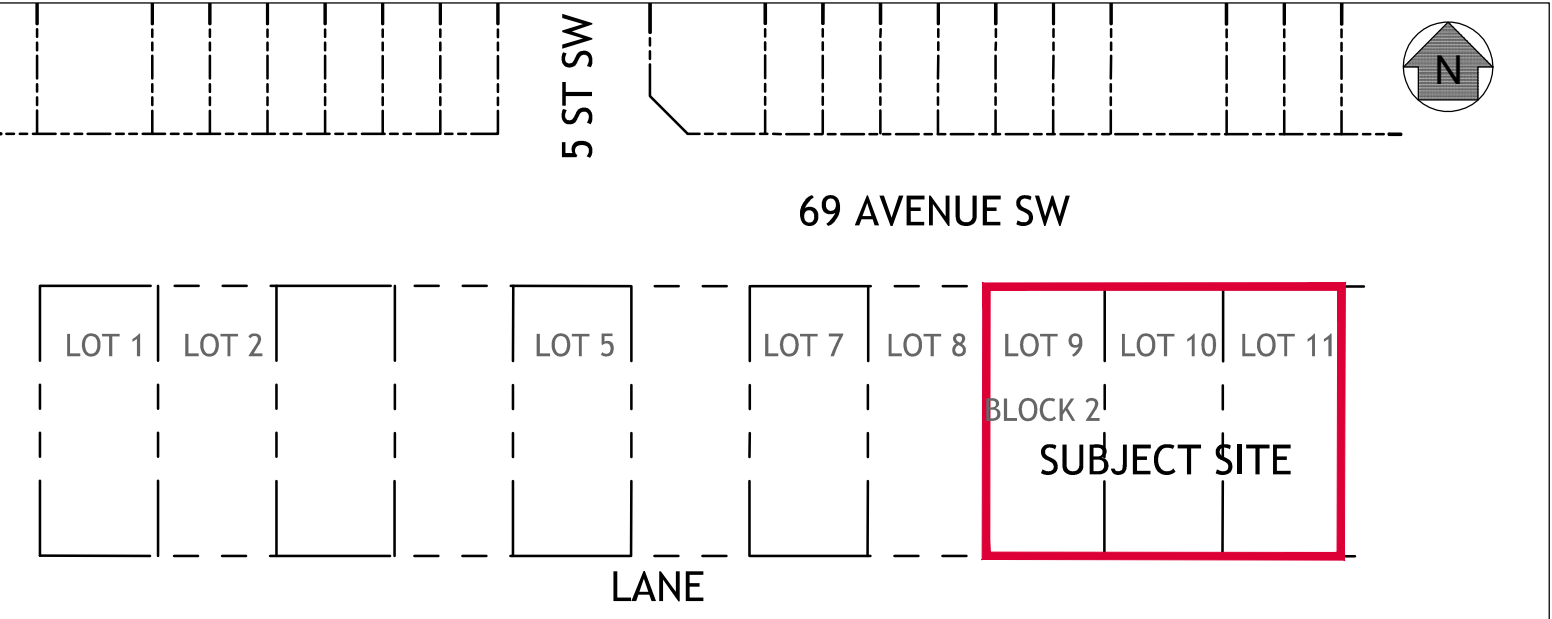
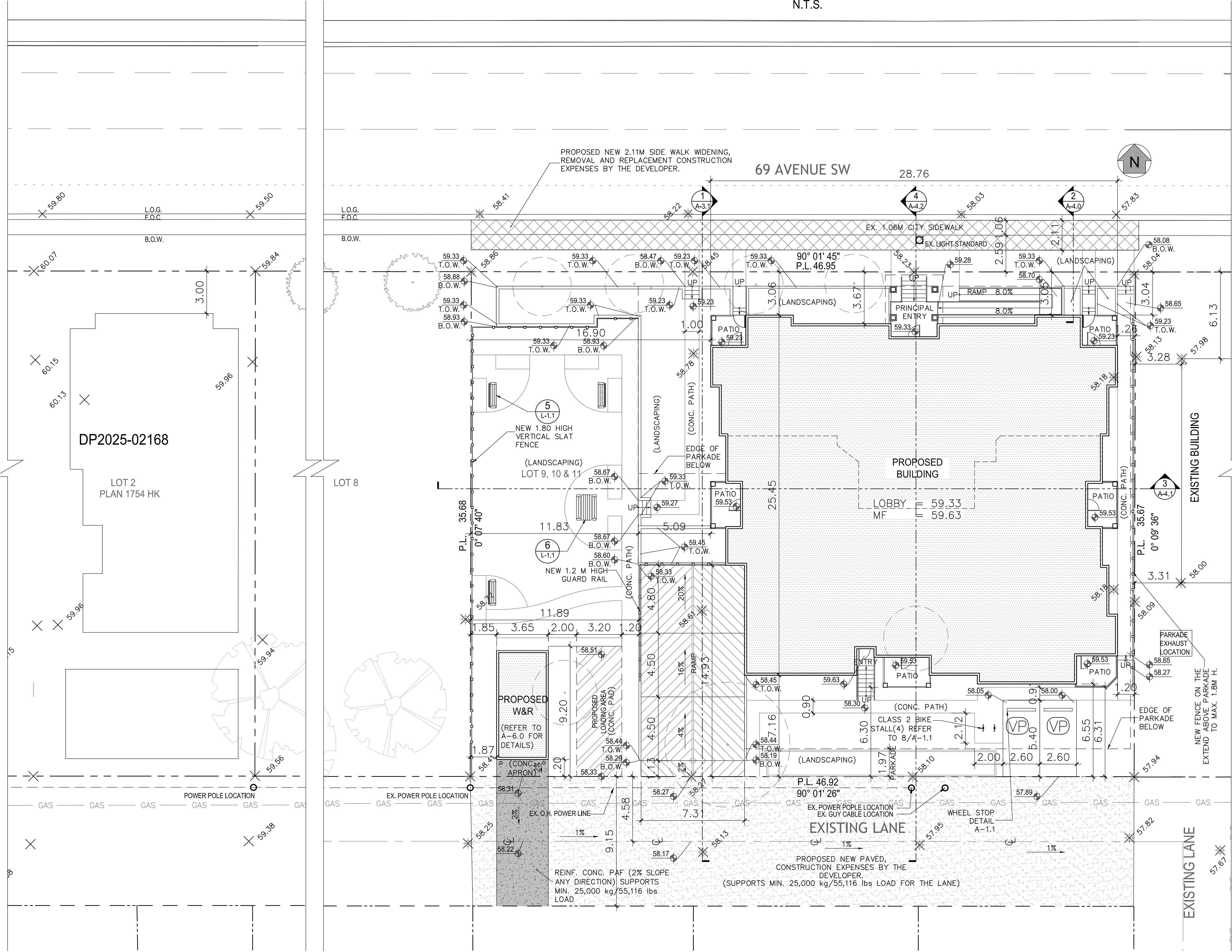




KEY PLAN
N.T.S.



SITE PLAN
SCALE = 1:150

LEGAL DESCRIPTION

LOT 9, 10 & 11
BLOCK 2
PLAN 1754 HK

MUNICIPAL ADDRESS

617, 623 & 627 – 69 AVE SW
CALGARY, ALBERTA

ZONING

M-C1

SITE INFORMATION

SITE AREA = 1,674.03 M² (0.41 ACRES, 0.167 Ha)

DENSITY – TOTAL 25 UNITS
REQUIRED: 148 UNIT/HECTARE
PROPOSED: 60.98 UNITS/ACRE (149.70 UNITS/Ha)

FAR = TBA

BUILDING DESCRIPTIONS

PROJECT TYPE:

RESIDENTIAL (CONDOS)
BUILDING ON SITE ARE NEW CONSTRUCTION

BUILDING AREA = 655.39 M²

UNIT TYPES AND AREA REFER TO FLOOR PLAN

PARKING CALCULATION

RESIDENTIAL PARKING REQUIREMENT:

0.625 STALLS PER UNIT

TOTAL DWELLING UNIT = 25
25 X 0.625 = 15.625

VISITOR PARKING REQUIREMENT:

NO MIN. REQUIREMENT RATE IN LUB

TOTAL SURFACE PARKING REQUIRED = 0
PROVIDED SURFACE PARKING = 2

TOTAL VISITOR PARKING = 2

TOTAL LOADING STALL = 1

TOTAL UNDERGROUND PARKING = 24

BICYCLE CALCULATION

BICYCLE PARKING STALL – CLASS 1

REQUIRED 1 STALL PER UNIT/SUITE = 26 SPACES
PROVIDED 26 PARKING SPACES AT UNDERGROUND
PARKADE BIKE CAGE.

BICYCLE PARKING STALL – CLASS 2

0.1 STALL PER UNIT/SUITE

REQUIRED BICYCLE SPACES = 25 X 0.1 = 2.5 SPACES
PROVIDE 4 SPACE AT GRADE

WASTE & RECYCLING REQUIREMENTS

25 UNITS X 0.3yd³ = 7.5yd³ REQUIRED TOTAL VOLUME

CONTAINER:
6.0yd³ X 3 = 18.0yd³ (1 WASTE, 1 RECYCLE, 1 COMPOSE)

TOTAL WASTE & RECYCLE PROVIDED = 18.0yd³

LEGEND

☉ SITE LIGHTING REFER TO E-1

● EXISTING FIRE HYDRANT

○ PROPOSED FIRE HYDRANT

Ⓟ NO PARKING / FIRE LANE
EITHER SIDE OF STREET

Ⓢ STOP SIGN

Ⓥ VISITOR PARKING SIGN

Ⓡ RESIDENT PARKING SIGN

Ⓟ PRIVATE PROPERTY SIGN

Ⓜ MARKETING SIGN (1.5M X 1.4M)

— WHEEL STOP (MAX. 0.10 M HIGH)

S B SPEED BUMP

Ⓢ WHEELCHAIR RAMP

Ⓢ CROSSWALK, PAINTED LINES

— CONC RETAINING WALL

Ⓢ TRANSFORMER

Ⓢ UNDERGROUND ELECTRICAL BOX

Ⓢ WATER METER ROOM LOCATION

Ⓢ IRRIGATION METER ROOM LOCATION

P – PATIO (PAVERS) WITH DECK ABOVE

B – BALCONY (ABOVE)

AM – PRIVATE AMENITY AREA (AT GRADE)

REFER TO A-1.1 FOR DETAILS

Ⓢ – GAS METER ROOM LOCATIONS

Ⓢ – ELECTRICAL METER ROOM LOCATIONS

Ⓢ – EXISTING CITY STREETLIGHTS

Ⓢ – NEW POLE LIGHTS

Ⓢ – BENCH

Ⓢ – PROPOSED NEW GRADE

Ⓢ – EXISTING GRADE

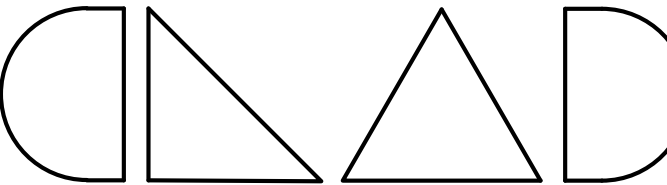
AMENDED DRAWINGS

DP No Date Received

DP2025-02744 03 10 2026

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

2026-03-05 DTR2
2026-02-26



CLEM LAU ARCHITECT DESIGNERS

PROJECT

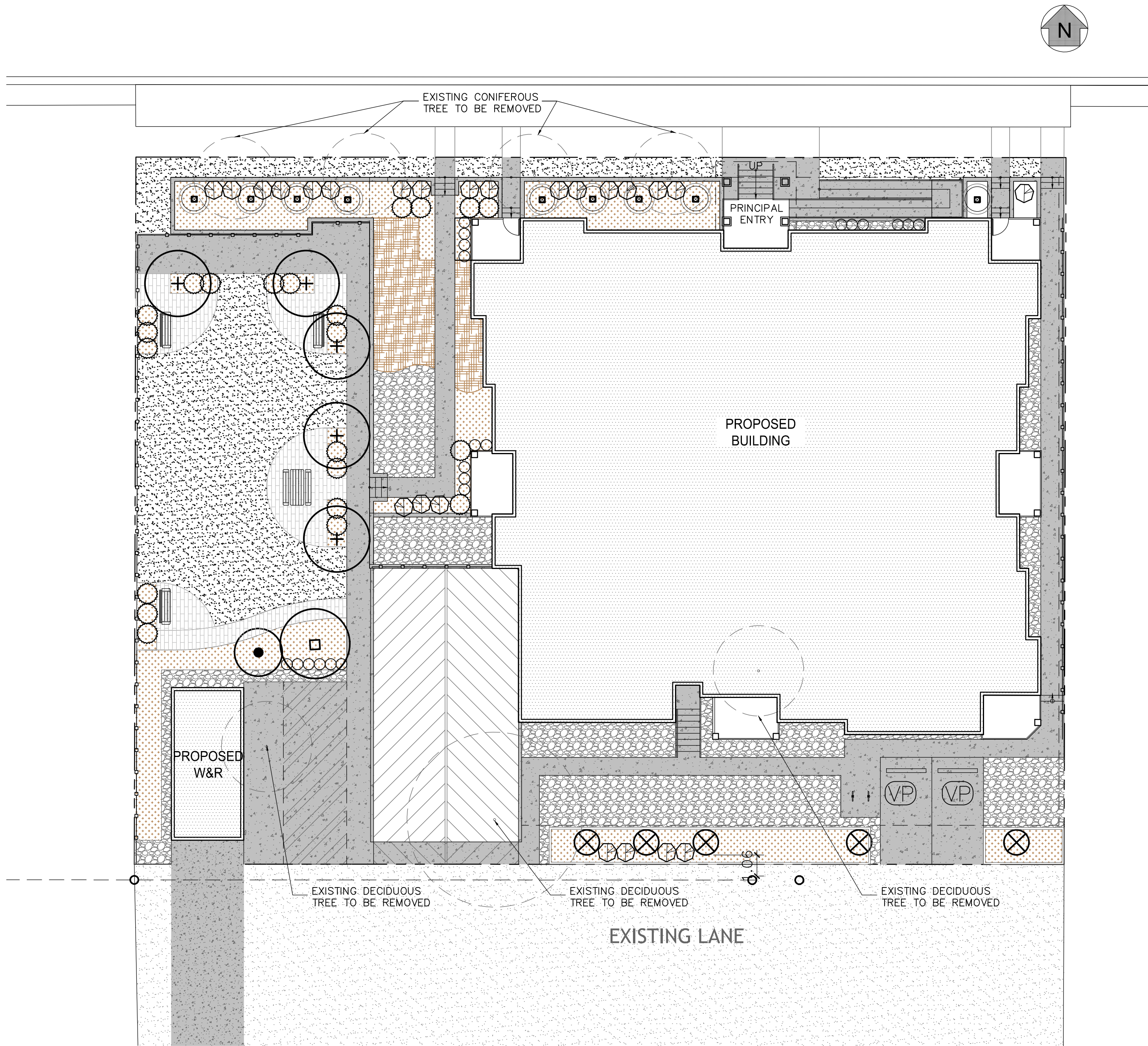
KINGSLAND APARTMENT

FOR

JANL DEVELOPMENTS LTD.

