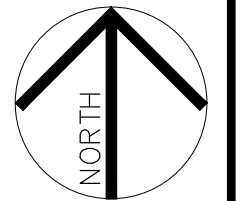


DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



- ### MATERIAL LEGEND
- 1 CONCRETE CURB
 - 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
 - 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
 - 2 CONCRETE SIDEWALK
 - 3 HANDICAP RAMP TO CITY STANDARDS
 - 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
 - 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
 - 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
 - 7 HEAVY-DUTY ASPHALT PAVING - MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE - FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
 - 8 ASPHALT PAVING
 - 9 PAINTED PEDESTRIAN CROSSING
 - 10 CONCRETE APRON - MIN. OF 25,000 KG WEIGHT CAPACITY
 - 11 PARKADE RAMP CONCRETE RETAINING WALL
 - 12 LANDSCAPING
 - 13 CONCRETE PATIO
 - 14 BIKE RACK
 - 15 STOP SIGN
 - 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
 - 17 PEDESTRIAN CROSSING SIGN
 - 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
 - 19 "HANDICAP PARKING" SIGN
 - 20 WHEEL STOPS
 - 21 "NO PARKING" SIGN
 - 22 1.2m CONCRETE PLANTER - REFER TO LANDSCAPE

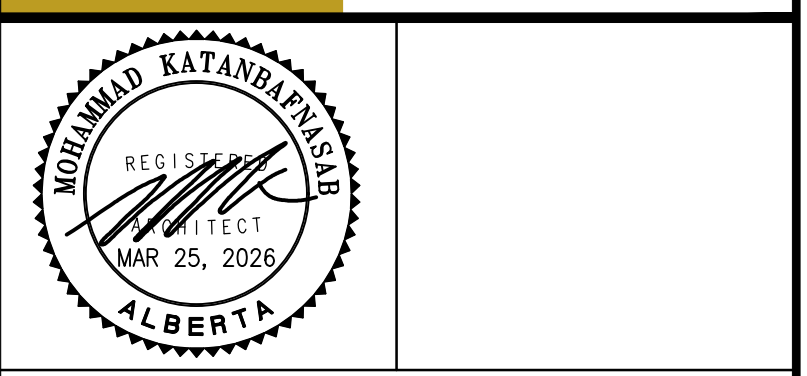
- ### LEGEND
- HEAVY DUTY ASPHALT
 - RIGHT-OF-WAY
 - V 'V' INDICATES VISITOR STALLS

AMENDED DRAWINGS
 DP No. Date Received
 DP2025-02706 04/21/2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

March 25, 2026
 ISSUED FOR DTR2

NO.	DATE	REVISION
7	25/03/26	ISSUED FOR DTR1 COMMENTS
6	14/01/26	ISSUED FOR BUILDING PERMIT - PARKADE + B1000
5	17/12/25	ISSUED FOR DTR1 COMMENTS
4	19/09/25	ISSUED FOR DTR1 COMMENTS
3	27/05/25	RE-ISSUED FOR DEVELOPMENT PERMIT
2	21/05/25	ISSUED FOR DEVELOPMENT PERMIT
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT

KN ARCHITECTURE
 1417 Kensington Road N.W.
 Calgary, Alberta T2N 3R1
 Ph: (403) 265-3100
 info@kn-architecture.com



SCALE: AS NOTED
 CLIENT: CITY VIBE DEVELOPMENTS INC.



PROJECT: **ARCADIA POINTE**
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE: _____ START DATE: JUNE 2024

DRAWING: **SITE PLAN**

DESIGNED: TN/SKM CHECKED: TN
 DRAWN: SKM JOB No.: 2416

DWG No.: **A10.0**

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 1, BLOCK 1, PLAN 011 2703
 MUNICIPAL ADDRESS: 2787 86 AVENUE SE, CALGARY, ALBERTA
 ZONING: MIXED USE - GENERAL (MU-1 F3.5/h50)
 SITE AREA: ±3.16 ha (±7.81 ac) - MU-1 NO S-SPR(MR)
 ±4.16 ha (±10.28 ac) - MU-1 WITH S-SPR(MR)
 PHASE 1 AREA = ±15,573.6 m² / ±167,610 ft² / ±3.85 ac / ±1.56 ha
 PHASE 2 AREA = ±10,897.0 m² / ±115,108 ft² / ±2.64 ac / ±1.07 ha
 PHASE 3 AREA = ±5,363.9 m² / ±57,740 ft² / ±1.32 ac / ±0.53 ha
 PROPOSED GFA:
 BUILDING 1000 13,554.3 m² (145,897 ft²)
 BUILDING 2000 14,243.0 m² (153,310 ft²)
 BUILDING 3000 9,332.0 m² (100,448 ft²)
 BUILDING 4000 9,332.0 m² (100,448 ft²)
 BUILDING 5000 11,907.2 m² (128,168 ft²)
 TOTAL GFA 58,368.5 m² (628,271 ft²)
 PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

