



ryan schmidt



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Willow Valley Developments Ltd



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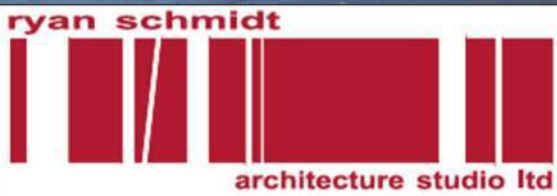
DEVELOPMENT PERMIT APPLICATION

1130/1132 GLADSTONE ROAD NW

PLAN 5609J BLOCK Q LOT 18

DATE:2025/04/22

3D RENDERING 1 of 3: FRONT ELEVATION



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DEVELOPMENT PERMIT APPLICATION

1130/1132 GLADSTONE ROAD NW

PLAN 5609J BLOCK Q LOT 17 & 18

DATE:2025/04/22

3D RENDERING 2 of 3: FRONT AND EAST ELEVATION



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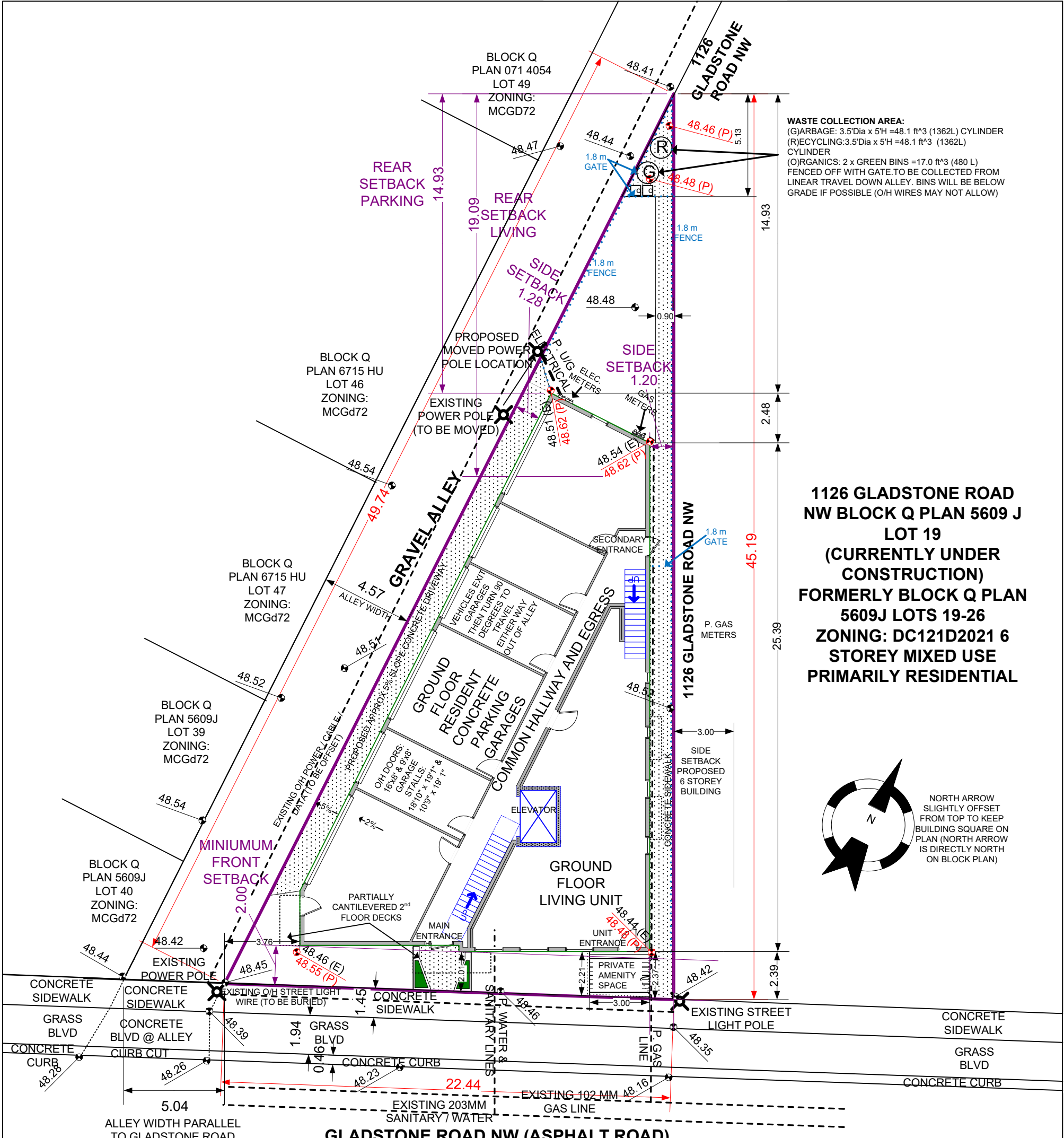
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DEVELOPMENT PERMIT APPLICATION

1130/1132 GLADSTONE ROAD NW
PLAN 5609J BLOCK Q LOT 17 & 18

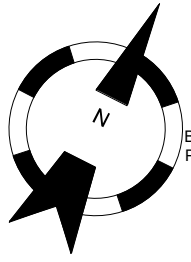
DATE:2025/04/22

3D RENDERING 3 OF 3: ALLEY ELEVATION



WASTE COLLECTION AREA:
 (G)ARBAGE: 3.5'Dia x 5'H = 48.1 ft³ (1362L) CYLINDER
 (R)ECYCLING: 3.5'Dia x 5'H = 48.1 ft³ (1362L) CYLINDER
 (O)RGANICS: 2 x GREEN BINS = 17.0 ft³ (480 L)
 FENCED OFF WITH GATE. TO BE COLLECTED FROM LINEAR TRAVEL DOWN ALLEY. BINS WILL BE BELOW GRADE IF POSSIBLE (O/H WIRES MAY NOT ALLOW)

**1126 GLADSTONE ROAD
 NW BLOCK Q PLAN 5609 J
 LOT 19
 (CURRENTLY UNDER
 CONSTRUCTION)
 FORMERLY BLOCK Q PLAN
 5609J LOTS 19-26
 ZONING: DC121D2021 6
 STOREY MIXED USE
 PRIMARILY RESIDENTIAL**



NORTH ARROW
 SLIGHTLY OFFSET
 FROM TOP TO KEEP
 BUILDING SQUARE ON
 PLAN (NORTH ARROW
 IS DIRECTLY NORTH
 ON BLOCK PLAN)

LEGEND

- = MAIN FLOOR WINDOW
- = MAIN FLOOR DOOR
- = MAIN FLOOR O/H DOOR
- = MAIN FLOOR/PARKING OUTLINE
- = GROUND LEVEL AMENITY SPACE
- = PARTIALLY CANTILEVERED BALCONY OR CANTILEVER
- = POWER POLE /
- = BUILDING SETBACKS FROM PROPERTY LINE
- = LOT DIMENSIONS
- = EXISTING GEODETIC ELEVATION (48.26 IS 1048.26 m ABOVE SEA LEVEL).
- = PROPOSED ELEVATIONS. MOSTLY DISPLAYED ON DRAINAGE PLAN
- = 1.8 M HIGH FENCE / GATE

NOTES:

- ALL ELEMENTS WITHIN LOT (EXCEPT CURRENT ELEVATIONS ARE PROPOSED)
- SEE CPTD PLAN FOR LIGHTING LOCATIONS AND FIXTURES.
- SEE GRADING/DRAINAGE PLAN FOR ALL GEODETIC ELEVATIONS AND SLOPES
- GEODETIC ELEVATIONS AT LOT CORNERS TO REMAIN AS THEY ARE
- NO EASEMENTS, SECTION 53 RIGHT OF WAY SETBACKS APPLICABLE
- NO HYDRANTS, UTILITY BOXES, BUS STOPS, STREET SIGNS, STREET FURNITURE, PARKING METERS, MEDIANS, OR PEDESTRIAN CROSSWALKS ADJACENT
- NO CATCH BASINS OR AT GRADE MECHANICAL EQUIPMENT (A/C ON ROOF)
- OUTSIDE FLOODWAY, FLOOD FRINGE, OVERFLOW AREA
- NO ABANDONED GAS/ OIL WELLS OR RETAINING WALLS,
- NO CURB CUTS TO BE ALTERED, NO PUBLIC TREES EXISTING OR ALLOWED
- 3 POWER POLES / LIGHT STANDARDS ADJACENT
- ONE PUBLICLY LOCATED POWER POLE TO BE MOVED, ONE STREET LIGHT POWER LINE TO BE BURIED, ONE RUN OF POWER TO BE OFFSET
- TOTAL ELEVATION CHANGE UNDER 0.5m
- DRIVEWAY/ ENTRANCE SLOPES <5%. SEE DRAINAGE PLAN. ALL OTHER SLOPES < 2%
- FIREFIGHTING FROM GLADSTONE ROAD NW OR EITHER DIRECTION OF ALLEY
- BICYCLE PARKING EXPECTED IN PRIVATE GARAGES & PRIVATE BALCONIES (TBD)
- STREET DIRECTLY IN FRONT CAN ACCOMMODATE 3 - 4 VISITOR PARKING SPOTS

