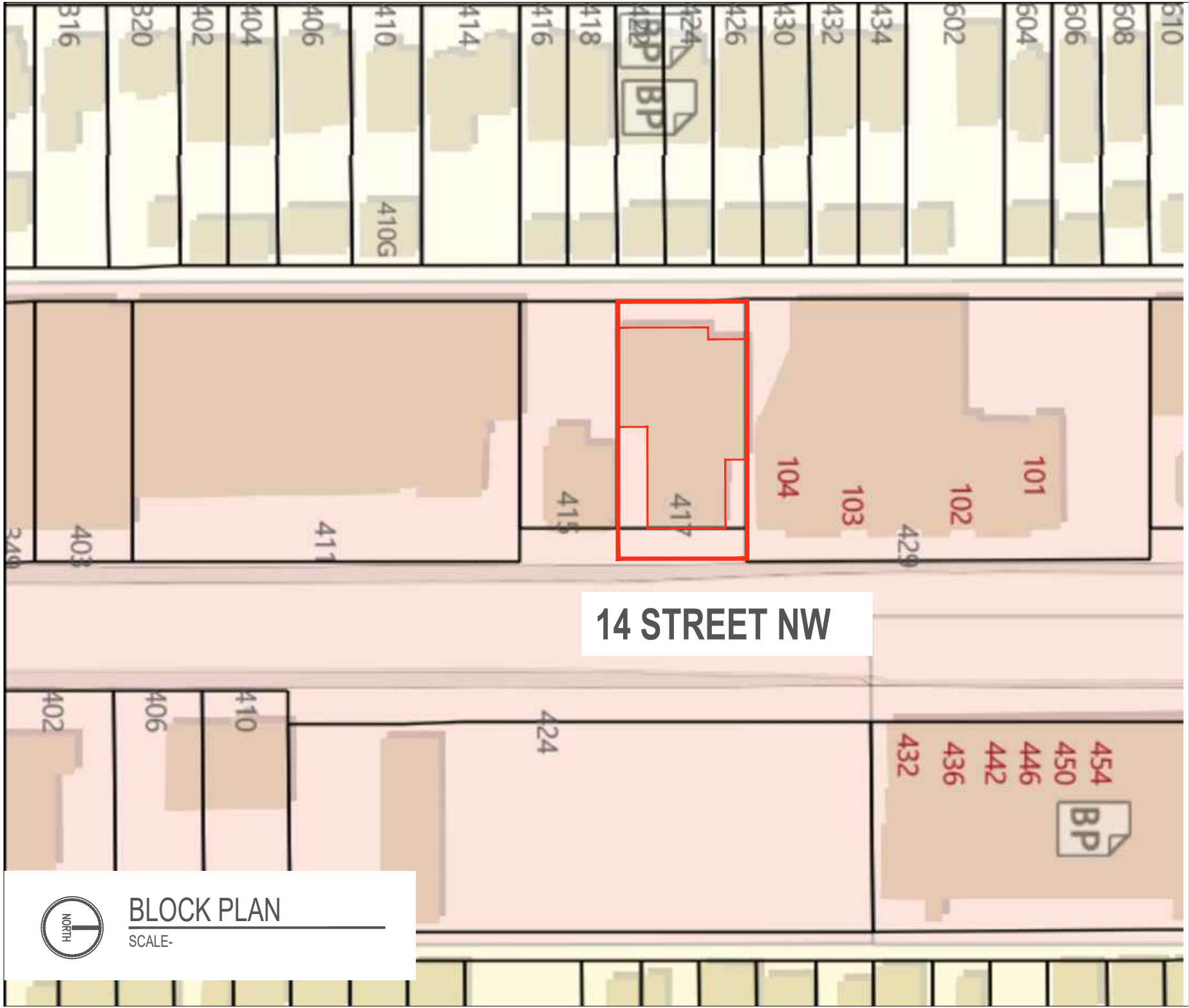




SCOPE OF THIS APPLICATION:

- 1- Revisions to the site plan, including expansion of the front lobby.
- 2- Conversion of the existing vacant 4th floor into residential units

DEVELOPMENT INFORMATION:

PROJECT TITLE: – BLAZA BUILDING
PROJECT TYPE: – INTERIOR ALTERATIONS
MUNICIPAL ADDRESS: – 417, 14 Street NW, CALGARY, AB
LEGAL DESCRIPTION: – PLAN 6219L, BLOCK 2, LOT 21
ZONING: – C-COR212.8h16 COMMERCIAL-CORRIDOR 2
LAND USE BYLAW: – LAND USE BYLAW IP2007
PERMITTED USE: – OFFICE, HEALTHCARE SERVICE, DWELLING UNITS
DISCRETIONARY USE: – INTERIOR ALTERATIONS
PREVIOUS USE: – VACANT
PROPOSED USE: – RESIDENTIAL UNITS
DEVELOPMENT SCOPE: – THE SCOPE OF THIS PROJECT CONSISTS OF INTERIOR RENOVATION OF THE EXISTING LOBBY AND COMMON AREAS
– REVISIONS TO SITE PLAN, EXPANDING FRONT LOBBY.
– CONVERTING EXISTING VACANT 4TH FLOOR TO RESIDENTIAL UNITS.
BUILDING FOOTPRINT: – 5578 ft² (518.20 m²)
AREA OF RENOVATION: – 5098 ft² (473.6 m²)

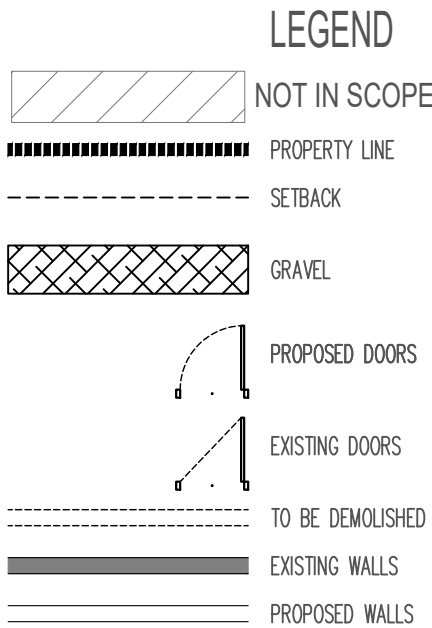
NATIONAL BUILDING CODE 2023 (AE) - CODE ANALYSIS:

BUILDING OCC. CLASSIFICATION: – GROUP C, UP TO 4 STOREYS (3.2.2.52)
NUMBER OF STOREYS: – 4 STOREY
BUILDING AREA: – 538m² (MAXIMUM PERMITTED AREA 4500m²)
FACING NO. OF STREETS: – 2 STREETS
CONSTRUCTION: – ALLOWED: COMBUSTIBLE/NON-COMBUSTIBLE
– PROVIDED: NON-COMBUSTIBLE
PARKING STALL: –REQUIRED: 8.5
–PROVIDED: 9
FIRE RESISTANCE RATING: – FLOOR ASSEMBLIES TO BE 1 HR. F.R.R.
SPRINKLERS: – REQUIRED:NO
– PROVIDED:YES
FIRE ALARM: – REQUIRED:YES (3.2.4.1)
– PROVIDED: YES
TENANT OCC. CLASSIFICATION: – SECOND AND FOURTH FLOOR (RESIDENTIAL)
FIRE SEPARATION: – 1 HR FOR FLOOR ASSEMBLIES
1 HR FOR LOADBEARING WALLS, COLUMNS
NO. OF EXITS: – REQUIRED: 1 EXITS
PROVIDED: 2 EXITS
EXIT WIDTH: – REQUIRED:
DOORS: 850MM (3.4.3.2–A)(3.8.3.6.)
CORRIDORS: 1100 MM (3.4.3.2–A)
PROVIDED:
DOORS: 900MM
CORRIDOR: 1500MM

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ARCHITECTURAL

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A003	EXISTING / PROPOSED SECOND FLOOR PLAN
A004	EXISTING / PROPOSED THIRD FLOOR PLAN
A005	EXISTING / PROPOSED FOURTH FLOOR PLAN
A006	FOURTH FLOOR PLAN
A007	WALL ASSEMBLY_FOURTH FLOOR PLAN
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A009	WALL FINISH_FOURTH FLOOR PLAN
A010	REFLECTED CEILING_FOURTH FLOOR PLAN
A011	SECTIONS
A012	BUILDING ELEVATIONS
A013	BUILDING ELEVATIONS
A014	GENERAL SPECIFICATIONS



FARMOR
ARCHITECTURE

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Fahad@farmarchu.ca | www.farmarchu.ca

Project No.:

23-006

Project Title:

BLAZA BUILDING

Project Address:

417, 14 Street. NW

Calgary, Alberta

Legal Address:

Plan 6219L, Block 2, Lot 21

Notes

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Issued for:

DEVELOPMENT PERMIT

Date:

2026-05-04

Revisions:

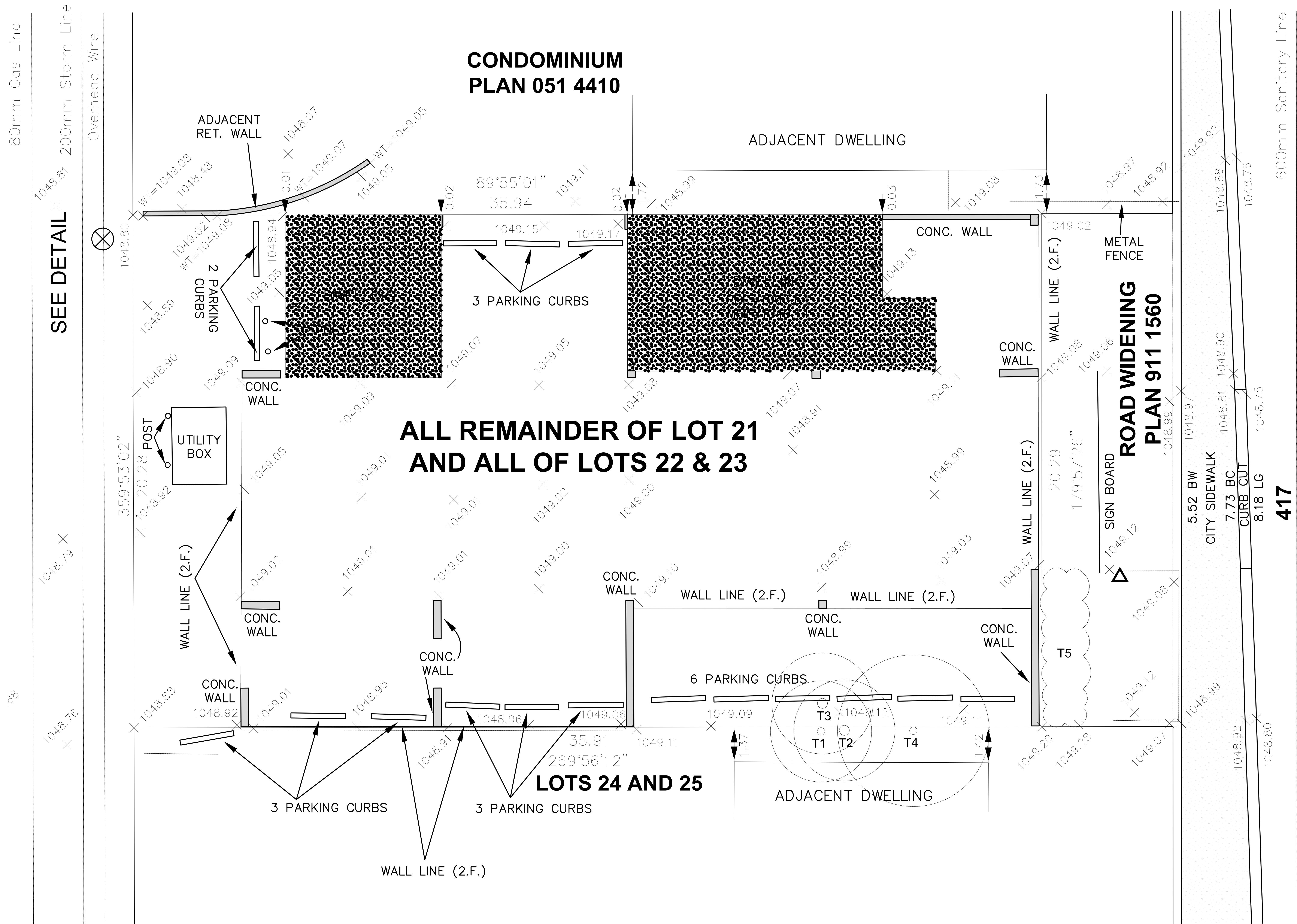
DETAILED REVIEW -3

DRAWING:

SITE PLAN

SHEET NUMBER:

A001



Project No.:
23-006

Project Title:
BLAZA BUILDING

Project Address:
417, 14 Street, NW
Calgary, Alberta

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Plan 6219L, Block 2, Lot 21

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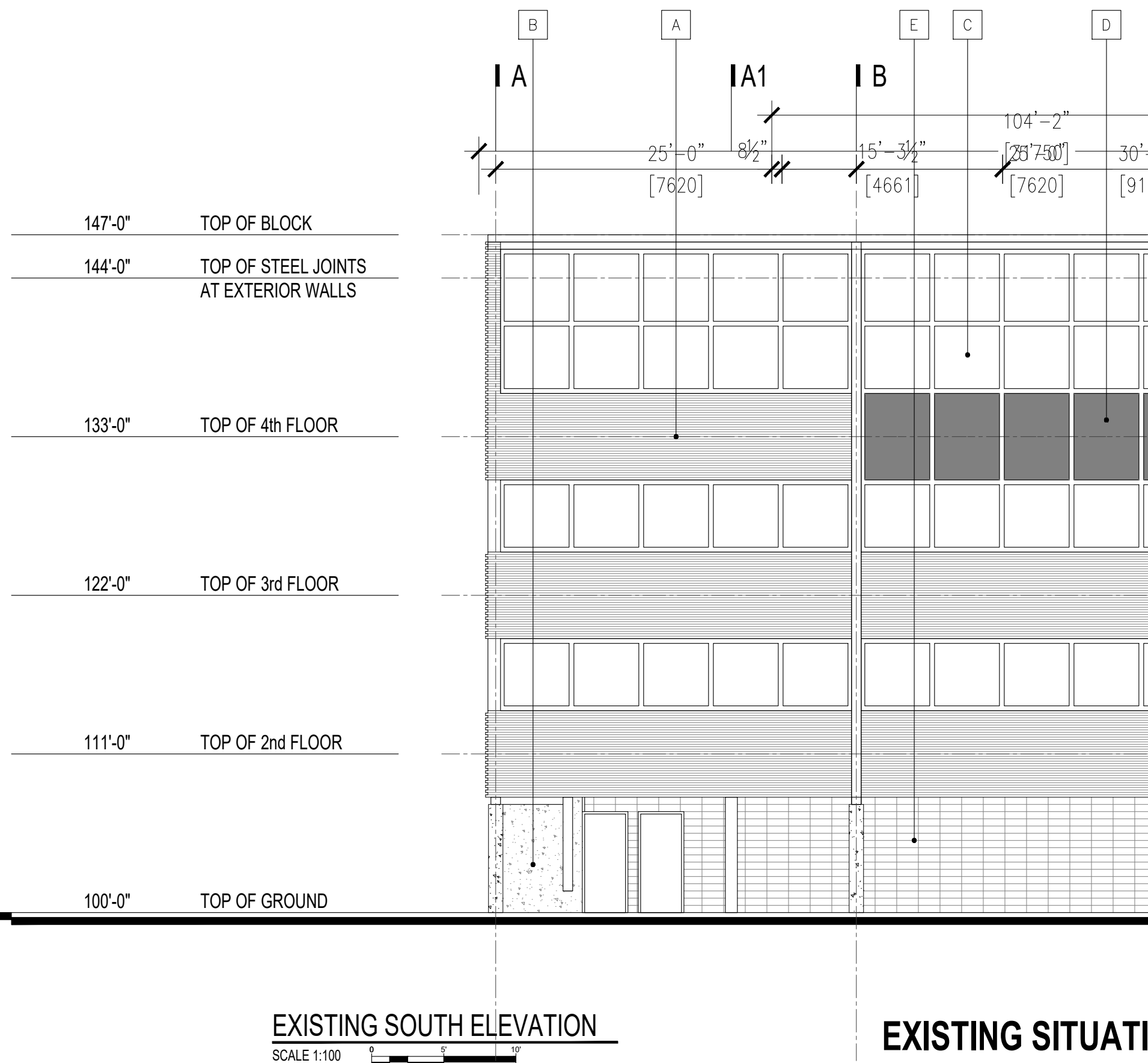
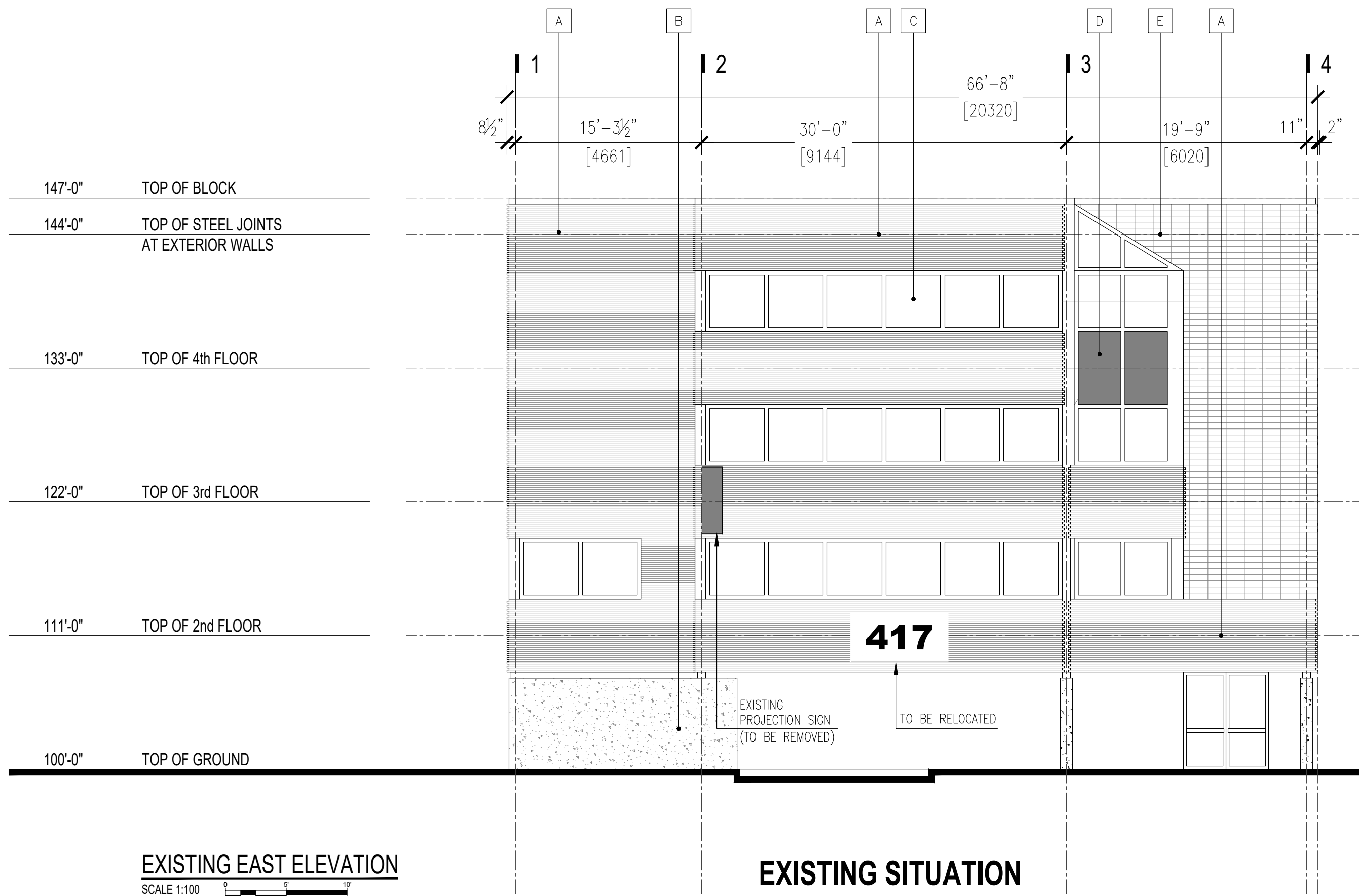
Date:
2026-08-11