DRAWING NO.

A-1.0



LANDSCAPING PLAN

SCALE = 1:150

LANDSCAPE REQUIREMENTS

TOTAL SITE AREA:	1, 674.03 m²
REQUIRED LANDSCAPING AREA (40%):	669.61 m²
PROVIDED LANDSCAPE AREA (46.36%):	776.08 m²
HARD LANDSCAPING AREA	
CONCRETE (32.56%)	252.67 m²
STONE PAVING (6.5%)	50.32 m²
SOFT LANDSCAPING AREA	
SOD AREA (21.93%)	170.22 m²
REQUIRED	
TOTAL TREES REQUIRED:	
1 TREE PER 45 m² OF	18
2 SHRUB PER 45 m² OF	35
TOTAL TREES PROVIDED: 20	
DECIDUOUS TOTAL	15 (75%)
50mm CAL. (53%)	8
75mm CAL. (46%)	7
CONIFEROUS TOTAL	5 (25%)
2.0m HT. (40%)	2
3.0m HT. (60%)	3
TOTAL SHRUBS PROVIDED: 46	

LOW WATER LANDSCAPING OPTION REQUIREMENTS:

- LOW WATER UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED. THIS WILL INCLUDE A RAIN SENSOR OR SOIL MOISTURE SENSOR, FLOW SENSOR FOR LEAK DETECTION AND A MASTER VALVE
- ONLY TREES AND SHRUBS WILL BE IRRIGATED. NO IRRIGATION TO FESCUE SOD AREAS
- TREES AND SHRUBS PROVIDED ARE SPECIES FROM THE APPROVED CITY OF CALGARY LOW WATER LANDSCAPING OPTION LIST. THESE PLANTS WILL BE GROUPED TOGETHER AS THEY HAVE SIMILAR WATER CONSUMPTION.

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION
- CONTRACTOR TO STAKE ALL TREE LOCATIONS ON SITE. STAKING TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO START OF ANY PLANTING WORK
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITY PRIOR TO START OF ANY EXCAVATION WORK
- LOCATE & PLANT ALL TREES OUTSIDE OF URW, AWAY FROM ALL UTILITIES, SETBACK FROM WATER VALVE, STREET LIGHT, HYDRANT & POWER PEDESTAL
- GRADE FOR MIN. 2% POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS
- INSTALL DROUGHT TOLERANT FESCUE SOD FLUSH WITH CONC. CURB / SIDEWALK / PATHWAY. MAINTAIN POSITIVE DRAINAGE ACROSS SIDEWALK/ PATHWAY
- PLANT ALL TREES & SHRUBS IN CONTINUOUS PLANTING BED C/W 75mm DEPTH DECORATIVE BARK MULCH
- ALL TRANSFORMERS TO HAVE MIN 500mm WIDTH OF ROCK MULCH AROUND BOX
- NO SUBSTITUTIONS FOR LISTED PLANT MATERIAL UNLESS APPROVED IN WRITING FROM OWNER OR LANDSCAPE ARCHITECT

INSTALL LOW WATER IRRIGATION SYSTEM FOR TREES AND SHRUBS ONLY. IRRIGATION NOT REQUIRED FOR DROUGHT TOLERANT FESCUE SOD

IRRIGATION STUBS TO BE PROVIDED BY IRRIGATION CONTRACTOR (DESIGN & BUILD)

PLANT SCHEDULE

DECIDUOUS TREES

SYMBOL	COMMON NAME BOTANICAL NAME	SIZE	QTY.
+	USSURIAN PEAR PYRUS USSURIENSIS	75mm CALIPER	5
+	TREE LILAC SYRINGA RETICULATA 'IVORY SILK'	50mm CALIPER	1
+	PYRAMIDAL MOUNTAIN ASH SORBUS AUCUPARIA 'FASTIGIATA'	75mm CALIPER	0
+	PINCHERRY PRUNUS PENNSYLVANICA	50mm CALIPER	0
+	SWEDISH COLUMNAR ASPEN POPULUS TREMULA 'ERECTA'	75mm CALIPER 50mm CALIPER	2 7

CONIFEROUS TREES

SYMBOL	COMMON NAME BOTANICAL NAME	SIZE	QTY.
⊗	LODGEPOLE PINE PINUS CONTORTA 'LATIFOLIA'	2.0m HT. 3.0m HT.	2 3
○	EXISTING TREE TO BE REMOVED		2

SHRUBS

SYMBOL	COMMON NAME/ BOTANICAL NAME	QTY.
○	PROPOSED VARIETIES: DECIDUOUS (22@ MIN 600mm HT.)	22
+	SASKATOON BERRY AMELANCHIER ALNIFOLIA	
+	POTENTILLA POTENTILLA FRUTICOSA	
+	PRICKLY WILD ROSE ROSA ACICULARIS	
+	WILD GOOSEBERRY RIBES OXYCANTHOIDES	
+	FALSE SPIREA SORBARIA SORBIFOLIA	
⊗	CONIFEROUS (24@ MIN 600mm SP.)	24
+	COMMON JUNIPER JUNIPERUS COMMUNIS	
+	MUGO PINE PINUS MUGO	
+	INDICATES PLANT MATERIAL FROM THE CITY OF CALGARY LAND USE BYLAW 1P2007 LOW WATER LANDSCAPING OPTION PLANT LIST.	
○	ORNAMENTAL GRASSES	
○	PERENNIALS	

○	PROPOSED VARIETIES: DECIDUOUS (22@ MIN 600mm HT.)
+	SASKATOON BERRY AMELANCHIER ALNIFOLIA
+	POTENTILLA POTENTILLA FRUTICOSA
+	PRICKLY WILD ROSE ROSA ACICULARIS
+	WILD GOOSEBERRY RIBES OXYCANTHOIDES
+	FALSE SPIREA SORBARIA SORBIFOLIA
⊗	CONIFEROUS (24@ MIN 600mm SP.)
+	COMMON JUNIPER JUNIPERUS COMMUNIS
+	MUGO PINE PINUS MUGO
+	INDICATES PLANT MATERIAL FROM THE CITY OF CALGARY LAND USE BYLAW 1P2007 LOW WATER LANDSCAPING OPTION PLANT LIST.
○	ORNAMENTAL GRASSES
○	PERENNIALS

LEGEND

SOFT LANDSCAPING

INSTALL MIN. 300mm DEPTH TOPSOIL AND FESCUE SOD
INSTALL MIN. 75mm DEPTH FOOTHILLS PREMIUM BARK MULCH. CONTRACTOR GRADE ALUMINUM EDGER TO DEFINE BETWEEN SOD OR CHARCOAL MULCH AREAS
INSTALL MIN. 75mm DEPTH CHARCOAL COLOUR BARK MULCH. USE CONTRACTOR GRADE ALUMINUM EDGER TO DEFINE BETWEEN SOD OR FOOTHILLS PREMIUM MULCH AREAS
INSTALL MIN. 200mm DEPTH WASHED RIVER ROCK MULCH 100-150mm SIZE c/w LANDSCAPE FABRIC. USE CONTRACTOR GRADE ALUMINUM EDGER TO DEFINE BETWEEN SOD OR MULCH AREAS
ARTIFICIAL TURF

HARD LANDSCAPING

INSTALL MIN. 200mm DEPTH WASHED RIVER ROCK MULCH 100-150mm SIZE c/w LANDSCAPE FABRIC. USE CONTRACTOR GRADE ALUMINUM EDGER TO DEFINE BETWEEN SOD OR MULCH AREAS
HOLLAND STONE PAVING STONES COLOUR AND PRODUCT T.B.D.

FEATURES

CLASS 2 BIKE STALL (1 RACK FOR 2 STALLS)
ROAD PAINT
G GARBAGE & RECYCLE BIN
URW (UTILITY RIGHT OF WAY)