SETBACK SUMMARY

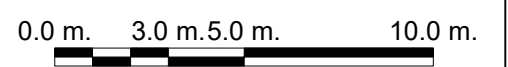
- THE MINIMUM FRONT SETBACK IS 2.00 M
- THE NEIGHBOUR SIDE SETBACK IS 1.20 M
- THE MINIMUM ALLEY SIDE SETBACK IS 1.28 M
- THE MINIMUM REAR SETBACK OF THE PARKING GARAGE IS 14.93 M
- THE MINIMUM REAR SETBACK OF THE LIVING AREA IS 19.09 M

UNITS:

OF UNITS: 7
 LOT AREA: 507.03 m²
 U.P.H.: 138.1
 BUILDING AREA: 321.85 m²
 PARCEL COVERAGE: 63.48%
 G.F.A.: 1464.77 m²
 F.A.R.: 2.89

PARKING:

9 STALLS = 1.29 STALLS PER UNIT



F.A.R. CALCULATIONS
 LOT AREA: 45.19m x 22.44m /2 = 507.032m²

FLOOR 1:	321.85 m²
FLOOR 2:	305.69 m²
FLOOR 3:	239.76 m²
FLOOR 4:	216.79 m²
FLOOR 5:	189.70 m²
FLOOR 6:	189.70 m²
TOTAL G.F.A.:	1463.48 m²
F.A.R.:	2.89

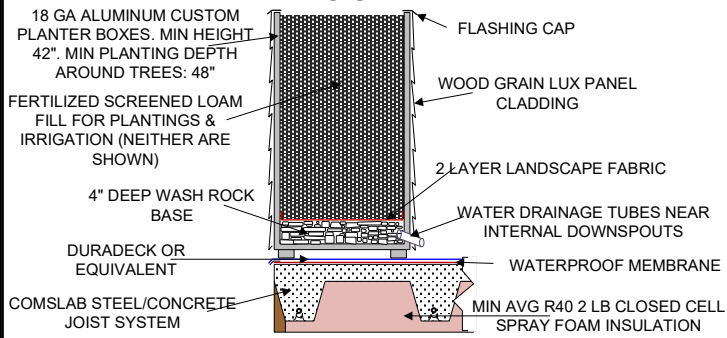
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 Ph: 403-869-8610

Drawn by: Glenn Wierzba 403-869-8610

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE: 2025/04/22	SCALE: 1:200
SITE PLAN	DRAWING NO: A2.1

ABOVE GRADE LANDSCAPING CROSS SECTION: NOT TO SCALE



0.0 m. 6.0 m. 10.0 m. 20.0 m.

LANDSCAPING AREA CONCEPTS

GENERAL CONCEPTS:

- PLANTINGS WILL CONSIST OF A VARIETY OF SPECIES WITH THE FOLLOWING CONCEPTS:
- 1) PROVIDE VARYING COLOURS AND VISUAL INTEREST THROUGHOUT THE GROWING SEASON
 - 2) PROVIDE FRUIT AND FLOWER BEARING TREES FOR RESIDENTS, WILDLIFE, AND POLINATORS
 - 3) PLACE PLANTINGS ACCORDING TO SUN REQUIREMENTS
 - 4) PROVIDE PRIVACY FOR RESIDENTS AND NEIGHBOURS
 - 5) TREES THAT ARE COMPATIBLE WITH POWER LINE PROXIMITY

AREA A: AT GRADE COMMON FRONT YARD SPACE

A THICK, TALL SHRUB WEST OF THE GROUND FLOOR AMENITY SPACE FOR PRIVACY AND SHADE. BOXED PLANTINGS BESIDE ENTRANCE TO ACCENTUATE ENTRANCE. SMALLER SHRUBS ON THE SOUTHWEST END WHICH WILL GROW TO A MATURE HEIGHT THAT DOES NOT IMPEDE THE VIEW OF PEDESTRIANS AND VEHICLES AT THE ALLEY INTERSECTION. THE REMAINING AREA WILL BE GRASS.

AREA B: AT GRADE COMMON BACK YARD GATHERING / SEATING / PLANTING SPACE

5 MEDIUM SIZED TREES WILL BE PLANTED ALONG THE EAST EDGE TO PROVIDE PRIVACY FROM THE LARGE NEIGHBOURING BUILDING TO THE EAST. TREES WILL SCREEN THE SERVICE METERS AND THE FENCED GARBAGE COLLECTION AREA. THE REMAINING AREA WILL BE GRASS WITH A PAVED SEATING AREA WITH A NATURAL GAS FIREPLACE AND LAMP. TREE HEIGHTS WILL CONFORM WITH ENMAX RULES NEAR OVERHEAD POWER LINES. (OVERHEAD POWERLINES TO BE OFFSET FURTHER INTO THE ALLEY TO ACCOMMODATE BUILDING)

AREA C: ABOVE GRADE PRIVATE AMENITY SPACE

THE ABOVE GRADE LANDSCAPING IS CONTAINED IN CUSTOM BUILT ALUMINUM PLANTERS WITH SMALL TREES AND MID SIZED SHRUBS OF VARYING SPECIES TO CREATE VISUAL INTEREST & PRIVACY FOR RESIDENTS AND WESTERN NEIGHBOURS. SPACE WILL BE LEFT FOR URBAN AGRICULTURE.

TREE AND SHRUB DETAIL LEGEND

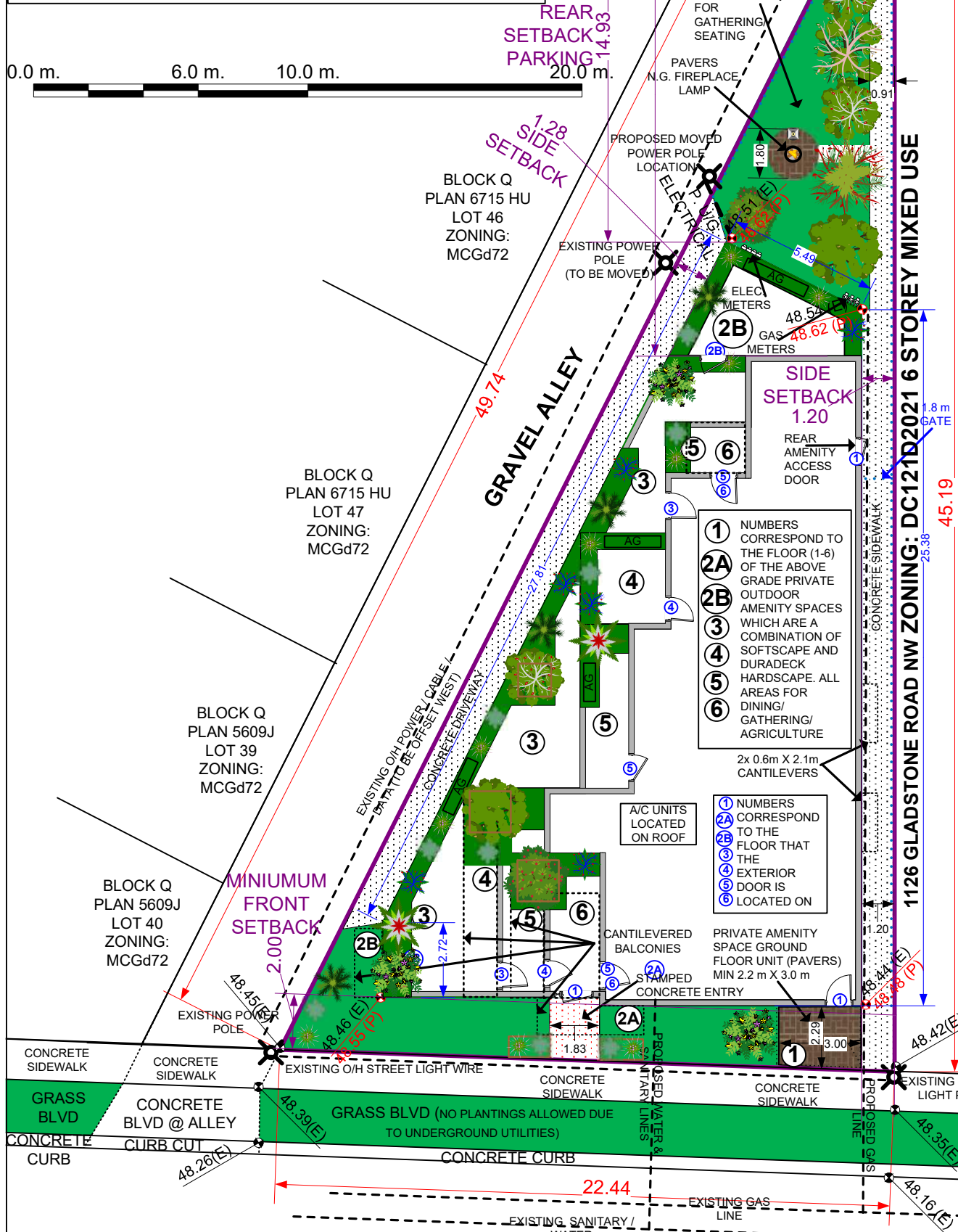
TREES (5 REQ'D REGULAR, 8 REQ'D ENHANCED)

