATIONS**  
**WALL AREA @ 1.2m-3m FROM PL : 413.37 m<sup>2</sup>**  
 GLAZING AREA:

1 <sup>st</sup> FLOOR:	1.90+1.90+0.74+0.74+0.93= 6.22 m <sup>2</sup>
2 <sup>nd</sup> FLOOR:	0.93+0.74+1.49+1.49+1.11+1.52 = 7.28 m <sup>2</sup>
3 <sup>rd</sup> FLOOR:	0.74+0.93+0.74+1.11+1.52 = 5.05 m <sup>2</sup>
4 <sup>th</sup> FLOOR:	0.93+0.74+1.49+1.49+1.11+1.52 = 7.28 m <sup>2</sup>
5 <sup>th</sup> FLOOR:	0.74+0.74+1.52 = 3.00 m <sup>2</sup>
<b>TOTAL:</b>	<b>28.83 m<sup>2</sup></b>
<b>TOTAL AS A PERCENTAGE:</b>	<b>6.97 %</b>

**NOTES:**

- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
- ALL ELEMENTS ON PLAN ARE PROPOSED.
- SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
- SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK.
- NO RETAINING WALLS PROPOSED.



THIS ELEVATION IS SHOWN ON A PLAIN PARALLEL TO THE FRONT SOUTHEAST TO NORTH REAR PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE SOUTHWEST FROM THE SHARED PROPERTY LINE WITH 1128 GLADSTONE ROAD NW)

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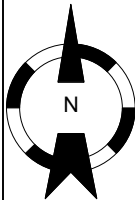
<b>DEVELOPMENT PERMIT APPLICATION</b>	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
SCALE SIDES: 3/32"=1'	DATE: 2025/11/30
<b>SIDE / NE (FACING SW) ELEVATION</b>	<b>DRAWING NO: A6.3</b>





**NOTES:**

- IN THIS SHADOW STUDY, NEIGHBOURING PROPERTIES TO THE EAST AND WEST HAVE NOT BEEN MODELLED 3 DIMENSIONALLY. ONLY THEIR OUTLINES ARE SHOWN IN THIS DRAWING TO KEEP THE SUBJECT BUILDING'S IMPACT IN FOCUS.
- DUE TO THIS LOT'S SHAPE AS A TRIANGLE COMING TO ITS POINT TO THE NORTH, ITS SHADOW IMPACT ON THE SINGLE FAMILY HOMES IS MINIMAL FOR A BUILDING OF THIS HEIGHT.
- THE APPROVED MULTIFAMILY BUILDING TO THE NORTH AND EAST HAS A LARGER FOOTPRINT THAN THIS PROPOSED PROJECT AND ITS SHADOW WILL BE CAST OVER MANY SHADOWS THAT THE 1130 GLADSTONE ROAD PROJECT COULD CAST ON THE SINGLE FAMILY HOMES.
- THE SHADOW THIS PROJECT CASTS ON THE APPROVED MULTIFAMILY PROJECT TO THE NORTH AND EAST WILL PRIMARILY HIT THE SIDE ELEVATION BUILDING FACE IN THE AFTERNOON



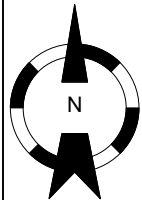
**Willow Valley Developments Ltd**

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
<b>SHADOW PLAN: EQUINOXES</b>	DATE: 2025/12/12
DRAWING NO: <b>A8.1</b>	



**NOTES:**

- IN THIS SHADOW STUDY, NEIGHBOURING PROPERTIES TO THE EAST AND WEST HAVE NOT BEEN MODELLED 3 DIMENSIONALLY. ONLY THEIR OUTLINES ARE SHOWN IN THIS DRAWING TO KEEP THE SUBJECT BUILDING'S IMPACT IN FOCUS.
- DUE TO THIS LOT'S SHAPE AS A TRIANGLE COMING TO ITS POINT TO THE NORTH, ITS SHADOW IMPACT ON THE SINGLE FAMILY HOMES IS MINIMAL FOR A BUILDING OF THIS HEIGHT.
- THE APPROVED MULTIFAMILY BUILDING TO THE NORTH AND EAST HAS A LARGER FOOTPRINT THAN THIS PROPOSED PROJECT AND ITS SHADOW WILL BE CAST OVER MANY SHADOWS THAT THE 1130 GLADSTONE ROAD PROJECT COULD CAST ON THE SINGLE FAMILY HOMES.
- THE SHADOW THIS PROJECT CASTS ON THE APPROVED MULTIFAMILY PROJECT TO THE NORTH AND EAST WILL PRIMARILY HIT THE SIDE ELEVATION BUILDING FACE IN THE AFTERNOON



	<b>Willow Valley Developments Ltd</b>	
	DEVELOPMENT PERMIT APPLICATION PLAN 5609J BLOCK Q LOT 17&18 1130 / 1132 GLADSTONE ROAD NW	
<b>SHADOW PLAN: SOLSTICES</b>	DATE: 2025/12/16 DRAWING NO: <b>A8.2</b>	