BUILDING/UNITS	1BDR	2BDR	3BDR	PHASE 1	PHASE 2	PHASE 3	TOTAL
BUILDING 1000 PHASE 1	-	143	18	161			
BUILDING 2000 PHASE 1	5	132	30	167			
BUILDING 3000 PHASE 2	-	81	22		103		
BUILDING 4000 PHASE 2	-	81	22		103		
BUILDING 5000 PHASE 3	-	113	24			137	
TOTAL	5	550	116	328	206	137	671

SETBACKS: NO SETBACKS REQUIRED
 MAXIMUM DENSITY ALLOWED: N/A
 MINIMUM DENSITY ALLOWED: N/A
 DENSITY PROVIDED: 671 UNITS / 3.16 ha = 212 UNITS/ha
 FLOOR AREA RATIO ALLOWED: 3.5

FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:
 BUILDING 1000 (MF 2,264.7 m² + UF 2,257.9 m² x5) 13,554.3 m² (145,897 ft²)
 BUILDING 2000 (MF 2,376.5 m² + UF 2,373.3 m² x5) 14,243.0 m² (153,310 ft²)
 BUILDING 3000 (P2 887.3 m² + MF 1,693.5 m² + UF 1,687.8 m² x4) 9,332.0 m² (100,448 ft²)
 BUILDING 4000 (P2 887.3 m² + MF 1,693.5 m² + UF 1,687.8 m² x4) 9,332.0 m² (100,448 ft²)
 BUILDING 5000 (MF 1,989.3 m² + UF 1,983.6 m² x5) 11,907.2 m² (128,168 ft²)
 TOTAL FLOOR AREA: 58,368.5 m² (628,271 ft²)
 58,368.5 m² / 31,620.1 m² = 1.84 FAR

LANDSCAPE AREAS: REFER TO LANDSCAPE DRAWINGS PREPARED BY SCATLUFF MILLER MURRAY.
 BUILDING HEIGHT ALLOWED: 50m
 BUILDING HEIGHT PROVIDED: ±18m
AMENITY CALCULATIONS:
 PHASE 1 REQUIRED PER BYLAW 1349: (COMMON/Private/BOTH) 5 m² PER UNIT = 328 x 5 = 1,640 m²
 PHASE 1 PROVIDED:
 PRIVATE AMENITY (UNIT DECKS MAX 5m² COUNTED) = 1,640 m²
 OUTDOOR COMMON (COURTS AND TURF ZONE) = 897 m²
 INDOOR COMMON (AMENITY BUILDING) = 361 m²
 2,898 m²

PARKING CALCULATIONS PHASE 1 - 328 UNITS:

PARKING STALLS REQUIRED (AS PER LUB 1P2002, PART 14, DIVISION 1, 1350):
 DWELLING UNITS : 0.75 STALLS/UNIT = 328 x 0.75 = 246 STALLS
 VISITOR : 0.1 STALLS/UNIT = 328 x 0.1 = 33 STALLS
 TOTAL STALLS REQUIRED = 279 STALLS

PARKING STALLS PROVIDED:
 SURFACE STALLS (INCL 6 H/C STALLS) = 94 STALLS
 PARKADE P1 (PHASE 1) EXCLUDING 15 TANDEMS = 339 STALLS
 TOTAL STALLS PROVIDED PHASE 1 = 433 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW PART 14, 1353):
 CLASS 1: 328 x 0.5 (STALLS/UNIT) = 164 STALLS
 CLASS 2: 328 x 0.1 (STALLS/UNIT) = 33 STALLS
 TOTAL NUMBER OF STALLS = 197 STALLS

BICYCLE PARKING PROVIDED:
 CLASS 1: (110 HORIZONTAL + 54 VERTICAL RACKS) = 164 STALLS
 CLASS 2: = 34 STALLS
 TOTAL NUMBER OF STALLS = 198 STALLS

PHASE 1 RATIO: 1.32 STALLS/UNIT

1 SITE PLAN
 A10.0 1:400

NOTES

- THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: TRONICS GEOMATICS INC. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
- TEST MANHOLE LOCATION TO BE DETERMINED.
- ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
- REFER TO SURVEY DRAWING FOR EXISTING GRADES.
- REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

