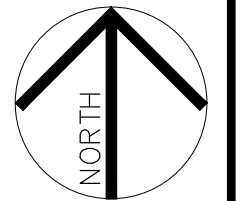


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MATERIAL LEGEND

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
- 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
- 7 HEAVY-DUTY ASPHALT PAVING
-MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE
-FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE APRON
-MIN. OF 25,000 KG WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 STOP SIGN
- 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- 17 PEDESTRIAN CROSSING SIGN
- 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN

LEGEND

- HEAVY DUTY ASPHALT
- RIGHT-OF-WAY
- V 'V' INDICATES VISITOR STALLS

AMENDED DRAWINGS
 DP No: DP2025-02706
 Date Received: 05 22 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

May 21, 2025
 RE-ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	REVISION
2	21/05/25	ISSUED FOR DEVELOPMENT PERMIT
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT

KN ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
 Ph: (403) 265-3100
 info@kn-architecture.com



SCALE: AS NOTED

CLIENT: CITY VIBE DEVELOPMENTS INC.

PROJECT: CARAVAN APARTMENTS

2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: START DATE: JUNE 2024

DRAWING: SITE PLAN

DESIGNED: TN/SKM CHECKED: TN

DRAWN: SKM JOB No: 2416

DWG No: A1.0.0

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 1, BLOCK 1, PLAN 011 2703
 MUNICIPAL ADDRESS: 2787 86 AVENUE SE, CALGARY, ALBERTA
 ZONING: MIXED USE - GENERAL (MU-1 F3.5/h50)
 SITE AREA: ±3.16 ha (±7.81 ac) - MU-1 NO S-SPR(MR)
 ±4.16 ha (±10.28 ac) - MU-1 WITH S-SPR(MR)
 PROPOSED GFA:
 BUILDING 1000 13,503.1 m² (145,346 ft²)
 BUILDING 2000 14,208.8 m² (152,942 ft²)
 BUILDING 3000 9,294.7 m² (100,047 ft²)
 BUILDING 4000 9,294.7 m² (100,047 ft²)
 BUILDING 5000 11,866.6 m² (127,731 ft²)
 TOTAL GFA 58,167.9 m² (626,113 ft²)
 PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

BUILDING/UNITS	1BDR	2BDR	3BDR	PHASE 1	PHASE 2	PHASE 3	TOTAL
BUILDING 1000 PHASE 1	-	143	18	161			
BUILDING 2000 PHASE 1	5	132	30	167			
BUILDING 3000 PHASE 2	-	81	22		103		
BUILDING 4000 PHASE 2	-	81	22		103		
BUILDING 5000 PHASE 3	-	113	24			137	
TOTAL	5	550	116	328	206	137	671

SETBACKS: NO SETBACKS REQUIRED

MAXIMUM DENSITY ALLOWED: N/A
 MINIMUM DENSITY ALLOWED: N/A

DENSITY PROVIDED: 671 UNITS/ 3.15 ha = 213 UNITS/ha
 FLOOR AREA RATIO ALLOWED: 3.5

FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:

BUILDING 1000 (MF 2,256.1 m ² + UF 2,249.4 m ² x5)	13,503.1 m ² (145,346 ft ²)
BUILDING 2000 (MF 2,370.8 m ² + UF 2,367.6 m ² x5)	14,208.8 m ² (152,942 ft ²)
BUILDING 3000 (P2 883.6 m ² + MF 1,686.7 m ² + UF 1,681.1 m ² x4)	9,294.7 m ² (100,047 ft ²)
BUILDING 4000 (P2 883.6 m ² + MF 1,686.7 m ² + UF 1,681.1 m ² x4)	9,294.7 m ² (100,047 ft ²)
BUILDING 5000 (MF 1,882.6 m ² + UF 1,976.8 m ² x5)	11,866.6 m ² (127,731 ft ²)
TOTAL FLOOR AREA:	58,167.9 m² (626,113 ft²)

58,167.9 m² / 31,620.1 m² = 1.84 FAR

LANDSCAPE AREAS: REFER TO LANDSCAPE DRAWINGS PREPARED BY SCATLUFF MILLER MURRAY

BUILDING HEIGHT ALLOWED: 50m
 BUILDING HEIGHT PROVIDED: ±18m

**PARKING CALCULATIONS
 PHASE 1 - 328 UNITS:**

PARKING STALLS REQUIRED (AS PER LUR 1P2007, PART 6, DIVISION 1, 558 (1) (a)):
 DWELLING UNITS : 0.625 (STALLS/UNIT) 328 x 0.625 = 205 STALLS
 TOTAL STALLS REQUIRED 205 STALLS

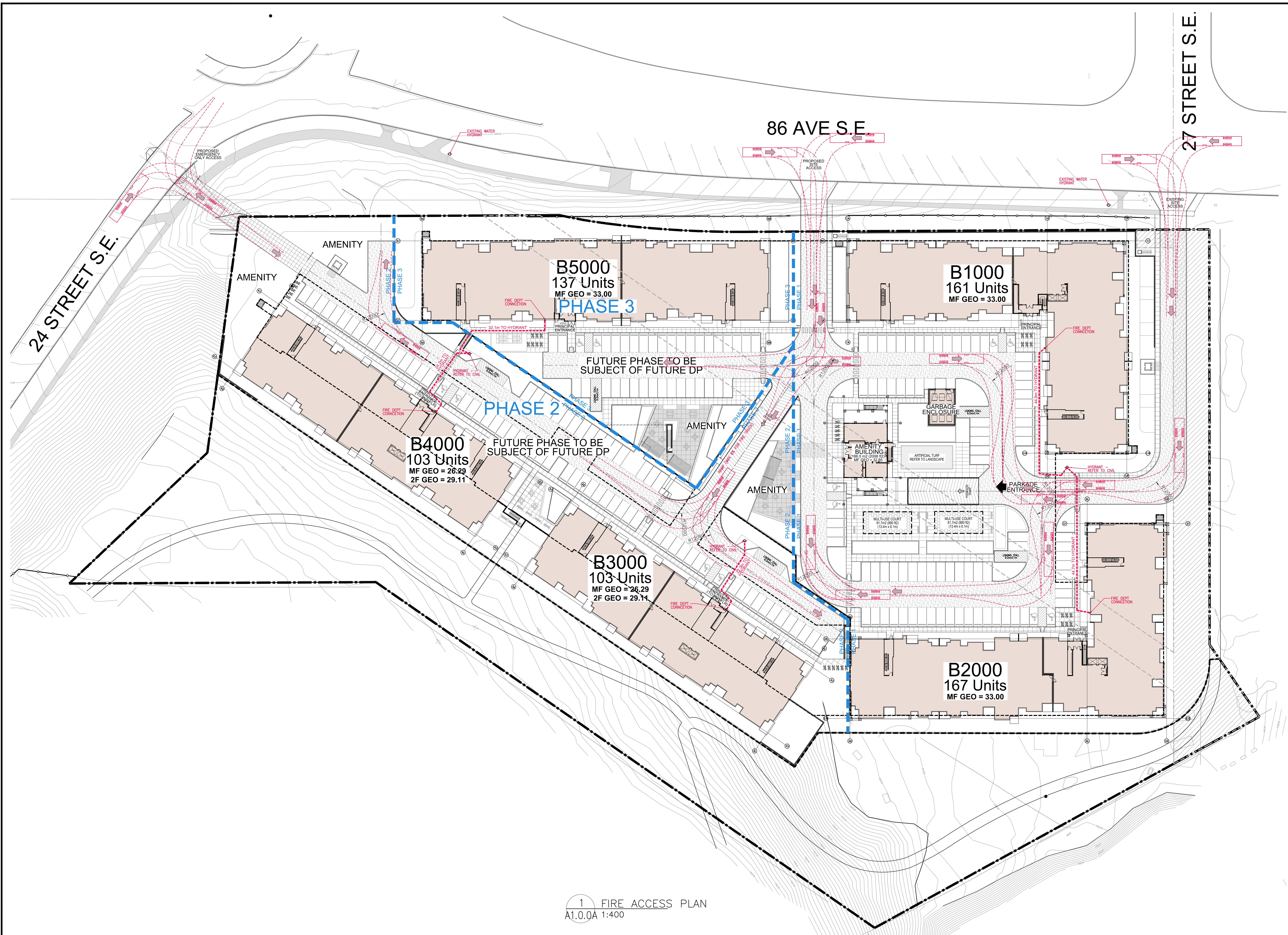
PARKING STALLS PROVIDED:
 SURFACE STALLS (INCL. 6 H/C STALLS) 88 STALLS
 PARKADE P1 (PHASE 1) EXCLUDING 6 TANDEMS 329 STALLS
 TOTAL STALLS PROVIDED PHASE 1 417 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (559)):
 CLASS 1: 328 x 1.0 (STALLS/UNIT) 328 STALLS
 CLASS 2: 328 x 0.1 (STALLS/UNIT) 33 STALLS
 TOTAL NUMBER OF STALLS 361 STALLS

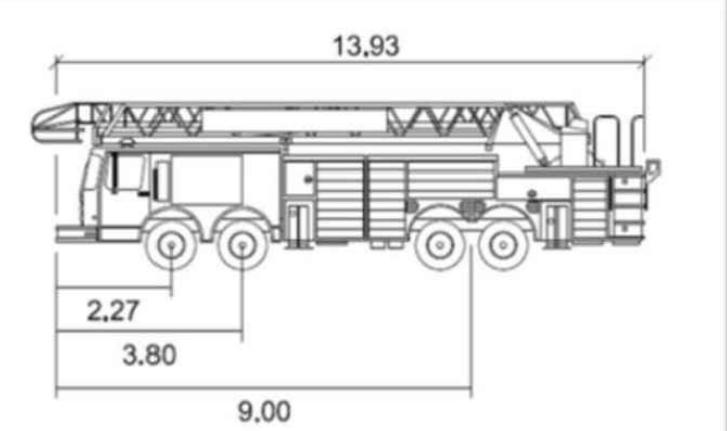
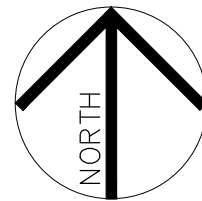
BICYCLE PARKING PROVIDED:
 CLASS 1: (212 HORIZONTAL + 116 VERTICAL RACKS) 328 STALLS
 CLASS 2: 34 STALLS
 TOTAL NUMBER OF STALLS 362 STALLS

PHASE 1 RATIO: 1.27 STALLS/UNIT

1 SITE PLAN
 A1.0.0 1:400



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CFD_Bronto_Skylift
 meters
 Width : 2.57
 Track : 2.57
 Lock to Lock Time : 6.0
 Steering Angle : 47.5
 Turning Radius : 10.18

AMENDED DRAWINGS
 DP No: DP2025-02706
 Date Received: 05 22 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

April 24, 2025
 ISSUED FOR DEVELOPMENT PERMIT

1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

KN ARCHITECTURE
 1417 Kensington Road N.W.
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MOHAMMAD KATANI ARCHITECT
 REG. 1510
 APR 24, 2025
 ALBERTA

SCALE: AS NOTED

CLIENT:

CITY VIBE DEVELOPMENTS INC.

PROJECT:
CARAVAN APARTMENTS
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

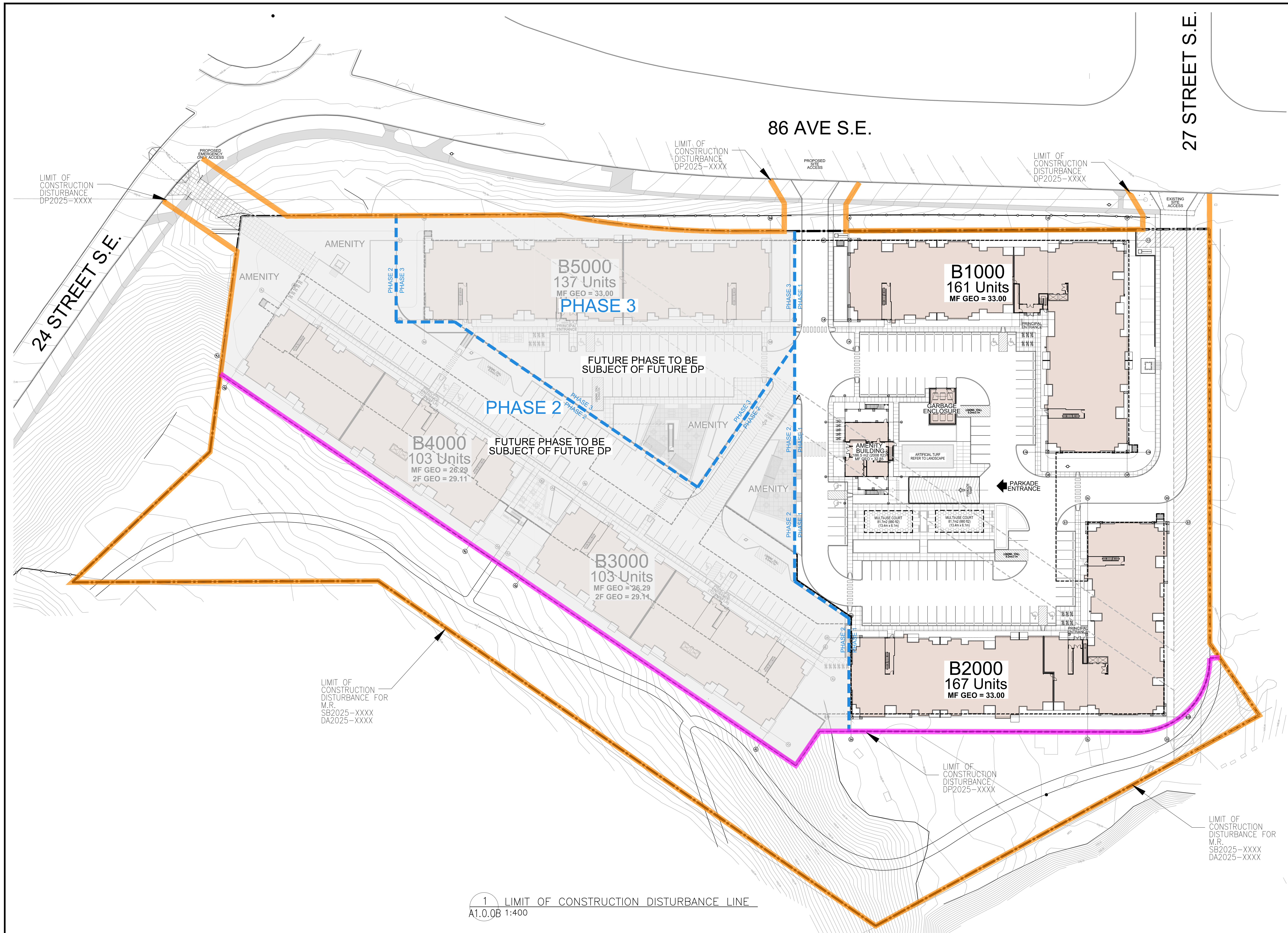
TRADE: START DATE: JUNE 2024

DRAWING:
FIRE ACCESS PLAN

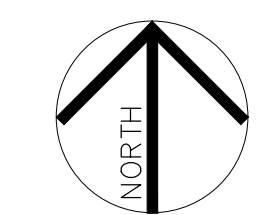
DESIGNED: TN/SKM	CHECKED: TN
DRAWN: SKM	JOB No: 2416
	DWG No:

A1.0.0A

1 FIRE ACCESS PLAN
 A1.0.0A 1:400



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AMENDED DRAWINGS
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April 24, 2025
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NO.	DATE	REVISION
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KN ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
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ALBERTA ARCHITECTURE ASSOCIATION
 REG. NO. 10000
 APR 24, 2025
 ALBERTA

SCALE: AS NOTED

CLIENT: CITY VIBE DEVELOPMENTS INC.

CITY VIBE DEVELOPMENTS INC.