AMENDED DRAWINGS

DP No. 03 10 2026

DP2025-02744

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

2025-10-31 DTR1
2025-01-23 FOR REVIEW

CLEM LAU ARCHITECT DESIGNERS

PROJECT

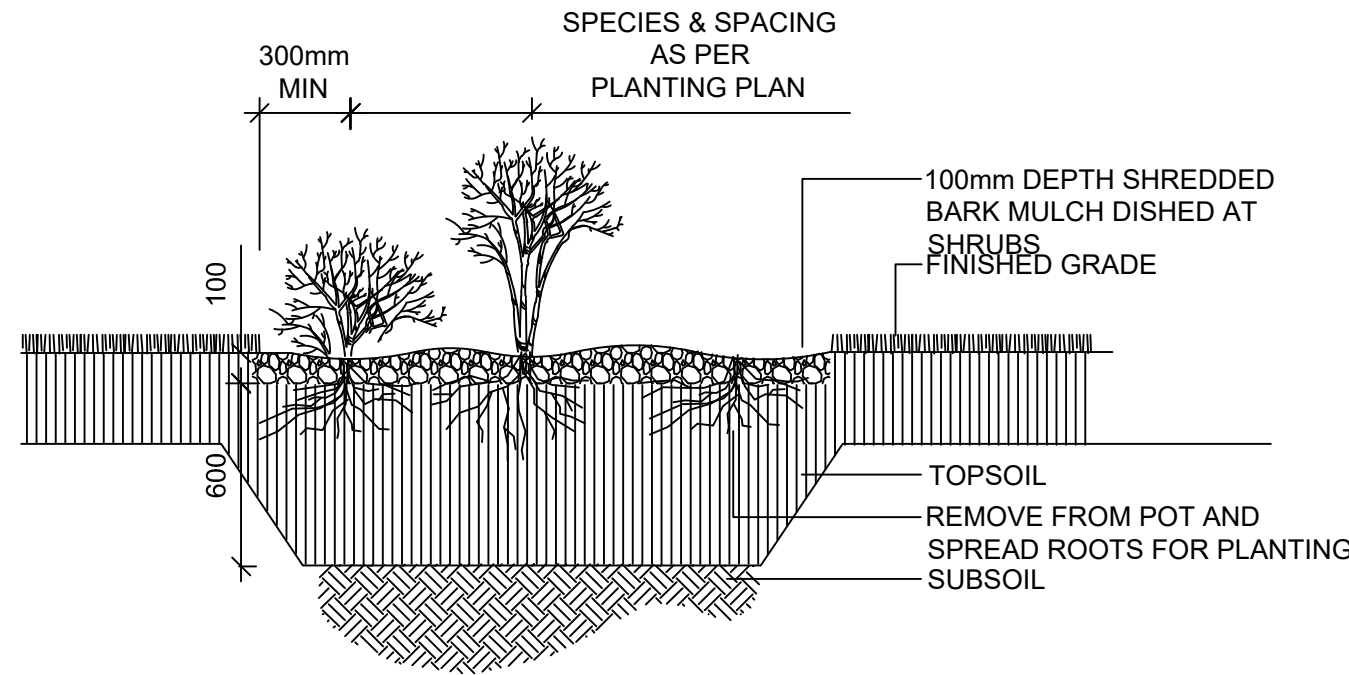
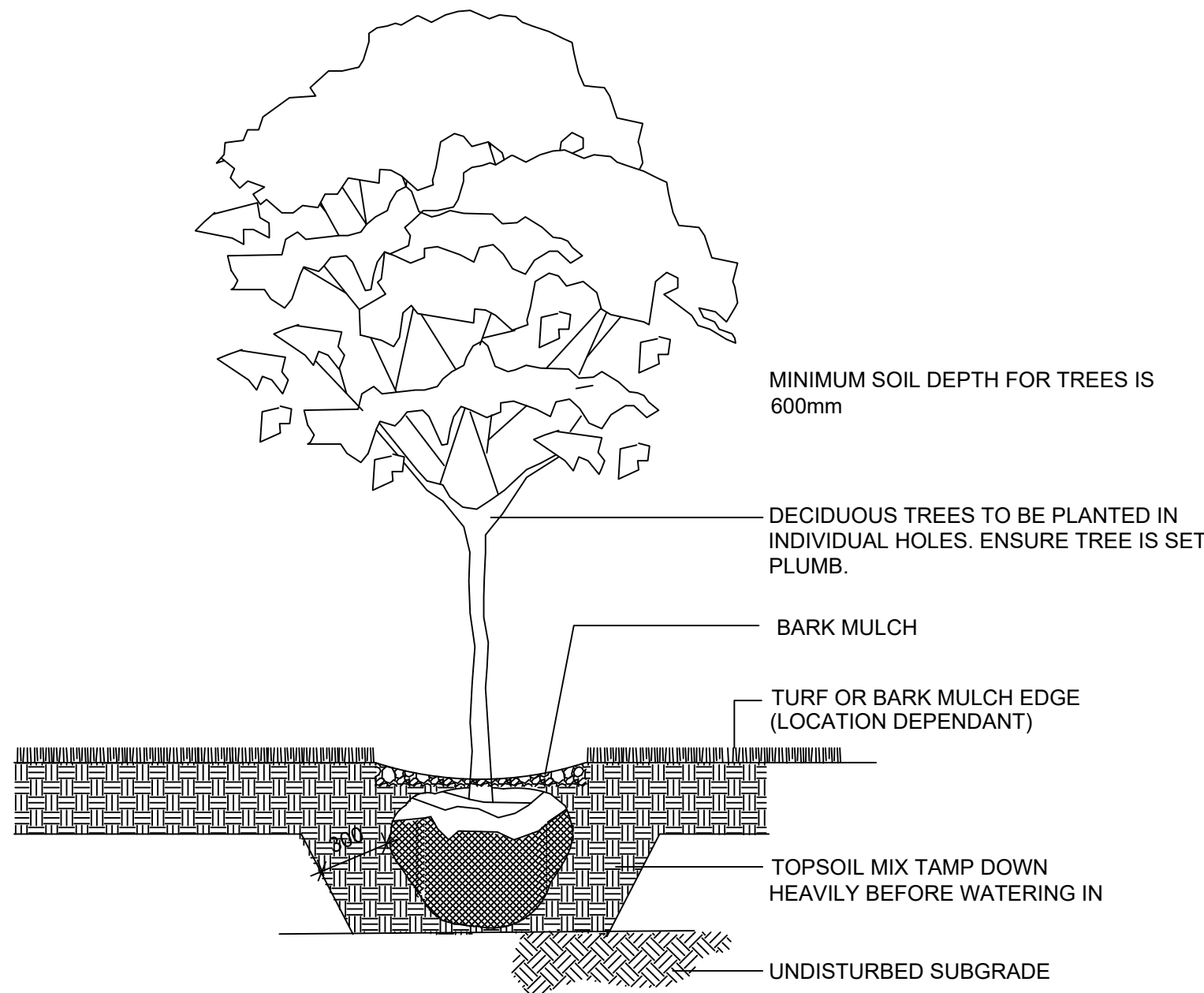
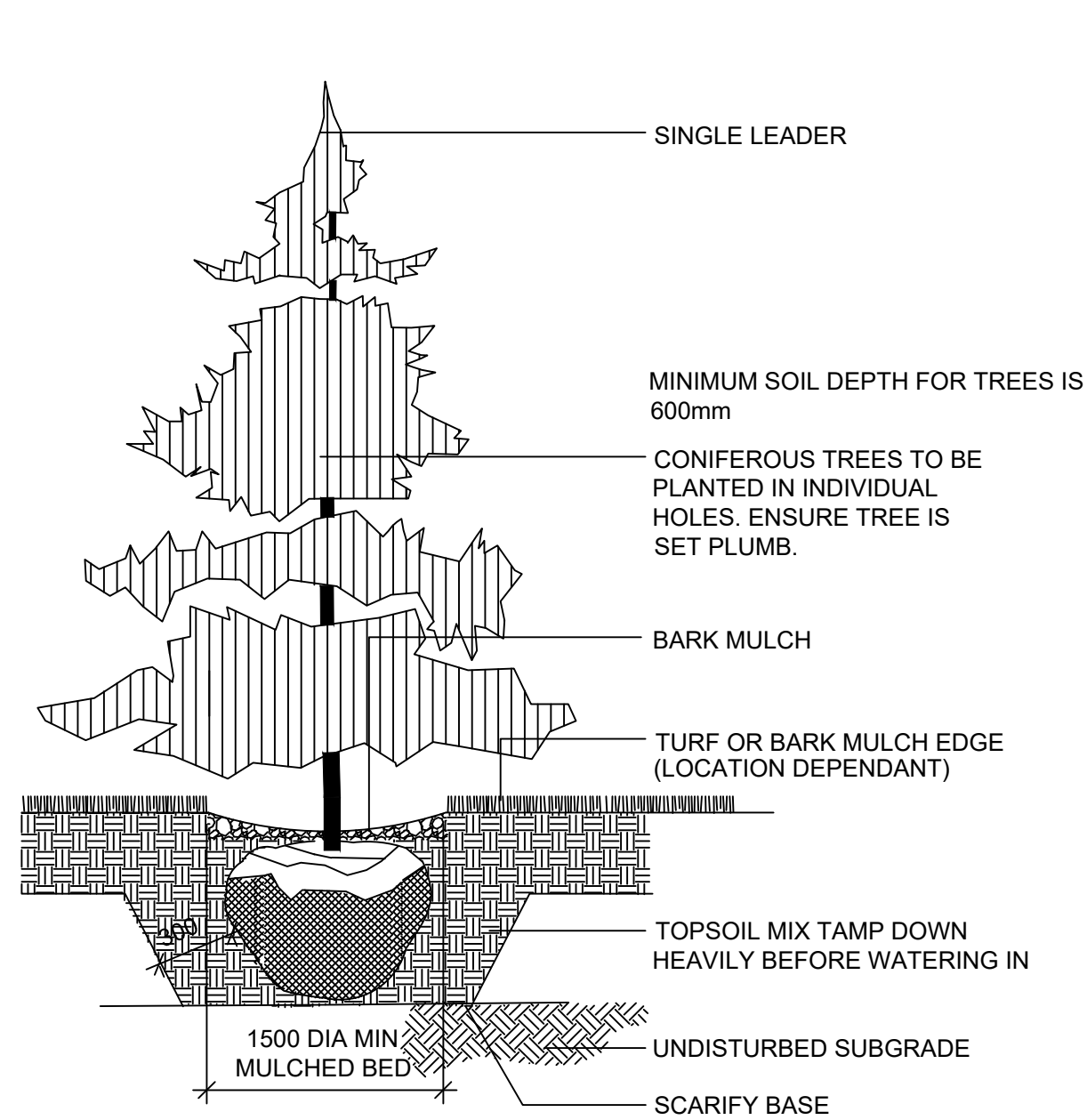
KINGSLAND APARTMENT

FOR

JANL DEVELOPMENTS LTD.

DRAWING NO.

L-1.0

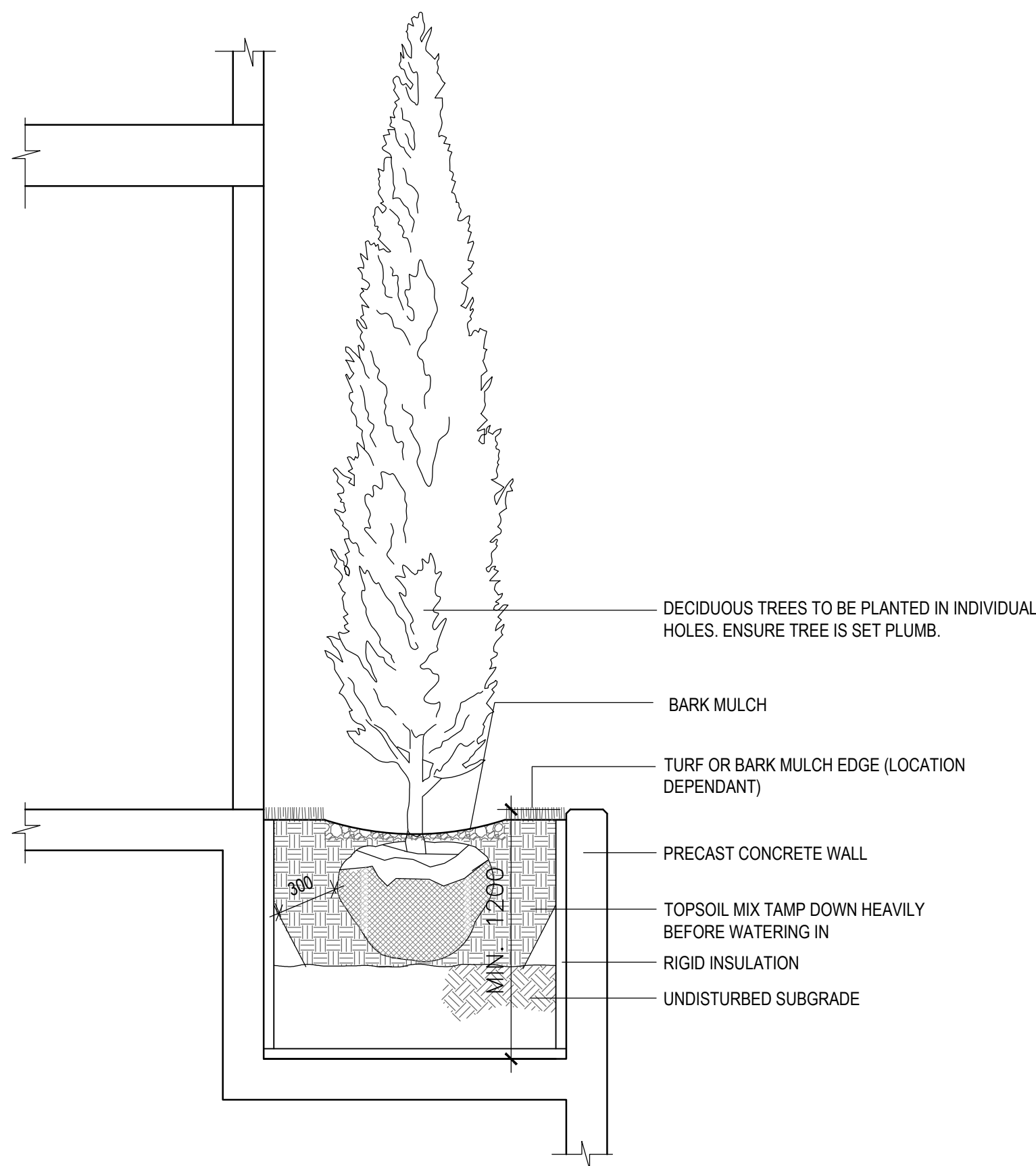


1 CONIFEROUS TREE PLANTING
L-1.1 SCALE = N.T.S.

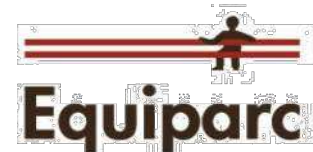
2 DECIDUOUS TREE PLANTING
L-1.1 SCALE = N.T.S.

3 SHRUB PLANTING
L-1.1 SCALE = N.T.S.

AMENDED DRAWINGS
DP No DP2025-02744 Date Received 03 10 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



4 PODIUM DETAIL
L-1.1 SCALE = NTS



Bench with backrest

EP 1950	
SPECIFICATIONS	
Supports:	Cast aluminum
Contour straps:	Aluminum flats
Finish:	Polyester powder coated
Slats:	38mm X 138mm (1 1/2" X 5 7/16")
Fasteners:	Stainless steel

COVERINGS	
JAT	Jatoba
WOA	White oak

OPTIONS	
A	Painted armrests (2)
AS	Painted anti-skate (2)
CA	Painted central armrest
DS	Reflective strip

Depth: 539mm (21 1/4") Length: 1803mm (71") Height: 772mm (30 3/8") Weight: 110 kg (242 lb)

This bench must be anchored.

CONCRETE SLABS AND ANCHORS	
1 slab	610mm X 1829mm X 152mm (24" X 72" X 6")
1 slab	1067mm X 1829mm X 152mm (42" X 72" X 6")
2 slabs	305mm X 711mm X 152mm (12" X 28" X 6")
QS-HDI	4 drop-in anchors with stainless steel hex head bolts
QAV	4 drop-in anchors with stainless steel theftproof bolts
HVA	4 adhesive anchors with stainless steel threaded rods and theftproof nuts

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DESIGN DURABILITY EXPERTISE 1001 James Brodie Street, Saint-Jean-sur-Richelieu, Québec J2X 0C1 Canada
Tél: 450 346-1882 Tél: 800 363-9264
info@equiparc.com equiparc.com

5 BENCH DETAIL
L-1.1 SCALE = N.T.S.



Picnic table

EP 2950	
SPECIFICATIONS	
Frame (tabletop):	Hot-dipped galvanized steel tubes and flats
Supports (benches):	Cast aluminum
Finish :	Polyester powder coated
Slats :	38mm X 138mm (1 1/2" X 5 7/16")
Fasteners :	Stainless steel

COVERINGS	
JAT	Jatoba
WOA	White oak

OPTIONS	
AS	(4) painted 10mm (3/8") aluminum anti-skate (benches only)
DS	Reflective strip (benches only)
HAND	Table top extended to 95 1/2" for universal access
PARA	Modified for parasol

Overall dimension (Set of one EP 2950-T and two EP 2950-LB)
Depth: 1409mm (55 1/2") Length: 1803mm (71") Height: 762mm (30") Weight: 220kg (485 lb)

EP 2950-T (Table only)
Depth: 689mm (27 1/8") Length: 1803mm (71") Height: 762mm (30") Weight: 152kg (335 lb)

EP 2950-LB (Long bench only)
Depth: 272mm (10 3/4") Length: 1803mm (71") Height: 449mm (17 5/8") Weight: 34kg (75 lb)

This table and these benches must be anchored.