SPECIES	QUANTITY	CALIPER	RATIONALE
TOBA HAWTHORN	1	85 mm*	ATTRACTS BIRDS, SPRING BLOOM
PRINCESS KAY PLUM	3	85 mm*	SPRING BLOOM FALL COLOURS
AUTUMN BRILLIANCE SERVICEBERRY	1	85 mm*	EDIBLE BERRIES, SPRING BLOOM FALL COLOURS
SHOWY MOUNTAIN ASH	2	85 mm*	4 SEASONS, BERRIES FOR WILDLIFE
AMUR MAPLE	2	85 mm*	SPRING AND FALL COLOURS

SHRUBS (9 REQ'D REG., 15 REQ'D ENHANCED)

SPECIES	QUANTITY	HEIGHT/SPREAD	RATIONALE
GLOBE BLUE SPRUCE	8	0.6 m*	YEAR ROUND FOILAGE
CHERRY PRINSEPIA	6	0.6 m*	EDIBLE FRUIT, FLOWERS, EARLY LEAVES
MUGO PINE	3	0.6 m*	YEAR ROUND FOILAGE
AMERICAN Highbush CRANBERRY	4	0.6 m*	EDIBLE FRUIT, SPRING, FALL COLOURS
POTENTILLA	8	0.6 m*	SPRING TILL FROST BLOOM
NANNYBERRY	2	0.6 m*	EDIBLE FRUIT, SPRING, FALL COLOURS

*NOTE: A MINIMUM OF 8 TREES WILL HAVE AT LEAST A 85mm CALIPER AND A MINIMUM OF 15 SHRUBS WILL HAVE A HEIGHT/SPREAD OF 0.6m



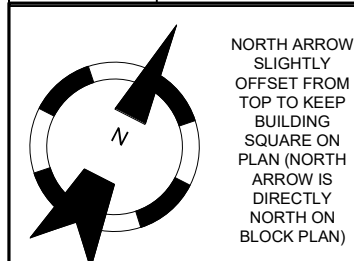
- ① NUMBERS CORRESPOND TO THE FLOOR (1-6) OF THE ABOVE GRADE PRIVATE OUTDOOR AMENITY SPACES WHICH ARE A COMBINATION OF SOFTSCAPE AND DURADECK HARDSCAPE. ALL AREAS FOR DINING/ GATHERING/ AGRICULTURE
- ②A NUMBERS CORRESPOND TO THE FLOOR THAT THE EXTERIOR DOOR IS LOCATED ON
- ②B NUMBERS CORRESPOND TO THE FLOOR THAT THE EXTERIOR DOOR IS LOCATED ON

- ① NUMBERS CORRESPOND TO THE FLOOR (1-6) OF THE ABOVE GRADE PRIVATE OUTDOOR AMENITY SPACES WHICH ARE A COMBINATION OF SOFTSCAPE AND DURADECK HARDSCAPE. ALL AREAS FOR DINING/ GATHERING/ AGRICULTURE
- ②A NUMBERS CORRESPOND TO THE FLOOR THAT THE EXTERIOR DOOR IS LOCATED ON
- ②B NUMBERS CORRESPOND TO THE FLOOR THAT THE EXTERIOR DOOR IS LOCATED ON

LEGEND

	= DOOR		= (E)XISTING & (P)ROPOSED GEODETIC ELEVATIONS 48.44 IS 1048.44 m ABOVE SEA LEVEL
	= FENCE / GATE		= EXISTING (OR 1 MOVING) POWER OR LIGHT POLE
	= AT GRADE SOFT LANDSCAPING AREA		= PRIVATE AMENITY SPACE BY FLOOR
	= ABOVE GRADE SOFT LANDSCAPING AREA		= FLOOR # THAT DOOR IS ON
	= CANTILEVERED BALCONY OR ROOM		= GAS METER
	= AT GRADE CONCRETE		= URBAN AGRICULTURE SPACE
	= AT GRADE PAVERS		= ELECTRICAL METER
	= OUTDOOR SPACE DIMENSION		= LAMP
	= DIMENSIONS SETBACK		= GAS FIREPLACE
	= DIMENSIONS BUILDING OUTLINE		
	= DIMENSIONS LOT LINES		

- NOTES:**
- ALL VEGETATION & OTHER ELEMENTS WITHIN LOT ARE PROPOSED
 - NO EASEMENTS, RETAINING WALLS, BERMS, DETACHED BUILDINGS, INTERIOR UTILITY R.O.W.'s, PARKADE VENTS, OR A/C UNITS IN LANDSCAPING AREA
 - TOTAL GRADE CHANGE UNDER 0.2 m IN LANDSCAPED AREAS
 - NO PUBLIC TREES EXISTING OR ALLOWED DUE TO U/G PUBLIC UTILITIES
 - BIKE STORAGE IN PRIVATE GARAGES AND/OR LARGE BALCONIES
 - ALL AT AND ABOVE GRADE SOFTSCAPE AREAS WILL BE IRRIGATED BY AUTOMATIC IRRIGATION WITH A COMBINATION OF DRIP AND SURFACE SPAY METHODS
 - GARBAGE/RECYCLING AREA SCREENED BY TREE AND WOOD GATE/ FENCE. ELECTRICAL/GAS METERS SCREENED BY TREES
 - ALL LANDSCAPING, INCLUDING ABOVE GRADE LANDSCAPING WILL BE INSTALLED BY THE DEVELOPER WITH A MAINTENANCE AGREEMENT WRITTEN INTO THE HOMEOWNERS ASSOCIATION
 - MULCH WILL BE PLACED AROUND TREES AND SHRUBS
 - DEVELOPMENT QUALIFIES FOR 554 STREET ORIENTED REDUCTION (LOWER OF 4% OF 507.03m²=20.28m² & 2*22.44m FRONTAGE = 44.88m²)
 - SEE DRAWING A3.2 "LANDSCAPING CALCULATIONS" AND "FLOORPLANS DETAILED" FOR CALCULATIONS OF THE LANDSCAPING AREAS. SEE DRAWINGS A8.1 & A8.2 "SHADOW PLAN(S)" FOR SHADOWS

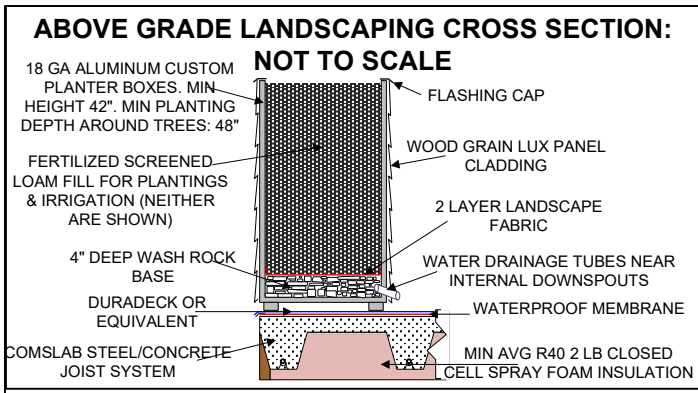


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Drawn by: Glenn Wierzba 403-869-8610

DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE: 2025/04/22	SCALE: 1:200
LANDSCAPING PLAN	DRAWING NO: A3.1



LANDSCAPING CALCULATIONS SUMMARY

LOT AREA:	507.0 m ²	100.0%
REQUIRED LANDSCAPING (554 S.O.D.):	182.5 m ²	36.0%
MINIMUM SOFTSCAPE:	91.3 m ²	18.0%
SOFTSCAPE USED:	129.6 m ²	25.6%
HARDSCAPE USED:	141.0 m ²	27.8%
MAX HARDSCAPE (50%) + SOFTSCAPE:	259.2 m ²	51.1%