PROJECT: **CARAVAN APARTMENTS**
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: DRAWING DATE: JUNE 2024

LIMIT OF CONSTRUCTION DISTURBANCE LINE

DESIGNED: TN/SKM CHECKED: TN
 DRAWN: SKM JOB No: 2416

DWG No. **A1.0.0B**

1 LIMIT OF CONSTRUCTION DISTURBANCE LINE
 A1.0.0B 1:400

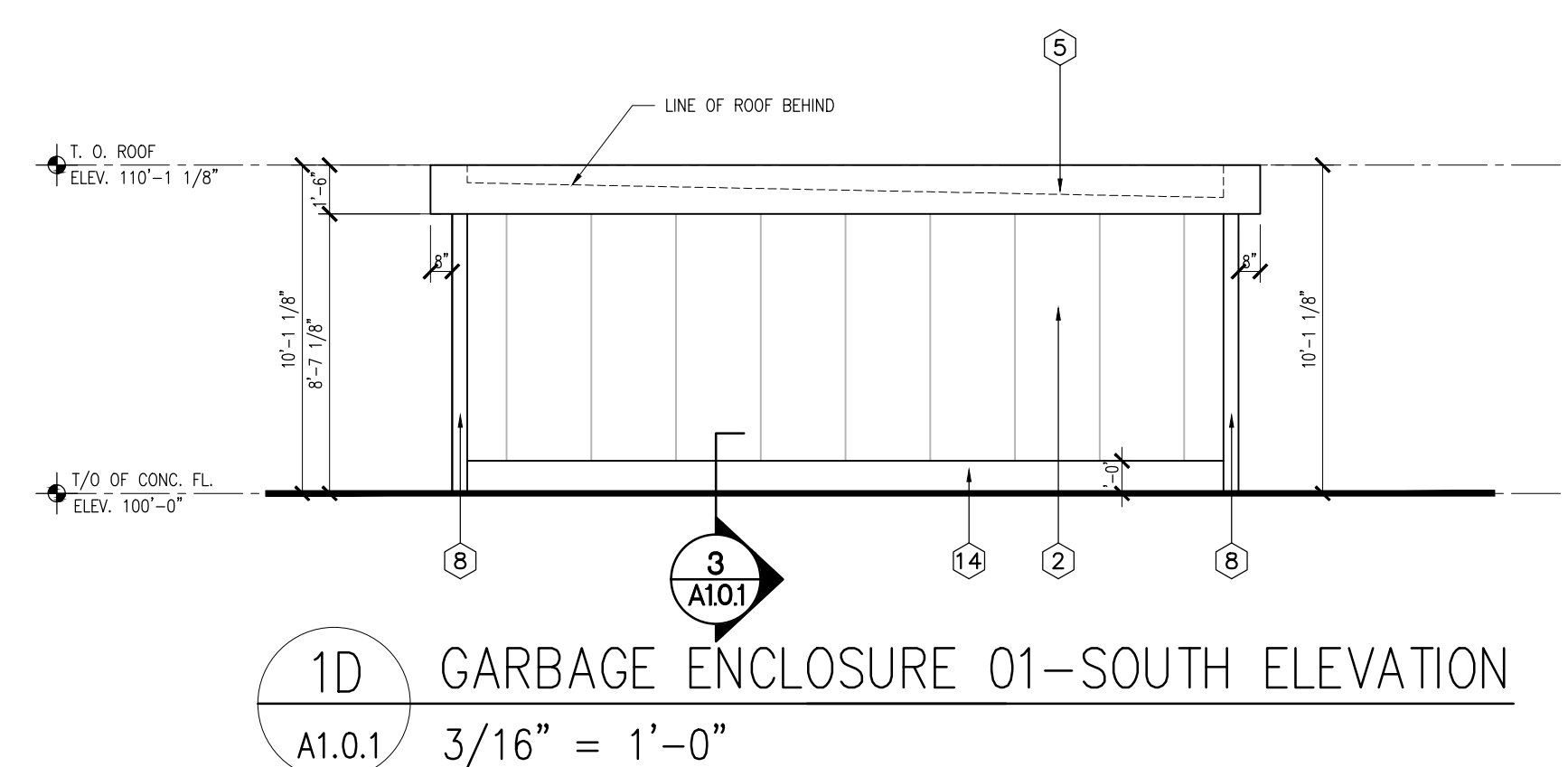
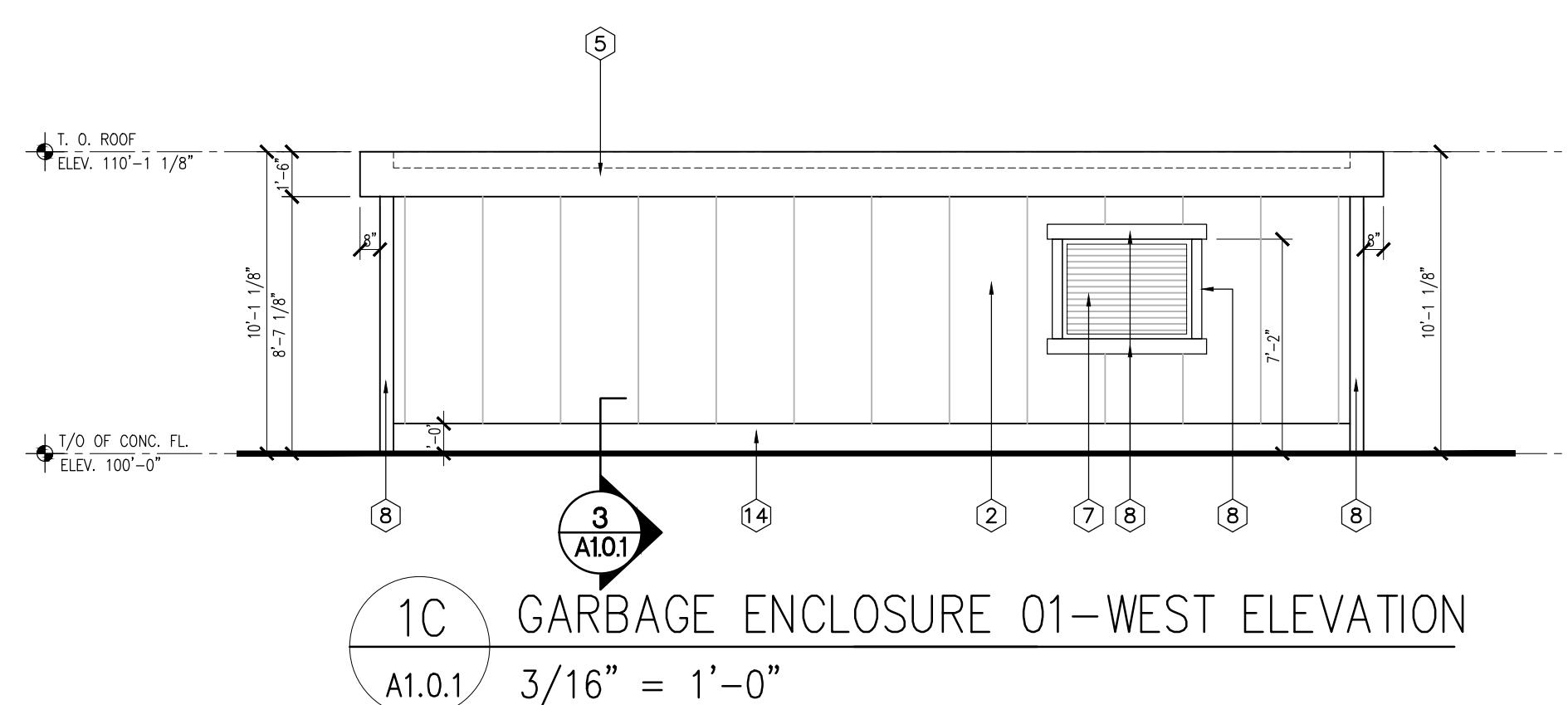
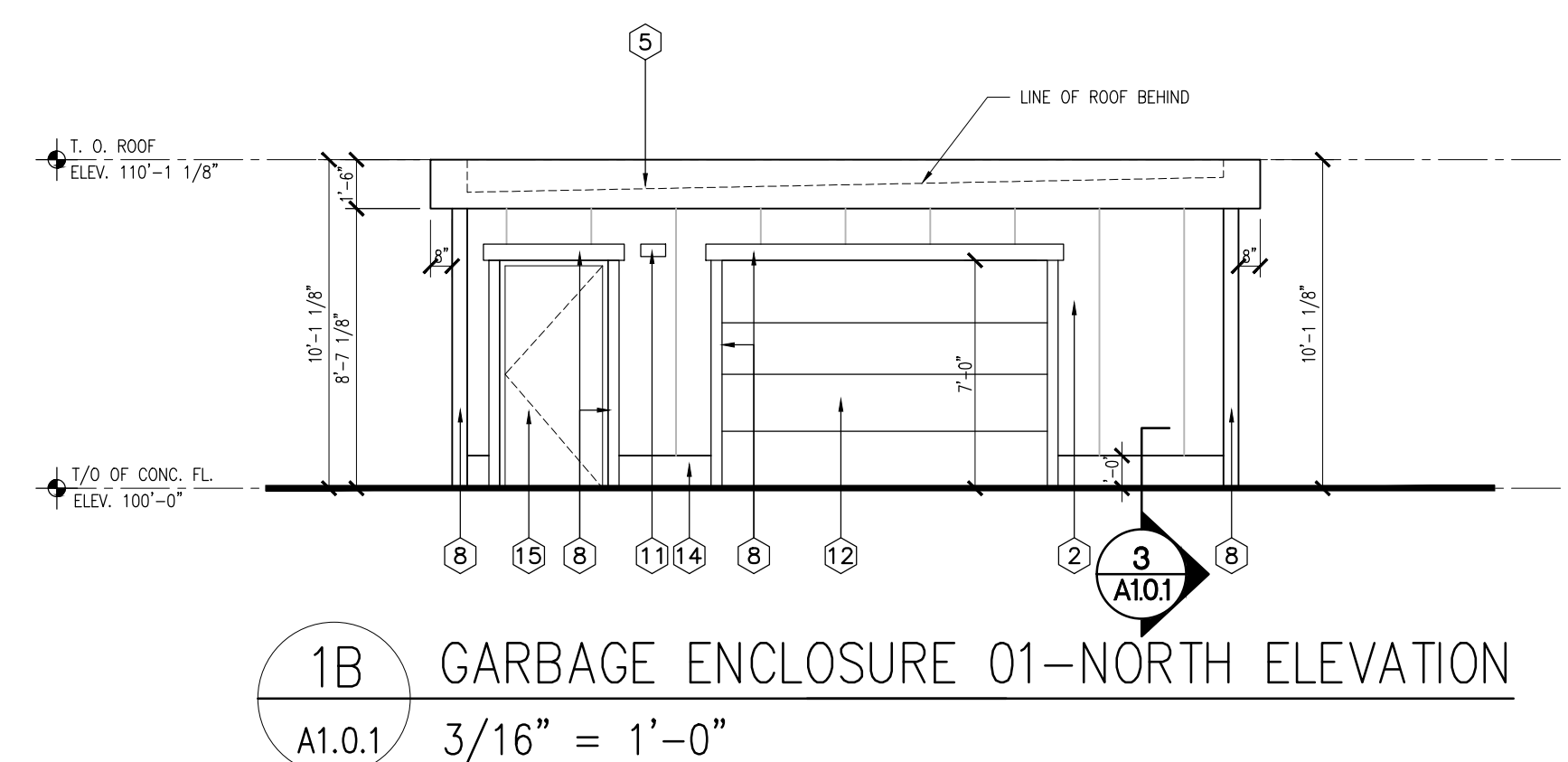
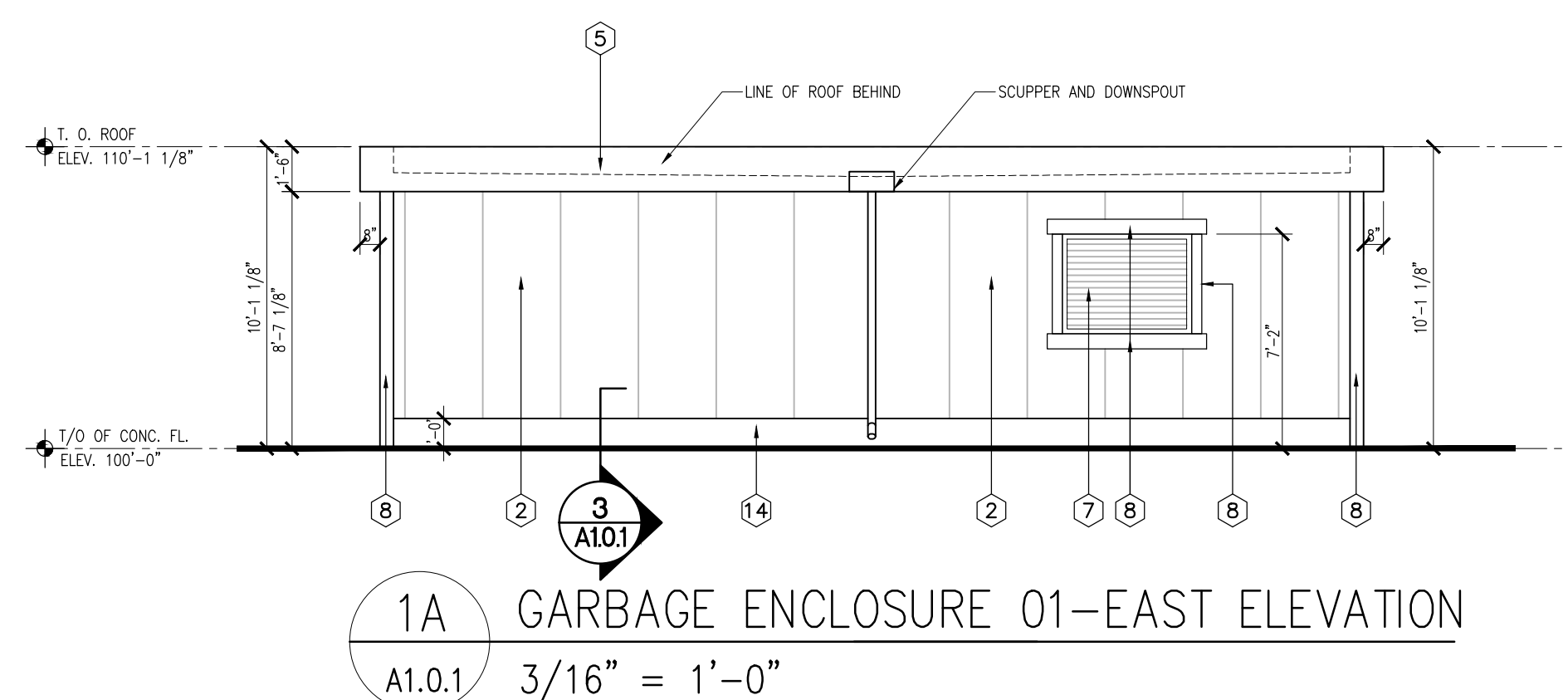
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MATERIAL LEGEND

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (RICH ESPRESSO)
- ③ RESERVED
- ④ STUCCO (TO MATCH HARDIE RICH ESPRESSO)
- ⑤ HARDIE BOARD PANEL (ARCTIC WHITE)
- ⑥ RESERVED
- ⑦ VENTILATION LOUVRE - 54"(W)x40"(H)
- ⑧ HARDIE TRIM 4" OR 6" (ARCTIC WHITE)
- ⑨ RESERVED
- ⑩ RESERVED
- ⑪ EXTERIOR WALL MOUNTED LIGHT
- ⑫ INSULATED OH STEEL DOOR (COLOR TO MATCH WALL)
- ⑬ METAL FLASHING (COLOUR TO MATCH)
- ⑭ EXPOSED CONCRETE
- ⑮ EXTERIOR INSULATED METAL DOOR (COLOR TO MATCH WALL)

NOTE:

- 1) TPO ROOF MEMBRANE
- 2) PAINT BOLLARD YELLOW
- 3) PAINT R.W.L. AND LADDER TO MATCH WALL



EXPOSED BUILDING FACE CALCULATION FOR GARBAGE ENCLOSURE								
FACE	AREA OF EXPOSING BUILDING FACE	AREA OF UNPROTECTED OPENINGS	LIMITING DISTANCE	PERCENTAGE OF OPENINGS PROVIDED	MAX PERMITTED PERCENTAGE OF OPENINGS PER TABLE 9.10.14.4-A	RATING REQUIRED PER TABLE 9.10.14.5-A	CONSTRUCTION PERMITTED PER TABLE 9.10.14.5-A	CLADDING PERMITTED PER TABLE 9.10.14.5-A
NORTH	23 m ²	9 m ²	9 m	39%	>100%	N/A	COMBUSTIBLE	COMBUSTIBLE
EAST	31 m ²	1.4 m ²	12.2 m	4.5%	>100%	N/A	COMBUSTIBLE	COMBUSTIBLE
SOUTH	23 m ²	-	29.2 m	-	>100%	N/A	COMBUSTIBLE	COMBUSTIBLE
WEST	31 m ²	1.4 m ²	4.8 m	4.5%	59%	45 MIN	COMBUSTIBLE	COMBUSTIBLE

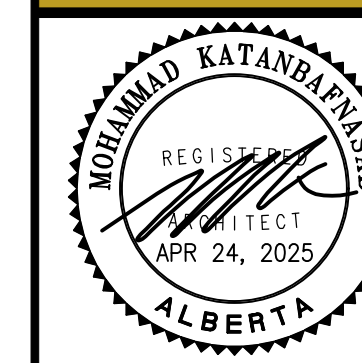
AMENDED DRAWINGS
 DP No: DP2025-02706
 Date Received: 05/22/2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

April 24, 2025

ISSUED FOR DEVELOPMENT PERMIT

1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

KN ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
 Ph: (403) 265-3100
 info@kn-architecture.com



SCALE: AS NOTED

CLIENT: CITY VIBE DEVELOPMENTS INC.