MATERIAL LEGEND

- ① HARDIE BOARD PANEL (COBBLESTONE)
- ② HARDIE BOARD PANEL (RICH ESPRESSO)
- ③ FIBER CEMENT SIDING (SEPIA)
- ④ RESERVED
- ⑤ HARDIE BOARD PANEL (ARCTIC WHITE)
- ⑥ HARDIE BOARD PANEL (TIMBER BARK)
- ⑦ GLASS SLIDING DOOR
- ⑧ BLACK VINYL WINDOW
- ⑨ ALUMINUM STORE FRONT GLAZING
- ⑩ BLACK ALUMINUM GLASS RAILING
- ⑪ EXTERIOR GLASS DOOR
- ⑫ GLASS SPANDREL
- ⑬ RESERVED
- ⑭ CONCRETE
- ⑮ RESERVED
- ⑯ RESERVED
- ⑰ LIGHT FIXTURE
- ⑱ HARDIE TRIM (BLACK)
- ⑲ HARDIE LAP SIDING (TIMBER BARK)
- ⑳ HARDIE LAP SIDING (COBBLESTONE)

NOTES

- 1) SOFFIT & DECK FASCIA TO BE BLACK
- 2) TPO ROOF MEMBRANE

AMENDED DRAWINGS

DP No: 04-21-2026
 Date Received: 04-21-2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

March 25, 2026

ISSUED FOR DTR2

3	25/03/26	ISSUED FOR DTR2 COMMENTS
2	19/09/25	ISSUED FOR DTR1 COMMENTS
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

KN
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SCALE: AS NOTED

CLIENT:



PROJECT

ARCADIA POINTE

2787 86 Avenue SE
Calgary, Alberta
Lot 1, Block 1, Plan 011 2703

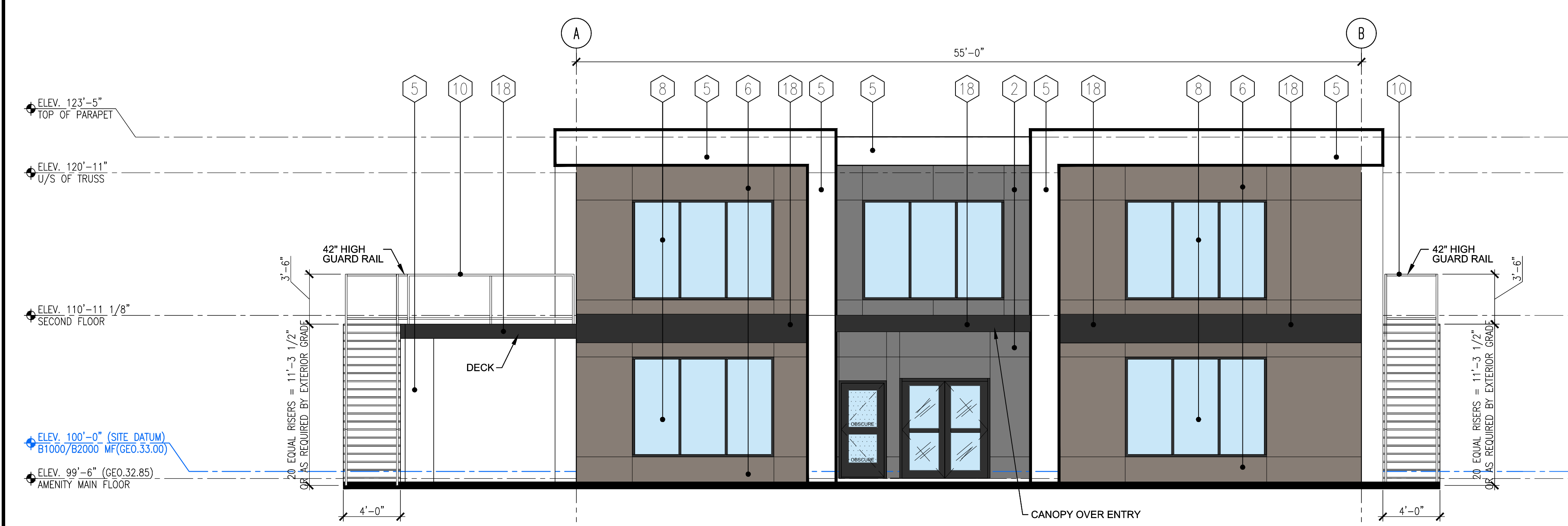
TRADE: START DATE: JUNE 2024

DRAWING

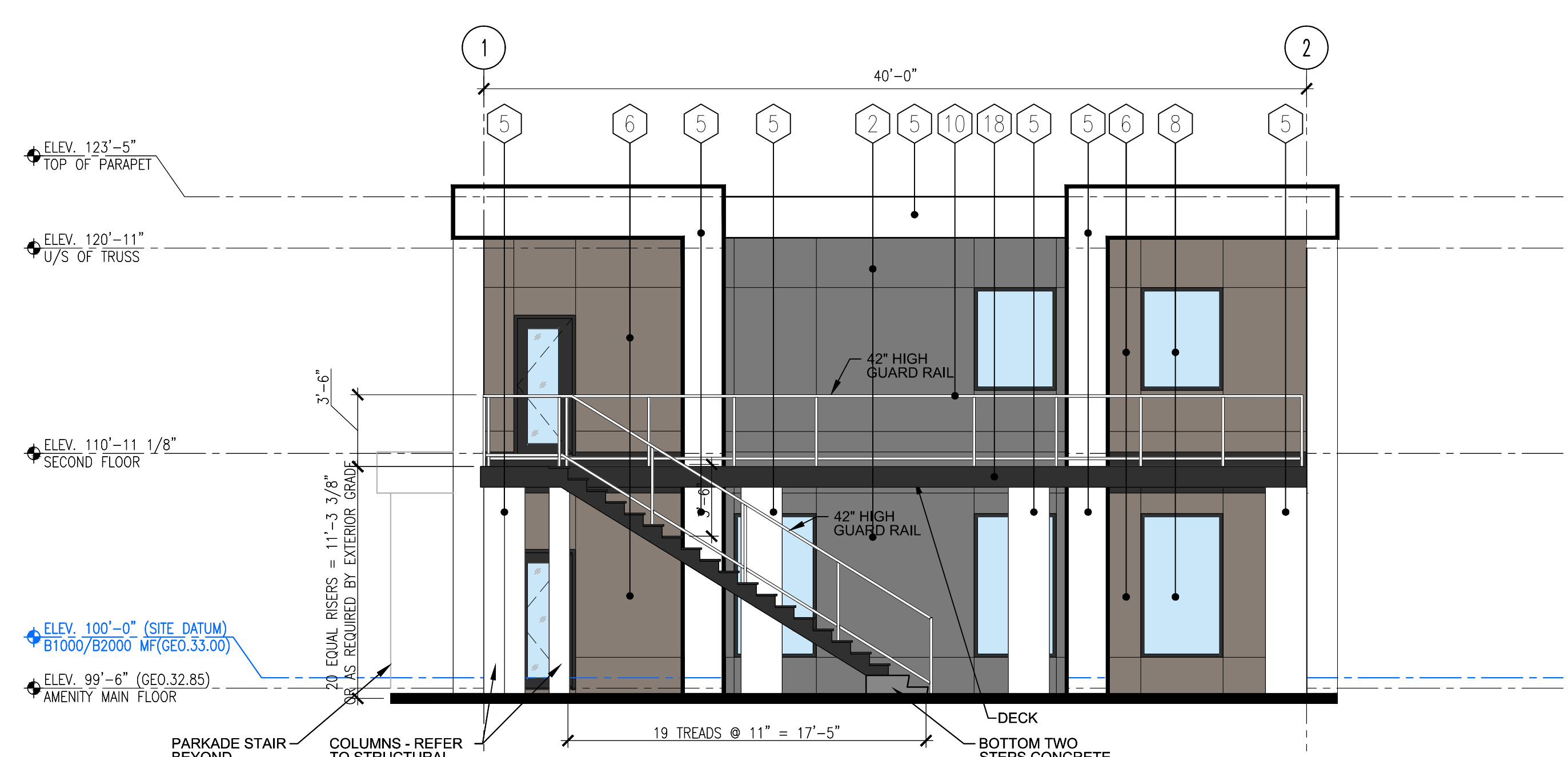
AMENITY BUILDING ELEVATIONS/SECTIONS

DESIGNED: TN/SKM	CHECKED: TN
DRAWN: SKM	JOB No: 2416
DWG No:	