LOT AREA	507.0 m ²
LANDSCAPING REQUIRED @ 40%	202.8 m ²
STREET ORIENTED DEDUCTION @ 4%	-20.3 m ²
NET LANDSCAPING REQUIRED	182.5 m ²
MAX. HARDSCAPE @ 50%	91.3 m ²
MAX CONCRETE @ 30% OF 50% = 15%	27.4 m ²
CONCRETE HARDSCAPE	
NEIGHBOUR SIDE SIDEWALK	44.6 m ²
STAMPED CONCRETE FRONT ENTRANCE	4.1 m ²
ALLOWABLE CONCRETE (15% OF TOTAL)	27.4 m²
NON CONCRETE HARDSCAPE	
REAR YARD PAVERS	4.1 m ²
GROUND UNIT AMENITY PAVERS	6.9 m ²
ABOVE GRADE AREA 2A: 65.4% OF 18.8 m ²	12.3 m ²
ABOVE GRADE AREA 3A: 69.5% OF 48.1 m ²	33.4 m ²
ABOVE GRADE AREA 3B: 68.8% OF 17.0 m ²	11.7 m ²
ABOVE GRADE AREA 4A: 69.8% OF 22.3 m ²	15.5 m ²
ABOVE GRADE AREA 4B: 65.2% OF 10.0 m ²	6.5 m ²
ABOVE GRADE AREA 5A: 69.7% OF 17.2 m ²	12.0 m ²
ABOVE GRADE AREA 5B: 69.5% OF 10.8 m ²	7.5 m ²
ABOVE GRADE AREA 5C: 69.0% OF 5.4 m ²	3.7 m ²
TOTAL ALLOWED HARDSCAPE IN m²	141.0 m²
TOTAL HARDSCAPE AS % OF LOT:	27.8 %
SOFTSCAPE AREAS	
REAR YARD R1	15.9 m ²
REAR YARD R2	6.1 m ²
REAR YARD T1	7.0 m ²
REAR YARD T2	17.0 m ²
REAR YARD T3	0.4 m ²
LESS PAVER AREA	-4.1 m ²
FRONT YARD EAST	14.4 m ²
FRONT YARD WEST LOW	19.5 m ²
FRONT YARD WEST HIGH	5.6 m ²
ABOVE GRADE AREA 2A: 34.6% OF 18.8 m ²	6.5 m ²
ABOVE GRADE AREA 3A: 30.5% OF 48.1 m ²	14.7 m ²
ABOVE GRADE AREA 3B: 31.2% OF 17.0 m ²	5.3 m ²
ABOVE GRADE AREA 4A: 30.2% OF 22.3 m ²	6.7 m ²
ABOVE GRADE AREA 4B: 34.8% OF 10.0 m ²	3.5 m ²
ABOVE GRADE AREA 5A: 30.3% OF 17.2 m ²	5.2 m ²
ABOVE GRADE AREA 5B: 30.5% OF 10.8 m ²	3.3 m ²
ABOVE GRADE AREA 5C: 31.0% OF 5.4 m ²	1.7 m ²
TOTAL SOFTSCAPE IN m²	128.7 m²
TOTAL SOFTSCAPE AS % OF LOT:	25.4 %

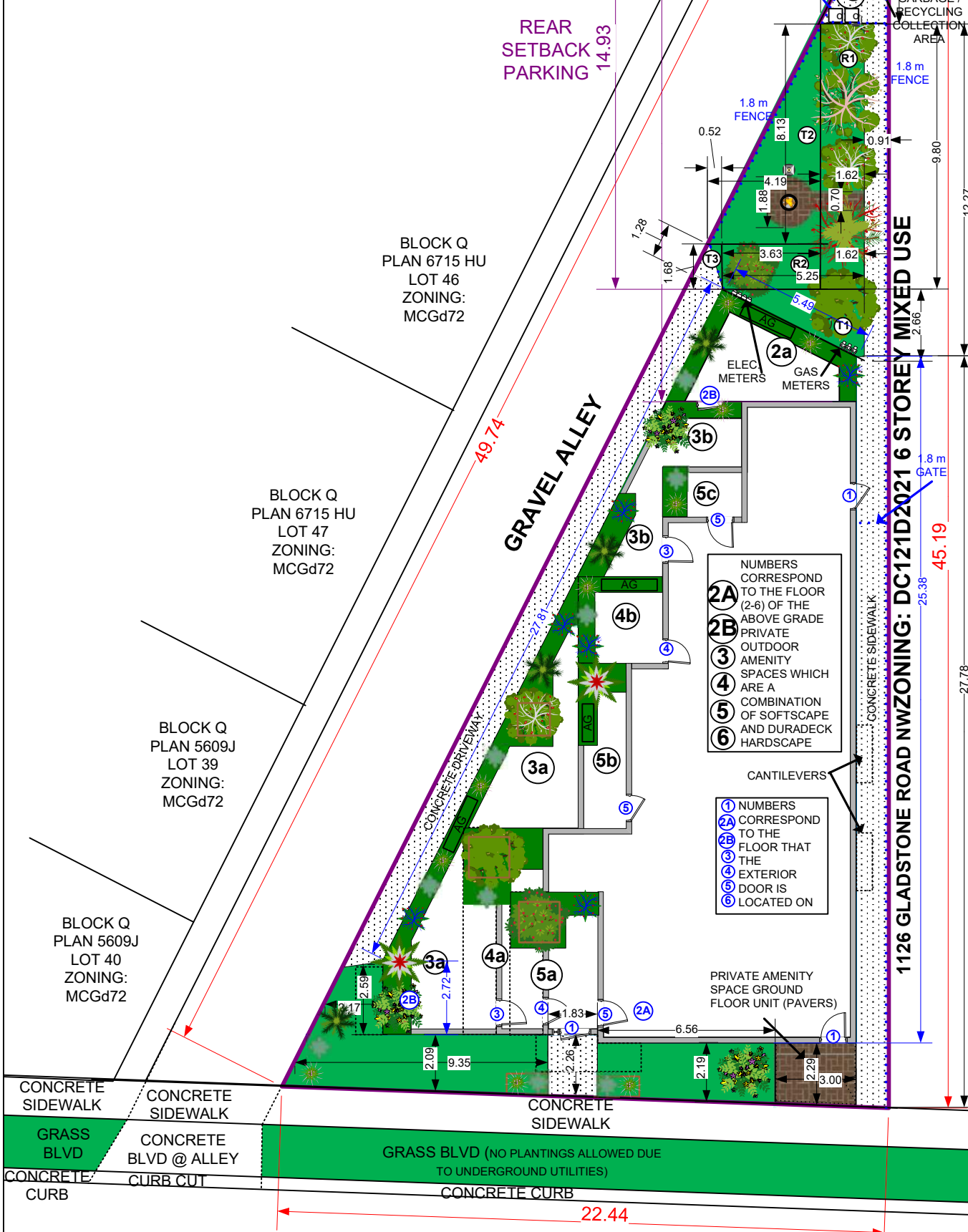
NOTE: SEE "LANDSCAPING CALCULATION DETAILS" FOR DETAILED CALCULATIONS AND SEE "FLOORPLANS DETAILED" DRAWINGS FOR DIMENSIONS OF THE ABOVE GRADE LANDSCAPE AREAS

TREE AND SHRUB DETAIL LEGEND

TREES (5 REQ'D REGULAR, 8 REQ'D ENHANCED)			
SPECIES	QUANTITY	CALIPER	RATIONALE
TOBA HAWTHORN	1	85 mm*	ATTRACTS BIRDS, SPRING BLOOM
PRINCESS KAY PLUM	3	85 mm*	SPRING BLOOM FALL COLOURS
AUTUMN BRILLIANCE SERVICEBERRY	1	85 mm*	EDIBLE BERRIES, SPRING BLOOM FALL COLOURS
SHOWY MOUNTAIN ASH	2	85 mm*	4 SEASONS, BERRIES FOR WILDLIFE
AMUR MAPLE	2	85 mm*	SPRING AND FALL COLOURS

SHRUBS (9 REQ'D REG., 15 REQ'D ENHANCED)			
SPECIES	QUANTITY	HEIGHT/SPREAD	RATIONALE
GLOBE BLUE SPRUCE	8	0.6 m*	YEAR ROUND FOILAGE
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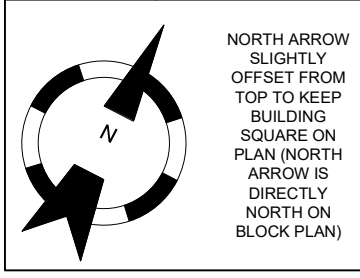
* NOTE: A MINIMUM OF 8 TREES WILL HAVE AT LEAST A 85mm CALIPRE AND A MINIMUM OF 15 SHRUBS WILL HAVE A HEIGHT/SPREAD OF 0.6m



LEGEND

	= DOOR
	= FENCE / GATE
	= AT GRADE SOFT LANDSCAPING AREA
	= ABOVE GRADE SOFT LANDSCAPING AREA
	= CANTILEVERED BALCONY/ ROOM
	= AT GRADE CONCRETE
	= AT GRADE PAVERS
	= URBAN AGRICULTURE SPACE
	= DIMENSIONS LANDSCAPING
	= DIMENSIONS BUILDING OUTLINE
	= DIMENSIONS LOT LINES

- ### NOTES:
- ALL VEGETATION & OTHER ELEMENTS WITHIN LOT ARE PROPOSED
 - NO EASEMENTS, RETAINING WALLS, BERMS, INTERIOR UTILITY R.O.W.'s, PARKADE VENTS, OR A/C UNITS IN LANDSCAPING AREA
 - TOTAL GRADE CHANGE UNDER 0.2 m IN AT GRADE LANDSCAPED AREAS
 - NO PUBLIC TREES EXISTING OR ALLOWED DUE TO U/G PUBLIC UTILITIES
 - BIKE STORAGE IN PRIVATE GARAGES AND/OR LARGE BALCONIES
 - ALL AT AND ABOVE GRADE SOFTSCAPE AREAS WILL BE IRRIGATED BY AUTOMATIC IRRIGATION WITH A COMBINATION OF DRIP AND SURFACE SPAY METHODS
 - GARBAGE/RECYCLING AREA IS SCREENED BY WOOD GATE/FENCE AND TREE.
 - ELECTRICAL/GAS METERS ARE SCREENED BY TREES
 - ALL LANDSCAPING, INCLUDING ABOVE GRADE LANDSCAPING WILL BE INSTALLED BY THE DEVELOPER WITH A MAINTENANCE AGREEMENT WRITTEN IND
 - DEVELOPMENT QUALIFIES FOR 554 STREET ORIENTED REDUCTION (LOWER OF 4% OF 507.03m²=20.28m² & 2*22.44m FRONTAGE = 44.88m²)
 - MULCH WILL BE PLACED AROUND TREES AND SHRUBS
 - SEE DRAWING A3.1 "LANDSCAPING PLAN" FOR REQUIRED DETAILS. SEE DRAWINGS A8.1 & A8.2 "SHADOW PLAN(S)" FOR SHADOWS

