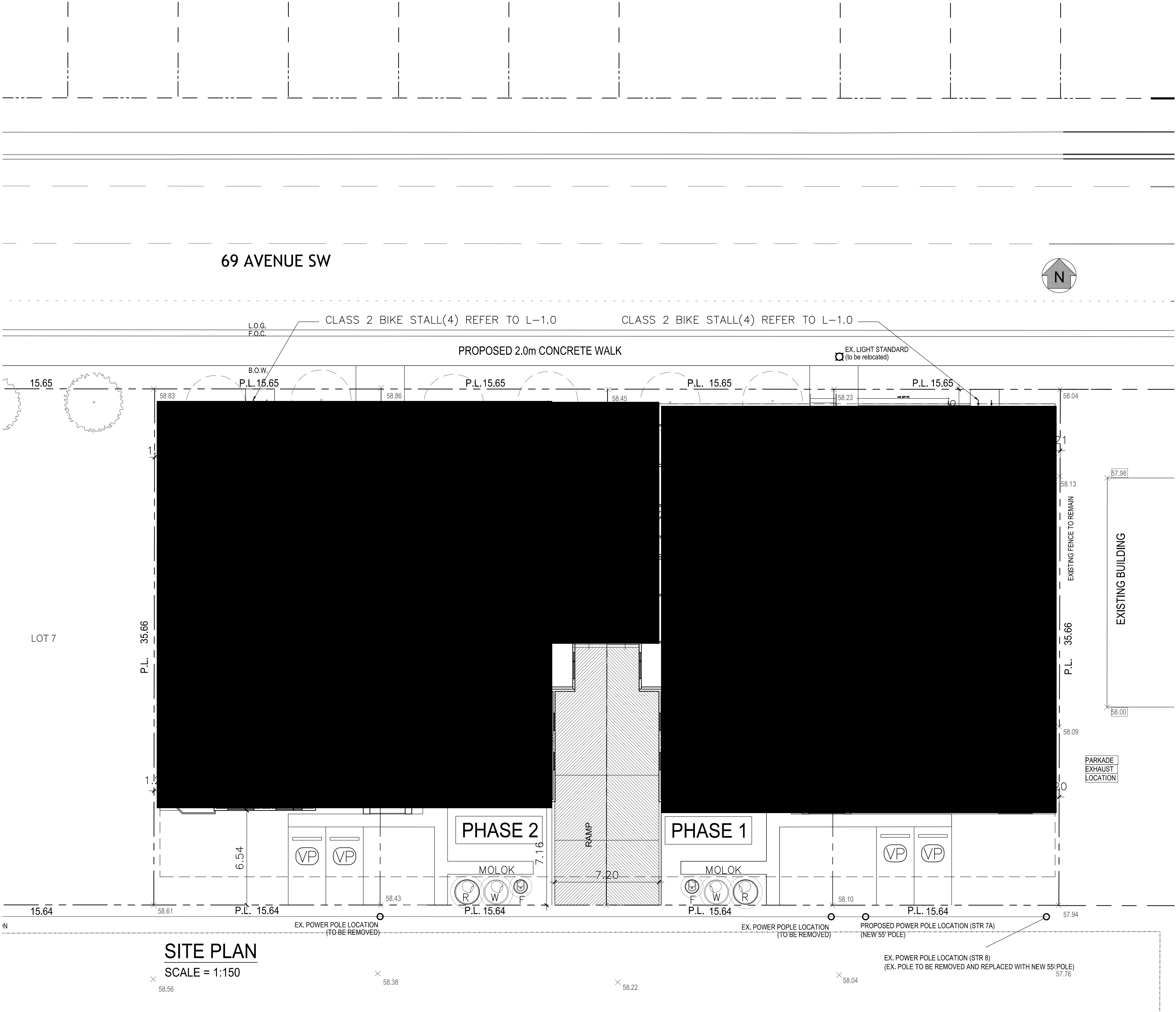




LEGAL DESCRIPTION

LOT 8, 9, 10 & 11
BLOCK 2
PLAN 1754 HK

MUNICIPAL ADDRESS

617, 623, 627 & 631 69 AVE SW
CALGARY, ALBERTA

ZONING

M-C1

SITE INFORMATION

SITE AREA = 2,232.31 M² (0.55 ACRES, 0.22 Ha)

DENSITY – TBA UNITS

FAR = TBA

BUILDING DESCRIPTIONS

PROJECT TYPE:

RESIDENTIAL (CONDOS)
ALL BUILDINGS ON SITE ARE NEW CONSTRUCTION

PHASE 1
BUILDING AREA = 655.39 M²

PHASE 2
BUILDING AREA = 655.39 M²

UNIT TYPES AND AREA REFER TO FLOOR PLAN

PARKING CALCULATION

RESIDENTIAL PARKING REQUIREMENT:

0.625 STALLS PER UNIT
TOTAL DWELLING UNIT = 62
62 X 0.625 = 38.75

VISITOR PARKING REQUIREMENT:

NO MIN. REQUIREMENT RATE IN LUB

TOTAL SURFACE PARKING REQUIRE = 0
PROVIDED SURFACE PARKING = 4

TOTAL VISITOR PARKING = 4
TOTAL UNDERGROUND PARKING = 50

BICYCLE CALCULATION

BICYCLE PARKING STALL – CLASS 1
1 STALL PER UNIT/SUITE
EACH UNIT HAS 1 BIKE PARKING STALL. IT WILL BE EITHER UNDERGROUND PARKING AREA OR STORAGE ROOM.

BICYCLE PARKING STALL – CLASS 2
0.1 STALL PER UNIT/SUITE

REQUIRED BICYCLE STALLS = 62 X 0.1 = 6.2 STALL
PROVIDE 8 STALL AT GRADE

WASTE & RECYCLING REQUIREMENTS

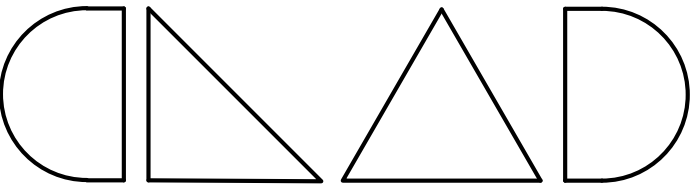
62 UNITS X 0.3yd³ = 18.6yd³ REQUIRED TOTAL VOLUME

MOLOK SYSTEM:
6.5yd³ (M5000) X 4 = 26.0yd³
1.7yd³ (M1300) X 2 = 3.4yd³

TOTAL WASTE & RECYCLE PROVIDED = 29.4yd³

LEGEND	
	SITE LIGHTING REFER TO E-1
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	NO PARKING / FIRE LANE EITHER SIDE OF STREET
	STOP SIGN
	VISITOR PARKING SIGN
	RESIDENT PARKING SIGN
	PRIVATE PROPERTY SIGN
	MARKETING SIGN (1.5M X 1.4M)
	WHEEL STOP (MAX. 0.10 M HIGH)
	S B SPEED BUMP
	WHEELCHAIR RAMP
	CROSSWALK, PAINTED LINES
	CONC RETAINING WALL
	TRANSFORMER
	UNDERGROUND ELECTRICAL BOX
	WATER METER ROOM LOCATION
	IRRIGATION METER ROOM LOCATION
	P – PATIO (PAVERS) WITH DECK ABOVE
	B – BALCONY (ABOVE)
	AM – PRIVATE AMENITY AREA (AT GRADE) REFER TO A-1.1 FOR DETAILS
	⊗ – GAS METER ROOM LOCATIONS
	⊙ – ELECTRICAL METER ROOM LOCATIONS
	⬢ – EXISTING CITY STREETLIGHTS
	⬢ – NEW POLE LIGHTS
	▬ – BENCH

2025-01-23 FOR REVIEW



CLEM LAU ARCHITECT DESIGNERS

PROJECT

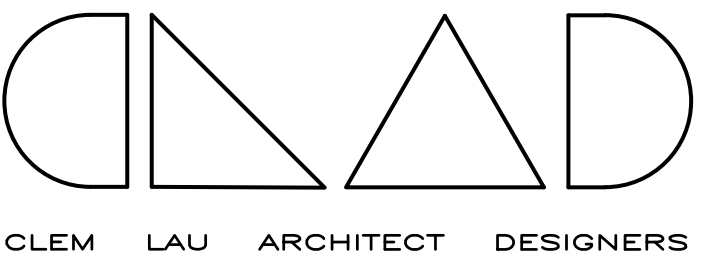
KINGSLAND APARTMENT
PHASE 1 & 2

FOR

DRAWING NO.