Revisions:
DETAILED REVIEW -3

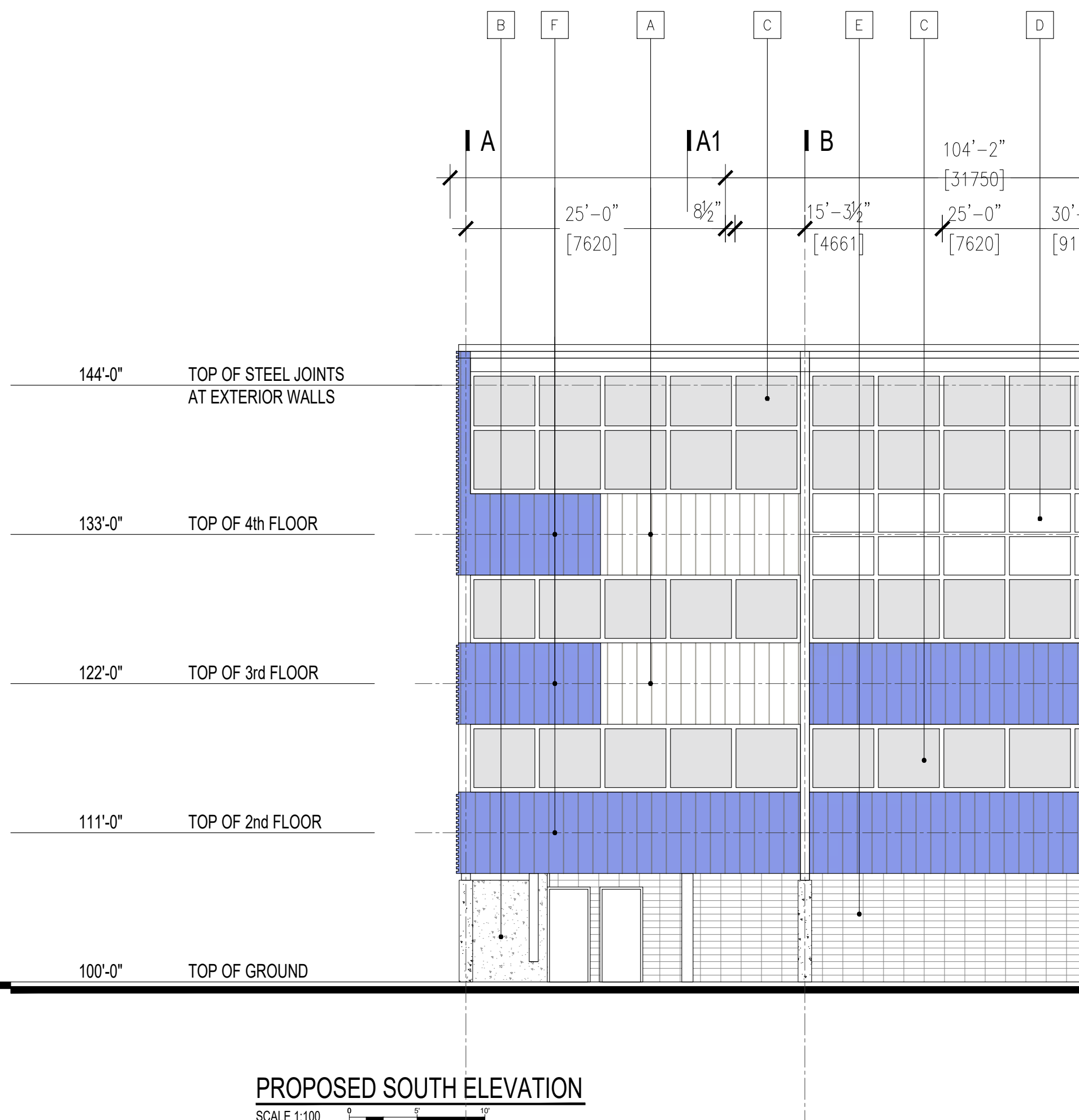
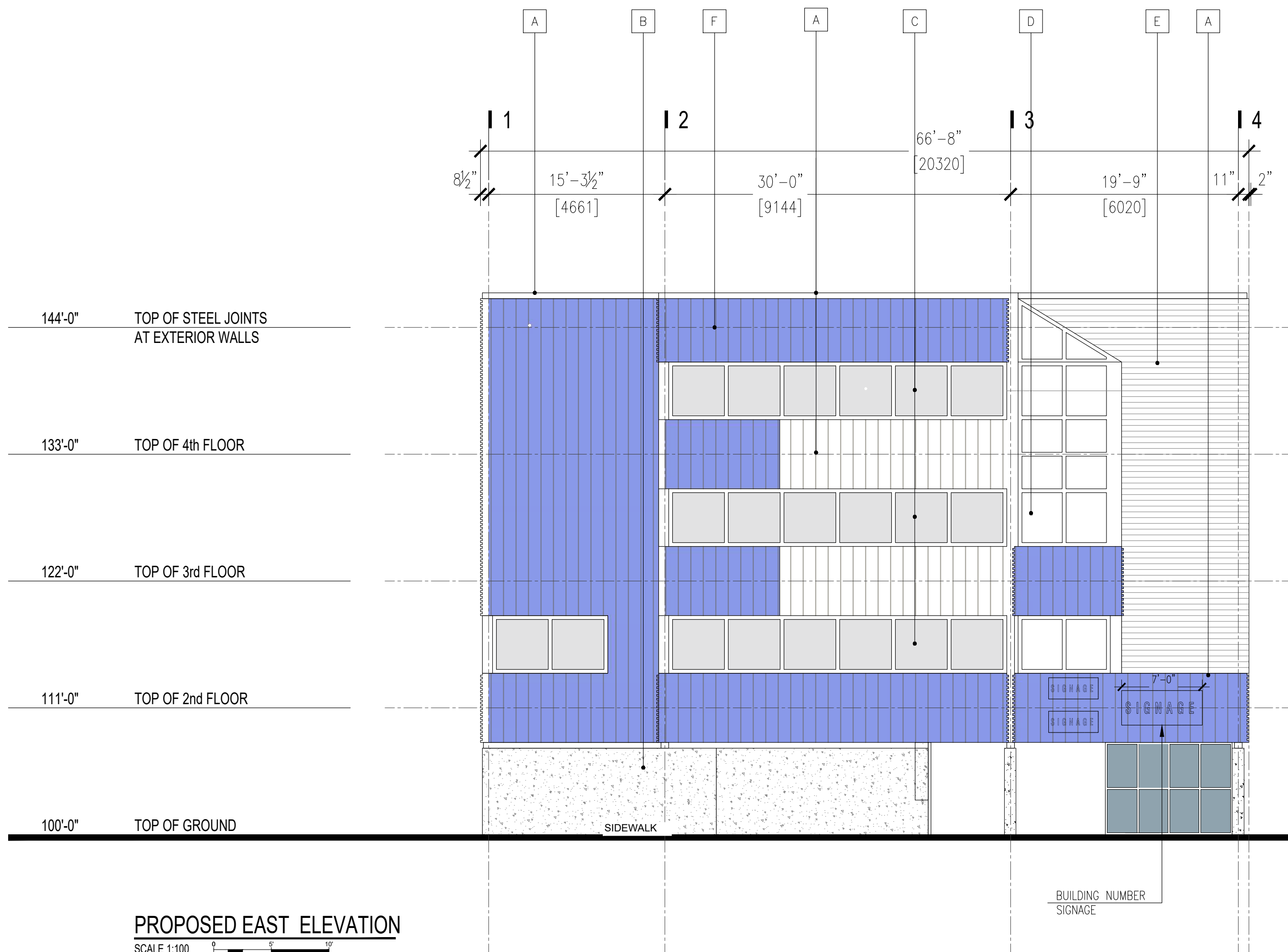
DRAWING:
ELEVATIONS