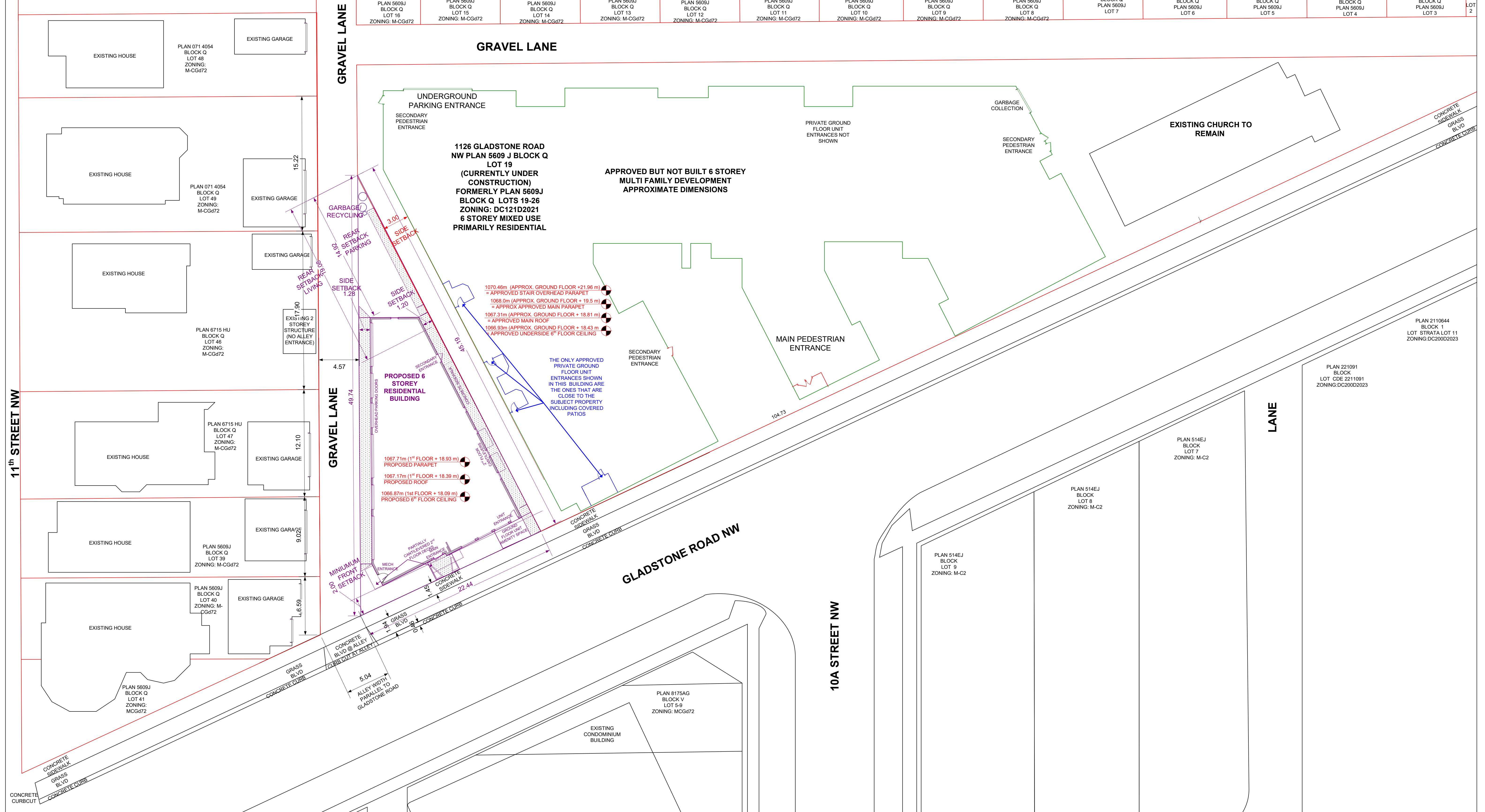


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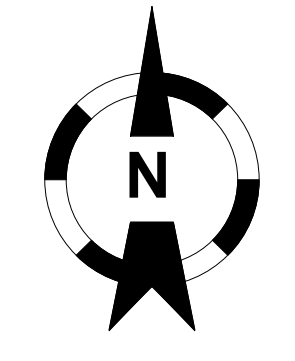
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PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
DATE: 2025/04/22	SCALE: 1:200
LANDSCAPING CALCULATIONS PLAN	DRAWING NO: A3.2

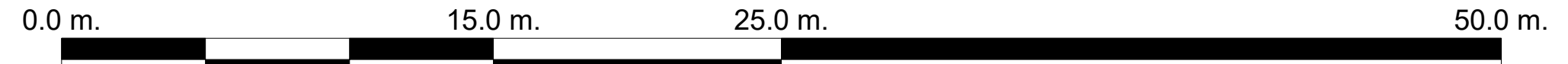


COLOUR LEGEND

- = SUBJECT PROPERTY PROPOSED BUILDING LOT OUTLINE/ BUILDING OUTLINE/ SETBACK DIMENSIONS
- = NEIGHBOURING LOT LINES
- = APPROVED BUT NOT BUILT BUILDING LOT LINES AND ENTRANCES
- = APPROVED BUILDING INDIVIDUAL ENTRANCES AND COVERED PATIOS NEAR SUBJECT PROPERTY
- = EXISTING STRUCTURES



- SETBACK SUMMARY**
- THE MINIMUM FRONT SETBACK IS 2.00 M
 - THE MINIMUM NEIGHBOUR SIDE SETBACK IS 1.20 M
 - THE MINIMUM ALLEY SIDE SETBACK IS 1.28 M
 - THE MINIMUM REAR SETBACK OF THE PARKING GARAGE IS 14.92 M
 - THE MINIMUM REAR SETBACK OF THE LIVING AREA IS 19.09 M



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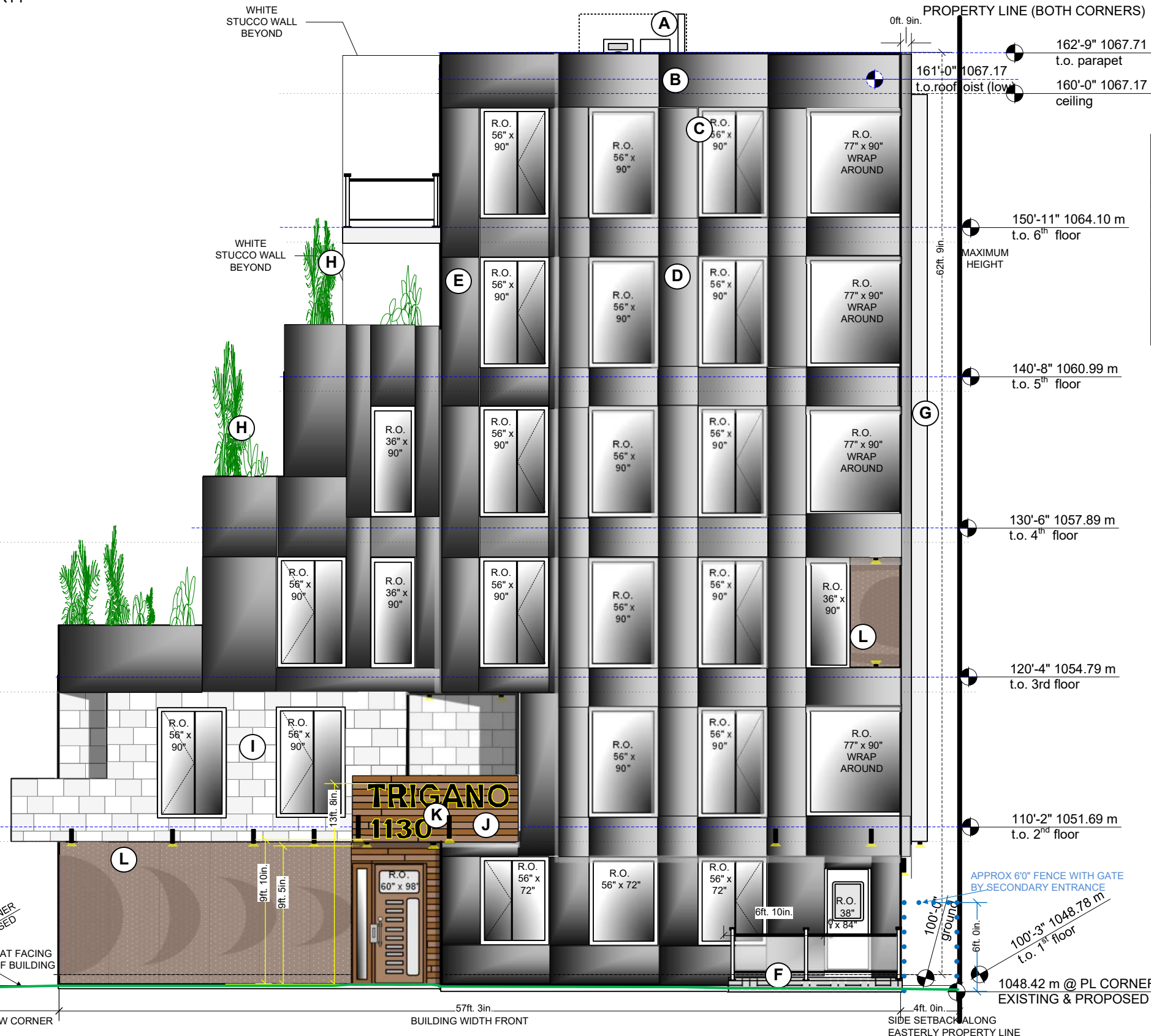
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DATE:2025/04/22	SCALE: 1:200
BLOCK PLAN	DRAWING NO: A4.1