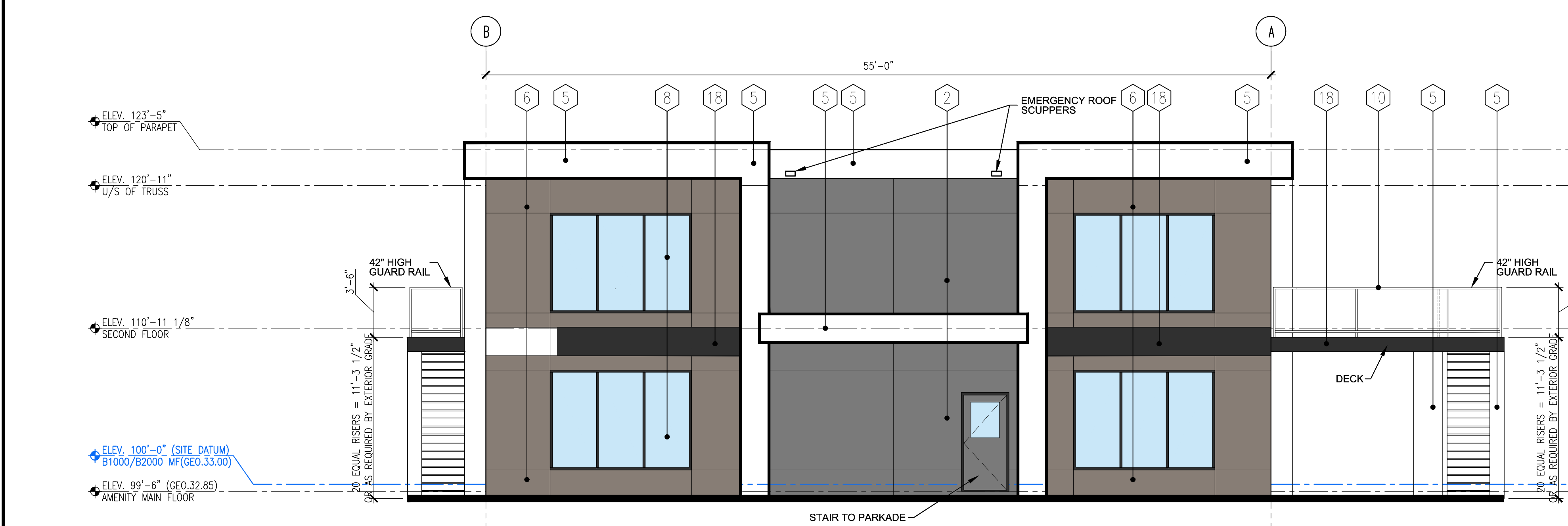
A10.5



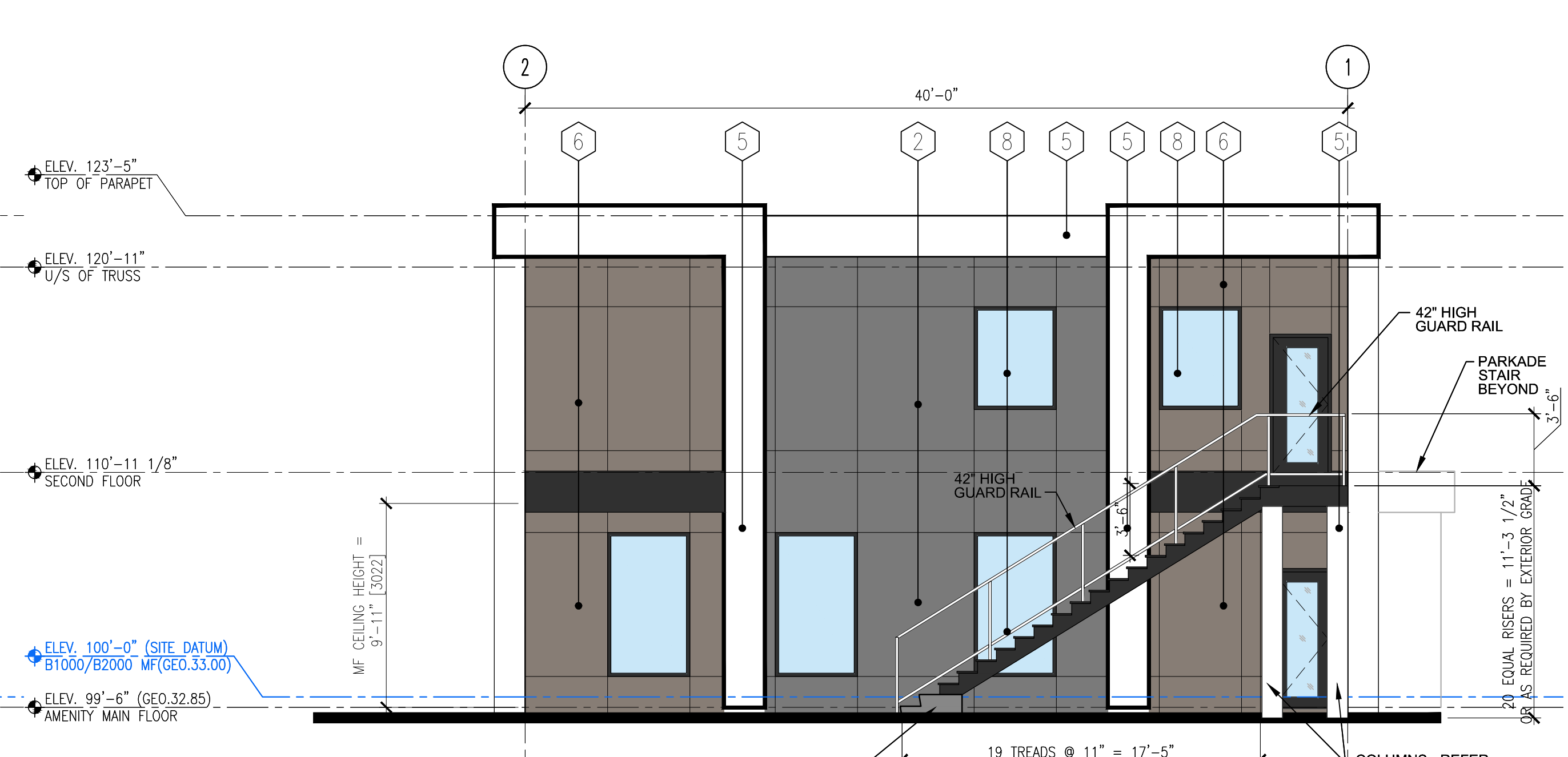
1 AMENITY BUILDING SOUTH-WEST ELEVATION
 A1.0.5 3/16" = 1'-0"