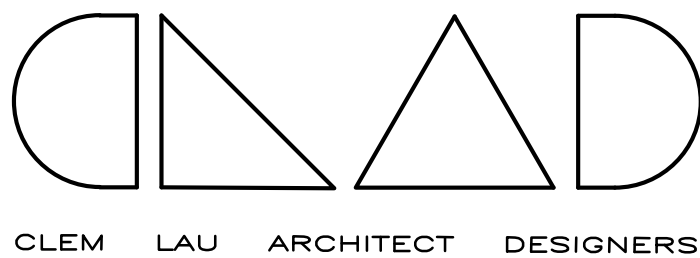
CONCRETE SLAB AND ANCHORS	
2 slabs	305mm X 1448mm X 152mm (12" X 57" X 6")
QS-HDI	12 drop-in anchors with stainless steel hex head bolts
QAV	12 drop-in anchors with stainless steel theftproof bolts
HVA	12 adhesive anchors with stainless steel threaded rods and theftproof nuts

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Tél: 450 346-1882 Tél: 800 363-9264
info@equiparc.com equiparc.com

6 PICNIC TABLE DETAIL
L-1.1 SCALE = N.T.S.

2025-10-31 DTR1
2025-01-23 FOR REVIEW



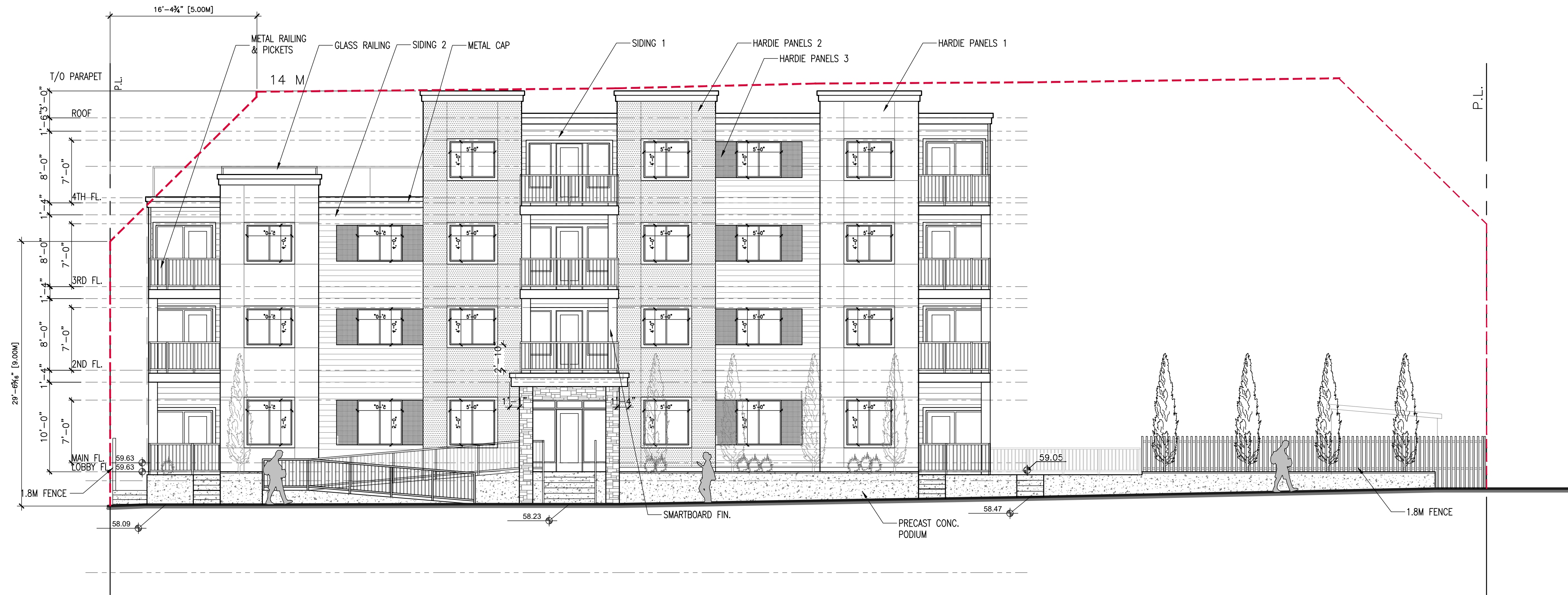
PROJECT

KINGSLAND APARTMENT
PHASE 1 & 2

FOR

DRAWING NO.

L-1.1



1 FRONT ELEVATION
A-3.0 SCALE: 1/8" = 1'-0"

AMENDED DRAWINGS
DP No. DP2025-02744 Date 03/2026
These drawings refer to the above development permit no.



2 REAR ELEVATION (SOUTH)
A-3.0 SCALE: 1/8" = 1'-0"

2026-03-05 DTR
2025-04-23 CHANGE MATERIALS
2025-04-09 FOR REVIEW
2023-08-01 FOR REVIEW

CLEM LAU ARCHITECT DESIGNERS

PROJECT

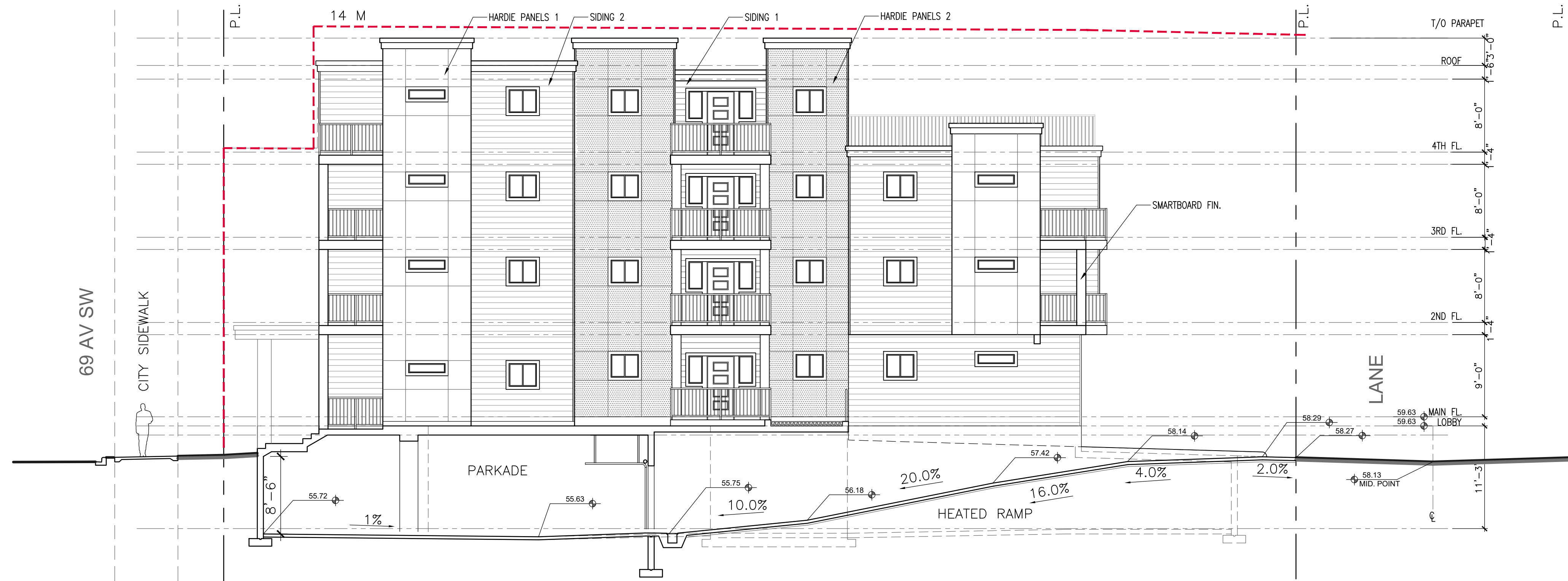
KINGSLAND APARTMENT

FOR

JANL DEVELOPMENT LTD.

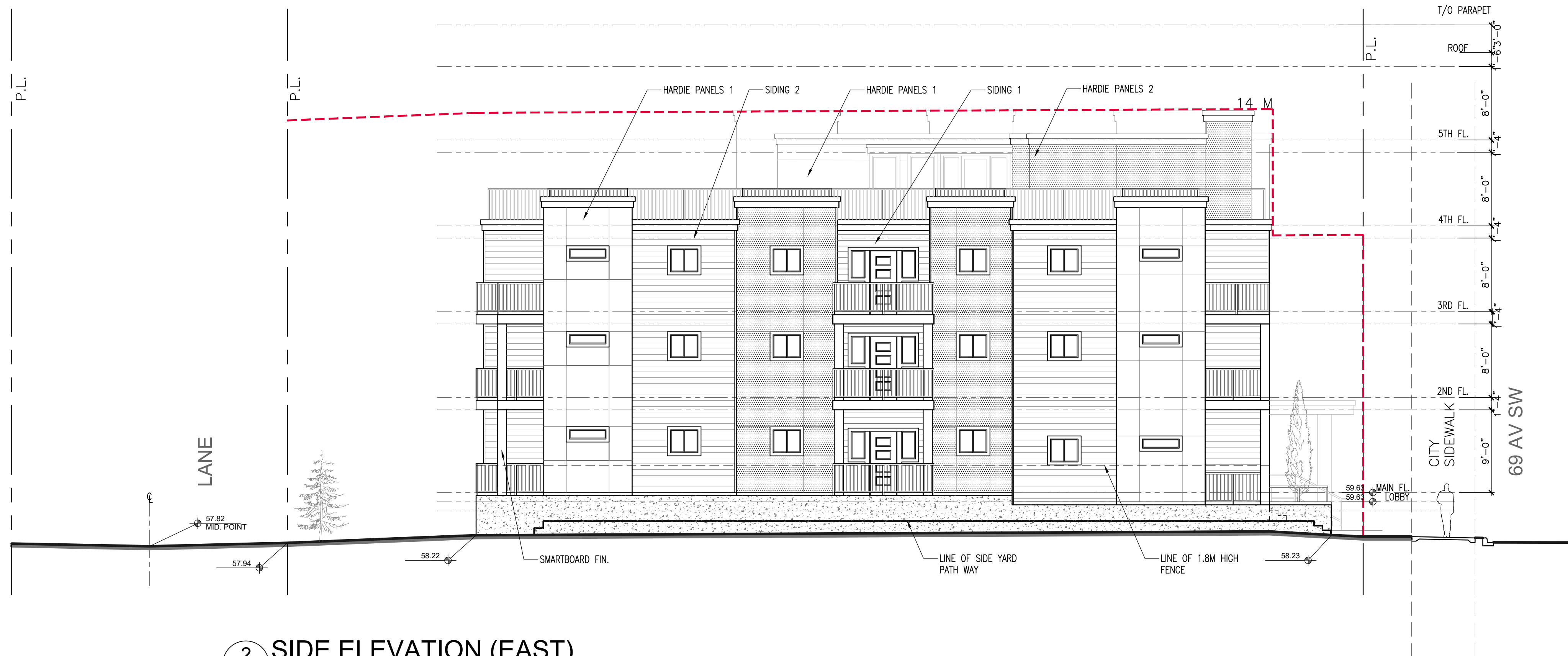
DRAWING NO.

A-3.0



1 SIDE ELEVATION (WEST)
A-3.1 SCALE: 1/8" = 1'-0"

AMENDED DRAWINGS
DP No Date received
DP2025-02744 03 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