SOUTH WEST PROPERTY CORNER LINE

SOUTH EAST TO NORTH PROPERTY LINE (BOTH CORNERS)

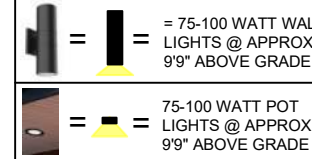



EXTERIOR FINISH LEGEND

A	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
B	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
C	BLACK METAL TRIMMED WINDOWS/DOORS
D	PROTRUDED BLACK/ CHARCOAL METAL PANELS
E	FLUSH BLACK/ CHARCOAL METAL PANELS
F	BLACK METAL / GLASS RAILINGS ON RAISED CONCRETE PAD FOR PRIVATE GROUND UNIT AMENITY SPACE
G	BLACK STUCCO (CANTILEVERS)
H	IRRIGATED FLORA
I	WHITE / LIGHT GREY STONE
J	RICH WOOD COLOUR FRONT BALCONY
K	BUILDING NAME AND NUMBER AT APPROX 10' - 13'9" ABOVE GROUND. BACK LIT, INDIVIDUALLY ATTACHED LETTERS/NUMBERS WITH OFFSETS
L	ILLUMINATED ANNOIDIZED BRONZE OMBREA METAL PANELS


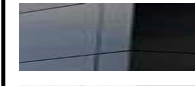
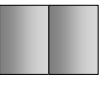



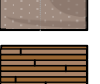

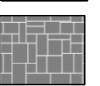




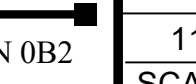
FLOOR #	AREA AS % OF LOT FOOTPRINT	% OF LOT FRONT WIDTH @ STREET
1	63 %	78 %
2	60 %	73 %
3	47 %	59 %
4	43 %	52 %
5	37 %	37 %
6	37 %	37 %

LIGHTS

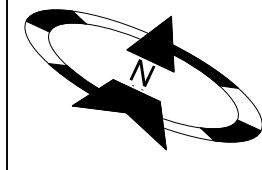


 = COMPARABLE COLOUR AND MATERIAL FRONT FACADE

EXTERIOR MATERIAL IMAGES / LEGEND

-  = BLACK METAL EXTERIOR TRIPLE PANED WINDOWS
-  +  = CHARCOAL METAL PANELS (+ DRAWING LEGEND)
-  +  = DARK SILVER METAL PANELS (+ DRAWING LEGEND)
-  +  = OMBREA ANNOIDIZED BRONZE PANELS (+ DRAWING LEGEND) (WRONG COLOUR IN PHOTO)
-  +  = RICH WOOD COLOUR METAL (SOFFIT, FRONT ENTRY, FLORA BOX CLADDING)
-  +  = WHITE / LIGHT GREY STONE (+ DRAWING LEGEND)
-  = SAMPLE BLACK METAL FRAMED GLASS RAILINGS
-  = APPROXIMATE STUCCO COLOUR MAIN
-  = APPROXIMATE STUCCO COLOUR CANTILEVERS

0 ft. 9 ft. 15 ft. 30 ft.



THIS ELEVATION IS SHOWN ON A PLAIN PERPENDICULAR TO THE NORTH TO SOUTHEAST PROPERTY LINE (LOOKING TOWARDS THE NORTH WEST FROM GLADSTONE ROAD NW)

NOTES:

- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
- ALL ELEMENTS ON PLAN ARE PROPOSED.
- SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
- SEE GRADING PLAN FOR ELEVATION DETAILS.
- PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK OR ALLEY.
- NO RETAINING WALLS PROPOSED.

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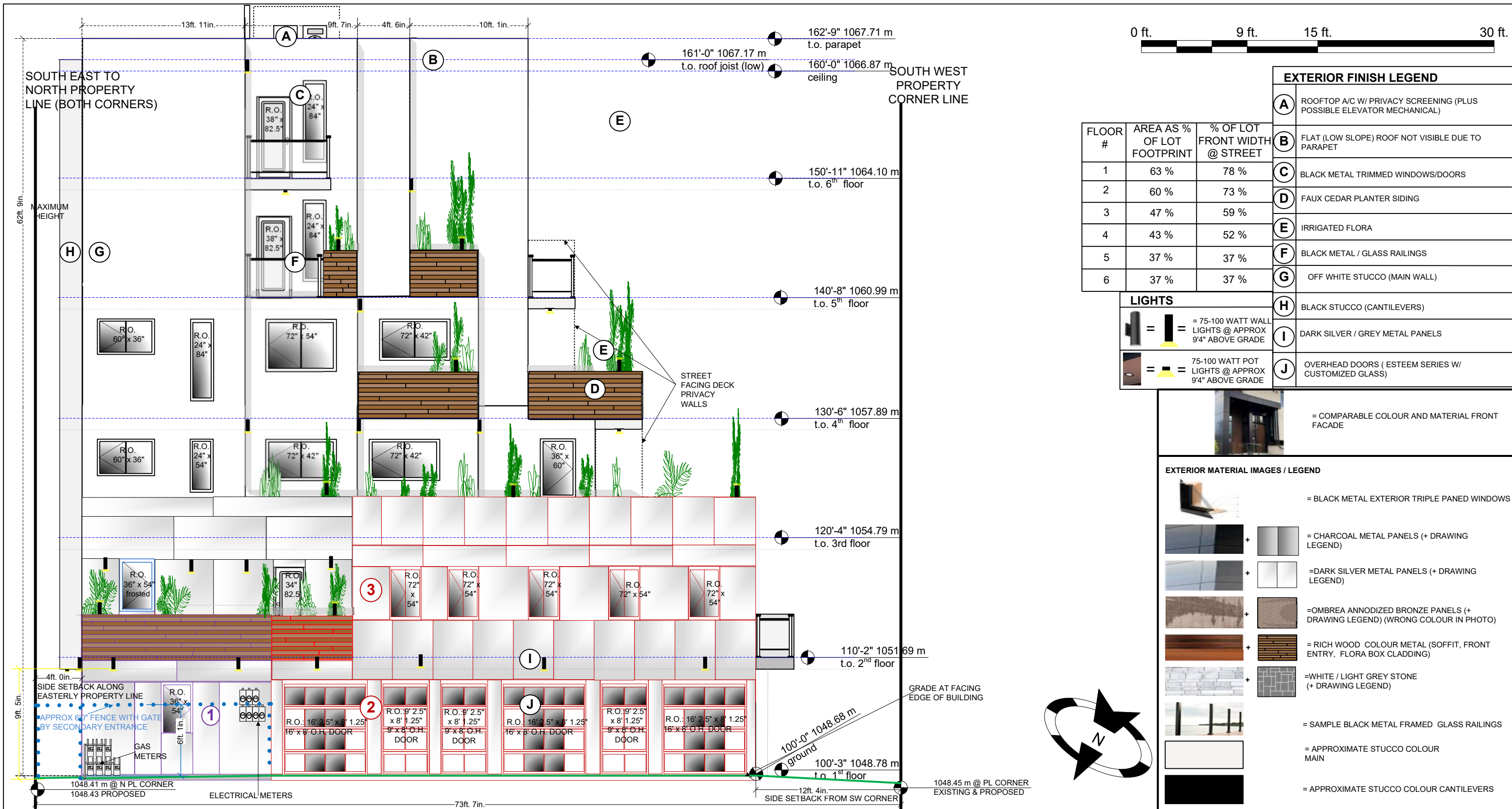


1767 1st Ave NW Calgary, AB T2N 0B2
Ph:403-869-8610

Drawn by: Glenn Wierzba 403-869-8610

DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
SCALE SIDES: 1/8"=1'	DATE: 2025/04/22
FRONT / SE (FACING NW) ELEVATION	DRAWING NO: A6.1



FLOOR #	AREA AS % OF LOT FOOTPRINT	% OF LOT FRONT WIDTH @ STREET
1	63 %	78 %
2	60 %	73 %
3	47 %	59 %
4	43 %	52 %
5	37 %	37 %
6	37 %	37 %