2 AMENITY BUILDING NORTH-WEST ELEVATION
 A1.0.5 3/16" = 1'-0"

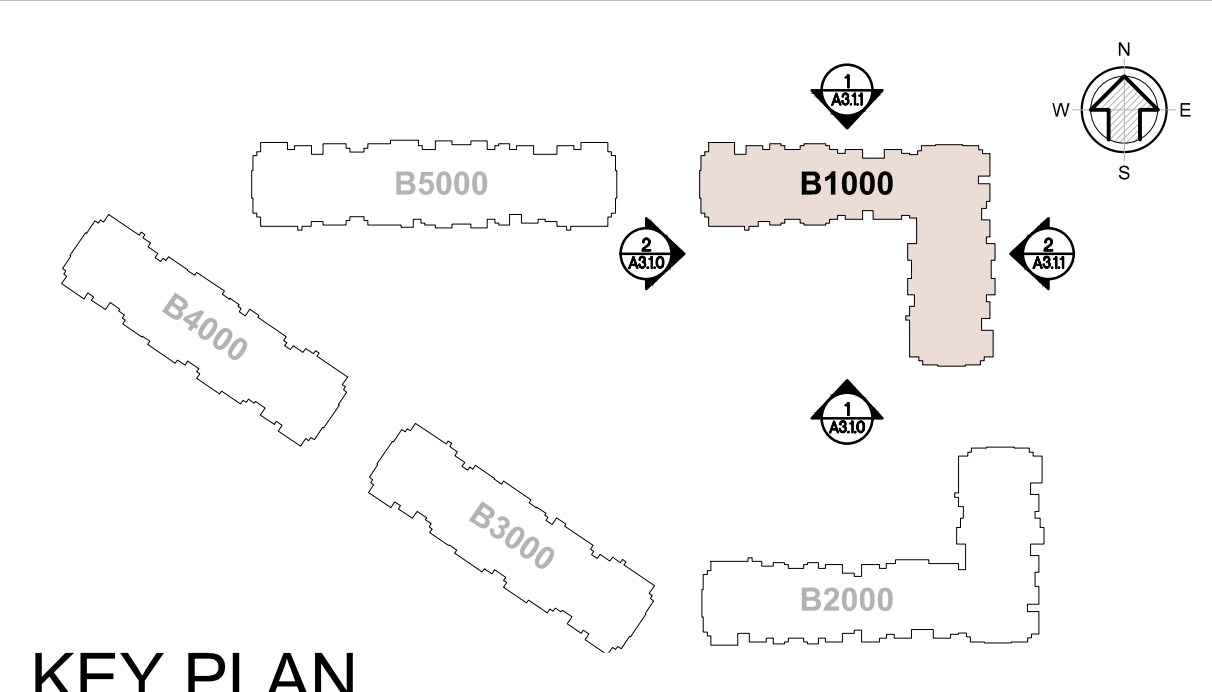


3 AMENITY BUILDING NORTH-EAST ELEVATION
 A1.0.5 3/16" = 1'-0"



4 AMENITY BUILDING SOUTH-EAST ELEVATION
 A1.0.5 3/16" = 1'-0"

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KEY PLAN

MATERIAL LEGEND

1A	HARDIE BOARD PANEL/LAP SIDING (TIMBER BARK)	
1B	HARDIE LAP SIDING (TIMBER BARK)	
2	HARDIE BOARD PANEL (COBBLESTONE)	
3	FIBER CEMENT PANEL (SEPIA)	
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	
4B	HARDIE LAP SIDING (RICH ESPRESSO)	
5	STONE CLADDING	
6	RESERVE	
7	GLASS SLIDING DOOR	
8	BLACK VINYL WINDOW	
9	ALUMINUM STORE FRONT GLAZING	
10	ALUMINUM GLASS RAILING (BLACK)	
11	EXTERIOR GLASS DOOR (BLACK)	
12	DRAINAGE SLOT	
13	RESERVE	
14	RESERVE	
15	RESERVE	
16	FIBER CEMENT LAP SIDING (SEPIA)	
17	VTAC LOUVER (COLOUR TO MATCH WALL)	
18	HARDIE BOARD PANEL (ARCTIC WHITE)	

NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. Date Received
 DP2025-02706 04/21/2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

March 25, 2026
 ISSUED FOR DTR2

4	25/03/26	ISSUED FOR DTR2 COMMENTS
4	14/01/26	ISSUED FOR BUILDING PERMIT - PARKADE + B1000
3	17/12/25	ISSUED FOR DTR1 COMMENTS
2	19/09/25	ISSUED FOR DTR1 COMMENTS
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

KN ARCHITECTURE
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ALBERTA ARCHITECTS ASSOCIATION
 REG. 115
 ARCHITECT
 MAR 25, 2026

SCALE AS NOTED

CLIENT

CITY VIBE DEVELOPMENTS INC.