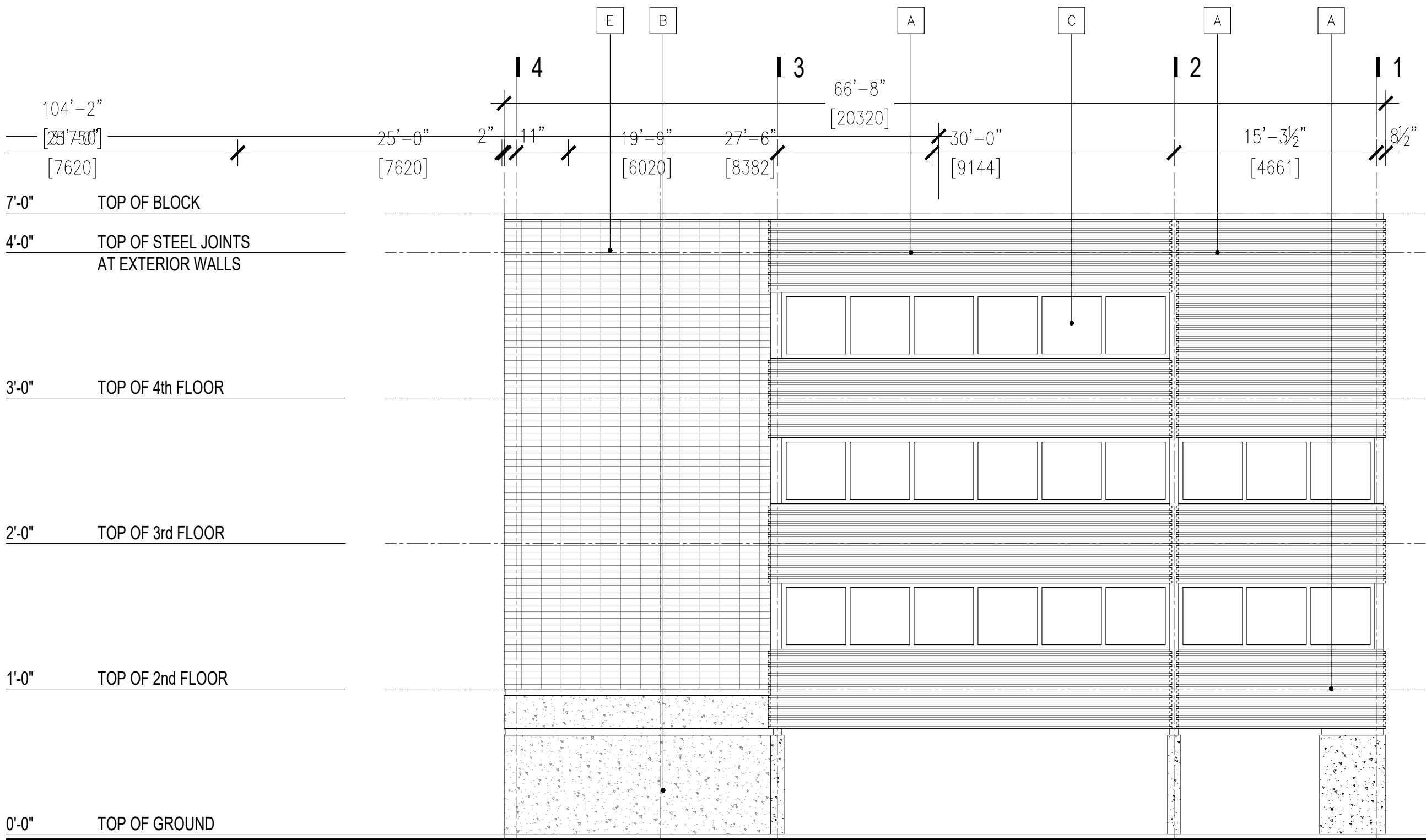
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A011



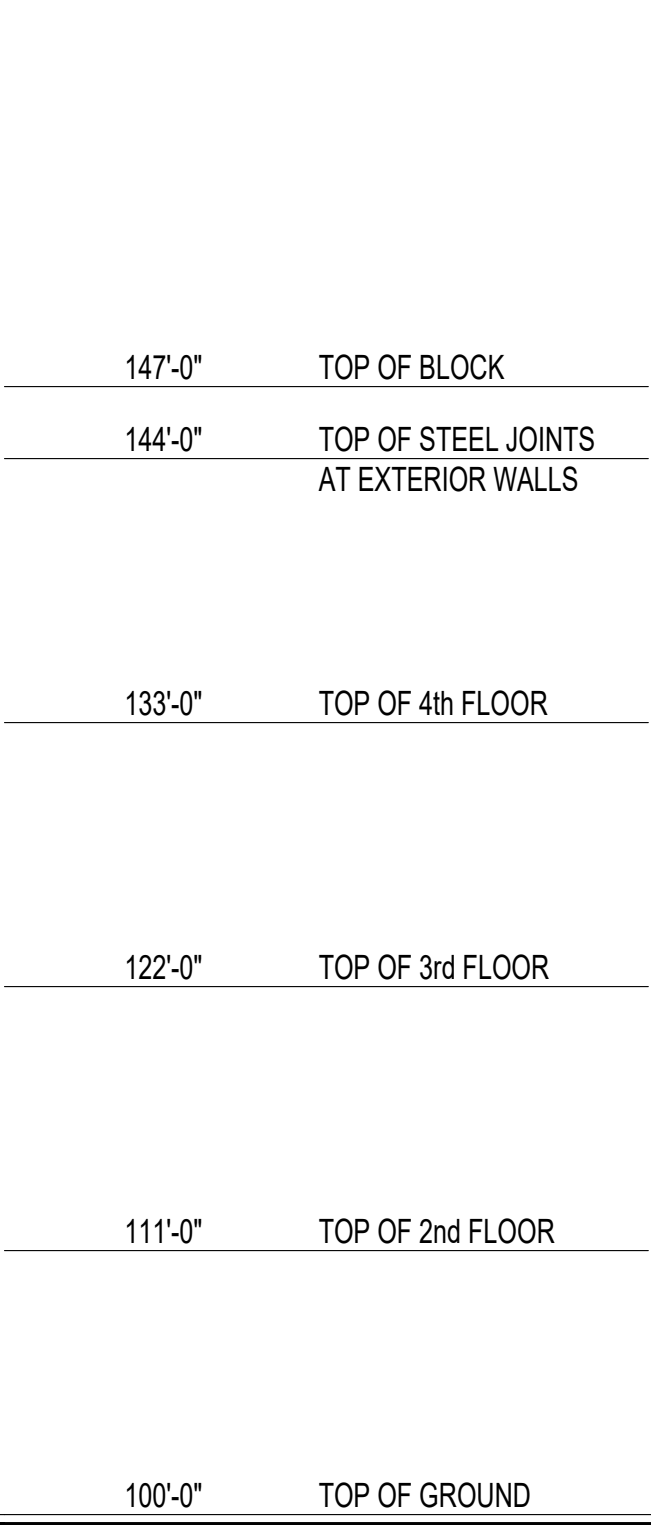
- A AL deep rib siding (To be replaced)
- B Sandblasted concrete (To remain as is)
- C Window/Skylight glazing (To remain as it is)
- D Aluminum windows frame & Spandrel panel to be painted
- E Concrete block (To remain as is)
- F Standing seam metal siding mechanically fastened 13" width (To be added)