PROJECT: CARAVAN APARTMENTS

2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: GARBAGE BUILDING DETAILS

START DATE: JUNE 2024

DESIGNED: TN/SKM
 CHECKED: TN

DRAWN: SKM
 JOB No: 2416

DWG No: A1.0.1

WASTE CALCULATION
PHASE 1 - 328 UNITS:

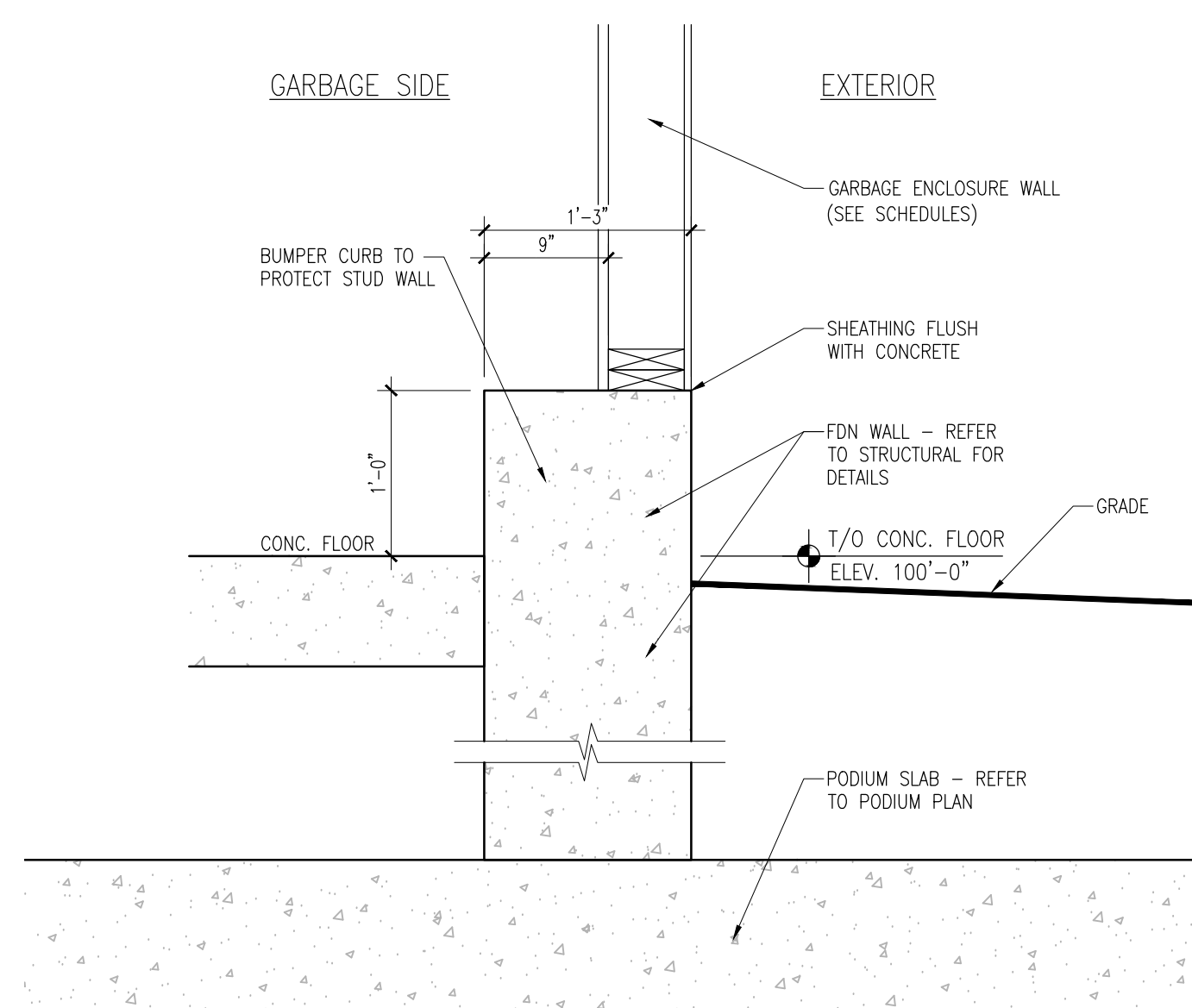
REQUIREMENTS:
 TOTAL WASTE PRODUCED: 328 UNITS x 0.3 yd3 = 98.4 yd3
 NUMBER OF BINS REQUIRED: 98.4yd3/4yd3 (typical bin) = 25 BINS REQ'D

PROVIDED:
 NUMBER OF BINS PROVIDED: (IN ONE GARBAGE ENCLOSURE) = 9 BINS
 (REQUIRES 3 TIME/WEEK PICK-UP)

GARBAGE ENCLOSURE CONSTRUCTION TYPES

GW1 GARBAGE EXTERIOR WALL (1 HR. F.R.R.)
 -5/8" TYPE "X" GYPSUM BOARD
 -2x6 WOOD STUDS @ 16" O.C. (16" SPACING REQ'D FOR RATING)
 -3/8" OSB SHEATHING
 -1 LAYER BUILDING PAPER
 -EXTERIOR FINISH AS PER ELEVATIONS
 1 HR. F.R.R. AS PER NBC AE 2023, APPENDIX 'D', TABLE D-2.3.4.-A,E

GW2 GARBAGE EXTERIOR WALL - NO RATING
 (-1/2" GYPSUM BOARD OPTIONAL INTERIOR FINISH)
 -2x6 WOOD STUDS @ 16" O.C.
 -3/8" OSB SHEATHING
 -1 LAYER BUILDING PAPER
 -EXTERIOR FINISH AS PER ELEVATIONS



3 CONC. PROTECTION CURB DETAIL
 A1.0.1 1"=1'-0"

-TPO ROOF MEMBRANE, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
 -WOOD FURRING SLOPED TO DRAINS MIN. 2%

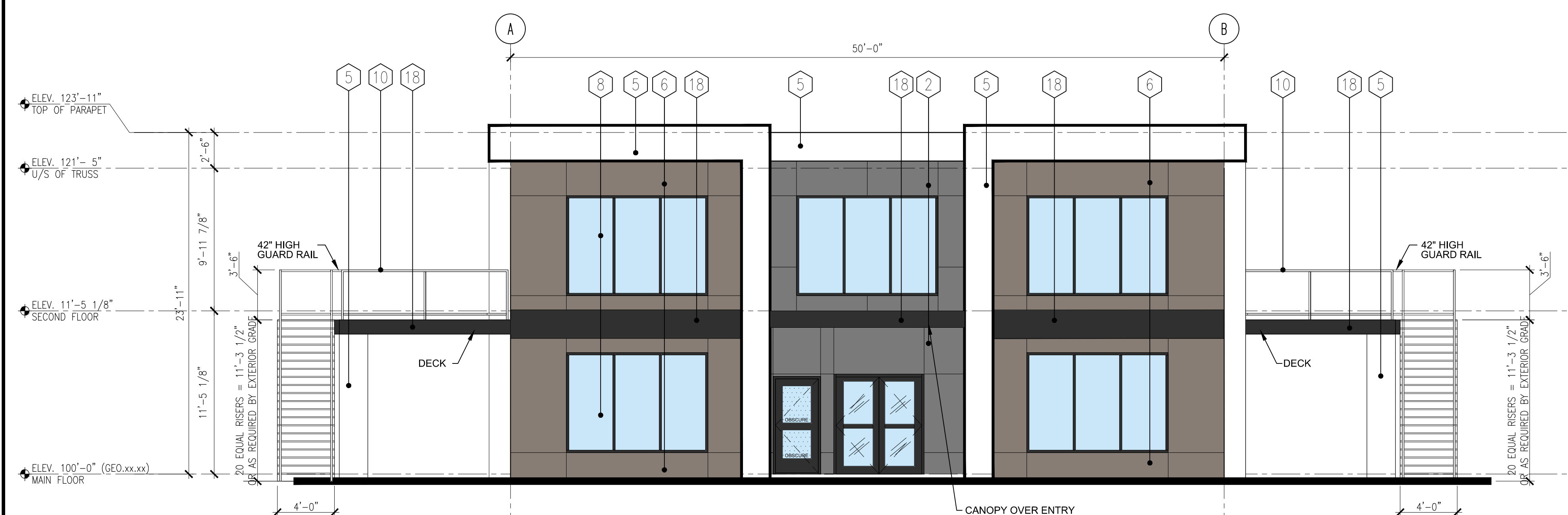
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MATERIAL LEGEND

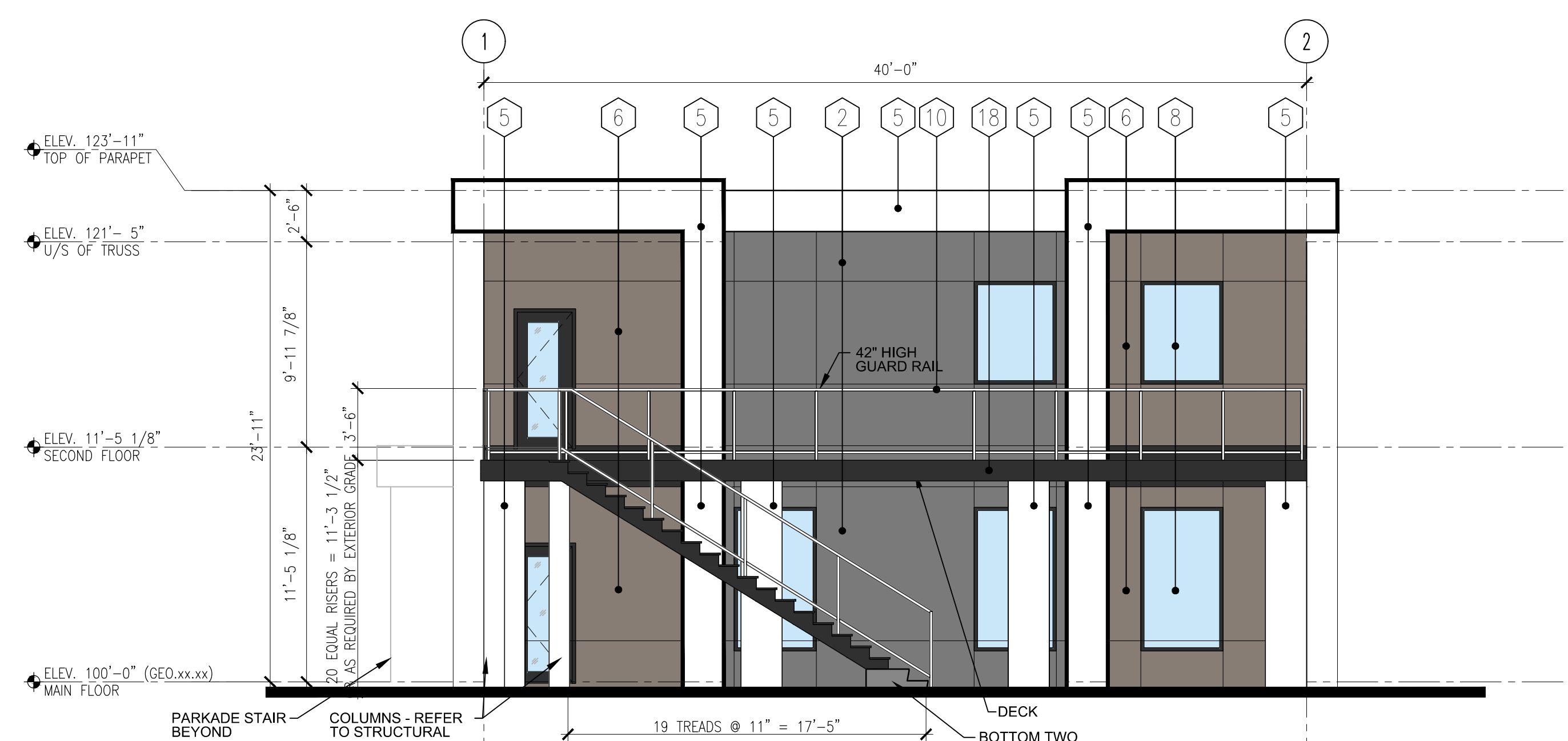
- ① HARDIE BOARD PANEL (COBBLESTONE)
- ② HARDIE BOARD PANEL (RICH ESPRESSO)
- ③ FIBER CEMENT SIDING (SEPIA)
- ④ RESERVED
- ⑤ HARDIE BOARD PANEL (ARCTIC WHITE)
- ⑥ HARDIE BOARD PANEL (TIMBER BARK)
- ⑦ GLASS SLIDING DOOR
- ⑧ BLACK VINYL WINDOW
- ⑨ ALUMINUM STORE FRONT GLAZING
- ⑩ BLACK ALUMINUM GLASS RAILING
- ⑪ EXTERIOR GLASS DOOR
- ⑫ GLASS SPANDREL
- ⑬ RESERVED
- ⑭ CONCRETE
- ⑮ RESERVED
- ⑯ RESERVED
- ⑰ LIGHT FIXTURE
- ⑱ HARDIE TRIM (BLACK)
- ⑲ HARDIE LAP SIDING (TIMBER BARK)
- ⑳ HARDIE LAP SIDING (COBBLESTONE)

NOTES

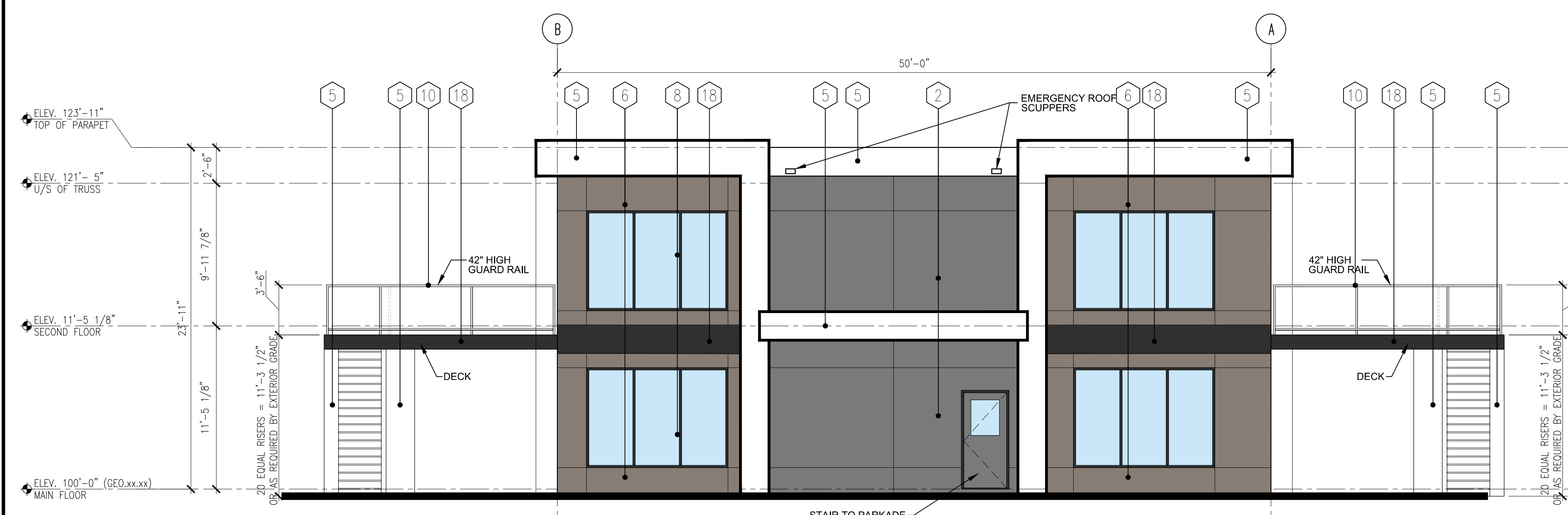
- 1) SOFFIT & DECK FASCIA TO BE BLACK
- 2) TPO ROOF MEMBRANE