EXTERIOR FINISH LEGEND	
(A)	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
(B)	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
(C)	BLACK METAL TRIMMED WINDOWS/DOORS
(D)	FAUX CEDAR PLANTER SIDING
(E)	IRRIGATED FLORA
(F)	BLACK METAL / GLASS RAILINGS
(G)	OFF WHITE STUCCO (MAIN WALL)
(H)	BLACK STUCCO (CANTILEVERS)
(I)	DARK SILVER / GREY METAL PANELS
(J)	OVERHEAD DOORS (ESTEEM SERIES W/ CUSTOMIZED GLASS)

LIGHTS	
	= 75-100 WATT WALL LIGHTS @ APPROX 9'4" ABOVE GRADE
	= 75-100 WATT POT LIGHTS @ APPROX 9'4" ABOVE GRADE

EXTERIOR MATERIAL IMAGES / LEGEND	
	= BLACK METAL EXTERIOR TRIPLE PANED WINDOWS
	= CHARCOAL METAL PANELS (+ DRAWING LEGEND)
	= DARK SILVER METAL PANELS (+ DRAWING LEGEND)
	= OMBREA ANNOXIDIZED BRONZE PANELS (+ DRAWING LEGEND) (WRONG COLOUR IN PHOTO)
	= RICH WOOD COLOUR METAL (SOFFIT, FRONT ENTRY, FLORA BOX CLADDING)
	= WHITE / LIGHT GREY STONE (+ DRAWING LEGEND)
	= SAMPLE BLACK METAL FRAMED GLASS RAILINGS
	= APPROXIMATE STUCCO COLOUR MAIN
	= APPROXIMATE STUCCO COLOUR CANTILEVERS

ANGLED WALL WIDTHS:

1 GROUND FLOOR DIRECTION LEFT SIDE: WHERE THE WALL IS DRAWN IN PURPLE, THE ANGLE OF THE BUILDING TURNS RIGHT /CLOCKWISE (EAST) 27 DEGREES. THE WALL FACE LENGTH IS 18' 0" BUT ON THIS HORIZONTAL PLANE IT REPRESENTS 16' 1" OF LENGTH.

2 GROUND FLOOR DIRECTION RIGHT SIDE: WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS LEFT / COUNTER CLOCKWISE (WEST) 63 DEGREES. THE WALL FACE LENGTH IS 91' 5" BUT ON THIS HORIZONTAL PLANE IT REPRESENTS 41' 2" OF LENGTH.

2nd FLOOR DIRECTION RIGHT SIDE: WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS LEFT / COUNTER CLOCKWISE (WEST) 63 DEGREES. THE WALL FACE LENGTH IS 75' 11" BUT ON THIS HORIZONTAL PLANE IT REPRESENTS 34' 3" OF LENGTH.

NOTES:

- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
- ALL ELEMENTS ON PLAN ARE PROPOSED.
- SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
- SEE GRADING PLAN FOR ELEVATION DETAILS.
- PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK OR ALLEY.
- NO RETAINING WALLS PROPOSED.

THIS ELEVATION IS SHOWN ON A PLAIN PERPENDICULAR TO THE NORTH TO SOUTHEAST PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE SOUTH EAST TOWARDS THE STREET FROM THE ALLEY)

Willow Valley Developments Ltd

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DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18

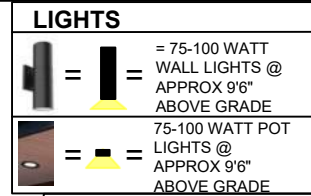
1130 / 1132 GLADSTONE ROAD NW

SCALE SIDES: 1/8"=1' DATE: 2025/04/22

REAR / NW (FACING SE) ELEVATION DRAWING NO: **A6.2**

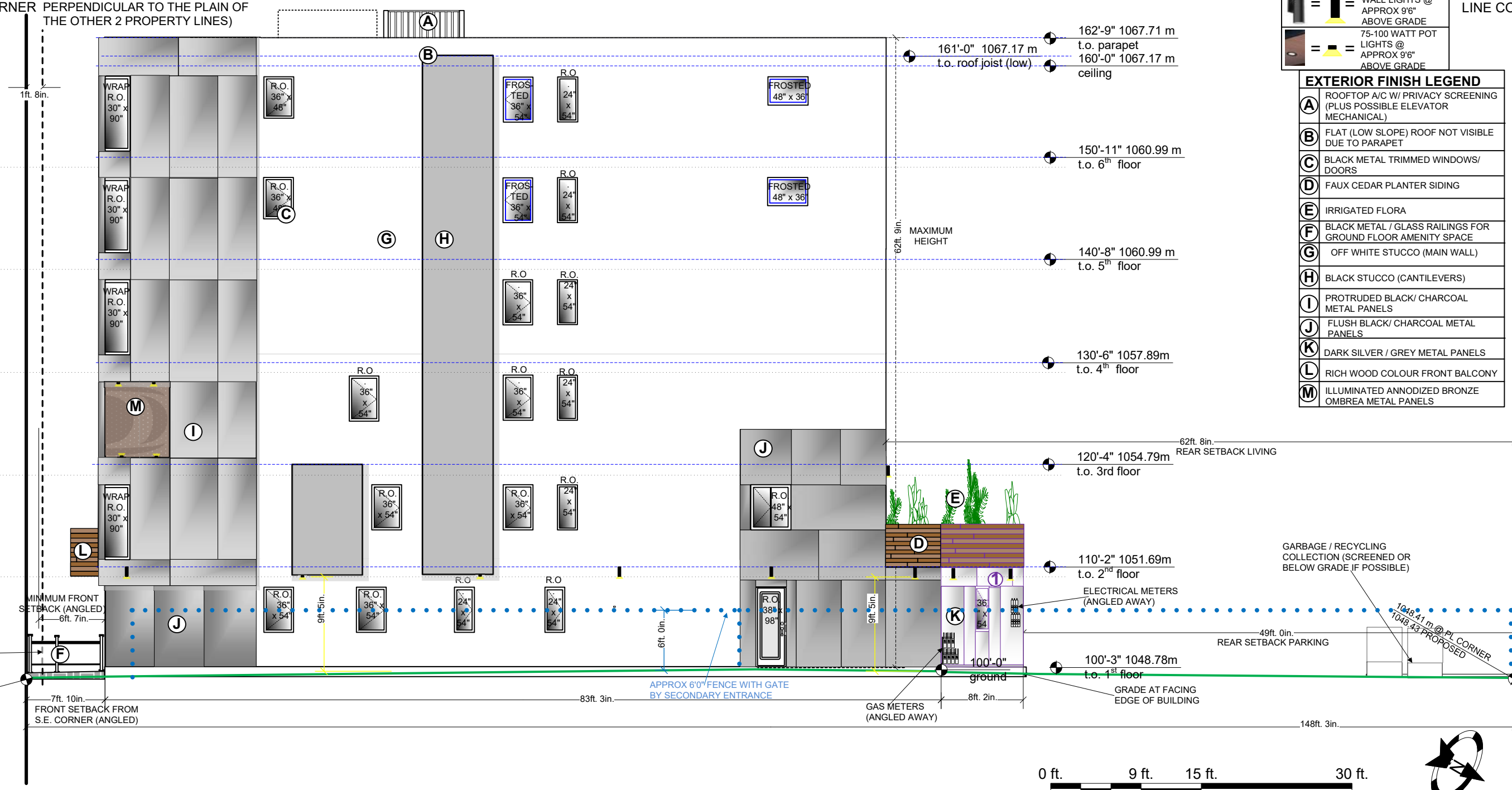
FRONT SOUTHEAST PROPERTY LINE CORNER
FRONT SOUTHWEST PROPERTY LINE CORNER (SHOWN IN ITS POSITION PERPENDICULAR TO THE PLAIN OF THE OTHER 2 PROPERTY LINES)

REAR NORTH PROPERTY LINE CORNER



EXTERIOR FINISH LEGEND

(A)	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
(B)	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
(C)	BLACK METAL TRIMMED WINDOWS/ DOORS
(D)	FAUX CEDAR PLANTER SIDING
(E)	IRRIGATED FLORA
(F)	BLACK METAL / GLASS RAILINGS FOR GROUND FLOOR AMENITY SPACE
(G)	OFF WHITE STUCCO (MAIN WALL)
(H)	BLACK STUCCO (CANTILEVERS)
(I)	PROTRUDED BLACK/ CHARCOAL METAL PANELS
(J)	FLUSH BLACK/ CHARCOAL METAL PANELS
(K)	DARK SILVER / GREY METAL PANELS
(L)	RICH WOOD COLOUR FRONT BALCONY
(M)	ILLUMINATED ANNOXIDIZED BRONZE OMBREA METAL PANELS



GLAZING AREA CALCULATIONS
WALL AREA @ 1.2m FROM PL : 460.97 m²
 GLAZING AREA:
 1st FLOOR: 2.29+0.74+0.74+1.14+1.14=6.05 m²
 2nd FLOOR: 1.54+0.74+1.14+1.14+1.59 = 6.16 m²
 3rd FLOOR: 0.74+1.14+1.14 = 3.02 m²
 4th FLOOR: 0.74+1.14+1.59 = 3.47 m²
 5th FLOOR: 1.01+0.74+1.14+1.01+1.01+1.59 = 5.49 m²
 6th FLOOR: 1.01+0.74+1.14+1.01+1.01+1.59 = 5.49 m²
TOTAL: 29.67 m²
TOTAL AS A PERCENTAGE: 6.44 %
 NOTE: THE NORTH WALL ANGLED AWAY FROM THE NEIGHBOUR HAS OF WALL AREA OF 17.27 m² AND A GLAZING AREA OF 1.14m² WHICH IS A 6.60% GLAZING AREA.