EXISTING WEST ELEVATION
SCALE 1:100

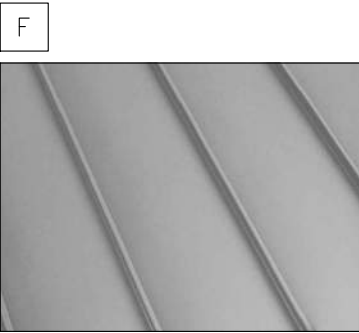
EXISTING SITUATION



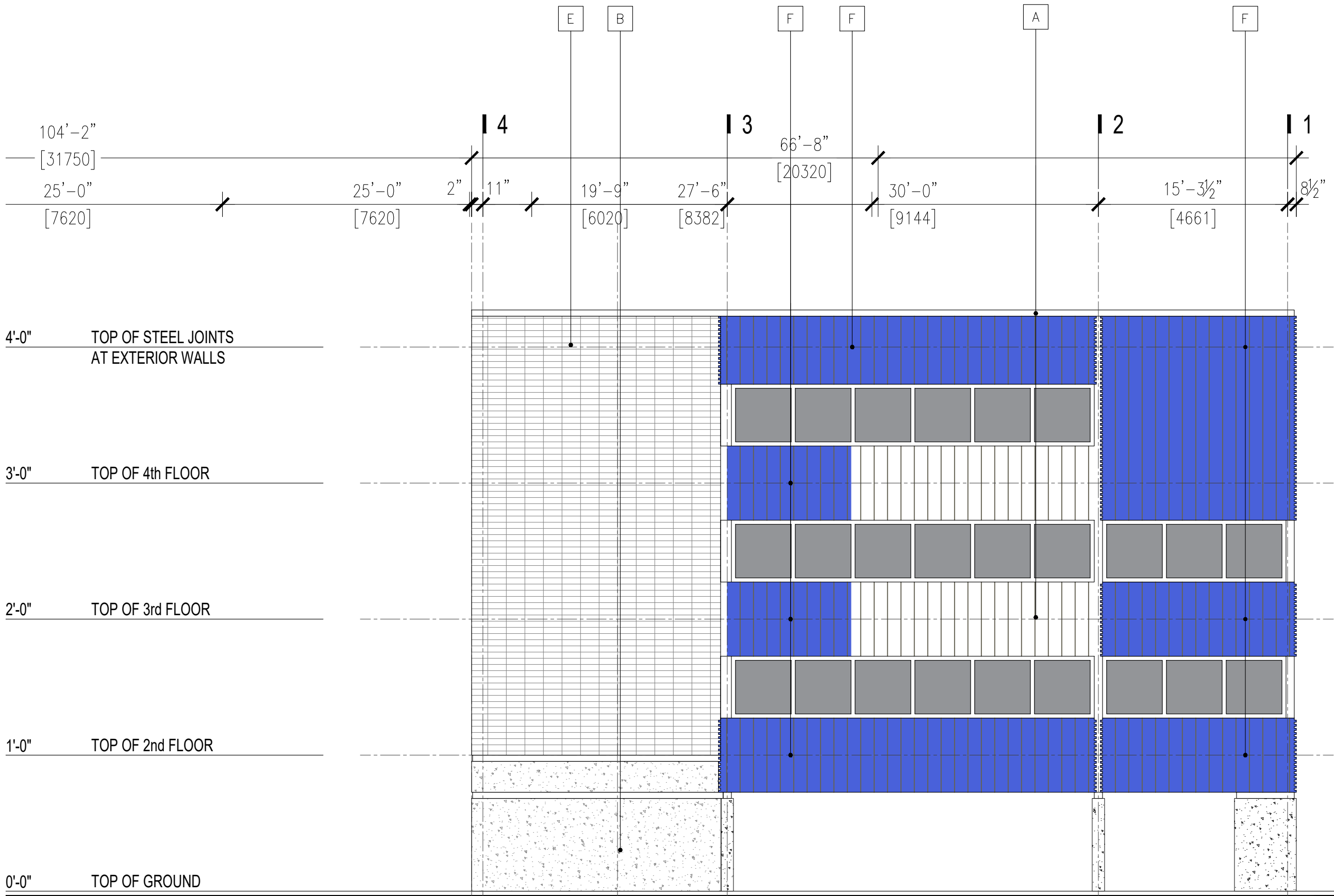
EXISTING NORTH ELEVATION
SCALE 1:100

EXISTING SITUATION

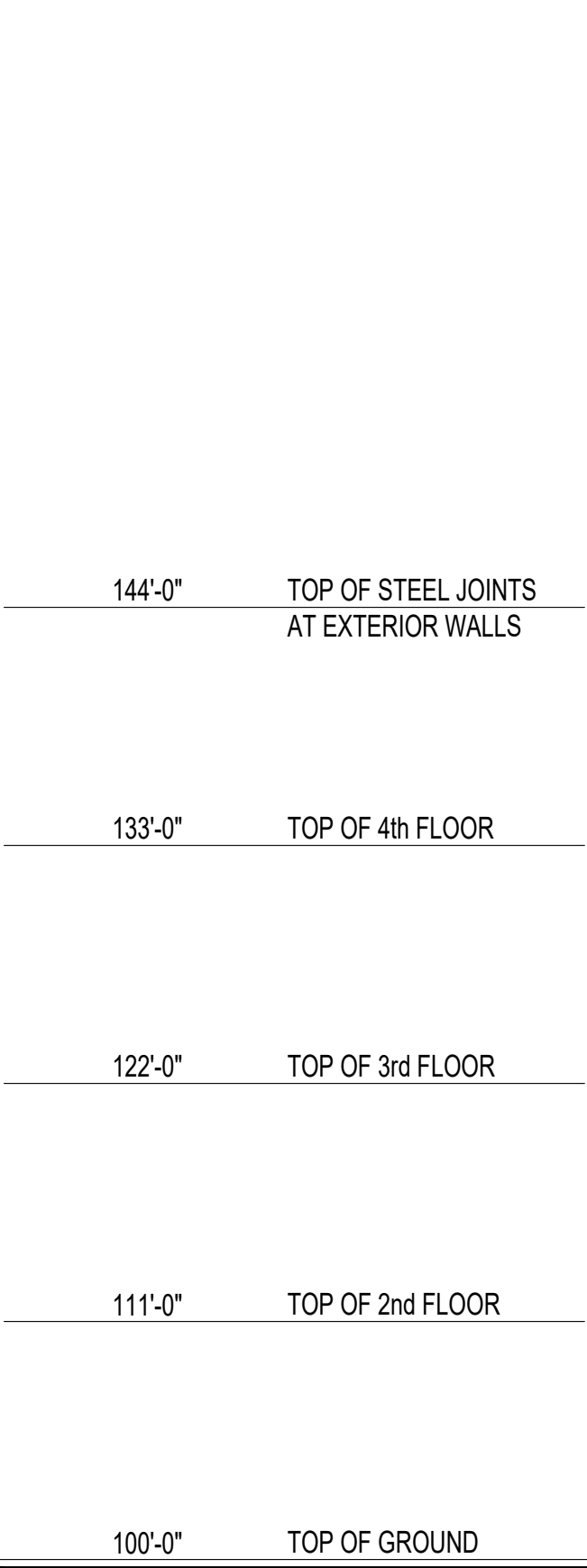
- A AL deep rib siding (To be replaced)
- B Sandblasted concrete (To remain as is)
- C Window/Skylight glazing (To remain as it is)
- D Aluminum windows frame & Spandrel panel to be painted
- E Concrete block (To remain as is)
- F Standing seam metal siding mechanically fastened 13" width (To be added)



Standing seam metal siding mechanically fastened 13" width



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED NORTH ELEVATION
SCALE 1:100

Project No.:
23-006
Project Title:
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Project Address:
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Issued for:
DEVELOPMENT PERMIT

Date:
2026-08-11

Revisions:

NO.	DESCRIPTION
1	DETAILED REVIEW -3

DRAWING:
ELEVATIONS

SHEET NUMBER:

SPECIFICATIONS

GENERAL NOTES

- * THE TERM "WORK" REFERRING TO THE TOTAL CONSTRUCTION AND RELATED SERVICES BY THE CONTRACTOR REQUIRED BY THE CONTRACT DOCUMENTS.
- ALL WORK* TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE 2019 (ALBERTA EDITION), THE ALBERTA FIRE CODE 2014 AND ALL RELEVANT REVISIONS, RULES, REGULATIONS, CITY BYLAWS AND ACTS RELATED TO WORK.
 - THIS CONTRACT IS FOR A COMPLETE INTERIOR JOB INCLUDING ALL MECHANICAL, ELECTRICAL AND ARCHITECTURAL WORK AND COORDINATION OF ALL TRADES.
 - REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC ELECTRICAL, DATA, SECURITY, AND TELECOMMUNICATIONS REQUIREMENTS.
 - PRIOR TO BID SUBMISSION, CONTRACTOR SHALL VISIT SITE AND CONFIRM, INSPECT, AND FULLY ACQUAINT HIMSELF WITH ALL EXISTING SITE CONDITIONS. BY DOING SO, CONTRACTOR WILL ACCEPT SITE AS IS AND, THEREFORE, ASSUME ALL COSTS RELATED TO THE SCOPE OF WORK* REQUIRED BY THE CONTRACT DOCUMENTS. CONTRACT REVISIONS, SITE EXTRAS, OR COMPENSATION BY THE CLIENT AND/OR PROJECT CONSULTANTS WILL NOT BE ALLOWED.
 - CONTRACTOR SHALL VERIFY FLOOR SLAB CONDITION PRIOR TO BID SUBMISSION. PROVIDE LEVELING BED AS REQUIRED TO ALLOW FOR SATISFACTORY INSTALLATION OF NEW FINISHES AND WALL CONSTRUCTION. 6MM (1/4") HEIGHT MAXIMUM DIFFERENCE OVER RUN OF 3050MM (10'-0") FEATHER FLOOR AT JUNCTION OF DISSIMILAR FINISHES. IF MAJOR LEVELLING IS REQUIRED, BRING TO THE ATTENTION OF THE DESIGN CONSULTANT IMMEDIATELY.
 - ALL PERMITS SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.
 - ONE SET OF STAMPED DRAWINGS SHALL BE KEPT ON SITE, AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND FAMILIARIZE THEMSELVES AND ALL THEIR TRADES AND SUB TRADES, WITH THE BUILDING REGULATIONS FOR CONSTRUCTION, INCLUDING USE OF ELEVATOR, SECURITY HOURS OF OPERATION ETC. SEEK LANDLORD APPROVAL TO BEGIN WORK.
 - THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, AND ELECTRICAL CONSULTANTS' DRAWINGS AND SPECIFICATIONS.
 - 'PROVIDE' SHALL MEAN SUPPLY AND INSTALL.
 - WORKMANSHIP SHALL BE OF THE BEST QUALITY, EXECUTED BY WORKERS EXPERIENCED AND SKILLED IN THEIR RESPECTIVE DUTIES FOR WHICH THEY ARE EMPLOYED. CONSULTANT MUST BE NOTIFIED IMMEDIATELY IF REQUIRED WORK IS SUCH AS TO MAKE IT IMPRACTICAL TO PRODUCE REQUIRED RESULTS.
 - DURING THE TENDER PERIOD, ANY DISCREPANCIES ON SITE OR IN THE WORKING DRAWINGS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. ANY CONTRADICTORY INFORMATION AND SITUATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE CONSULTANT PRIOR TO PROCEEDING WITH A TASK.
 - ALL CONSTRUCTION TO BE COMPLETED IN A SAFE & TIMELY MANNER. CONTRACTOR SHALL FOLLOW BUILDING/LANDLORD'S GUIDELINES & RULES FOR DEMOLITION AND/OR CONSTRUCTION AND MAINTAIN A SAFE CLEAN WORKPLACE AT ALL TIMES.
 - CONTRACTOR SHALL RECEIVE APPROVAL OF BUILDING MANAGER PRIOR TO ACCESS OF BUILDING. SECURITY CLEARANCE SHALL BE OBTAINED THROUGH MR. JASON FRASER OF MEMORY EXPRESS.
 - ALL WORK SHALL BE PERFORMED AT ANY TIME, WITH THE EXCEPTION THAT ANY WORK* INVOLVING WELDING, HIGH NOISE LEVELS, OR DUST-GENERATING ACTIVITIES SHALL BE DONE BEFORE 8:00 A.M. OR AFTER 4:30 P.M. CONFIRM LANDLORD AND CLIENT(TENANT) REQUIREMENTS. COORDINATE ACCESS WITH BUILDING MANAGER.
 - A SCHEDULE SHALL BE MADE IMMEDIATELY UPON AWARD OF CONTRACT, AFTER DELIVERIES HAVE BEEN CONFIRMED. REVIEW SCHEDULE WITH DESIGN CONSULTANT AND CLIENT. CONTRACTOR SHALL SUPPLY LANDLORD WITH LIST OF SUB-TRADES WORKING ON PROJECT IN LANDLORDS' SPACE. DESIGN CONSULTANT SHALL SUPPLY GENERAL CONTRACTOR WITH LIST OF OWNERS' TRADES FOR SPECIFIC WORK AS DESCRIBED IN THE ATTACHED DRAWINGS.
 - CONTRACTOR TO NOTIFY DESIGN CONSULTANT & OWNER OF ANY MODIFICATIONS REQUIRED TO THE BASE BUILDING PRIOR TO COMMENCEMENT OF WORK*.
 - ALL ASSEMBLIES, SURFACES, AND FINISHES DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION RELATED TO WORK IN THIS CONTRACT SHALL BE REPAIRED AND REFINISHED TO THE SATISFACTION OF THE CONSULTANT. WHEREVER NEW OR EXISTING FIRE SEPARATIONS ARE PENETRATED, PROVIDE COMPLETION OF INTEGRITY OF REQUIRED TO MAINTAIN THE SPECIFIED FIRE RATINGS OF THE EXISTING STRUCTURE.
 - CONTRACTOR SHALL ORDER ALL MATERIALS IMMEDIATELY UPON AWARD OF CONTRACT. ANY DELIVERIES RESULTING IN DELAYS TO THE CONSTRUCTION COMPLETION, OR THE SCHEDULE DATES, MUST BE REPORTED TO THE DESIGN CONSULTANT IMMEDIATELY.
 - THE CONTRACTOR IS TO ENSURE A CLEAN SITE IS MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION.
 - AT FINAL CLEAN UP, ALL SURFACES, INCLUDING HVAC SYSTEM, CABINET INTERIORS, AND RADIATOR FINS, MUST BE THOROUGHLY CLEANED TO BE FREE OF ALL DUST AND DIRT. THE FINAL CLEANING SHALL BE TO THE SATISFACTION OF THE ARCHITECT, LANDLORD AND CLIENT (TENANT).
 - THE CONTRACTOR SHALL COORDINATE NEW MECHANICAL, ELECTRICAL AND DATA WITH NEW CONSTRUCTION, FURNITURE AND EQUIPMENT.
 - CAREFULLY REMOVE ITEMS AS REQUIRED FOR PROPER EXECUTION OF THIS CONTRACT AND STORE IN A PROTECTED AREA. REINSTALL AS REQUIRED, CONTRACTOR TO ARRANGE STORAGE OF EQUIPMENT AND PRODUCT WITH CLIENT AND LANDLORD.
 - CONTRACTOR SHALL CONFIRM SIZES OF CLIENT'S EQUIPMENT AND APPLIANCES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT AREAS OF WORK*, CLIENT'S PROPERTY(IES), AND ADJACENT PUBLIC PROPERTY(IES) FROM DAMAGE, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE RESULTING FROM HIS OPERATIONS UNDER THIS CONTRACT. THIS INCLUDES ALL NEW AND EXISTING SURFACES, FINISHES, MATERIALS, AND EQUIPMENT. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING OR MAKE READY FOR NEW PREP WORK.
 - REMOVE PERIMETER BASE BUILDING BLINDS IN CONTRACT AREA. SAFELY STORE AND PROTECT BLINDS DURING DEMOLITION AND CONSTRUCTION. RE-HANG AFTER CONSTRUCTION IS COMPLETE.
 - ALL FINISHES, MATERIALS, PRODUCTS, ACCESSORIES, ETC., SHALL BE AS SPECIFIED, UNLESS APPROVED OTHERWISE, AND SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDED INSTRUCTIONS. ALL WORKMANSHIP SHALL BE TO THE APPROVAL OF THE CONSULTANTS.
 - CONTRACTOR SHALL CONTACT/NOTIFY DESIGNER OF FINAL INSPECTION DATE PRIOR TO TENANT MOVE-IN.
 - CONTRACTOR SHALL PROVIDE DESIGN CONSULTANT WITH COMPLETE AS-BUILT MARKED DRAWINGS UPON COMPLETION OF PROJECT. ALL APPROPRIATE DOCUMENTS, MANUFACTURERS' OPERATIONS MANUALS, AND RECOMMENDED MAINTENANCE PROCEDURES REGARDING MATERIALS, FINISHES, ACCESSORIES, AND EQUIPMENT APPLICABLE TO THE PROJECT, SHALL BE PROVIDED TO THE DESIGN CONSULTANT PRIOR TO DECLARATION OF SUBSTANTIAL COMPLETION BY THE CONTRACTOR.
 - ALL MATERIALS AND WORKMANSHIP MUST BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
 - CONTRACTORS SITE SUPERINTENDENT SHALL BE ON SITE WHILE ANY AND ALL WORK* IS PERFORMED BY THE CONTRACTOR OR HIS SUBCONTRACTOR FORCES, UNLESS OTHERWISE CONFIRMED WITH THE OWNER AND THE CONSULTANT.
 - CONTRACTOR SHALL TAKE EXTREME CARE TO ENSURE CONTAMINANTS ARE NOT SPREAD TO ADJACENT PUBLIC SPACES. PROVIDE HOARDING AND/OR VAPOUR BARRIER BETWEEN WORK* AREAS AND PUBLIC AREAS. CLEAN LOBBY DAILY AND INSERT FLOOR MAT TO REDUCE DUST FROM MIGRATING INTO ELEVATOR CABS.
 - MANUFACTURED ARTICLES SHALL BE USED OR APPLIED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND SHALL BE HANDLED AS DIRECTED. LABELS SHALL NOT BE REMOVED FROM CANS, BOXES, AND CARTONS, ETC., WHEN THE LATTER ARE DELIVERED TO SITE. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY. REFER TO ADDITIONAL NOTES FOR SPECIFIC INFORMATION.

GENERAL DEMOLITION NOTES

- DEMOLITION SHALL INCLUDE BUT IS NOT NECESSARILY BE LIMITED TO THE REMOVAL OF EXISTING CEILINGS, BASE, DOORS, WINDOWS, FRAMES, ROUGH CARPENTRY, MILLWORK, SPECIALTY ITEMS, EQUIPMENT, HARDWARE, FURNISHINGS, ALL OTHER MATERIALS AND FINISHES REQUIRED THAT ARE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.REPAIR HOLES WITHIN THE EXISTING CONCRETE FLOOR SLAB AND ENSURE THAT BASIC FLOOR ELEVATIONS ARE LEVEL. EXISTING WALLS WHICH REMAIN WITHIN DEMOLITION AREAS SHALL BE PREPARED TO RECEIVE FINAL FINISHES. FOR PACKAGING AND LABELING OF TURNOVER OF FINAL ITEMS TO OWNER, REFER TO SPECIFICATION. CLEAN AND PREPARE AREA FOR COMMENCEMENT OF NEW WORK.
- AS PER MECHANICAL AND ELECTRICAL DRAWINGS, WHERE EXISTING MECHANICAL AND ELECTRICAL SYSTEMS ARE TO BE REMOVED AND/OR RELOCATED, IT IS THE CONTRACTORS' RESPONSIBILITY TO DETERMINE THE ORIGIN OF THE MECHANICAL AND ELECTRICAL SYSTEMS AND PROVIDE FOR THEIR RELOCATION. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE DURING THE PRE-TENDER SITE REVIEW IF THERE ARE CONCEALED MECHANICAL OR ELECTRICAL SYSTEMS WITHIN THE WALLS, CEILINGS AND FLOORS OF THE EXISTING STRUCTURE AND MAKE PROVISIONS IN THE TENDER PRICE FOR THE RELOCATION AND/OR TERMINATION OF THE MECHANICAL AND ELECTRICAL SYSTEMS OF THE EXISTING BUILDING. THE OWNER WILL EXPOSE AS REQUIRED BY THE CONTRACTOR DURING THE PRE-TENDER SITE REVIEW AREA REQUESTED BY THE BIDDERS TO DETERMINE THE EXTENT OF THE CONCEALED MECHANICAL AND ELECTRICAL SYSTEMS. COORDINATE, REMOVE, RELOCATE AND/OR PROVIDE NEW MECHANICAL AND ELECTRICAL SYSTEMS AND COMPONENTS AS NOTED IN CONTRACT DOCUMENTS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO SITE CONFIRM ALL WORK REQUIRED PRIOR TO DEMOLITION. ALL DEMOLITION PROCEDURES TO BE CLARIFIED WITH PROPERTY MANAGER OR BUILDING OWNER.
- PATCH, REPAIR, AND MAKE GOOD ALL SURFACES, PARTITIONS, CEILINGS, AND ELECTRICAL ITEMS WHICH ARE AFFECTED BY DEMOLITION, READY TO RECEIVE NEW FINISHES.
- REMOVE ALL EXISTING LIGHTING IN CEILING DEMOLITION AREA AND RETAIN AS NOTED FOR REUSE. REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO SPECIFICATIONS AND MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- VERIFY BOUNDARIES BETWEEN DEMOLITION WORK AND EXISTING TO REMAIN ON SITE BEFORE PROCEEDING WITH WORK.
- TEMPORARILY RELOCATE FURNISHING AND EQUIPMENT AS REQUIRED AND DIRECTED BY CLIENT.
- DEMOLISH PARTITIONS, FLOORING, BASE, CEILINGS ETC. AS INDICATED ON DRAWINGS.
- ALL PORTIONS OF PARTITIONS SCHEDULED FOR REMOVAL SHALL BE REMOVED TO THE UNDERSIDE OF DECK OR T-BAR CEILING, U.N.O.
- REMOVE ALL EXISTING WALL VINYL/COVERING, FLOOR AND BASE FINISHES, UNLESS OTHERWISE NOTED, PATCH AND REPAIR SUBSTRATE, AS REQUIRED, MAKING SURFACE READY TO ACCEPT NEW WALL, FLOOR, AND BASE FINISHES.
- TURN OVER MILLWORK, FURNISHING, EQUIPMENT, FIXTURES, ACCESSORIES AND OTHER SALVAGEABLE ITEMS TO SITE ADMINISTRATOR. CONTRACTOR SHALL DISPOSE OF UNSALVAGED ITEMS. ONLY MATERIAL IN GOOD REUSABLE CONDITION ARE TO BE SALVAGED. ANY REMAINING MATERIALS UPON PROJECTED COMPLETION SHALL BE REMOVED FROM SITE.
- REMOVE EXISTING FILM AND ALL TRACES OF ADHESIVE FROM GLAZING, UNLESS NOTED OTHERWISE. SALVAGE FOR RE-USE AS REQUIRED.
- REFER TO STAGING AND/OR PHASING IN THE SPECIFICATIONS AND DRAWINGS.