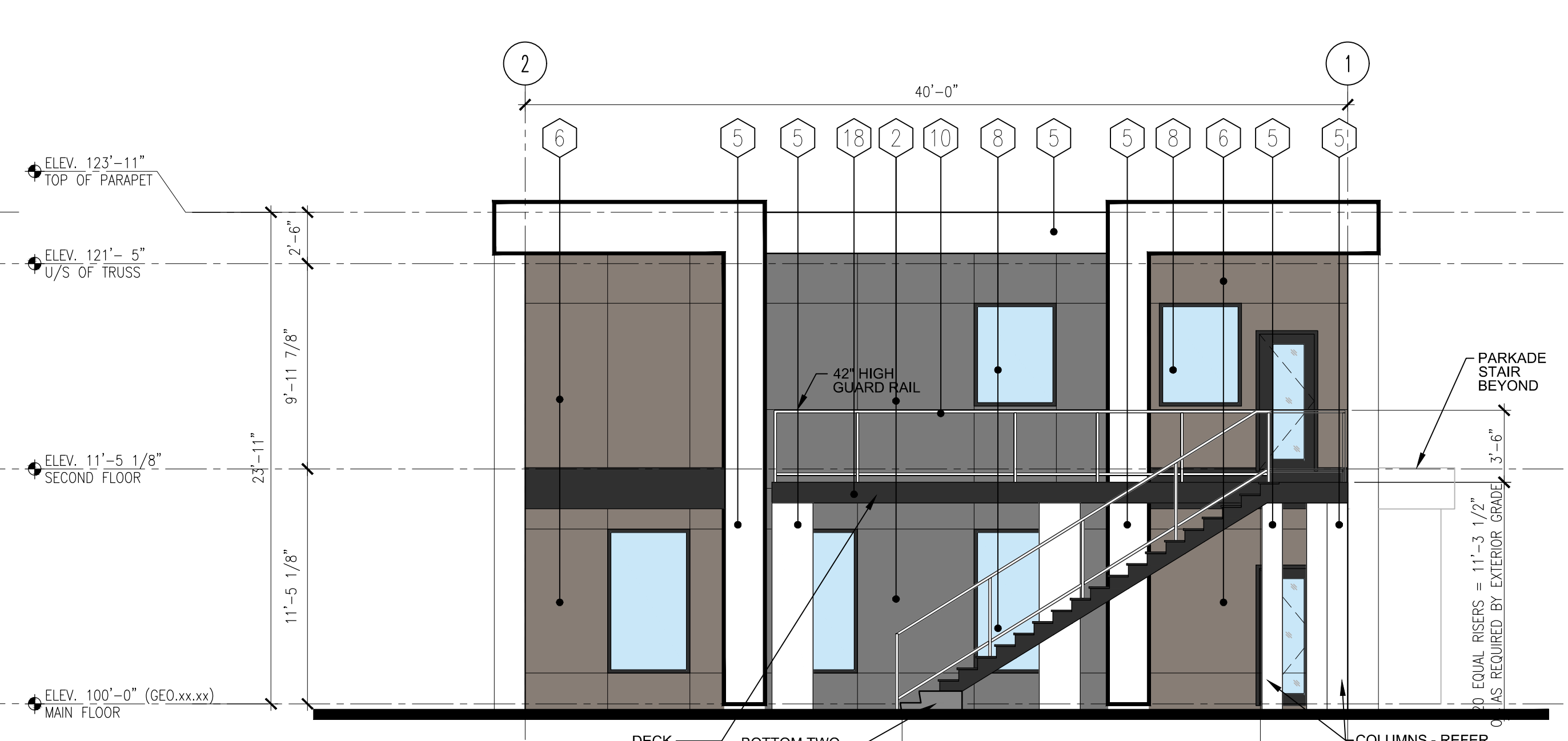
1 AMENITY BUILDING SOUTH-WEST ELEVATION
A1.0.5 3/16" = 1'-0"



2 AMENITY BUILDING NORTH-WEST ELEVATION
A1.0.5 3/16" = 1'-0"



3 AMENITY BUILDING NORTH-EAST ELEVATION
A1.0.5 3/16" = 1'-0"



4 AMENITY BUILDING SOUTH-EAST ELEVATION
A1.0.5 3/16" = 1'-0"

AMENDED DRAWINGS
 DP No: DP2025-02706
 Date Received: 05 22 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

April 24, 2025
 ISSUED FOR DEVELOPMENT PERMIT

1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

K|N ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
 Ph: (403) 265-3100
 info@kn-architecture.com



SCALE: AS NOTED

CLIENT:



PROJECT:
CARAVAN APARTMENTS
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: START DATE: JUNE 2024

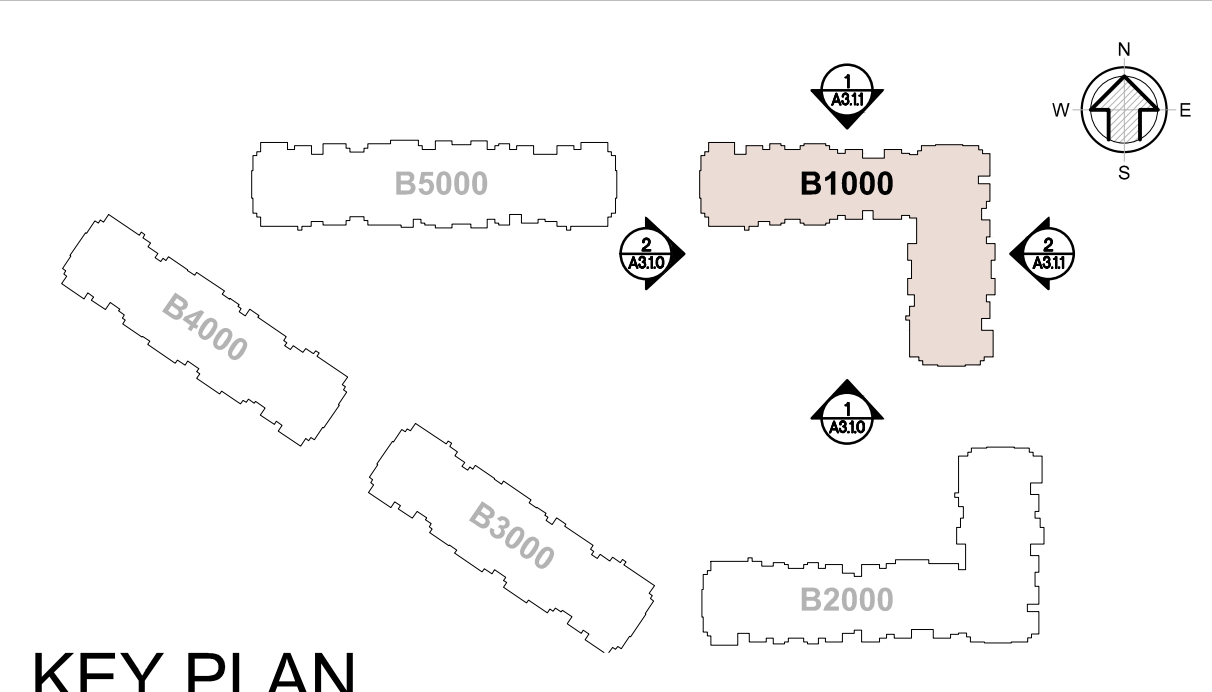
DRAWING:
AMENITY BUILDING ELEVATIONS/SECTIONS

DESIGNED: TN/SKM CHECKED: TN

DRAWN: SKM JOB No: 2416

DWG No: **A1.0.5**

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KEY PLAN

MATERIAL LEGEND

1A	HARDIE BOARD PANEL/LAP SIDING (TIMBER BARK)
1B	HARDIE LAP SIDING (TIMBER BARK)
2	HARDIE BOARD PANEL (COBBLESTONE)
3	FIBER CEMENT PANEL (SEPIA)
4A	HARDIE BOARD PANEL (RICH ESPRESSO)
4B	HARDIE LAP SIDING (RICH ESPRESSO)
5	STONE CLADDING
6	RESERVE
7	GLASS SLIDING DOOR
8	BLACK VINYL WINDOW
9	ALUMINUM STORE FRONT GLAZING
10	ALUMINUM GLASS RAILING (BLACK)
11	EXTERIOR GLASS DOOR (BLACK)
12	DRAINAGE SLOT
13	RESERVE
14	RESERVE
15	RESERVE
16	FIBER CEMENT LAP SIDING (SEPIA)
17	VTAC LOUVER (COLOUR TO MATCH WALL)
18	HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. Date Received
 DP2025-02706 05 22 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

April 24, 2025
 ISSUED FOR DEVELOPMENT PERMIT

1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

K|N ARCHITECTURE
 1417 Kensington Road N.W.
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ALBERTA ARCHITECTURE
 REG. 1540
 APR 24, 2025
 ALBERTA

SCALE AS NOTED

CLIENT

CITY VIBE DEVELOPMENTS INC.

PROJECT
CARAVAN APARTMENTS
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

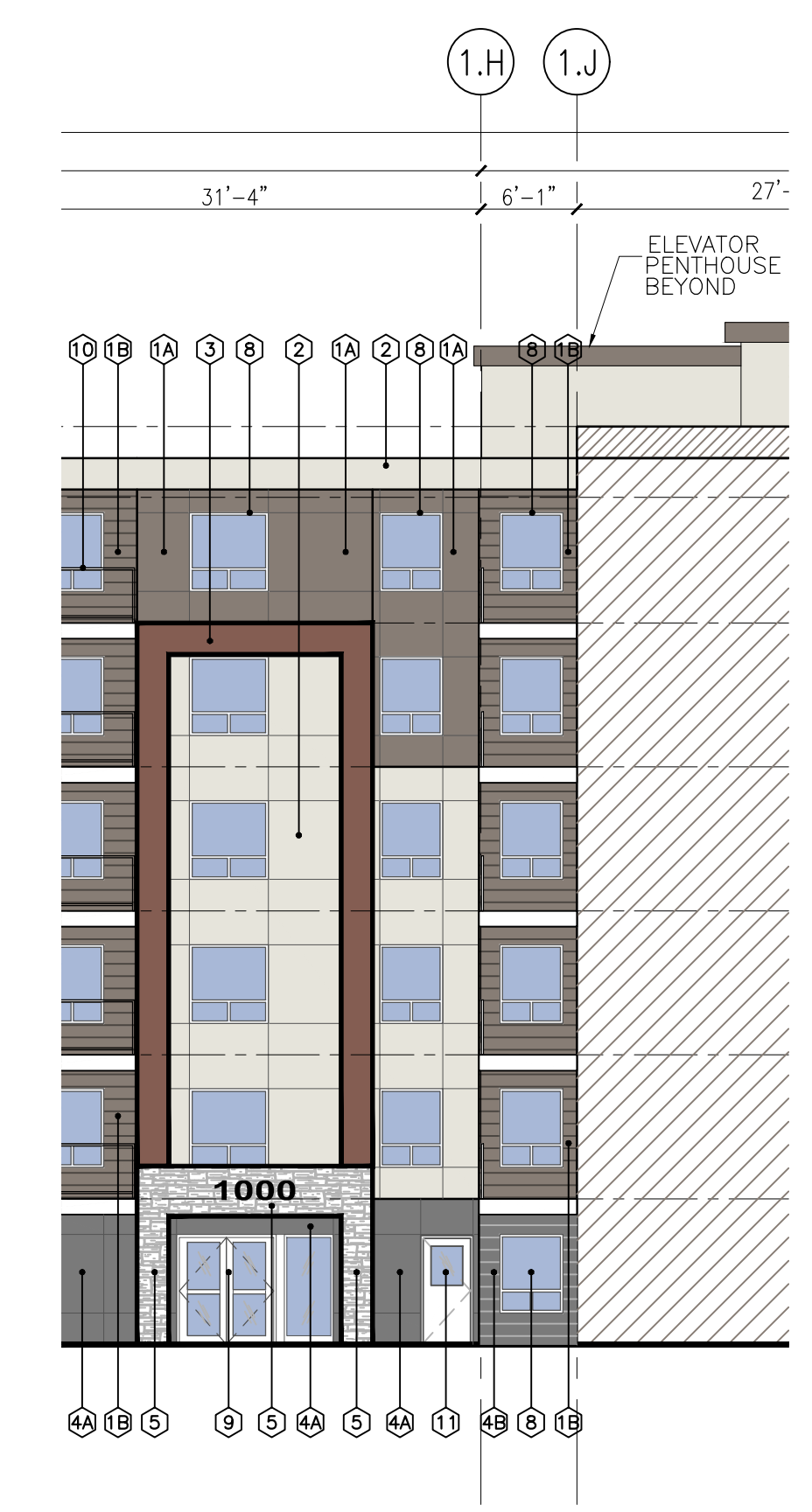
TRADE START DATE JUNE 2024

DRAWING
BUILDING 1000 ELEVATIONS

DESIGNED	TN/SKM	CHECKED	TN
DRAWN	SKM	JOB No.	2416
		DWG No.	A3.1.0



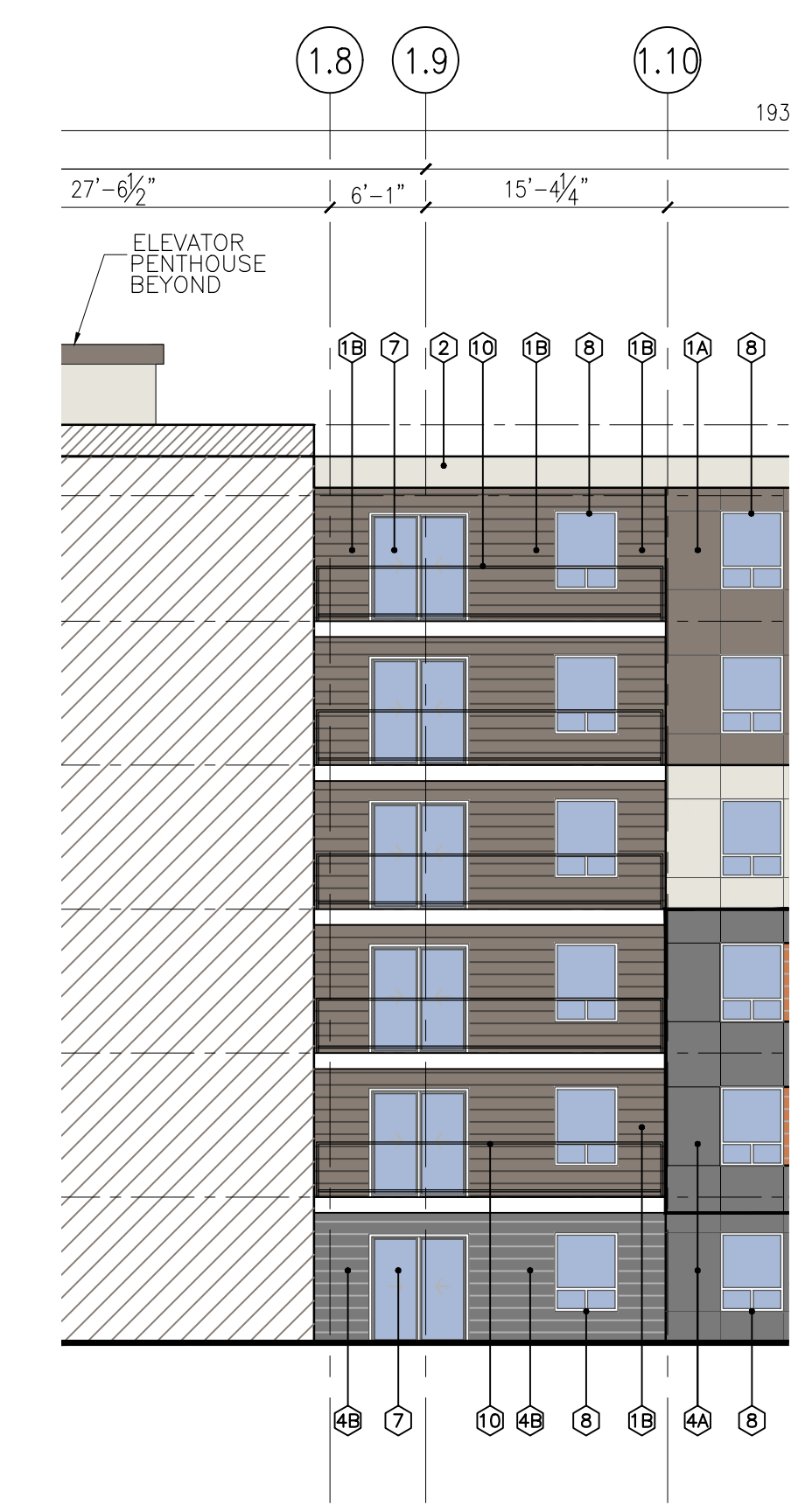
1 SOUTH ELEVATION
 A3.1.0 3/32" = 1'-0"