2 SIDE ELEVATION (EAST)
A-3.1 SCALE: 1/8" = 1'-0"

2026-03-05 DTR
2025-04-23 CHANGE MATERIALS
2025-04-09 FOR REVIEW
2023-08-01 FOR REVIEW

CLEM LAU ARCHITECT DESIGNERS

PROJECT

KINGSLAND APARTMENT

FOR

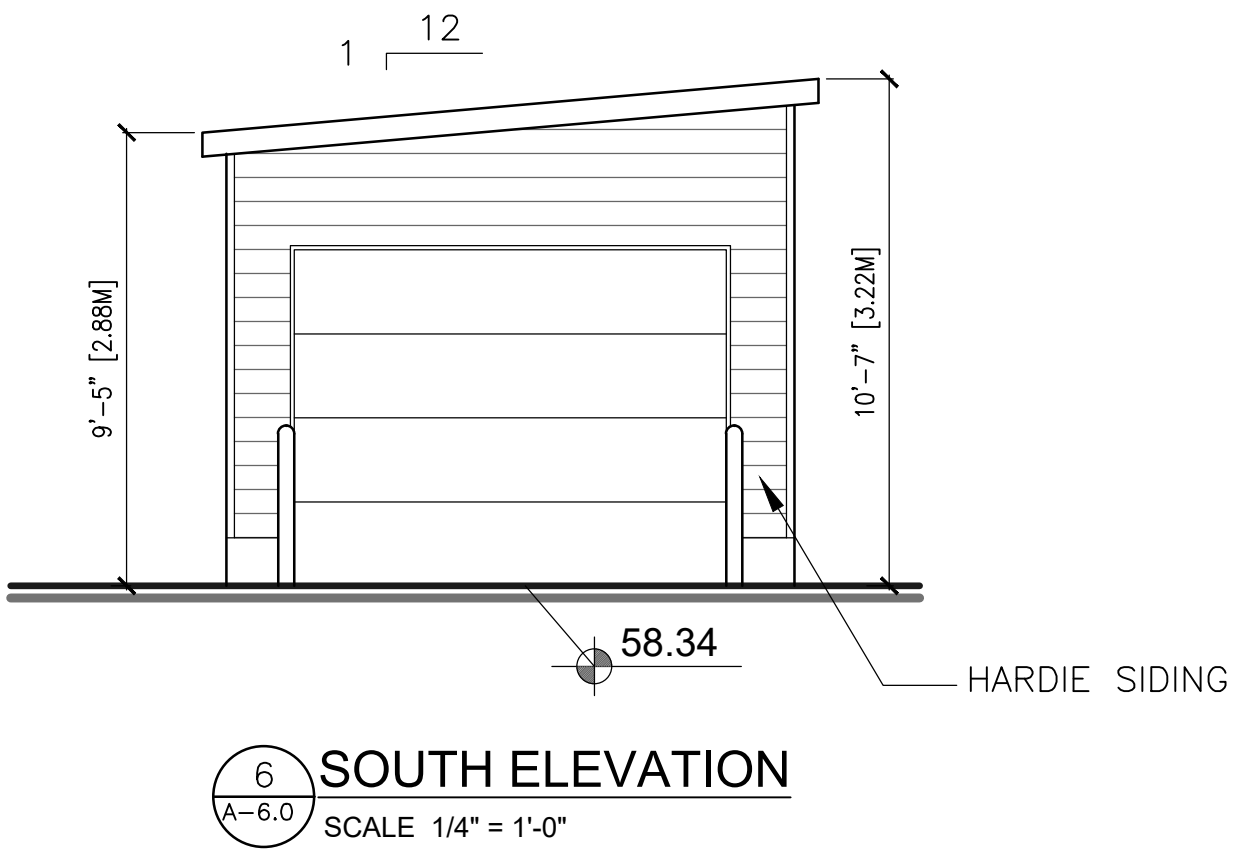
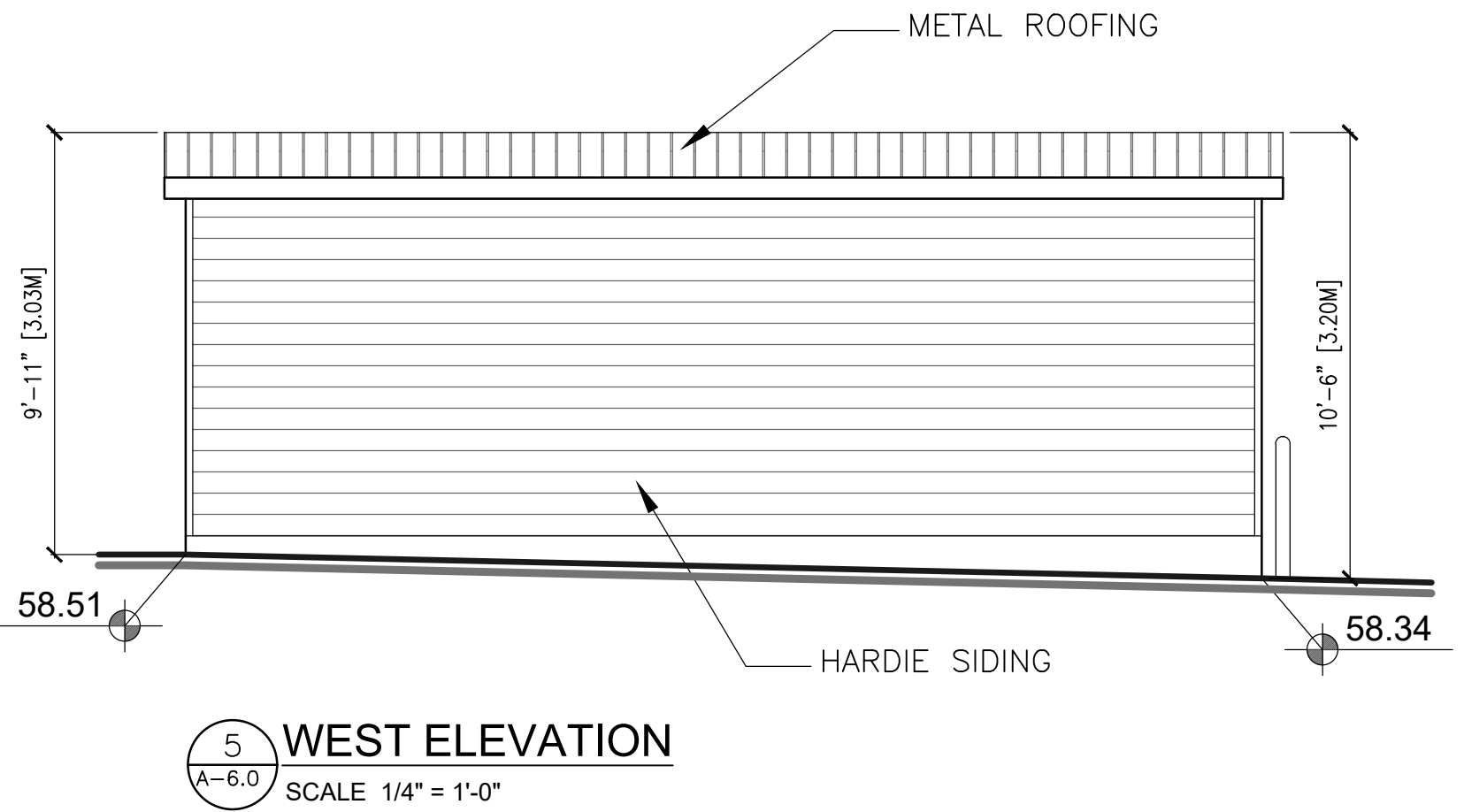
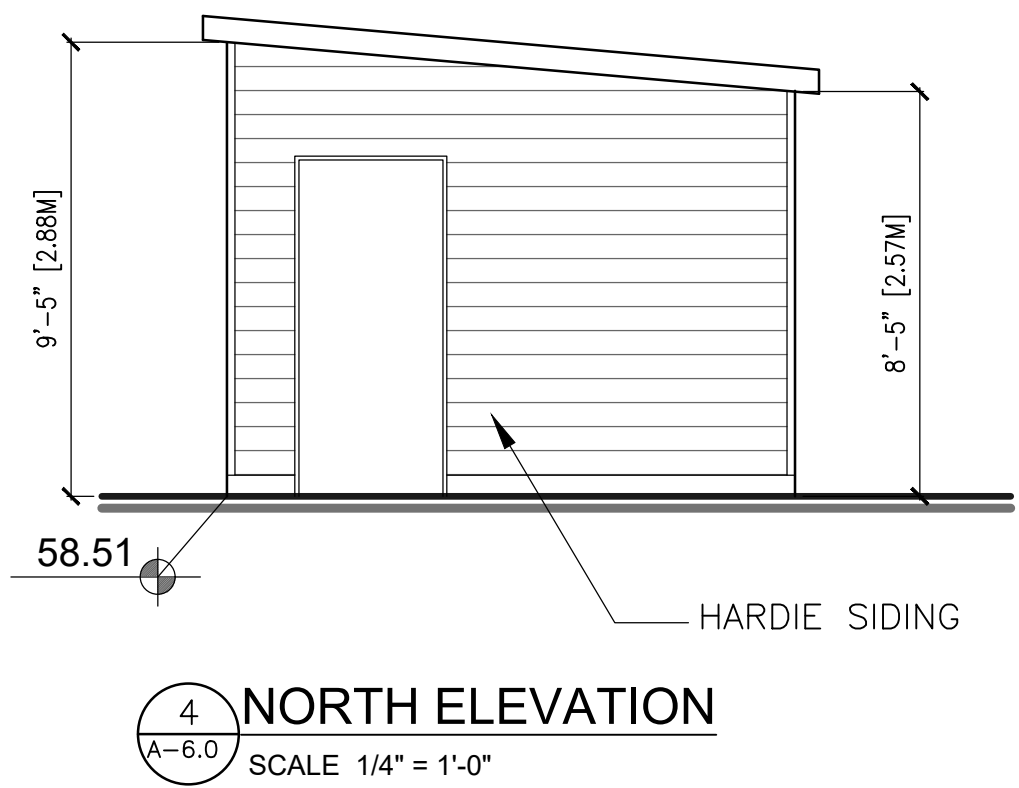
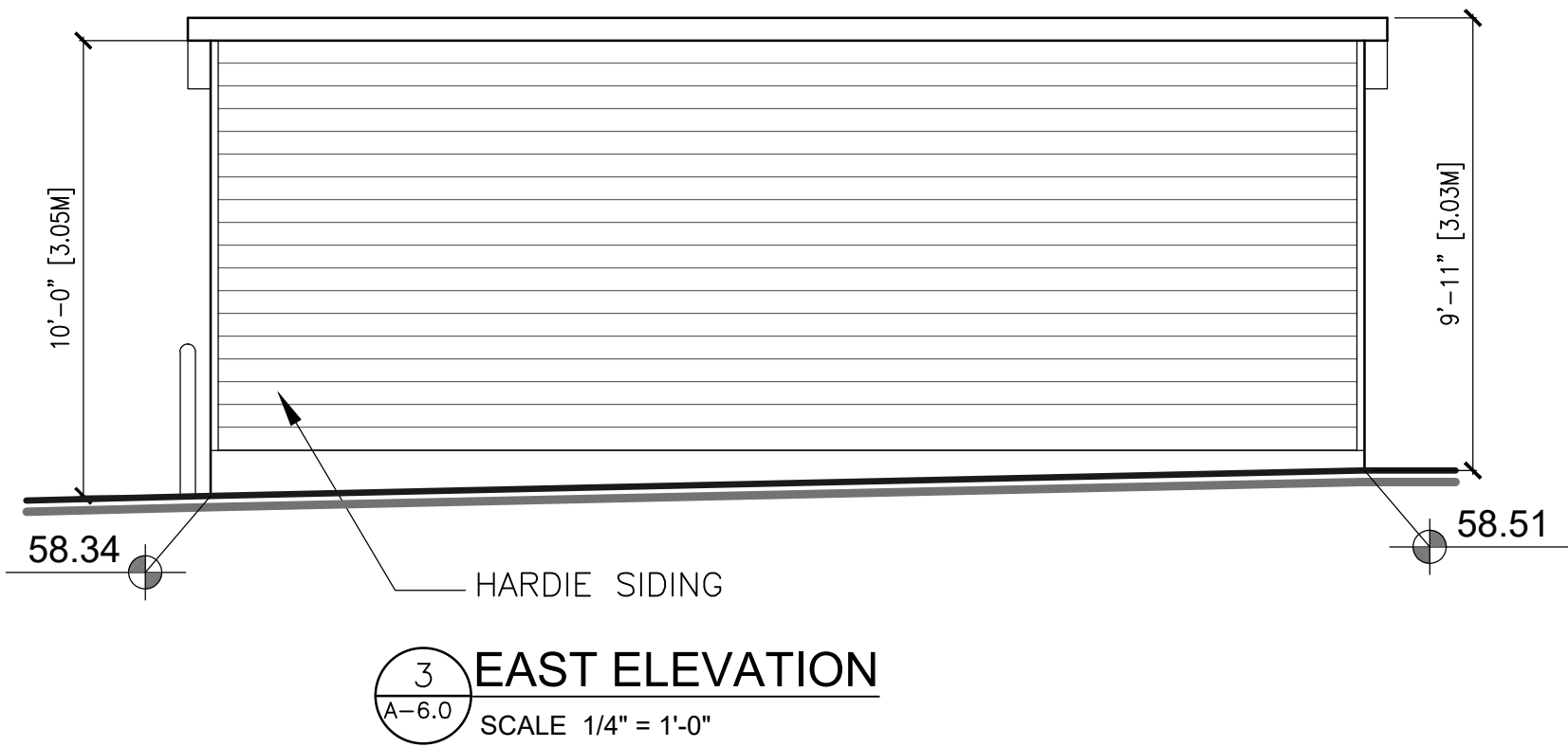
JANL DEVELOPMENT LTD.

DRAWING NO.

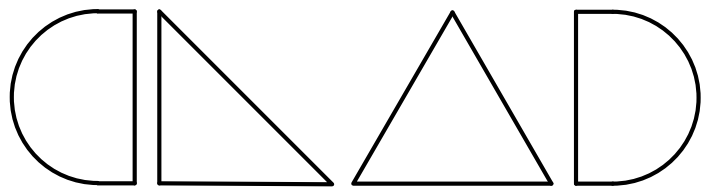
A-3.1



AMENDED DRAWINGS
DP No DP2025-02744 Date Received 03 10 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



2025-04-09 FOR REVIEW
2023-08-01 FOR REVIEW



CLEM LAU ARCHITECT DESIGNERS

PROJECT

KINGSLAND APARTMENT
WASTE & RECYCLING

FOR

DRAWING NO.

A-6.0

DRAWING INDEX

ID.	SHEET DESCRIPTION	SHEET NO.
GENERAL		
G-001	COMMENT SHEET	001
G-002	TITLE	002
G-003	INDEX	003
G-004	LEGAL PLAN	004
COVERSHEETS		
C-101	STORM COVERSHEET	005
C-102	STORM DRAINAGE	006
C-103	SERVICING COVERSHEET	007
PLAN PROFILES		
C-104	LANE PLAN PROFILE (276)	008
C-105	LANE PLAN PROFILE (303)	009

LOCATION PLAN



NOTES



Jubilee
Engineering Consultants Ltd.
Municipal Engineering • Industrial, Commercial, & Residential Land Development • Planning • Engineering Surveys

3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4
www.jubileeengineering.com
| P 403 276 1001 | F 403 276 1012 |



NAD 83
COORDINATES

ISSUED FOR PRELIMINARY APPROVAL

1	ISSUED FOR PRELIMINARY APPROVAL	2025-03-10	RAW	DV
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

PERMIT	SEAL

	BY	DATE (YYYY-MM-DD)
DESIGNED	DV	----
DRAWN	RAW	----
CHECKED	DV	----

SCALE	NOT TO SCALE
-------	--------------



PROJECT	KINGSLAND PHASE 1 STORM EXTENSION JANL DEVELOPMENTS INC. SEC: 28 - TWP: 23 - RGE: 01 - W 5th M
---------	--

SHEET TITLE	INDEX
-------------	--------------

FILE NO. 25-181 STORM LAYOUT.dwg	ENG DWG NO. 25-181
SHEET ID. G-003	SHEET NO. 003
DATE (YYYY-MM-DD)	PROFILE NO.
DRAWN	

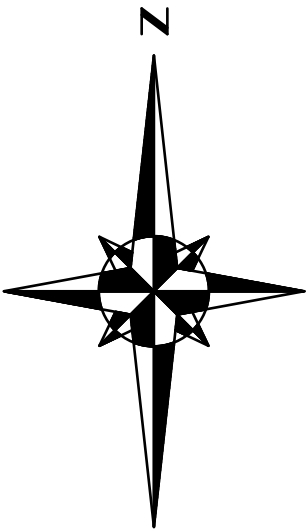
SITE PLAN

SHOWING
ELEVATIONS AND BUILDING LOCATIONS

LOT(S): 1 THROUGH 11
BLOCK: 2
REG'D PLAN No. 1754 HK
Certificate of Title Number(s):
081 032 420
081 024 684
081 024 672
081 024 662
081 024 634
081 032 120
081 024 640
081 025 068
081 025 085
081 025 099
861 173 514

Municipal Address :
#607 69 AVENUE S.W.
#617 69 AVENUE S.W.
#619 69 AVENUE S.W.
#623 69 AVENUE S.W.
#627 69 AVENUE S.W.
#631 69 AVENUE S.W.
#635 69 AVENUE S.W.
#639 69 AVENUE S.W.
#643 69 AVENUE S.W.
#703 69 AVENUE S.W.
#707 69 AVENUE S.W.
#711 69 AVENUE S.W.
#715 69 AVENUE S.W.
#717 69 AVENUE S.W.
#719 69 AVENUE S.W.
#7007 4A STREET S.W.