PROJECT
ARCADIA POINTE
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

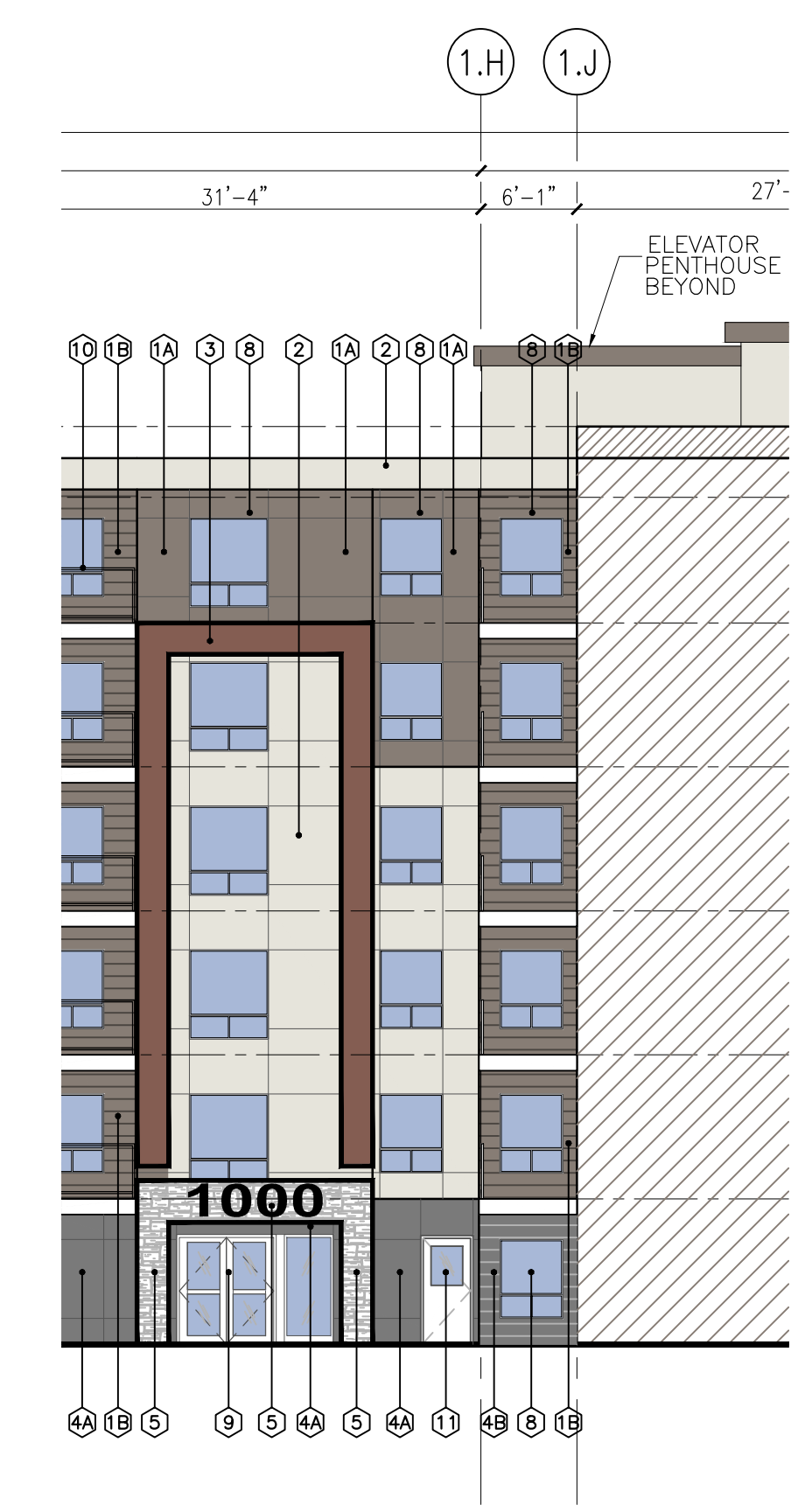
DRAWING
BUILDING 1000 ELEVATIONS

DESIGNED TN/SKM CHECKED TN
 DRAWN SKM JOB No. 2416

DWG No. **A3.1.0**