GENERAL CONSTRUCTION NOTES

- PROVIDE HOARDING AND DUST TIGHT PROTECTION BETWEEN NEW CONSTRUCTION AND AREAS IN USE.
- CONSTRUCT NEW PARTITIONS RIGHT TO THE FLOOR. ALL PARTITIONS ARE TO BE TAPED, FILLED, AND SANDED SMOOTH TO RECEIVE NEW FINISHES.
- REVO CLIPS OR EQUAL MUST BE USED TO ADHERE ALL NEW PARTITIONS TO T-BAR. UNDER NO CIRCUMSTANCES SHALL PARTITIONS BE SCREWED INTO T-BAR.
- WHERE NEW PARTITIONS JOIN AT THE END OF AN EXISTING PARTITION, G.W.B. SHALL BE ALIGNED IN THE SAME PLANE WITH THE EXISTING WALL AND TRANSITION IS TO BE FINISHED TO POINT OF NO PERCEIVED CHANGE IN WALL TYPES.
- PROVIDE ADEQUATE BRACING AND/OR BLOCKING IN PARTITIONS TO SUPPORT VISUAL BOARDS, SIGNAGE, MILLWORK, COAT HOOKS, WALL MOUNTED ACCESSORIES AS REQUIRED. BLOCKING SHALL BE CENTERED ON LENGTH OF PARTITIONS, FULL WIDTH. REFER TO RENOVATION AND FURNITURE PLANS.
- PATCH AND REPAIR ALL EXISTING PARTITIONS TO REMAIN AS REQUIRED. SAND SURFACES SMOOTH READY TO ACCEPT NEW WALL FINISH.
- PRIOR TO CUTTING OR CORING CONCRETE SLAB, CONTRACTOR MUST CHECK FLOOR FOR ANY ELECTRICAL, MECHANICAL OR EQUIPMENT LOCATIONS. ANY PENETRATION THROUGH FLOOR MUST BE WATER TIGHT. CONFIRM WITH LANDLORD PRIOR TO COMMENCING WITH WORK.
- CONTRACTOR MUST SEAL ALL OPENINGS, WHETHER BY STRUCTURAL, MECHANICAL, OR ELECTRICAL, IN THE FLOOR OR FIRE RATED PARTITION, WITH A FIRE BARRIER MATERIAL EQUAL TO THAT BEING PENETRATED.
- LAYOUT ALL WALLS ON FLOOR FOR REVIEW & APPROVAL BY DESIGN CONSULTANT PRIOR TO ERECTING.
- ALL PARTITIONS ABUTTING EXTERIOR WINDOWS TO BE CENTERED ON MULLIONS UNLESS NOTED OTHERWISE. USE ACOUSTICAL FOAM TAPE AT INTERSECTION OF TRACK TO INDUCTION UNITS AND BULKHEADS. WHEREVER PARTITIONS ABUT INDUCTION UNITS,INSTALL SEMI-RIGID FIBERGLASS INSULATION, CUT TO FIT INSIDE OF ENCLOSURE. COORDINATE WITH MECHANICAL.
- DO NOT PUNCTURE EXTERIOR WINDOW MULLION TO ANCHOR PARTITIONS.
- CAULK ALL JOINTS FULL HEIGHT WHERE PARTITIONS ABUT STRUCTURAL WALLS, RAD CABINETS, GLAZING MULLIONS, AND COLUMNS. USE DOUBLE SIDED SEALANT AND CAULK EDGES.
- BASE BUILDING PARTITIONS, CORE WALLS, AND COLUMNS SHALL BE FURRED OUT (IF REQUIRED) TO ACCOMMODATE POWER AND DATA ETC. FOR ITEMS SPECIFIED BY ELECTRICAL AND MECHANICAL ENGINEERS.
- PROVIDE SOUND TRAPS AT RETURN AIR OPENINGS IN PARTITIONS EXTENDING ABOVE THE CEILING LINE TO THE DECK AND FIRE DAMPERS FOR ALL FIRE RATED PARTITIONS. COORDINATE WITH MECHANICAL DRAWINGS.
- ALL MECHANICAL AND ELECTRICAL ROUGH-INS TO BE REVIEWED ON SITE WITH DESIGN CONSULTANTS FOR APPROVAL PRIOR TO BOARDING OF PARTITIONS.

GENERAL REFLECTED CEILING PLAN NOTES

- THE REFLECTED CEILING PLAN IS PROVIDED FOR LOCATION OF LIGHTING AND CEILING TYPES AND SHALL BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- PAINT ALL CONCRETE COFFERS, CONCRETE ROOF JOISTS, AND GYPSUM BOARD CEILINGS AND BULKHEADS TO MATCH BULKHEAD FINISH, UNLESS NOTED OTHERWISE; ONE COAT PRIMER AND TWO COATS TOP COAT, FLAT FINISH.
- PAINT ALL CEILING MOUNTED ACCESS PANELS AND GRILLES TO MATCH CEILING, UNLESS NOTED OTHERWISE.
- PLACEMENT OF ALL IN-CABINET LIGHTING & UNDER CABINET LIGHTING TO BE COORDINATED WITH MILLWORK DRAWINGS AND ELECTRICAL DRAWINGS. REFER TO ELEVATIONS AND DETAILS.
- REFER TO THE FINISHES LEGEND FOR CEILING PAINT FINISHES AND ADDITIONAL FINISH NOTES.
- PROVIDE ACCESS PANELS IN G.W.B. CEILINGS AS REQUIRED. ALL ACCESS PANEL LOCATIONS ARE TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND ARE TO BE PAINTED TO MATCH CEILING COLOR.

GENERAL FINISH NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FINISH SPECIFICATION, SCHEDULES AND ALL PLANS, ELEVATIONS, DETAILS, ETC.
- SUBMIT 2 SETS OF SAMPLES (MINIMUM) OF ALL FINISH MATERIALS TO THE CONSULTANT FOR APPROVAL PRIOR TO ORDERING.
- WHERE COLOUR OR EXTENT OF FINISH IS IN QUESTION, CONTACT CONSULTANT FOR CLARIFICATION PRIOR TO PROCEEDING.
- ALL MATERIALS LISTED HAVE BEEN SELECTED FOR SPECIFIC COLOUR, TEXTURE, AND PATTERN. NO SUBSTITUTIONS FOR THE SPECIFIED MANUFACTURER SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE SITE ADMINISTRATOR OR CONSULTANT.
- USE THE LARGEST CONTINUOUS PIECE OF MATERIAL, AS PROVIDED BY MANUFACTURER, TO COMPLETE INSTALLATION OF EACH FINISH. ALL FINISHES AND MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATIONS AND ENSURE COMPATIBILITY WITH OWNERS MAINTENANCE AND CLEANING PRACTICES AND PROCEDURES.
- ALL NOTES REFER TO FINISHING OF AREAS IN CONTRACT AND IN ALL AREAS WHERE CONSTRUCTION AND DEMOLITION ACTIVITIES HAVE AFFECTED THE EXISTING FINISHES. REFINISHING IS NOT REQUIRED TO AREAS NOT IN CONTRACT, U.N.O.
- PAINT ALL INDUCTION UNITS, PERIMETER WALL AND HEAT INDUCTION UNITS P-1, U.N.O.
- PAINTED DOORS AND FRAMES TO RECEIVE ONE COAT PRIMER/SEALER, TWO COATS ALKYD PAINT, SEMI-GLOSS W1.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND/OR INSTRUCTION ON PREPARATION, ADHESIVES, AND SEALERS, ETC., FOR MATERIALS INDICATED ON THE FINISHES DRAWINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR GENERAL FINISH INFORMATION AND SPECIFICATIONS.
- ALL EXISTING WALLS ARE TO BE PATCHED AND REPAIRED PRIOR TO NEW FINISH.
- FINISHES TO CONTINUE TO NEAREST FULL HEIGHT DOOR FRAME OR CORNER, U.N.O.
- REFER TO DOOR AND FRAME SCHEDULES AND IN SPECIFICATIONS FOR DOOR AND FRAME FINISHES OR; SEE BRAND/OWNER SPECIFICATIONS.
- ALL ELECTRICAL PANEL DOORS ETC. TO BE PAINTED TO MATCH ADJACENT WALL FINISH.
- ALL MISCELLANEOUS METALS, TRIMS, ETC. ON WALLS TO BE PAINTED TO MATCH ADJACENT WALL SURFACE.
- ALL FIRE EXTINGUISHER, HOSE AND ELECTRICAL CABINETS TO BE PAINTED TO MATCH ADJACENT WALL FINISH THAT THEY ARE ON.
- ALL WALL REVEALS FOR PAINT FINISH TO MATCH THE WALL THEY ARE ON.
- ALL WALLS TO BE PAINTED W1, AND HAVE BASE B2 U.N.O.
- REFER TO ELEVATIONS & DETAILS FOR SPECIFIC LOCATIONS OF FINISHES.
- ALL PAINTED PARTITIONS TO HAVE COMPLETE COVERAGE AND RECEIVE A MINIMUM OF 1 PRIMER COAT AND 2 TOP COATS - PREMIUM LATEX OF THE PRODUCT SPECIFIED. DARKER COLOURS TO RECEIVE ADDITIONAL COATS USING SPECIFIED PRODUCTS ONLY AS REQUIRED TO ACHIEVE UNIFORM COLOUR APPEARANCE. SEEK CONSULTANT APPROVAL FOR USE OF AN ALTERNATE DARK COLOUR PAINT. CONSULTANT'S APPROVAL REQUIRED AND ONE COAT OF CLEARCOAT FINISH WILL BE REQUIRED.