1A SOUTH ELEV. (hidden portion)
 A3.1.0 3/32" = 1'-0"

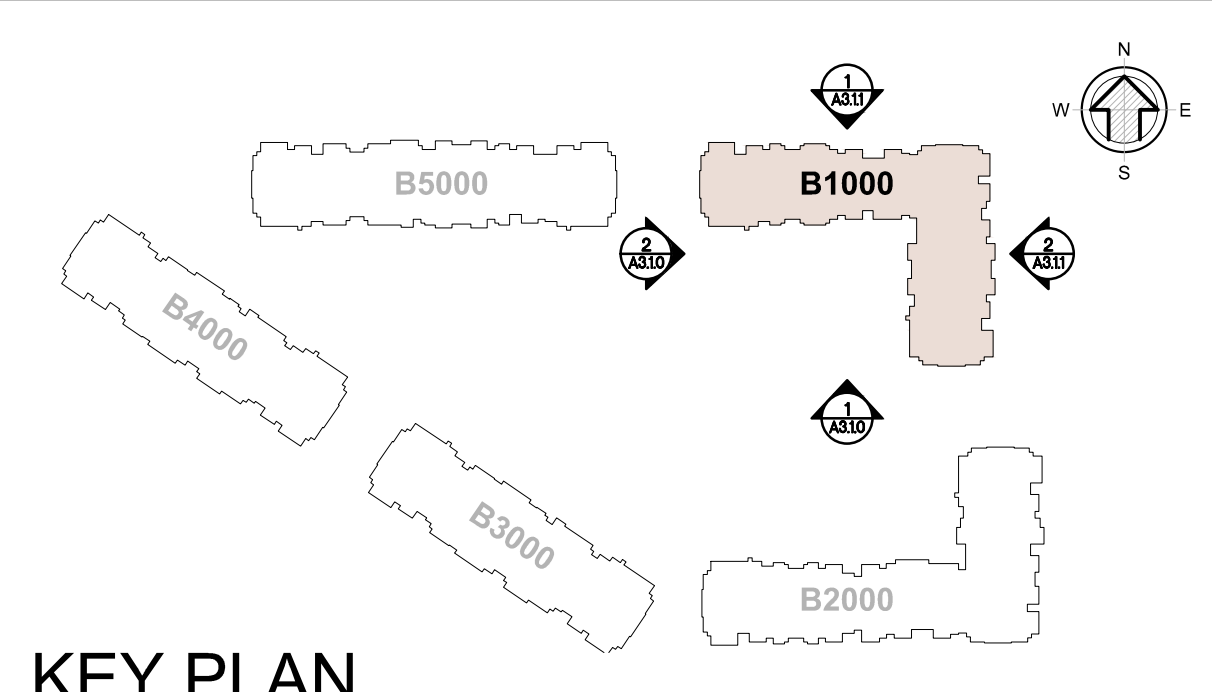


2 WEST ELEVATION
 A3.1.0 3/32" = 1'-0"



2A WEST ELEV. (hidden portion)
 A3.1.0 3/32" = 1'-0"

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KEY PLAN

MATERIAL LEGEND

1A	HARDIE BOARD PANEL/LAP SIDING (TIMBER BARK)
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18	HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. Date Received
 DP2025-02706 05 22 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

April 24, 2025
 ISSUED FOR DEVELOPMENT PERMIT

1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

KN ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
 Ph: (403) 265-3100
 info@kn-architecture.com

ALBERTA ARCHITECTURE
 REG. 1510
 APR 24, 2025

SCALE AS NOTED

CLIENT

CITY VIBE DEVELOPMENTS INC.

PROJECT
CARAVAN APARTMENTS
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

DRAWING

BUILDING 1000 ELEVATIONS

DESIGNED TN/SKM CHECKED TN

DRAWN SKM JOB No. 2416

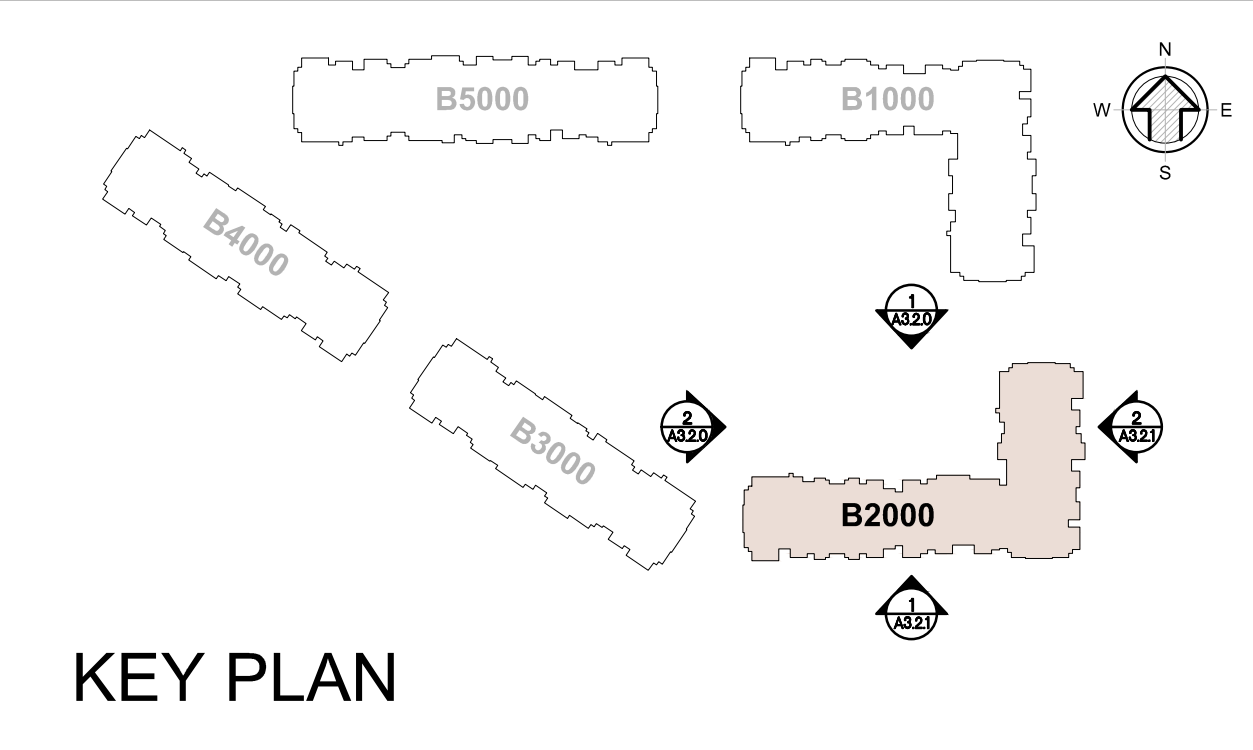
DWG No. **A3.1.1**



1 NORTH ELEVATION
 A3.1.1 3/32" = 1'-0"



2 EAST ELEVATION
 A3.1.1 3/32" = 1'-0"



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

MATERIAL LEGEND

1A	HARDIE BOARD PANEL (TIMBER BARK)	[Symbol]
1B	HARDIE LAP SIDING (TIMBER BARK)	[Symbol]
2	HARDIE BOARD PANEL (ARCTIC WHITE)	[Symbol]
3	FIBER CEMENT PANEL (SEPIA)	[Symbol]
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	[Symbol]
4B	HARDIE LAP SIDING (RICH ESPRESSO)	[Symbol]
5	STONE CLADDING	[Symbol]
6	RESERVE	[Symbol]
7	GLASS SLIDING DOOR	[Symbol]
8	BLACK VINYL WINDOW	[Symbol]
9	ALUMINUM STORE FRONT GLAZING	[Symbol]
10	ALUMINUM GLASS RAILING (BLACK)	[Symbol]
11	EXTERIOR GLASS DOOR (BLACK)	[Symbol]
12	DRAINAGE SLOT	[Symbol]
13	RESERVE	[Symbol]
14	RESERVE	[Symbol]
15	RESERVE	[Symbol]
16	FIBER CEMENT LAP SIDING (SEPIA)	[Symbol]
17	VTAC LOUVER (COLOUR TO MATCH WALL)	[Symbol]

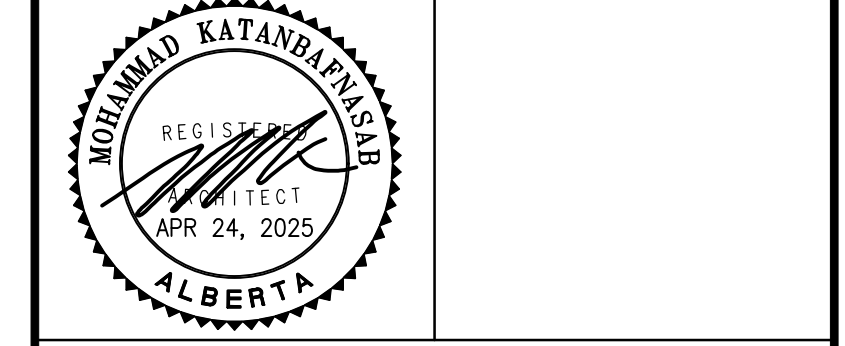
NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. Date Received
 DP2025-02706 05 22 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

April 24, 2025
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1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

KIN ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
 Ph: (403) 265-3100
 info@kin-architecture.com



SCALE: AS NOTED

CLIENT:



PROJECT:

CARAVAN APARTMENTS
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: START DATE: JUNE 2024

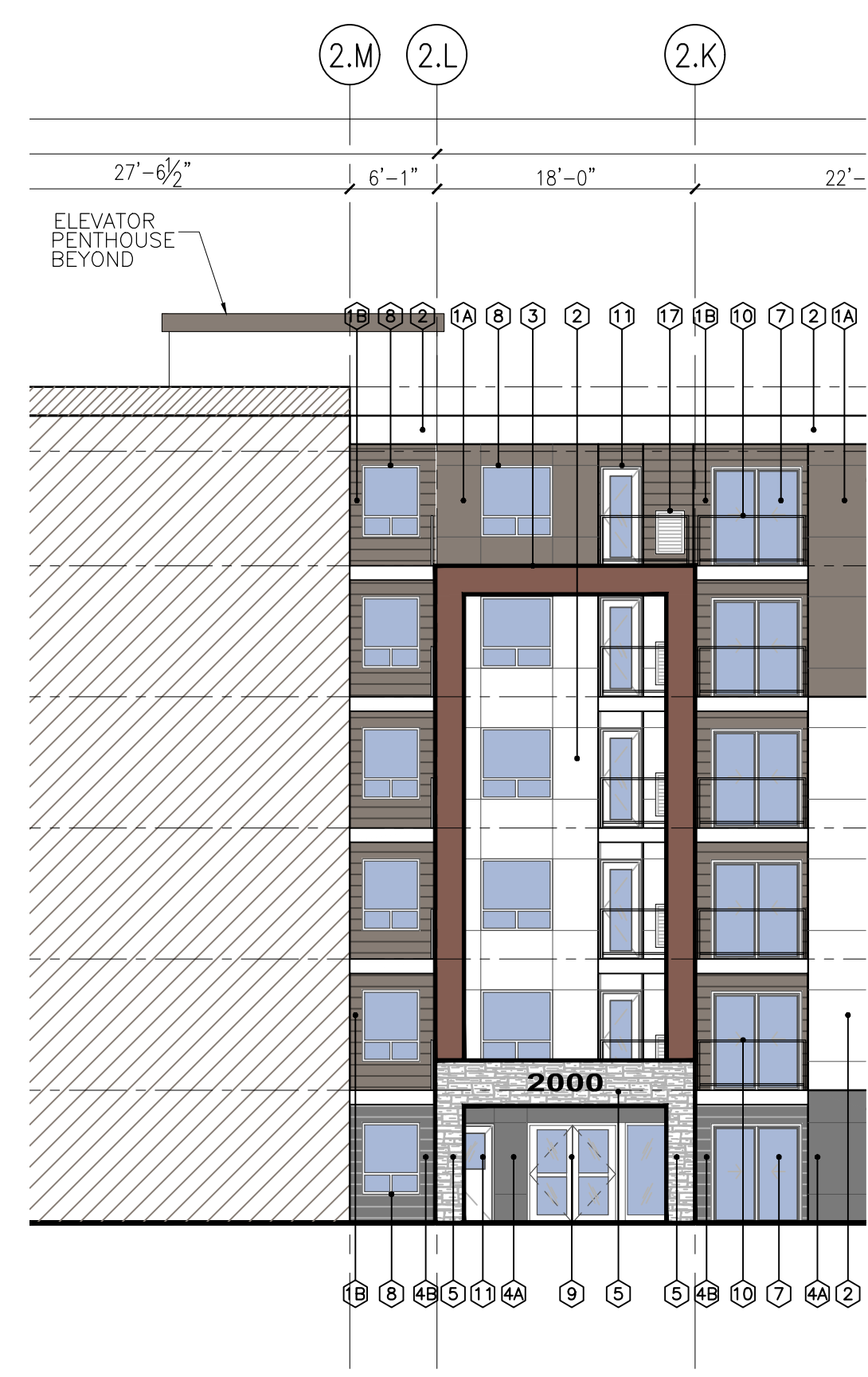
BUILDING 2000 ELEVATIONS

DESIGNED: TN/SKM CHECKED: TN
 DRAWN: SKM JOB No. 2416

DWG No. **A3.2.0**



1 NORTH ELEVATION
 A3.2.0 3/32" = 1'-0"



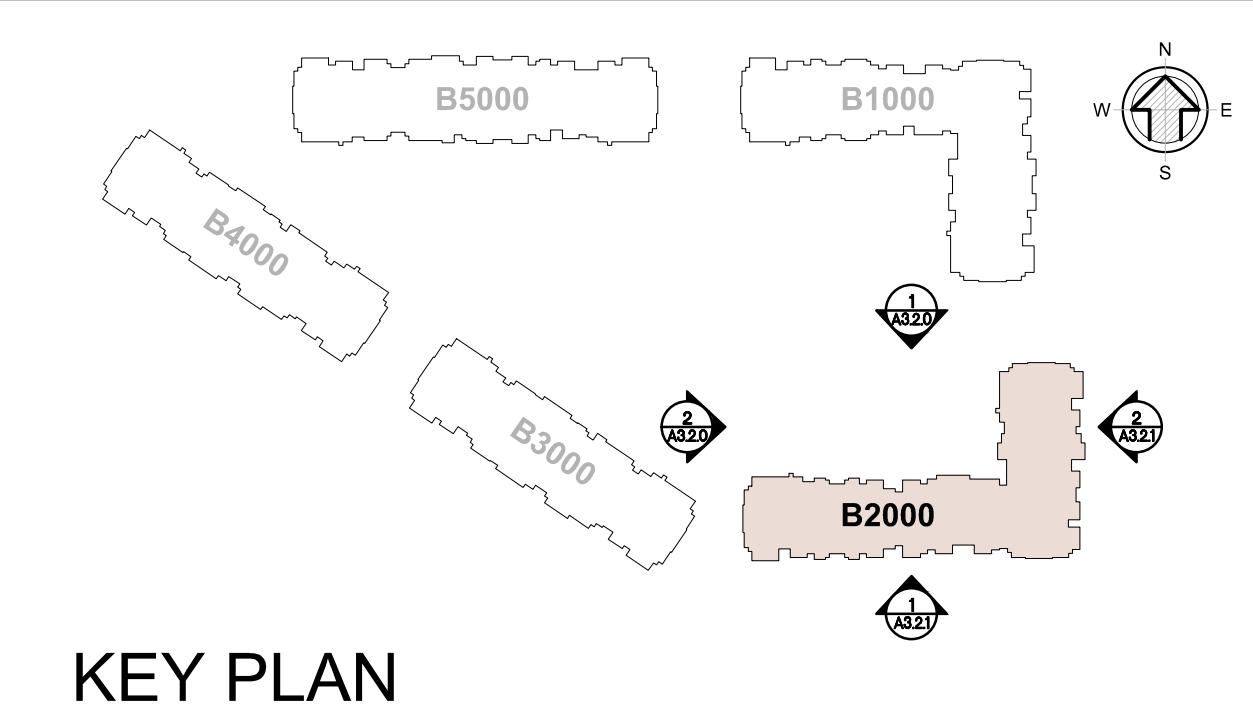
1A NORTH ELEV. (hidden portion)
 A3.2.0 3/32" = 1'-0"



2 WEST ELEVATION
 A3.2.0 3/32" = 1'-0"



2A WEST ELEV. (hidden portion)
 A3.2.0 3/32" = 1'-0"