2025-04-23 CHANGE MATERIALS
2025-04-09 FOR REVIEW
2023-08-01 FOR REVIEW



PROJECT

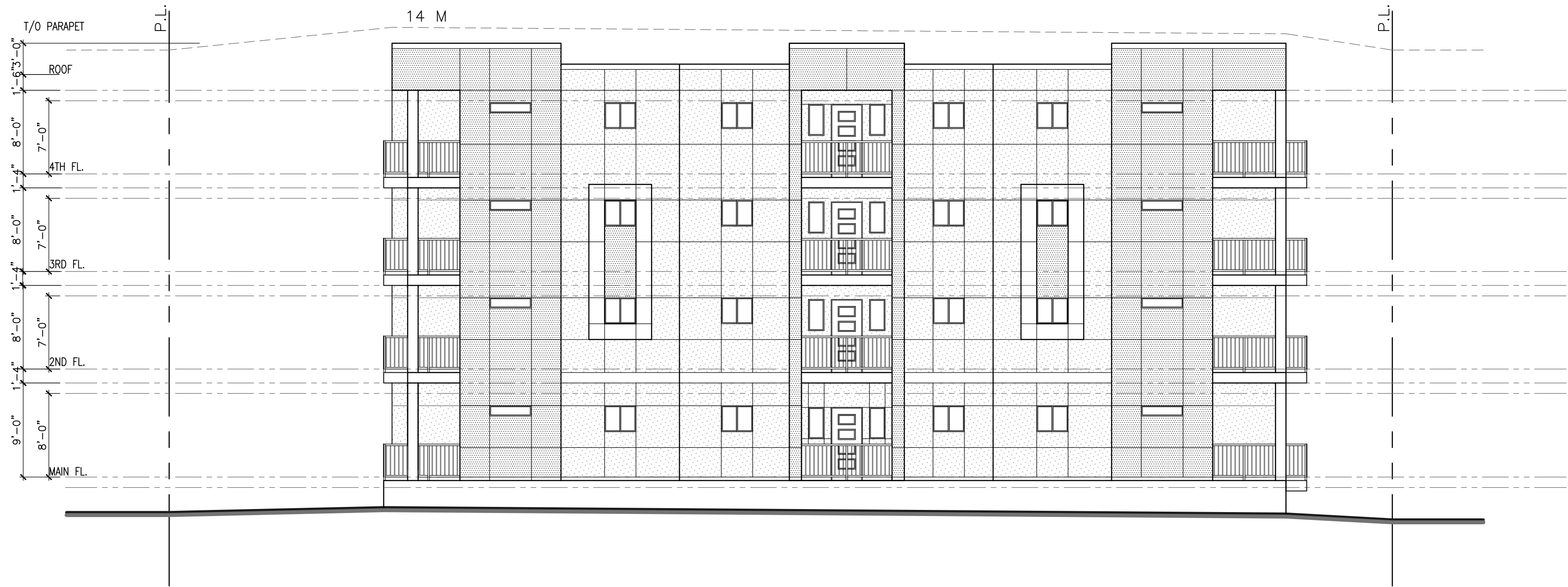
KINGSLAND APARTMENT
PHASE 1 & 2

FOR

DRAWING NO.

A-3.0

PHASE 1



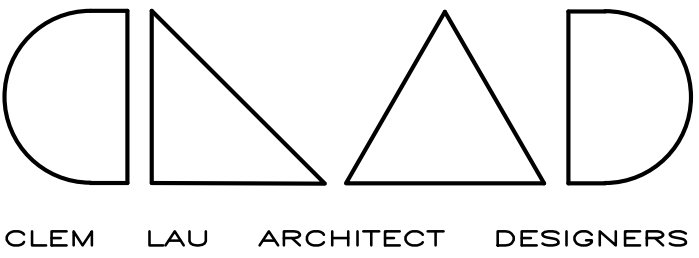
SIDE ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

PHASE 1



SIDE ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

2025-04-23 CHANGE MATERIALS
2025-04-09 FOR REVIEW
2023-08-01 FOR REVIEW



PROJECT

KINGSLAND APARTMENT
PHASE 1 & 2

FOR

DRAWING NO.

DP No	Date Received
DP2025-02744	07 11 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.	

Architectural elevation drawing of a four-story building facade. The drawing shows a symmetrical design with a central entrance and multiple windows. Vertical dimensions on the left indicate floor heights: 9'-0" for the main floor, 8'-0" for the second floor, 7'-0" for the third floor, and 8'-0" for the fourth floor. A roof parapet is shown at the top. The building is flanked by vertical lines labeled "P.L." (Property Line).

SCALE: 1/8" = 1'-0"

[illegible]

SCALE: 1/8" = 1'-0"

A-3.2