CEILING FINISH NOTES

- REPLACE BROKEN OR SOILED ACOUSTIC CEILING TILES AND T-BAR THAT CANNOT BE CLEANED.
- WHERE PARTITIONS HAVE BEEN REMOVED, CONTRACTOR TO REPAIR OR REPLACE ACOUSTIC CEILING TILES AND T-BAR GRID AS REQUIRED.
- DRYWALL CONTRACTOR TO ALLOW FOR ALL MECHANICAL AND ELECTRICAL PENETRATIONS IN CEILING.
- ALL AIR DIFFUSERS, SPEAKERS AND SPRINKLER HEADS IN G.W.B. CEILING TO BE PAINTED TO MATCH ADJACENT FINISH, UNLESS NOTED OTHERWISE.
- ALL MISCELLANEOUS METALS, TRIMS ON CEILINGS ETC., TO BE PAINTED TO MATCH ADJACENT CEILING SURFACE, UNLESS NOTED OTHERWISE.
- NEW CEILING FINISHES TO MATCH EXISTING BASE BUILDING FINISHES.

FLOOR FINISH NOTES

- GENERAL CONTRACTOR TO ENSURE FLOOR IS SMOOTH AND LEVEL FOR NEW FINISHES PRIOR TO INSTALLATION. PREPARE EXISTING FLOOR TO RECEIVE NEW FINISH.
- FLOORING CONTRACTOR TO COORDINATE INSTALLATION WITH MILLWORK INSTALLER AS REQUIRED.
- FLOORING CONTRACTOR TO FEATHER CONCRETE OVER A 1200MM (4'-0") AREA TO ENSURE A SMOOTH, LEVEL TRANSITION BETWEEN FLOORING FINISHES.
- ALL FLOOR FINISHES TO BE FLUSH WITH COLUMN, BUILDING PERIMETER AND INTERIOR WALLS.
- FLOORING CONTRACTOR TO SUPPLY SEAMING DIAGRAM FOR DESIGN CONSULTANT TO REVIEW PRIOR TO INSTALLATION. ALL SEAMS WHEREVER POSSIBLE SHOULD FALL CLOSER TO WALLS THAN HIGH TRAFFIC AREAS
- ALL FLOOR FINISHES SHALL EXTEND UNDER MILLWORK/CABINETS TO FACE OF TOE KICK. WHERE EQUIPMENT ON FLOOR CAN BE REMOVED, FLOOR FINISH TO EXTEND INTO RECESS OR CAVITY TO FACE OF WALL. ALL FLOORING TO EXTEND INTO CLOSETS.
- FLOOR FINISHES ARE TO TERMINATE CENTERED UNDER DOORS WHEN DOORS ARE IN FULL CLOSED POSITION.
- FINISHES TO EXTEND UNDER CONVECTOR CABINET AND COVE UP PERIMETER WALL AS HIGH AS POSSIBLE, U.N.O.
- CABLE WELDS WITHIN SAME COLOR OF RESILIENT FLOORING TO MATCH RESILIENT FLOORING.
- CABLE WELDS BETWEEN COLOR TRANSITIONS OF RESILIENT FLOORING TO BE BLACK.
- ALL BASEBOARDS TO BE RUBBER BASE, B2, ON ALL BASE BUILDING CONSTRUCTION.
- FEATHER FLOOR TO ENSURE SMOOTH TRANSITION BETWEEN DISSIMILAR FLOOR FINISHES. INSTALL TRANSITION STRIPS AS NOTED. COLOR TO BE APPROVED BY CONSULTANT.
- WHERE SHEET GOODS ARE BEING INSTALLED, SUBFLOOR TO BE WELL PREPARED SO SUB-FLOOR WILL NOT TELEGRAPH THROUGH.
- REFER TO CARPET INSTALLATION PLAN FOR LOCATION AND SIZE OF ALL CARPET INLAYS.

FURNITURE & EQUIPMENT NOTES

- EQUIPMENT AND FURNISHINGS ARE N.I.C. AND ARE SHOWN FOR INFORMATION AND COORDINATION PURPOSES ONLY.
- ACTUAL SIZE OF FURNITURE TO BE CONFIRMED WITH CLIENT PRIOR TO MOVING IN. FURNITURE SIZES ARE REPRESENTATIONAL ONLY.
- ALL FURNITURE & EQUIPMENT SUPPLIED AND INSTALLED BY CLIENT, UNLESS NOTED OTHERWISE.
- ALL PANEL DIMENSIONS GIVEN AS LENGTH BY HEIGHT, UNLESS NOTED OTHERWISE.
- FOR POWER FEED LOCATIONS AND POWERED PANELS, REFER TO ELECTRICAL DRAWINGS. CONFIRM DIMENSIONS ON SITE PRIOR TO CORING OR CUTTING CEILING. CONTRACTOR TO COORDINATE CONNECTIONS.

Project No.:
23-006

Project Title:
BLAZA BUILDING

Project Address:
**417, 14 Street, NW
Calgary, Alberta**

Legal Address:
Plan 6219L, Block 2, Lot 21

Notes

- This drawing is the sole property of FarMor Architecture and shall not be reproduced or used in any way without written permission by the above.
- Read all dimensions, do not scale from drawing.
- Verify all dimensions and datum prior to construction start and any/all errors, omissions and/or discrepancies are to be reported immediately.

Issued for:
DEVELOPMENT PERMIT

Date:
2026-08-11

Revisions:

DETAILED REVIEW -3

DRAWING:
GENERAL SPECIFICATIONS

SHEET NUMBER:

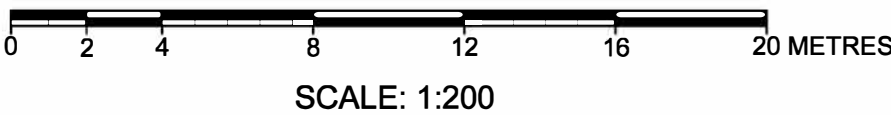
SITE PLAN

MUNICIPAL ADDRESS:
417 14 STREET N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOTS 21 TO 23 INCLUSIVE
BLOCK 2
PLAN 6219 L

PREPARED FOR:

DATE OF SURVEY: June 12th, 2026



LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.C.T. Line
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch
- '2F.'-Second Floor
- 'BC'-Back of Curb
- 'BW'-Back of Walkway
- 'Cant.'-Cantilever
- 'Conc.'-Concrete
- 'Elev.'-Elevation
- 'Enc.'-Encroach(es)
- 'L'-Length of Arc
- 'LG'-Lip of Gutter
- 'M.F.'-Main Floor
- 'MB'-Bottom of Main Floor
- 'R/W'-Right of Way
- 'Ret.'-Retaining
- 'RPF'-Retaining Peak Elevation
- 'WB'-Bottom of Wall
- 'WT'-Top of Wall
- 'R'-Radius

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (Original)
Projection: 3' Transverse Mercator
Reference Meridian: 114' west longitude
Combined Scale Factor: 0.999739
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 75713.
- Existing spot elevations are shown thus: 1000.00
- The Certificate of Title 231 126 755 which was Searched on the 21st day of June, 2026 and includes the following instruments:
Restrictive Covenant No. 901 111 479
Caveat No. 241 001 664; 261 071 224
Mortgage No. 261 071 223
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 137, 161, 167 & 168 in Sec.20-Twp.24-Rge.1-W.5M.
158 in Sec.21-Twp.24-Rge.1-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location
T1	Deciduous	0.30	4.00	8.00	In Adjacent Property
T2	Deciduous	0.40	4.00	8.00	On Property Line
T3	Deciduous	0.40	4.00	8.00	In Subject Property
T4	Deciduous	0.30	6.00	6.00	In Adjacent Property
T5	Tree Line	-	2.00	4.50	In City Property



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File No.: 260000	Date: 22/Jun/2026
Surveyed: AJ	Drawn: WX

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