THIS ELEVATION IS SHOWN ON A PLAIN PARALLEL TO THE FRONT SOUTHEAST TO NORTH REAR PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE SOUTHWEST FROM THE SHARED PROPERTY LINE WITH 1128 GLADSTONE ROAD NW)

NOTES:

- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
- ALL ELEMENTS ON PLAN ARE PROPOSED.
- SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
- SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK OR ALLEY.
- NO RETAINING WALLS PROPOSED.

ANGLED WALL WIDTH:
GROUND FLOOR DIRECTION: WHERE THE WALL IS DRAWN IN PURPLE, THE ANGLE OF THE BUILDING TURNS LEFT/ COUNTERCLOCKWISE (WEST) 63 DEGREES. THE ACTUAL WALL FACE LENGTH IS 18' 0" BUT ON THIS HORIZONTAL PLANE IT REPRESENTS 8' 2" OF LENGTH.

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DEVELOPMENT PERMIT APPLICATION

PLAN 5609J BLOCK Q LOT 17&18

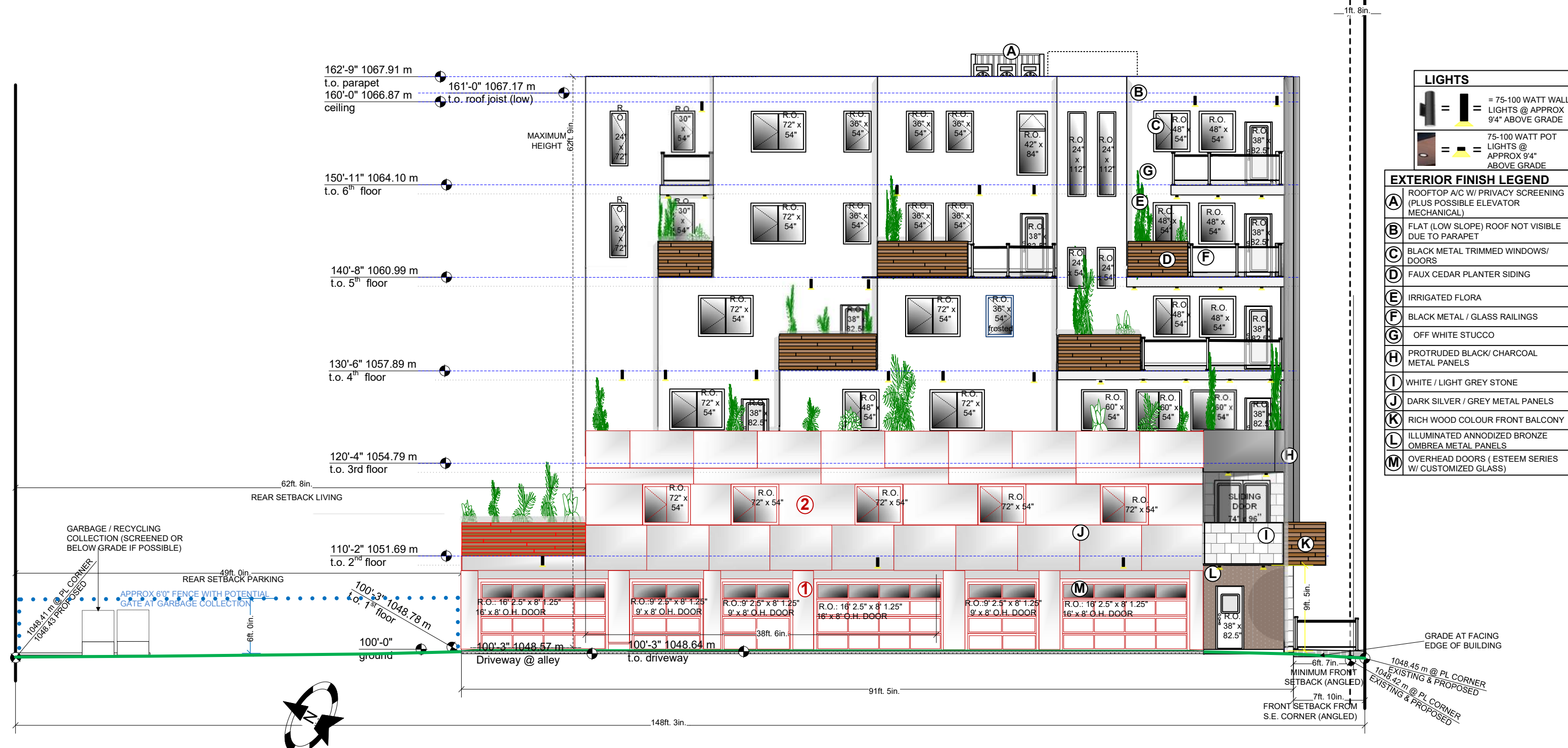
1130 / 1132 GLADSTONE ROAD NW

SCALE SIDES: 3/32"=1'	DATE: 2025/04/22
SIDE / NE (FACING SW) ELEVATION	DRAWING NO: A6.3

REAR NORTH PROPERTY
LINE CORNER

FRONT SOUTHWEST PROPERTY LINE CORNER
(SHOWN IN ITS POSITION PERPENDICULAR TO
THE PLAIN OF THE OTHER 2 PROPERTY LINES)

FRONT SOUTHEAST
PROPERTY LINE CORNER



LIGHTS	
	= 75-100 WATT WALL LIGHTS @ APPROX 9'4" ABOVE GRADE
	= 75-100 WATT POT LIGHTS @ APPROX 9'4" ABOVE GRADE

EXTERIOR FINISH LEGEND	
(A)	ROOFTOP A/C W/ PRIVACY SCREENING (PLUS POSSIBLE ELEVATOR MECHANICAL)
(B)	FLAT (LOW SLOPE) ROOF NOT VISIBLE DUE TO PARAPET
(C)	BLACK METAL TRIMMED WINDOWS/DOORS
(D)	FAUX CEDAR PLANTER SIDING
(E)	IRRIGATED FLORA
(F)	BLACK METAL / GLASS RAILINGS
(G)	OFF WHITE STUCCO
(H)	PROTRUDED BLACK/ CHARCOAL METAL PANELS
(I)	WHITE / LIGHT GREY STONE
(J)	DARK SILVER / GREY METAL PANELS
(K)	RICH WOOD COLOUR FRONT BALCONY
(L)	ILLUMINATED ANODIZED BRONZE OMBREA METAL PANELS
(M)	OVERHEAD DOORS (ESTEEM SERIES W/ CUSTOMIZED GLASS)

ANGLED WALL WIDTHS:
GROUND FLOOR DIRECTION: WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS RIGHT /CLOCKWISE (EAST) 27 DEGREES. THE ACTUAL WALL FACE LENGTH IS 91' 5" BUT ON THIS HORIZONTAL PLANE IT REPRESENTS 81' 6" OF LENGTH.
2nd FLOOR DIRECTION: WHERE THE WALL IS DRAWN IN RED, THE ANGLE OF THE BUILDING TURNS RIGHT /CLOCKWISE (EAST) 27 DEGREES. THE ACTUAL WALL FACE LENGTH IS 75' 11" BUT ON THIS HORIZONTAL PLANE IT REPRESENTS 67' 10" OF LENGTH.
 ALL FACES DRAWN IN RED ARE AT AN ANGLE 27 DEGREES RIGHT / CLOCKWISE (EAST) TO THE HORIZONTAL PLANE

NOTES:

- THE FRONT AND BACK ELEVATIONS ARE SHOWN AT A LARGER SCALE TO MAXIMIZE VIEWABLE DRAWING AREA.
- ALL ELEMENTS ON PLAN ARE PROPOSED.
- SEE CPTD PLAN FOR EXTERIOR LIGHTING DETAILS.
- SEE GRADING PLAN FOR ELEVATION DETAILS. PROPOSED GRADE WITHIN 10 CM OF EXISTING GRADE AT ALL BUILDING CORNERS. GRADE WILL NOT BE ALTERED AT SIDEWALK OR ALLEY.
- NO RETAINING WALLS PROPOSED.

0 ft. 9 ft. 15 ft. 30 ft.

THIS ELEVATION IS SHOWN ON A PLAIN FACING PARALLEL TO THE FRONT SOUTHEAST TO NORTH REAR PROPERTY LINE (LOOKING TOWARDS THE APPROXIMATE NORTH EAST AND THE SIDE SHARED PROPERTY LINE WITH 1128 GLADSTONE ROAD FROM THE ALLEY)

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DEVELOPMENT PERMIT APPLICATION	
PLAN 5609J BLOCK Q LOT 17&18	
1130 / 1132 GLADSTONE ROAD NW	
SCALE SIDES:3/32"=1'	DATE:2025/04/22
ALLEY SIDE /SW (FACING NE) ELEVATION	DRAWING NO: A6.4