KEY PLAN

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MATERIAL LEGEND

1A	HARDIE BOARD PANEL (TIMBER BARK)	[Pattern]
1B	HARDIE LAP SIDING (TIMBER BARK)	[Pattern]
2	HARDIE BOARD PANEL (ARCTIC WHITE)	[Pattern]
3	FIBER CEMENT PANEL (SEPIA)	[Pattern]
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	[Pattern]
4B	HARDIE LAP SIDING (RICH ESPRESSO)	[Pattern]
5	STONE CLADDING	[Pattern]
6	RESERVE	[Pattern]
7	GLASS SLIDING DOOR	[Pattern]
8	BLACK VINYL WINDOW	[Pattern]
9	ALUMINUM STORE FRONT GLAZING	[Pattern]
10	ALUMINUM GLASS RAILING (BLACK)	[Pattern]
11	EXTERIOR GLASS DOOR (BLACK)	[Pattern]
12	DRAINAGE SLOT	[Pattern]
13	RESERVE	[Pattern]
14	RESERVE	[Pattern]
15	RESERVE	[Pattern]
16	FIBER CEMENT LAP SIDING (SEPIA)	[Pattern]
17	VTAC LOUVER (COLOUR TO MATCH WALL)	[Pattern]

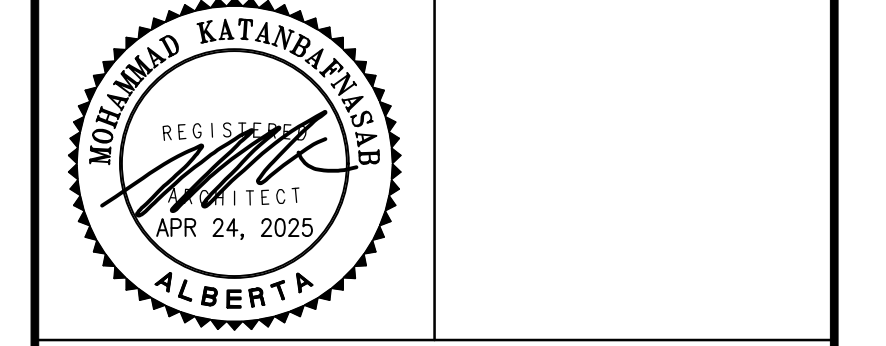
NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
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AMENDED DRAWINGS
 DP No. DP2025-02706 Date Received 05 22 2025
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SCALE: AS NOTED

CLIENT:



PROJECT
CARAVAN APARTMENTS
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: START DATE: JUNE 2024

BUILDING 2000 ELEVATIONS

DESIGNED: TN/SKM CHECKED: TN
 DRAWN: SKM JOB No. 2416

DWG No. **A3.2.1**

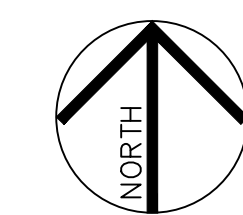


1 SOUTH ELEVATION
 A3.2.1 3/32" = 1'-0"



2 EAST ELEVATION
 A3.2.1 3/32" = 1'-0"

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[SMM]
SCATLIFF + MILLER + MURRAY

LOT A
BLOCK 35
PLAN 375AM

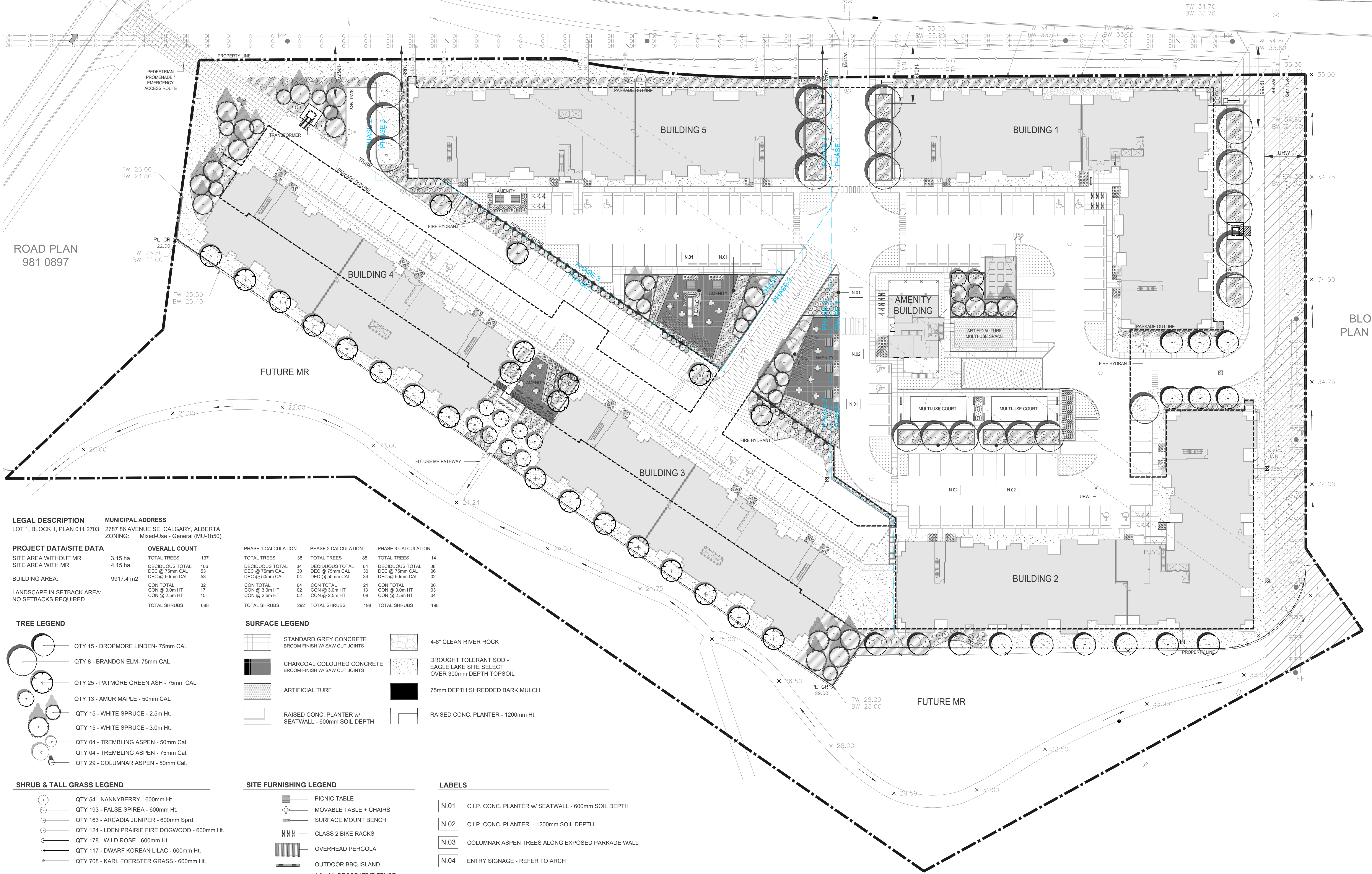
ROAD PLAN
131 3415

86TH AVENUE SE

24TH STREET SE

ROAD PLAN
981 0897

BLOCK Y
PLAN 375AM



LEGAL DESCRIPTION	MUNICIPAL ADDRESS
LOT 1, BLOCK 1, PLAN 011 2703	2787 86 AVENUE SE, CALGARY, ALBERTA
ZONING: Mixed-Use - General (MU-1H50)	

PROJECT DATA/SITE DATA	OVERALL COUNT
SITE AREA WITHOUT MR	3.15 ha
SITE AREA WITH MR	4.15 ha
BUILDING AREA:	9917.4 m ²
LANDSCAPE IN SETBACK AREA: NO SETBACKS REQUIRED	

PHASE 1 CALCULATION	PHASE 2 CALCULATION	PHASE 3 CALCULATION
TOTAL TREES 38	TOTAL TREES 85	TOTAL TREES 14
DECIDUOUS TOTAL 34	DECIDUOUS TOTAL 64	DECIDUOUS TOTAL 08
CON TOTAL 04	CON TOTAL 21	CON TOTAL 06
TOTAL SHRUBS 292	TOTAL SHRUBS 198	TOTAL SHRUBS 198

- TREE LEGEND**
- QTY 15 - DROPMORE LINDEN - 75mm CAL
 - QTY 8 - BRANDON ELM - 75mm CAL
 - QTY 25 - PATMORE GREEN ASH - 75mm CAL
 - QTY 13 - AMUR MAPLE - 50mm CAL
 - QTY 15 - WHITE SPRUCE - 2.5m HT.
 - QTY 15 - WHITE SPRUCE - 3.0m HT.
 - QTY 04 - TREMBLING ASPEN - 50mm Cal.
 - QTY 04 - TREMBLING ASPEN - 75mm Cal.
 - QTY 29 - COLUMNAR ASPEN - 50mm Cal.

- SURFACE LEGEND**
- STANDARD GREY CONCRETE BROOM FINISH w/ SAW CUT JOINTS
 - CHARCOAL COLOURED CONCRETE BROOM FINISH w/ SAW CUT JOINTS
 - ARTIFICIAL TURF
 - RAISED CONC. PLANTER w/ SEATWALL - 600mm SOIL DEPTH
 - 4-6" CLEAN RIVER ROCK
 - DROUGHT TOLERANT SOD - EAGLE LAKE SITE SELECT OVER 300mm DEPTH TOPSOIL
 - 75mm DEPTH SHREDDED BARK MULCH
 - RAISED CONC. PLANTER - 1200mm HT.

- SHRUB & TALL GRASS LEGEND**
- QTY 54 - NANNYBERRY - 600mm HT.
 - QTY 193 - FALSE SPIREA - 600mm HT.
 - QTY 163 - ARCADIA JUNIPER - 600mm Sprd.
 - QTY 124 - LDEN PRAIRIE FIRE DOGWOOD - 600mm HT.
 - QTY 178 - WILD ROSE - 600mm HT.
 - QTY 117 - DWARF KOREAN LILAC - 600mm HT.
 - QTY 708 - KARL FOERSTER GRASS - 600mm HT.

- SITE FURNISHING LEGEND**
- PICNIC TABLE
 - MOVABLE TABLE + CHAIRS
 - SURFACE MOUNT BENCH
 - CLASS 2 BIKE RACKS
 - OVERHEAD PERGOLA
 - OUTDOOR BBQ ISLAND
 - 1.2m HT. DECORATIVE FENCE
 - 1.2m HT. BLACK CHAIN LINK FENCE

- LABELS**
- N.01 C.I.P. CONC. PLANTER w/ SEATWALL - 600mm SOIL DEPTH
 - N.02 C.I.P. CONC. PLANTER - 1200mm SOIL DEPTH
 - N.03 COLUMNAR ASPEN TREES ALONG EXPOSED PARKADE WALL
 - N.04 ENTRY SIGNAGE - REFER TO ARCH

- SOIL DEPTH NOTES**
- TREES PLANTED OVER PARKADE TO HAVE MIN 1.2M SOIL DEPTH
 - SHRUBS PLANTED OVER PARKADE TO HAVE A MIN 600mm SOIL DEPTH
 - ORNAMENTAL GRASSES & SOD OVER PARKADE TO HAVE MIN 300mm SOIL DEPTH

- REFERENCE NOTES**
- REFER TO CIVIL FOR GRADING, RETAINING WALLS AND SITE SERVICING
 - REFER TO ELECTRICAL FOR SITE LIGHTING
 - REFER TO ARCH FOR ASPHALT PARKING, LOADING, WASTE & RECYCLING

- GENERAL NOTES**
- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
 - ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
 - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
 - ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
 - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS
 - ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
 - ALL SOFT LANDSCAPE AREAS TO BE EQUIPPED WITH A LOW-WATER HIGH EFFICIENCY IRRIGATION SYSTEM.

1 LANDSCAPE PLAN
SCALE 1:400

01	23/04/25	ISSUED FOR DP
NO	DD/MM/YY	REVISION

KN ARCHITECTURE
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Calgary, Alberta T2N 3R1
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SCALE AS NOTED

CARLISLE GROUP
eye on quality ... focus on value

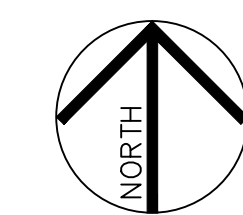
CARAVAN APARTMENTS
2787 86 Avenue SE
Calgary, Alberta
Lot 1, Block 1, Plan 011 2703

TRADE	START DATE	JUNE 2024
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LANDSCAPE PLAN

DESIGNED	AP	CHECKED	DM
DRAWN	AP	JOB No.	
		DWG No.	

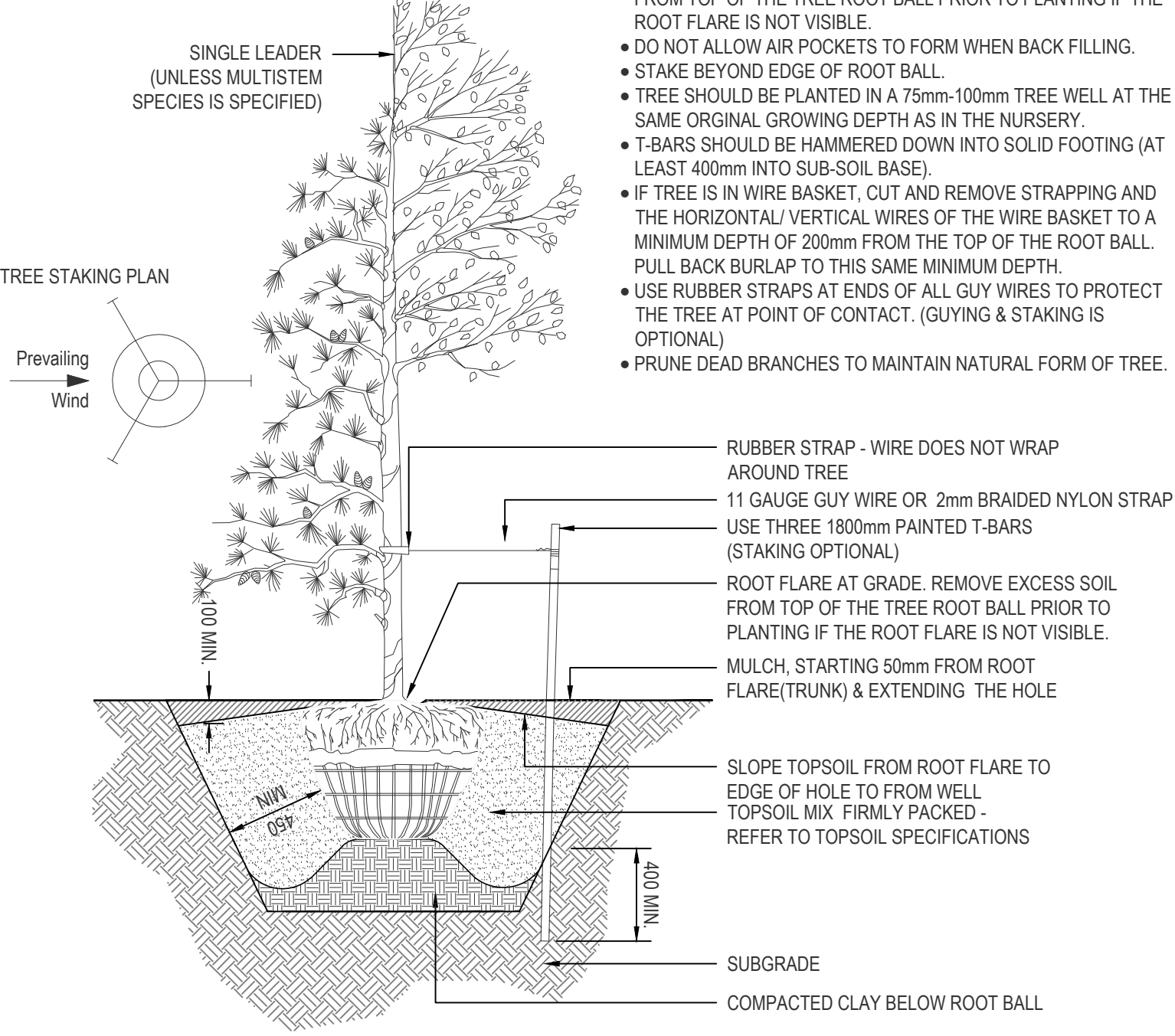
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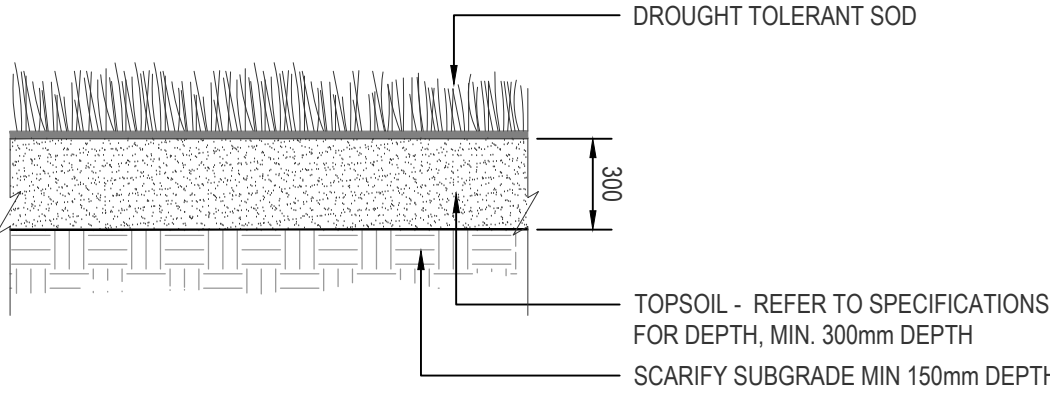
[SMM]
SCATLIFF + MILLER + MURRAY