To :
JIM LEE/JANL DEVELOPMENTS LTD.
Date searched: MAR. 23rd, 2015
The survey was performed between :
MAR. 23rd, 2015 and SEPT. 13th, 2017



NOTES:

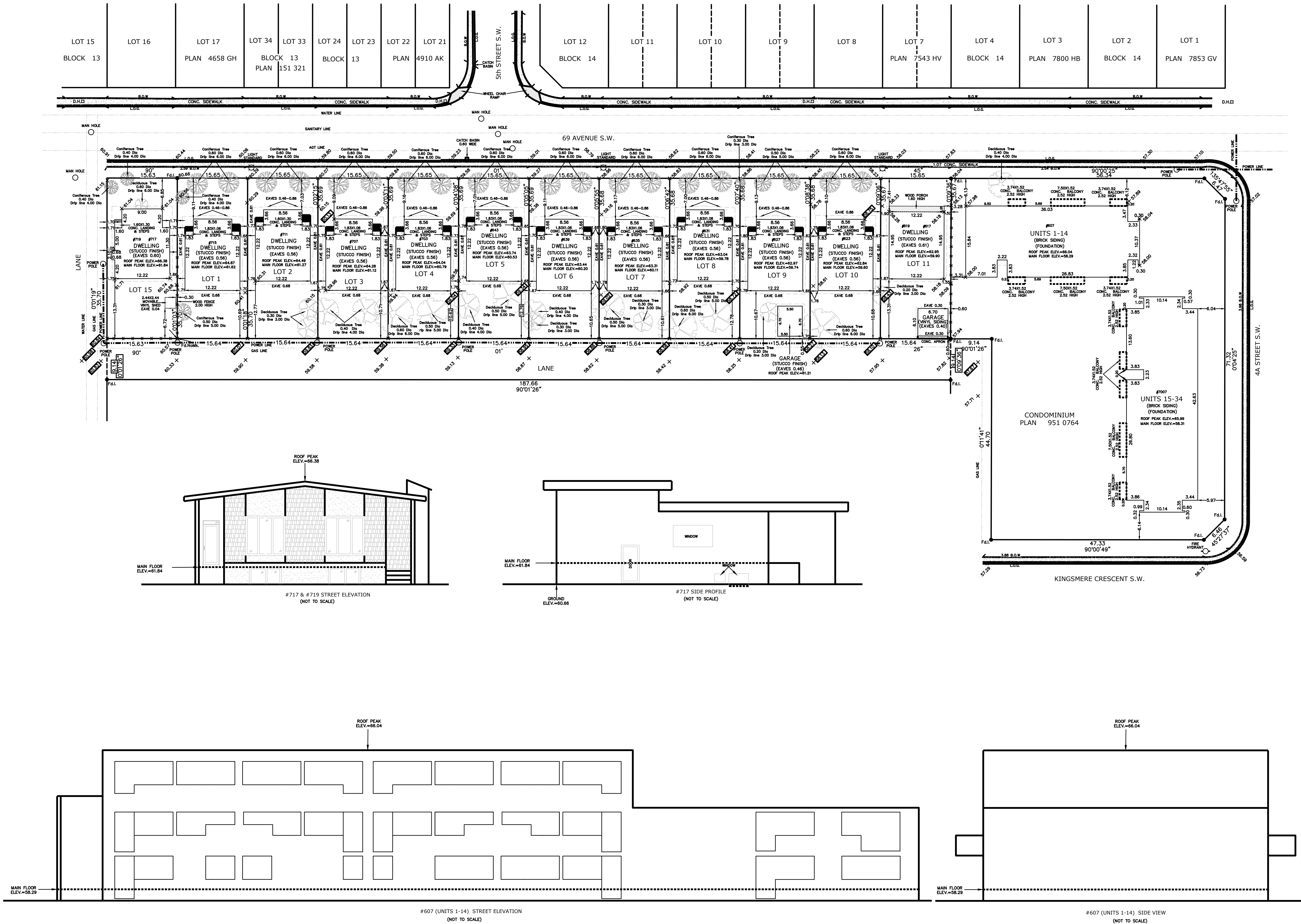
Elevations are shown thus 462.90
Elevations are based on A.S.C.M.
#264960
To obtain geodetic elevation add 1000m
to elevation shown.
Dimensions and elevations are expressed
in Meters and decimals thereof.
Deciduous tree shown thus
Coniferous tree shown thus
Bearings are derived from A.S.C.M.'S 264960 & 59063
Date of survey: MARCH 23, 2015.
UTILITY, INFORMATION COPIED FROM CITY OF CALGARY
BLOCK PROFILE # 1491

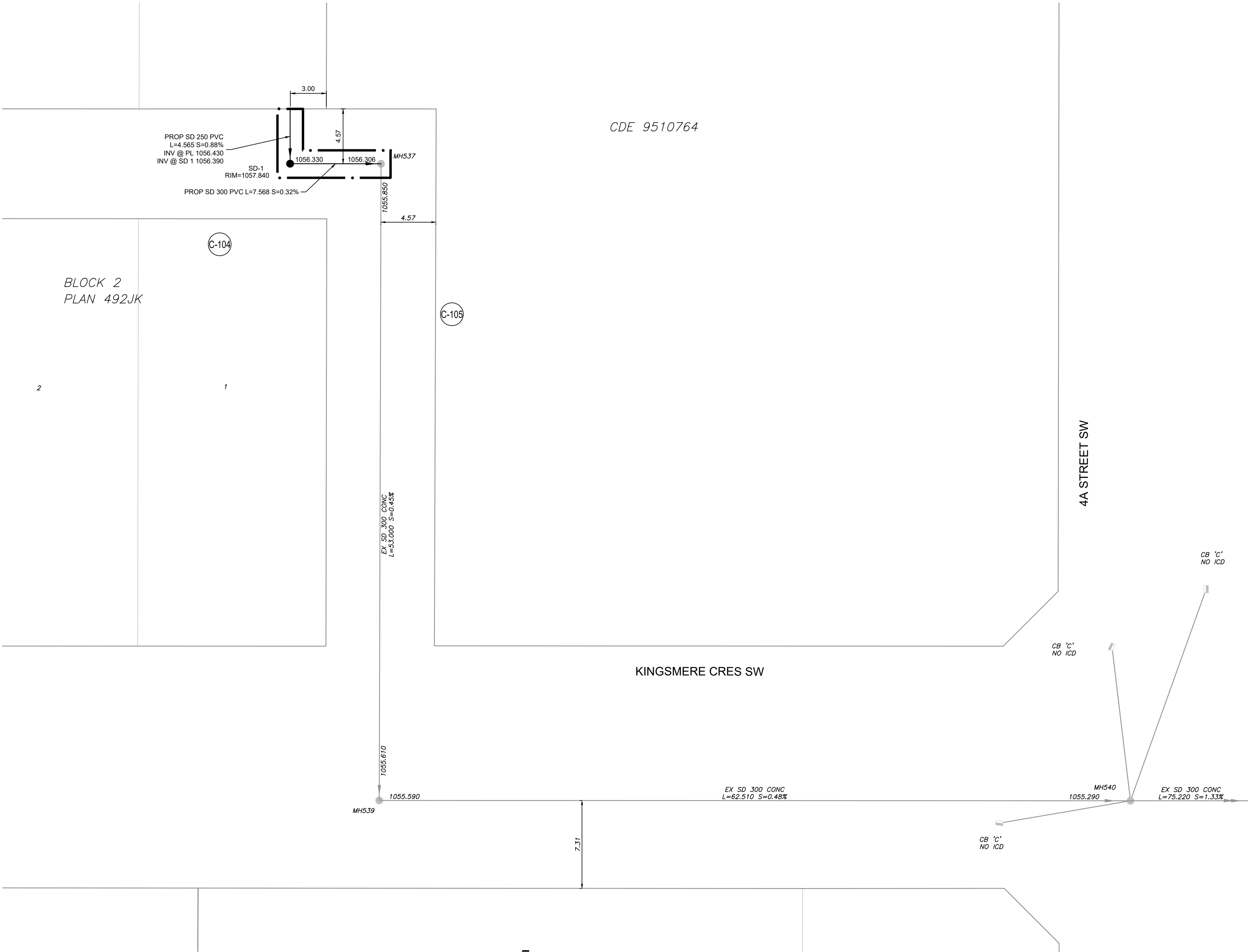
Datum: NAD 83
Projection: 3TM
Reference meridian: 114° , Combined scale factor: 0.999736

LEGEND:

Certificate of Title	—	C.O.T.
Found no mark	—	Fd.NoMk.
Utility-Right-of-Way	—	U.R.W.
Overland Drainage Right-of-Way	—	O.D.R.W.
Back of walk	—	B.O.W.
Back of curb	—	B.O.C.
Face of curb	—	F.O.C.
Countersunk	—	C.S.
Radius	—	R
Arc Length	—	A
Concrete	—	Conc.
Cont.	—	Contilever
Statutory iron post found	—	Fd.I.
Found iron bar	—	Fd.I.Bar
Drill hole placed	—	D.H.
Drill hole found	—	Fd.D.H.
Fences are shown thus	—	X
Fences are within 0.20m of property line unless otherwise noted.		

Distances are expressed in metres and decimals thereof.
All eaves are measured to the foundation.
All building dimensions and ties are to the foundation.
All ties are perpendicular.





CDE 9510764

BLOCK 2
PLAN 492JK

4A STREET SW

KINGSMERE CRES SW

LEGEND:

- 101 BLOCK PROFILE DRAWING NUMBER
- PH 1 1 BLOCK PROFILE DRAWING NUMBER (DIFFERENT PHASE)
- CONSTRUCTION BOUNDARY
- PROP SD 200 PVC STORM SEWER
- EX SD 200 PVC EXISTING STORM SEWER
- FUT SD 200 PVC FUTURE STORM SEWER
- TYPE 5A MANHOLE
- EXISTING TYPE 5A MANHOLE
- TYPE 1S MANHOLE
- EXISTING TYPE 1S MANHOLE
- CATCH BASIN w/ LEAD
- EXISTING CATCH BASIN w/ LEAD
- CAP
- MANHOLE NUMBER
- HIGH POINT

NOTES

GENERAL NOTES (GN):

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- EXISTING SURFACE FEATURES TO BE REINSTATED TO CONDITIONS PRECEDING CONSTRUCTION WHERE EXISTING CONDITIONS WILL BE MAINTAINED.
- ALL NORTHING-EASTING COORDINATES ARE AT SEA LEVEL.

STORM SEWER NOTES (STSN):

- ALL PVC STORM SEWERS TO BE DR35 UNLESS OTHERWISE NOTED.
- ALL CIRCULAR CONCRETE PIPES TO BE CLASS IV UNLESS OTHERWISE NOTED.
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- ALL EXISTING STORM SEWERS SHOWN ARE PART OF OTHER SCOPES OF DEVELOPMENT AND INCLUDED IN SEPARATE DRAWING SUBMISSION SETS.



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NAD 83
COORDINATES

ISSUED FOR PRELIMINARY APPROVAL

1	ISSUED FOR PRELIMINARY APPROVAL	2025-03-10	RAW	DV
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

PERMIT	SEAL

	BY	DATE (YYYY-MM-DD)
DESIGNED	DV	----
DRAWN	RAW	----
CHECKED	DV	----

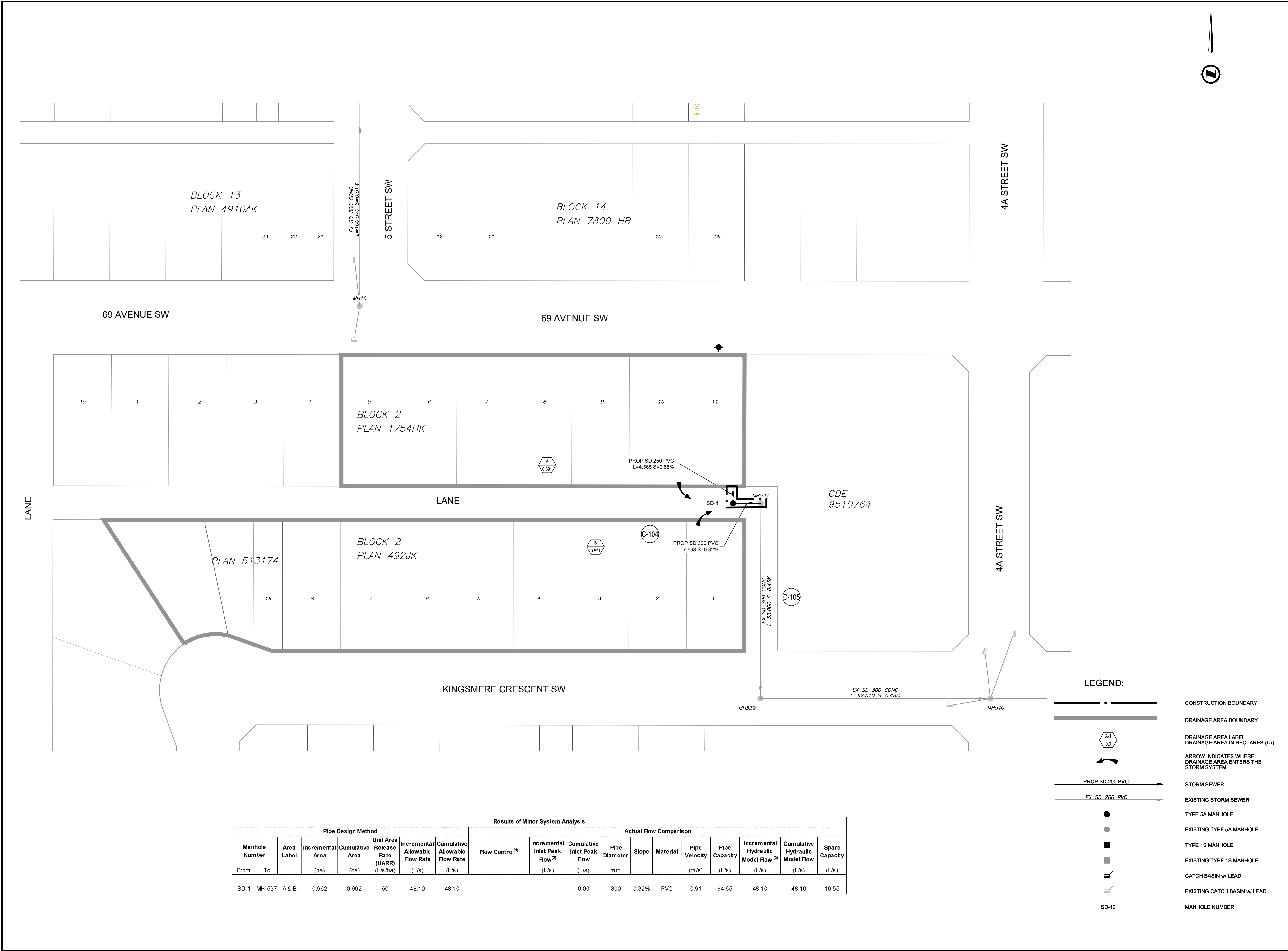
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1:200	



PROJECT	KINGSLAND PHASE 1 STORM EXTENSION JANL DEVELOPMENTS INC. SEC: 28 - TWP: 23 - RGE: 01 - W 5th M
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SHEET TITLE	STORM COVERSHEET
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FILE NO. 25-181 STORM LAYOUT.dwg		ENG DWG NO. 25-181	
SHEET ID. C-101		SHEET NO. 005	
	BY	DATE (YYYY-MM-DD)	PROFILE NO.
DRAWN			



Results of Minor System Analysis													
Pipe Design Method							Actual Flow Comparison						
Manhole Number	Area Label	Incremental Area	Cumulative Area	Unit Area Release Rate (UARR)	Incremental Allowable Flow Rate	Cumulative Allowable Flow Rate	Flow Control ⁽¹⁾	Incremental Inlet Peak Flow ⁽²⁾	Cumulative Inlet Peak Flow	Pipe Diameter	Slope	Material	Pipe Velocity
													Pipe Capacity
From	To	(ha)	(ha)	(L/s/ha)	(L/s)	(L/s)		(L/s)	(L/s)	mm			(m/s)
SD-1	MH-537	A & B	0.962	0.962	50	48.10	48.10	0.00	300	0.32%	PVC	0.91	64.65
									48.10	48.10			16.55

LEGEND:

- CONSTRUCTION BOUNDARY
- DRAINAGE AREA BOUNDARY
- A1

0.6

ARROW INDICATES WHERE DRAINAGE AREA ENTERS THE STORM SYSTEM
- PROP SD 200 PVC

STORM SEWER
- EX SD 200 PVC

EXISTING STORM SEWER
- TYPE 5A MANHOLE
- EXISTING TYPE 5A MANHOLE
- TYPE 1S MANHOLE
- EXISTING TYPE 1S MANHOLE
- CATCH BASIN w/ LEAD
- EXISTING CATCH BASIN w/ LEAD
- MANHOLE NUMBER
- C-10

NOTES

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STORM DRAINAGE AREA NOTES (STDAN):

- DRAINAGE BOUNDARIES SHOWN REPRESENT PROPOSED ULTIMATE CONDITIONS (UNLESS OTHERWISE NOTED).
- ALL EXISTING STORM SEWERS SHOWN ARE PART OF THE OTHER SCOPES OF DEVELOPMENT AND ARE INCLUDED IN SEPARATE DRAWING SUBMISSION SETS.
- ALL DRAINAGE BOUNDARIES ARE COORDINATED WITH ADJACENT DEVELOPMENT AREAS.

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PERMIT

SEAL

	BY	DATE (YYYY-MM-DD)
DESIGNED	DV	----
DRAWN	RAW	----
CHECKED	DV	----

SCALE: 0 10 20 m
1:500

PROJECT

**KINGSLAND PHASE 1
STORM EXTENSION
JANL DEVELOPMENTS INC.**

SEC: 28 - TWP: 23 - RGE: 01 - W 5th M

SHEET TITLE

STORM DRAINAGE AREA

FILE NO.
25-181 STORM DRAINAGE.dwg

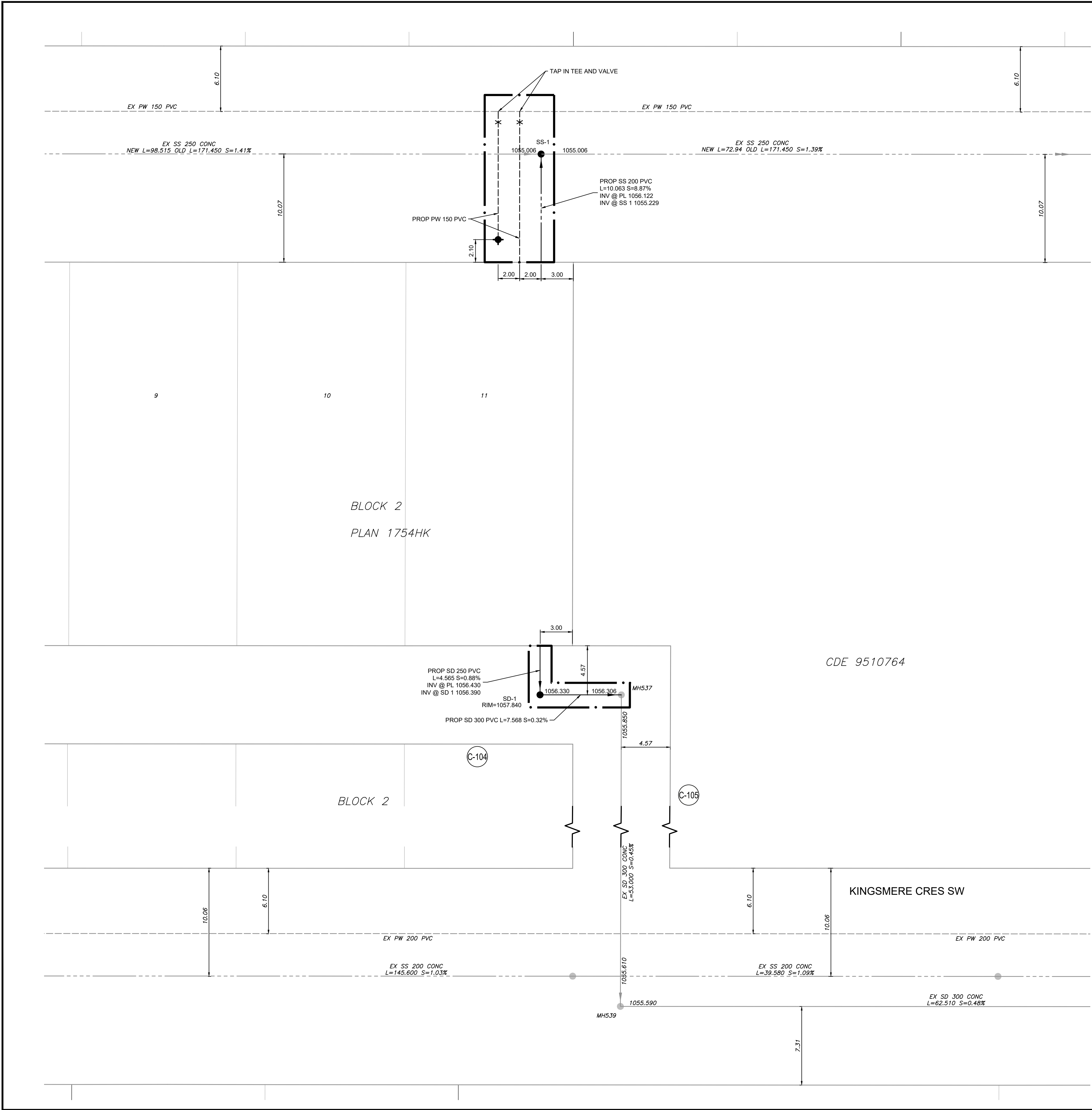
ENG DWG NO.
25-181

SHEET ID.
C-102

SHEET NO.
006

	BY	DATE (YYYY-MM-DD)	PROFILE NO.
DRAWN			

ISC: SHEET SIZE ANSI D 25 mm 0



LEGEND:

- 101 BLOCK PROFILE DRAWING NUMBER
- PH 1 1 BLOCK PROFILE DRAWING NUMBER (DIFFERENT PHASE)
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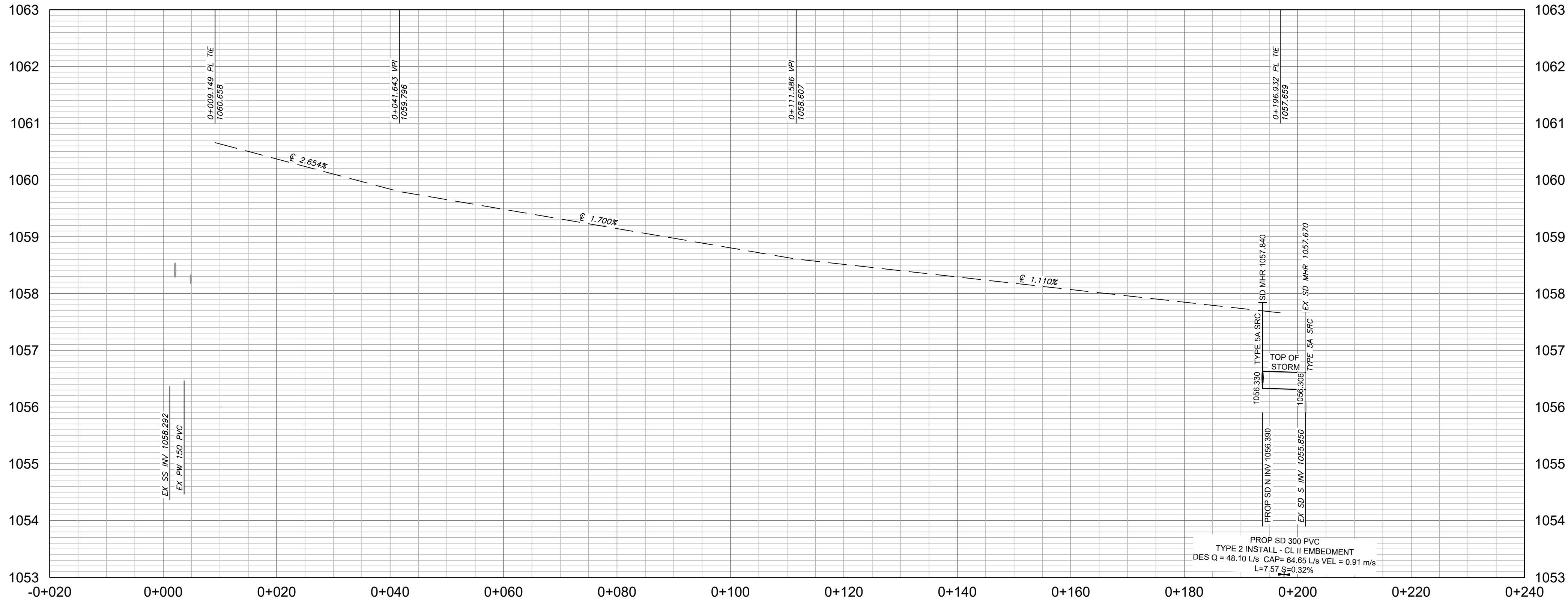
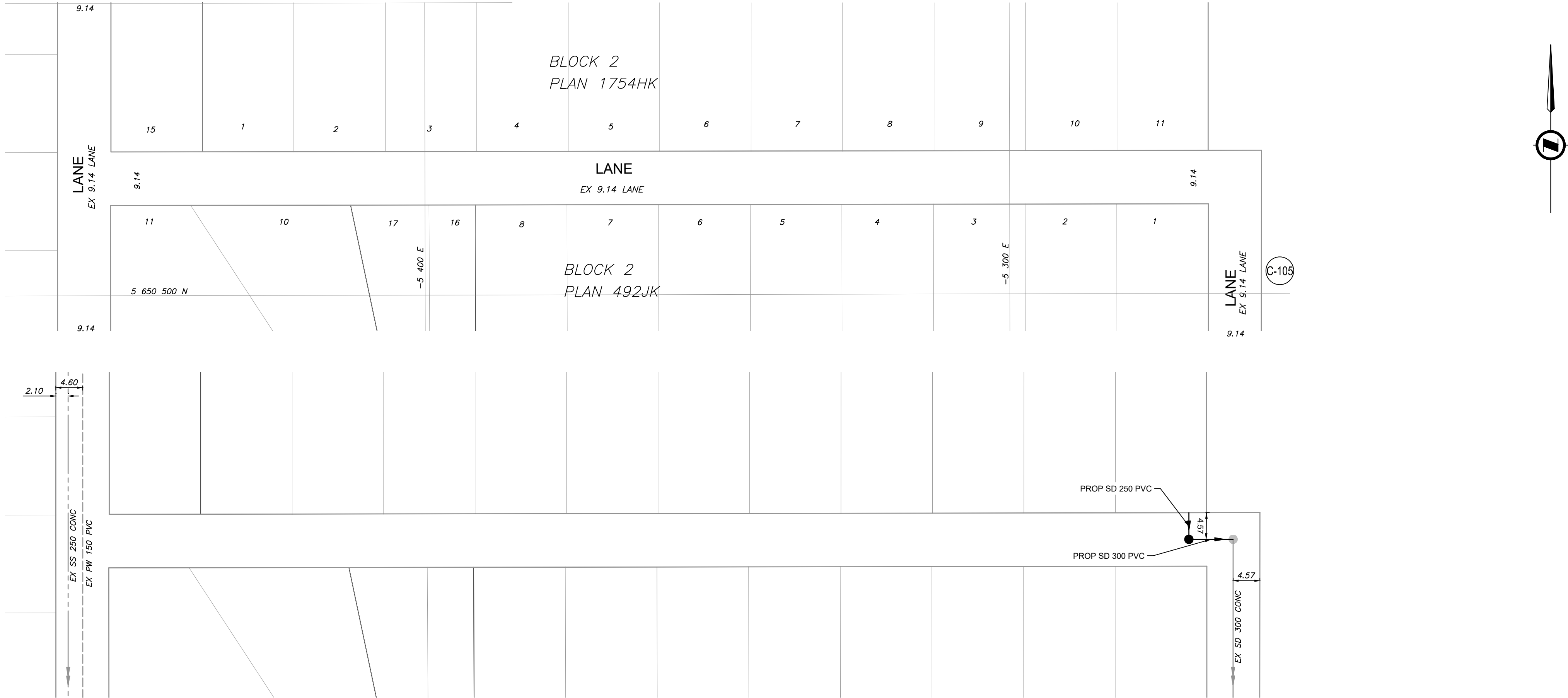
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	BY	DATE (YYYY-MM-DD)
DESIGNED	DV	----
DRAWN	RAW	----
CHECKED	DV	----