CONIFEROUS DECIDUOUS NOTES:

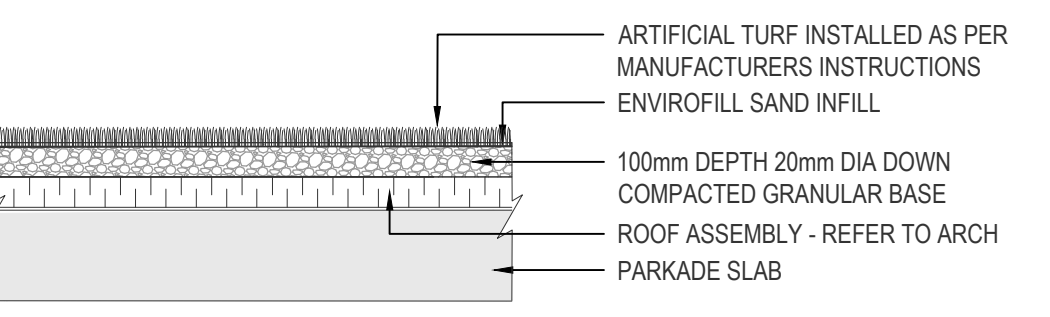
- TREES TO BE PLANTED AT GRADE WITH TRUNK FLARE VISIBLE - NO MORE THAN 25mm ABOVE GRADE. REMOVE EXCESS SOIL FROM TOP OF THE TREE ROOT BALL PRIOR TO PLANTING IF THE ROOT FLARE IS NOT VISIBLE.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- STAKE BEYOND EDGE OF ROOT BALL.
- TREE SHOULD BE PLANTED IN A 75mm-100mm TREE WELL AT THE SAME ORIGINAL GROWING DEPTH AS IN THE NURSERY.
- T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
- IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
- USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT. (GUYING & STAKING IS OPTIONAL).
- PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.



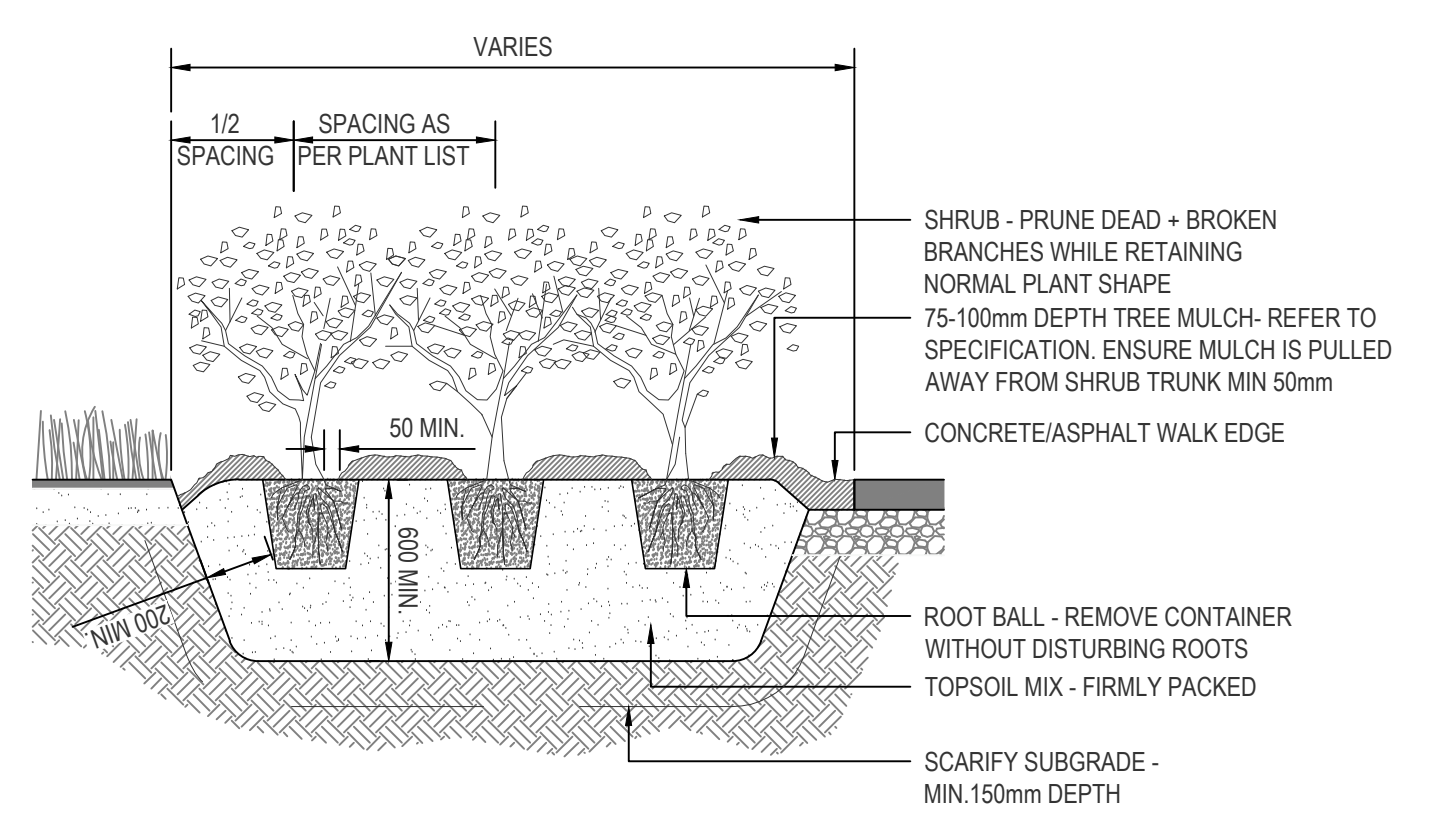
1 TYPICAL TREE PLANTING DETAIL
L200 SCALE 1:25



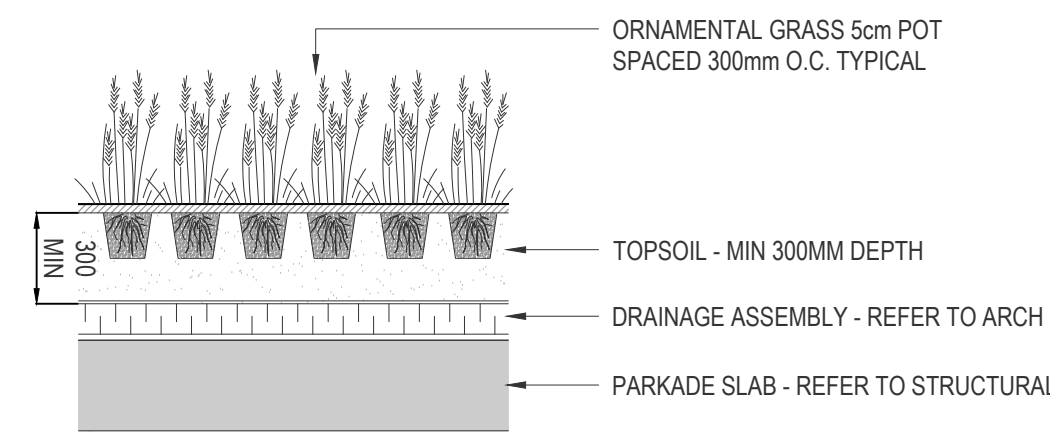
2 TYPICAL SOD PLANTING DETAIL
L200 SCALE 1:25



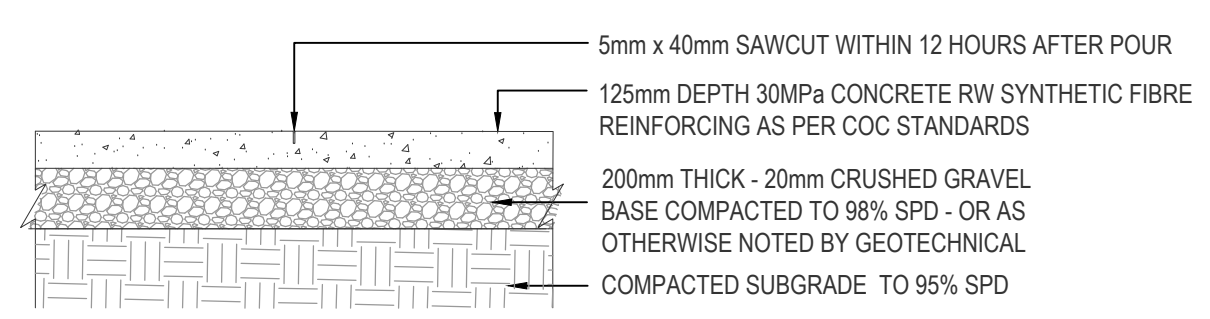
4 TYPICAL ARTIFICIAL TURF DETAIL
L200 SCALE 1:25



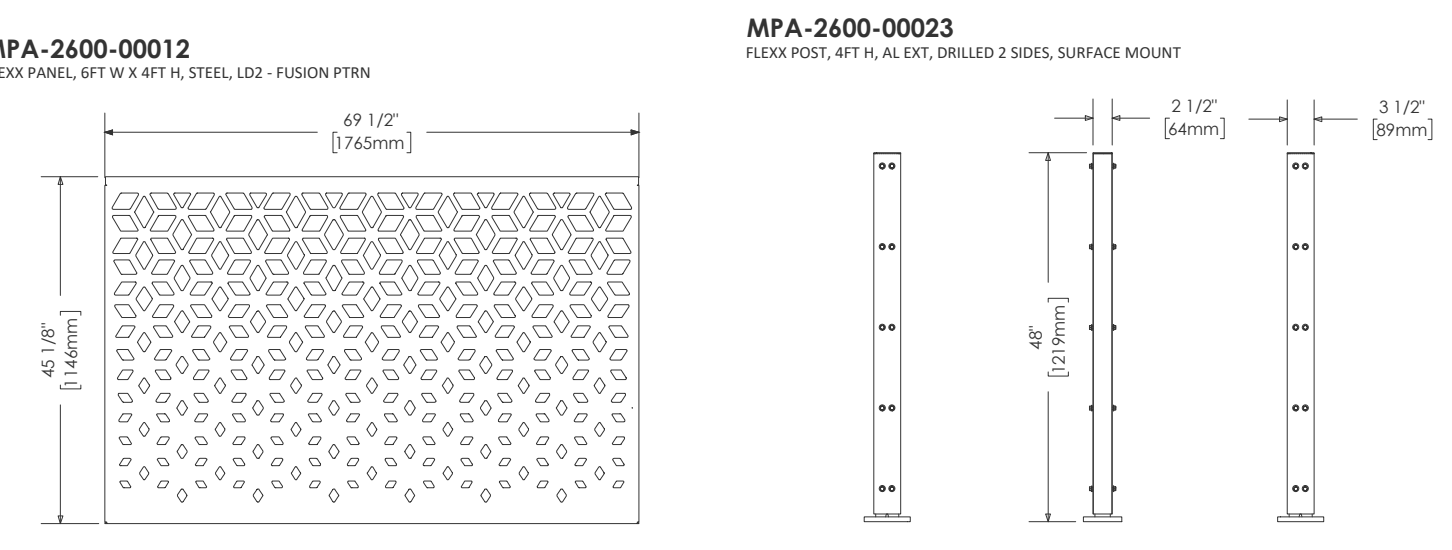
3 TYPICAL SHRUB PLANTING DETAIL
L200 SCALE 1:25



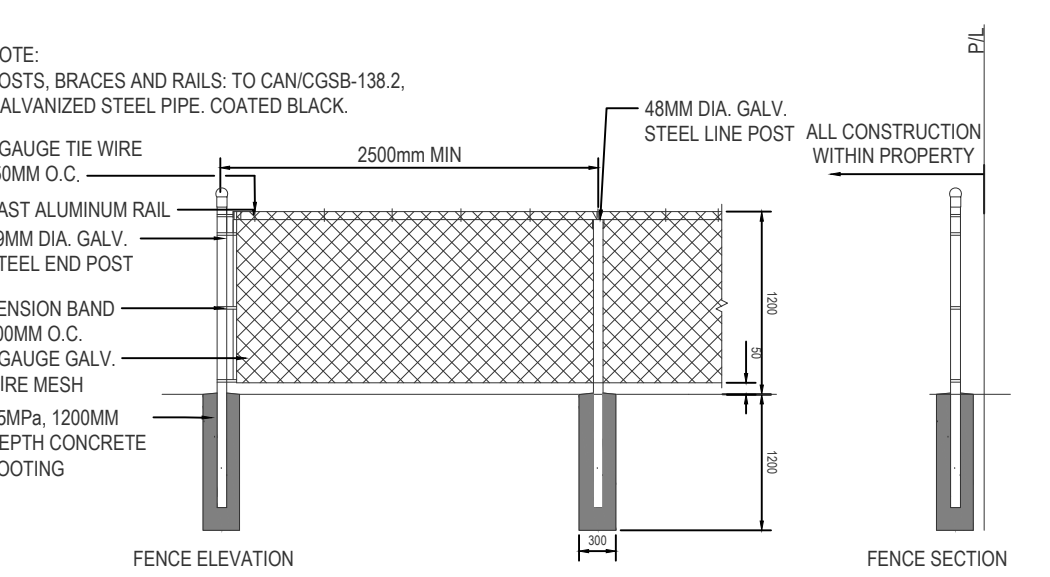
5 TYPICAL ORNAMENTAL GRASS OVER PARKADE DETAIL
L200 SCALE 1:25



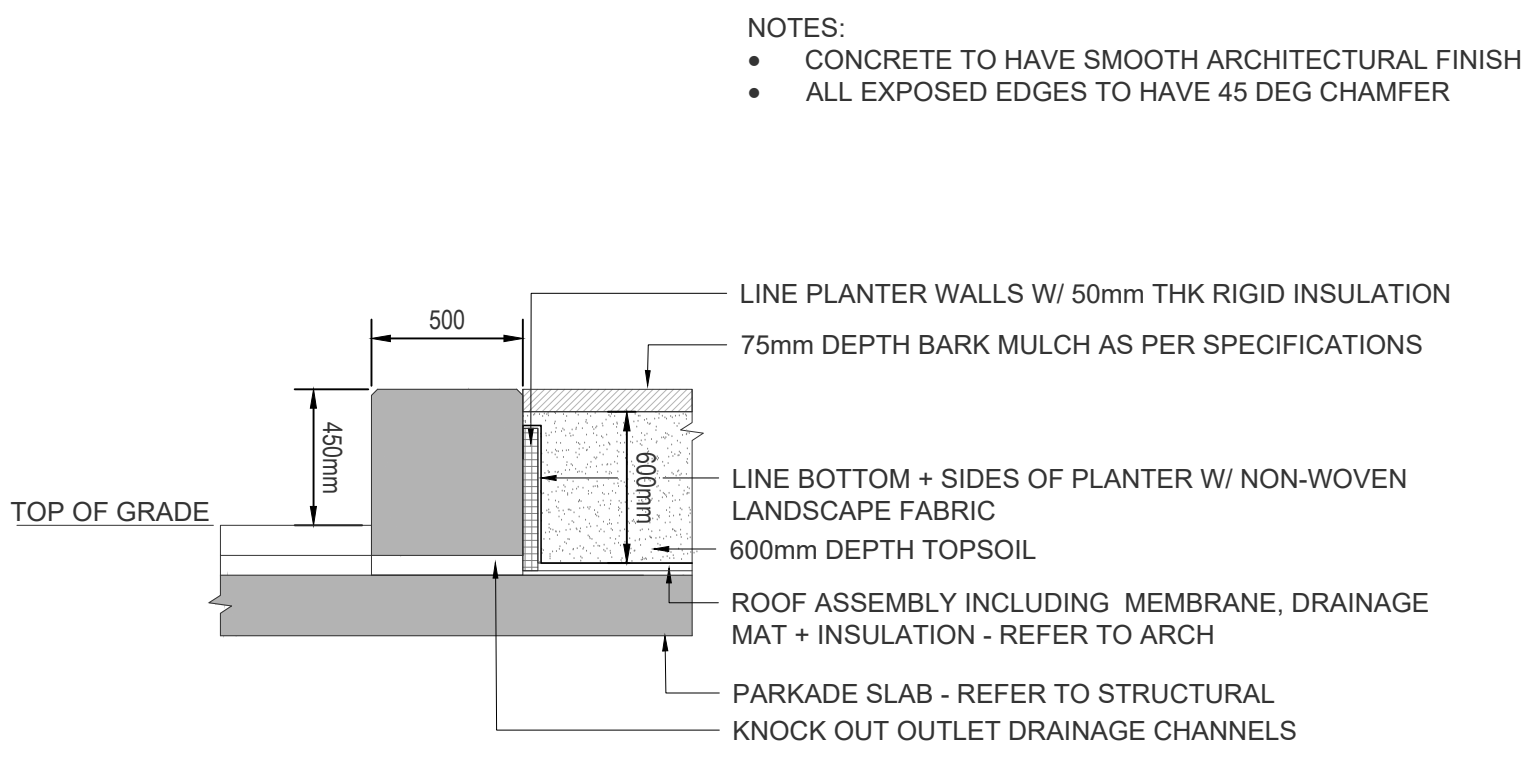
6 TYPICAL CONCRETE SIDEWALK SLAB DETAIL
L200 SCALE 1:25