PROJECT
KINGSLAND PHASE 1 STORM EXTENSION
JANL DEVELOPMENTS INC.
SEC: 28 - TWP: 23 - RGE: 01 - W 5th M

SHEET TITLE				
SERVICING COVERSHEET				
FILE NO. 25-181 STORM LAYOUT.dwg			ENG DWG NO. 25-181	
SHEET ID. C-103			SHEET NO. 007	
	BY	DATE (YYYY-MM-DD)	PROFILE NO.	
DRAWN				



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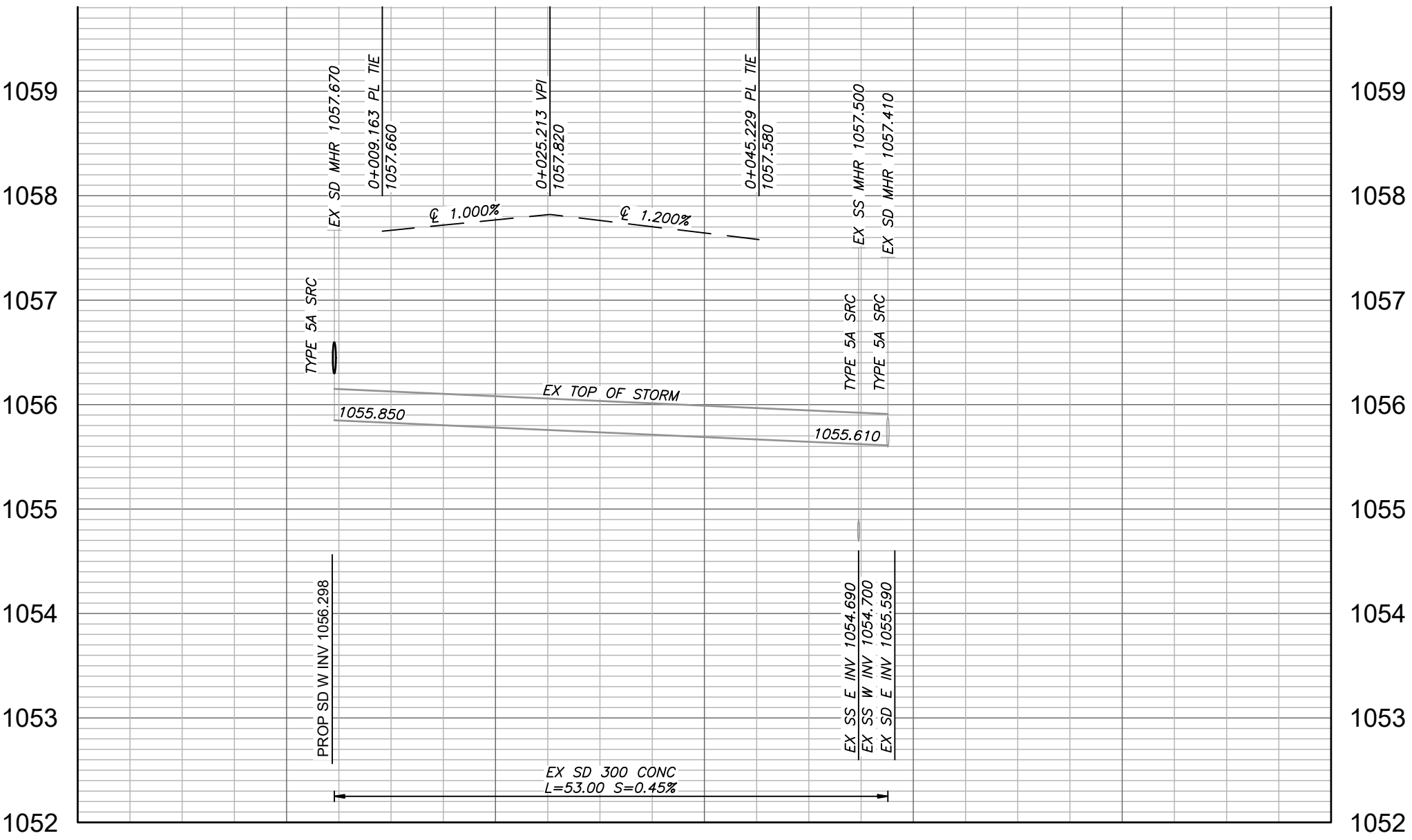
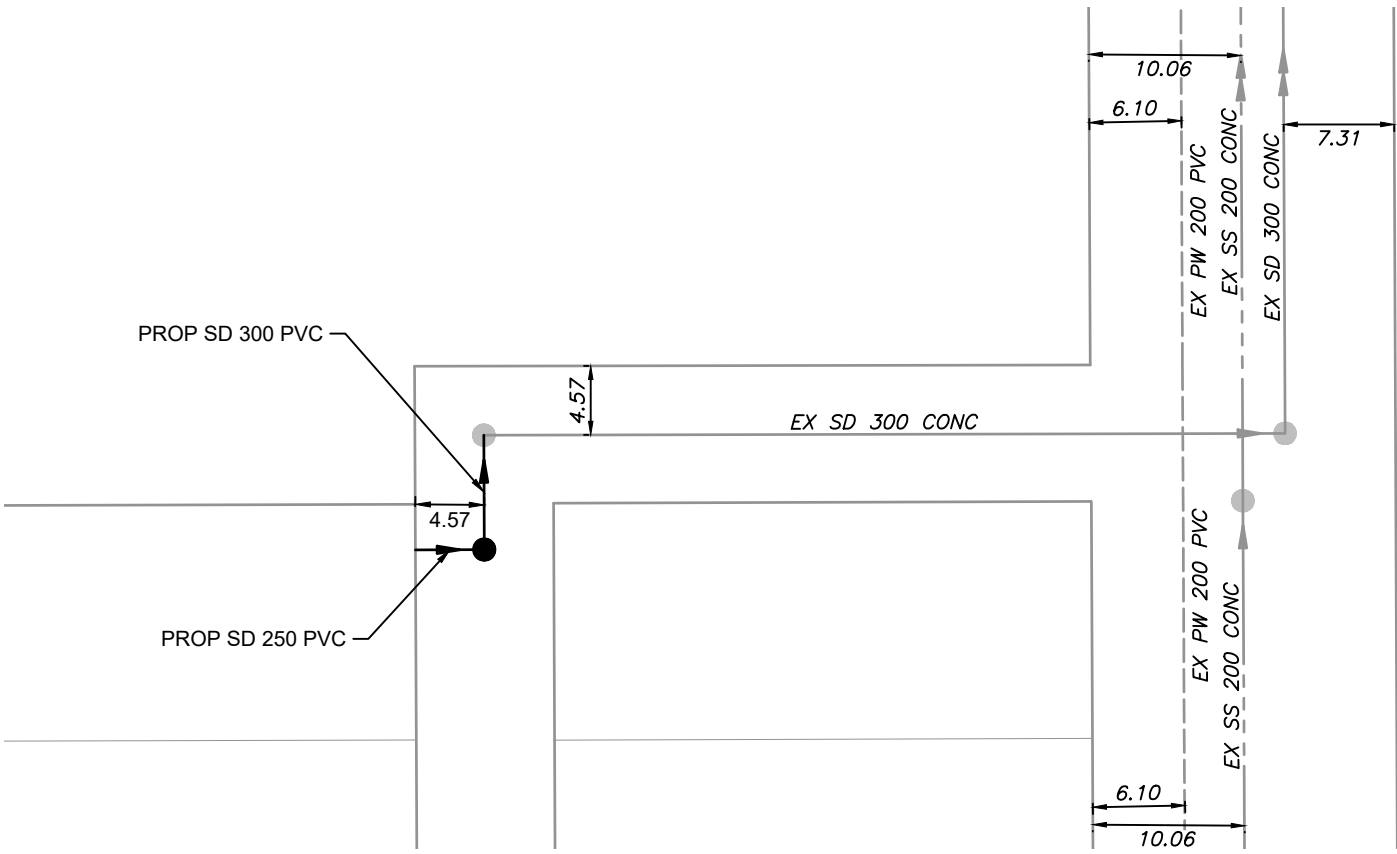
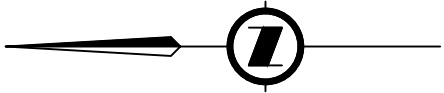
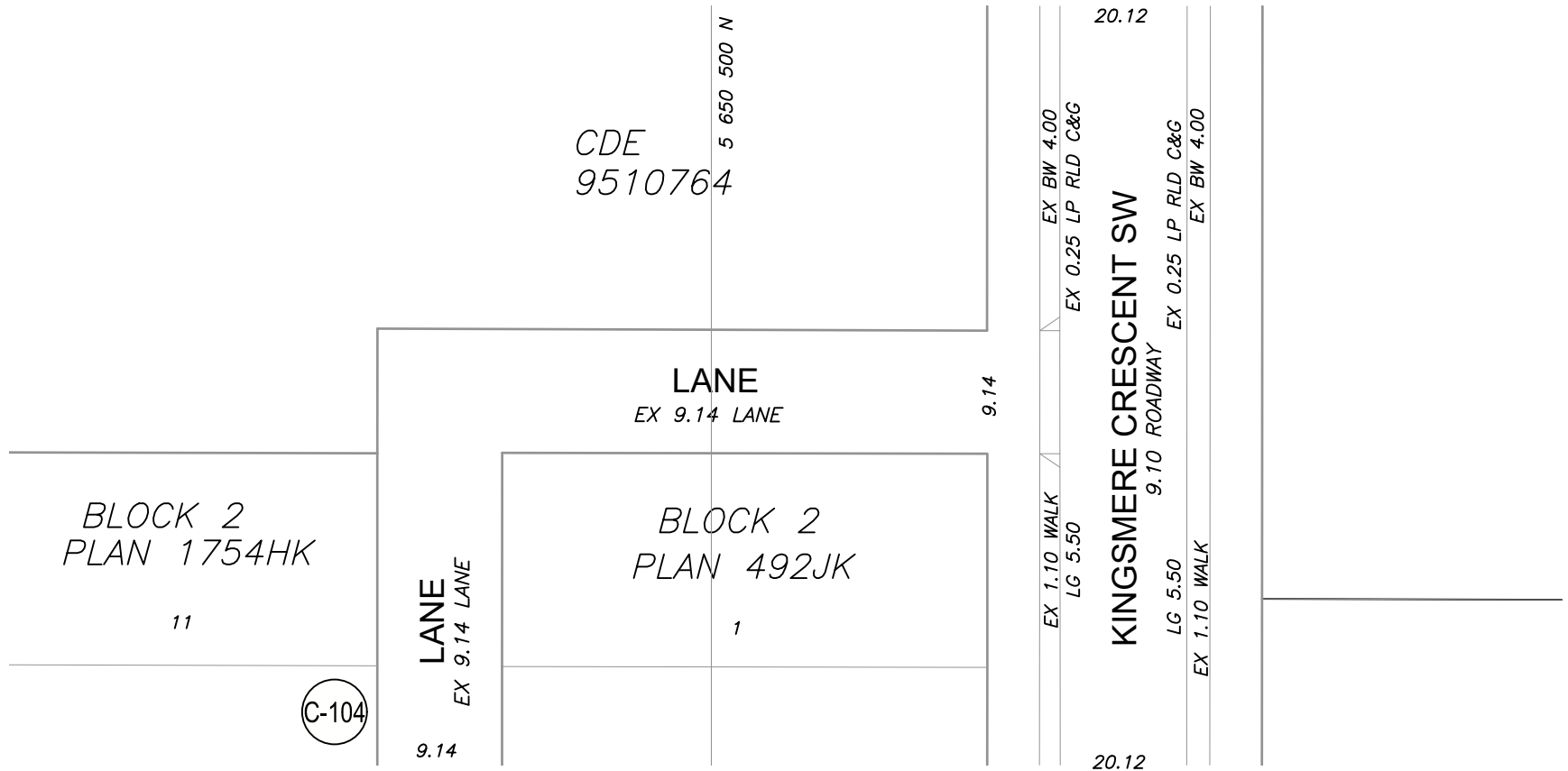
	BY	DATE (YYYY-MM-DD)
DESIGNED	DV	----
DRAWN	RAW	----
CHECKED	DV	----
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PROJECT
KINGSLAND PHASE 1 STORM EXTENSION JANL DEVELOPMENTS INC.
SEC: 28 - TWP: 23 - RGE: 01 - W 5th M

SHEET TITLE
LANE SOUTH OF 69 AV SW

FILE NO. 25-181 - 276.dwg	ENG DWG NO. 25-181
SHEET ID. C-104	SHEET NO. 008
DATE (YYYY-MM-DD)	PROFILE NO. 276
DRAWN	



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DRAWN	RAW	----
CHECKED	DV	----

SCALE	1:50 (HORIZ) 0 10 20 m
	1:50 (VERT) 0 1 2 m



PROJECT
KINGSLAND PHASE 1 STORM EXTENSION JANL DEVELOPMENTS INC.
SEC: 28 - TWP: 23 - RGE: 01 - W 5th M

SHEET TITLE
LANE WEST OF 4A ST SW

FILE NO. 25-181 - 303.dwg	ENG DWG NO. 25-181
SHEET ID. C-105	SHEET NO. 009
DATE (YYYY-MM-DD)	PROFILE NO. 303
DRAWN	