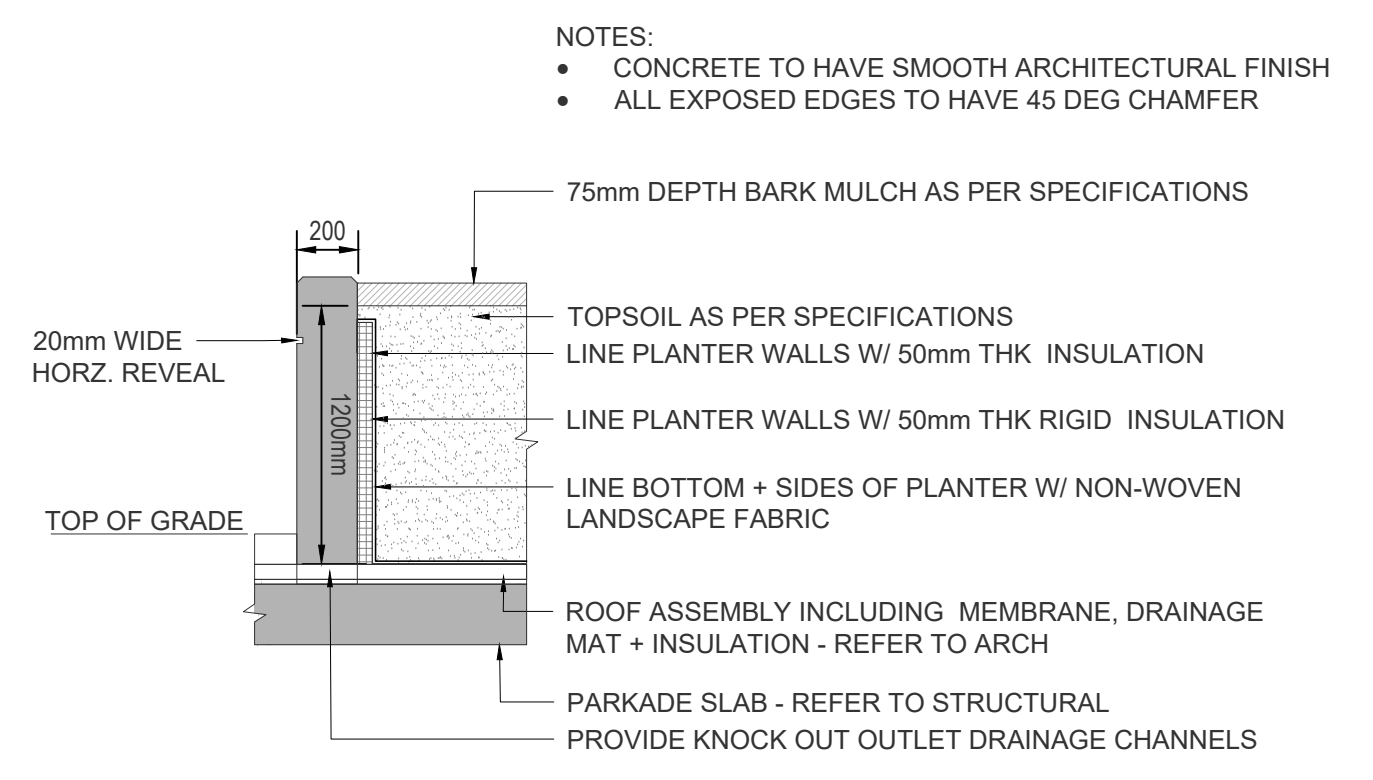
7 TYPICAL DECORATIVE FENCE DETAIL
L200 SCALE 1:25



8 TYPICAL 1.2m HT. CHAIN LINK FENCE DETAIL
L200 SCALE 1:50



8 TYPICAL RAISES CONC. PLANTER w/ SEATWALL - SHRUBS
L200 SCALE 1:25



9 TYPICAL RAISED CONCRETE PLANTER - TREES
L200 SCALE 1:25

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SCALE AS NOTED

CARLISLE GROUP
eye on quality ... focus on value

PROJECT
CARAVAN APARTMENTS
2787 86 Avenue SE
Calgary, Alberta
Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

DRAWING
LANDSCAPE DETAILS

DESIGNED AP CHECKED DM
DRAWN AP JOB No.

DWG No. **L200**

PERMIT _____ STAMP _____

NOTES

- All elevations referenced to 1000m Geodetic Datum.
- Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
- All manholes to be S.R.C.
- Match crown minimum at all sewer connections.
- All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes <= to 150mm to be SDR 78 PVC. Sewer service pipes > than 150mm to be SDR 35.
- Sewer lines to minimum slopes as per City of Calgary Standards.
- Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless unwise noted.
- Insulation required for sanitary sewers if cover less than 2.50m on mains.
- Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
- All water mains to be DR 18 PVC unless otherwise noted.
- Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
- Depth of bury for water lines to conform with City of Calgary standards.
- No trees to be planted over water line(s).
- Protection of Potable Water Supply From Contamination: All Cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
- For building locations and dimensions refer to latest Architectural drawings. The contractor is responsible for locating all shallow utilities.
- The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
- Wheeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
- All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Water meter location
- Existing elevation
-
- S-A 00.00 Sanitary manhole number & elevation
- CB/GT/ST-1 00.00 CB/GT/Storm manhole number & elevation
-
- M.F. 000.00 Main floor elevation
- T.F. 000.00 Top of footing elevation
- S 0000.00 Sanitary sewer invert at bidg

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		
No.	DRAWING STATUS	DATE	APP.

CLIENT

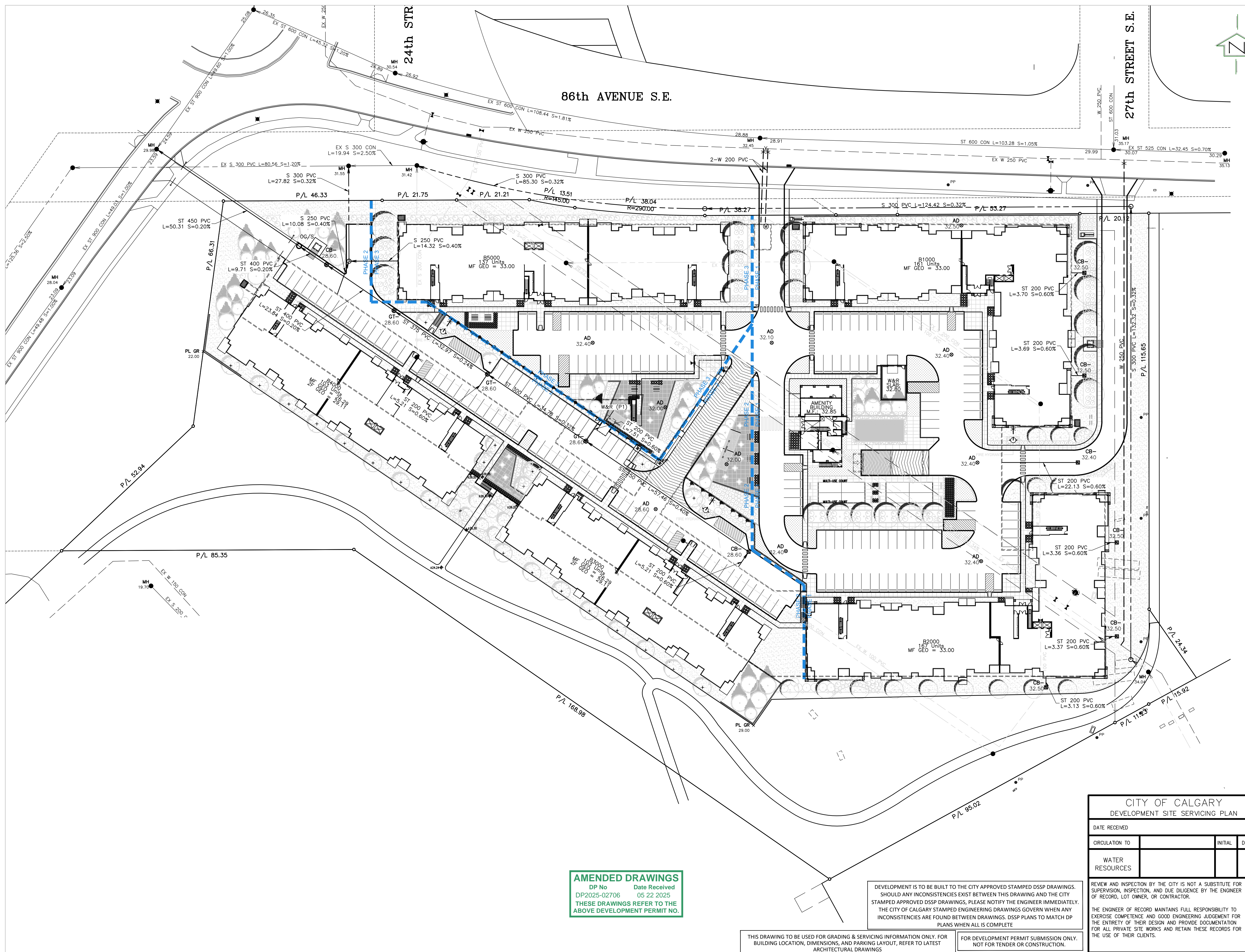
CARLISLE GROUP

PROJECT
CARAVAN APARTMENTS
709 UNITS
2787 86 AVE SE

TITLE

SITE SERVICING PLAN

DESIGN BY: -	SCALE: 1:500	JOB NUMBER: 25-025
DRAWN BY: -	REV NO.: -	DRAWING NUMBER: SP1
CHECKED BY: -		
DATE: 21-Apr-25		



AMENDED DRAWINGS
DP No Date Received
DP2025-02706 05 22 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS. DSSP PLANS TO MATCH DP PLANS WHEN ALL IS COMPLETE

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS

FOR DEVELOPMENT PERMIT SUBMISSION ONLY. NOT FOR TENDER OR CONSTRUCTION.

CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	INITIAL	DATE
CIRCULATION TO		
WATER RESOURCES		

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

PERMIT _____ STAMP _____

NOTES
1. All elevations referenced to 1000m Geodetic Datum.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Proposed swale
- Overland flow
- Overland escape route
- Proposed design elevation
- Proposed building grades
- Existing elevation
- Sanitary road grade & elevation
- CB/GT/Storm manhole number & elevation
- Traplow
- M.F. 000.00 Main floor elevation
- T.F. 000.00 Top of footing elevation
- 000.00 Sanitary sewer invert at bldg

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

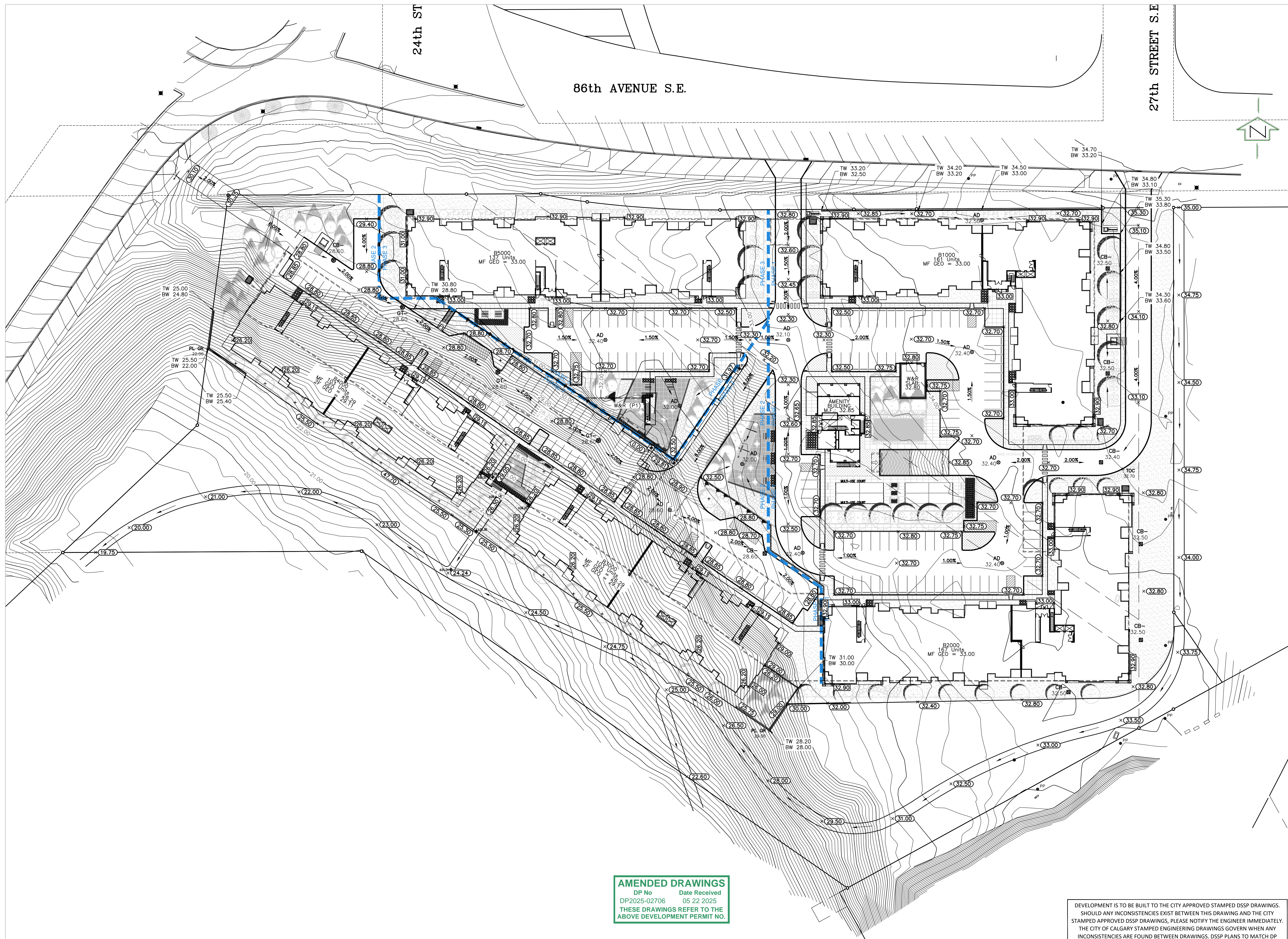
No.	DATE	APP.
4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	
No.	DRAWING STATUS	

CLIENT
CARLISLE GROUP

PROJECT
CARAVAN APARTMENTS
709 UNITS
2787 86 AVE SE

TITLE
SITE GRADING PLAN

DESIGN BY: -	SCALE: 1:500	JOB NUMBER: 25-025
DRAWN BY: -		DRAWING NUMBER: SP2
CHECKED BY: -	REV NO.: -	
DATE: 21-Apr-25		



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THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS. DSSP PLANS TO MATCH DP PLANS WHEN ALL IS COMPLETE

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS

FOR DEVELOPMENT PERMIT SUBMISSION ONLY. NOT FOR TENDER OR CONSTRUCTION.