1 SOUTH ELEVATION
 A3.1.0 3/32" = 1'-0"



1A SOUTH ELEV. (hidden portion)
 A3.1.0 3/32" = 1'-0"

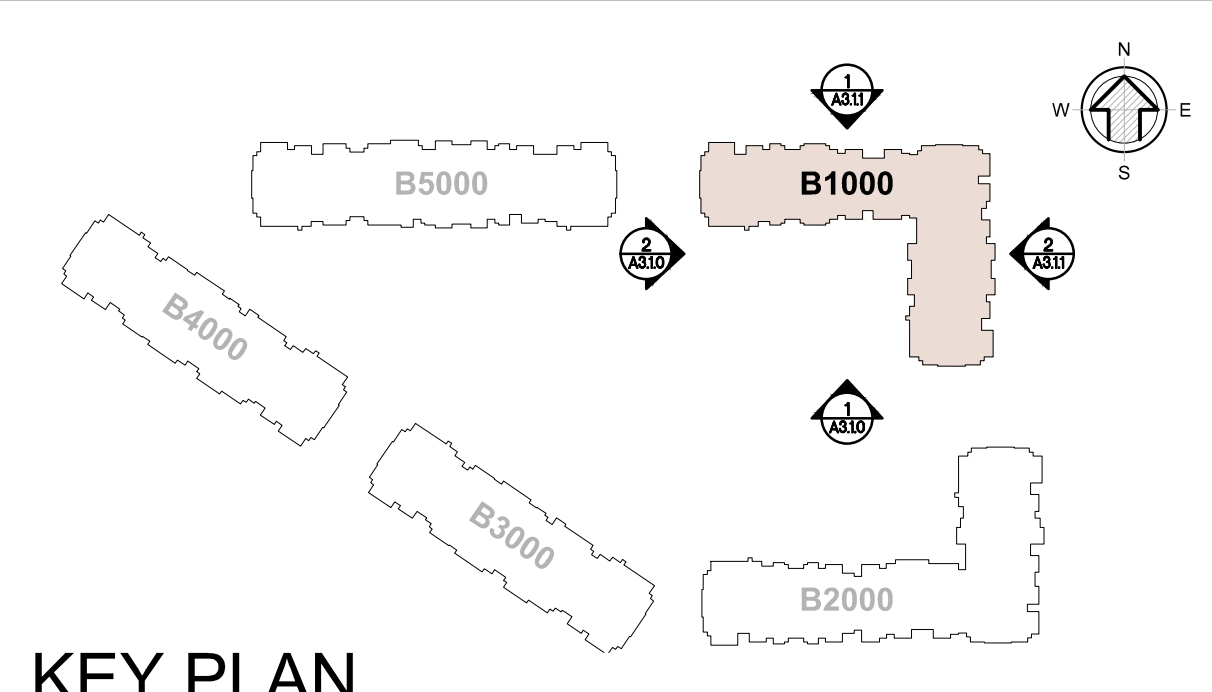


2 WEST ELEVATION
 A3.1.0 3/32" = 1'-0"



2A WEST ELEV. (hidden portion)
 A3.1.0 3/32" = 1'-0"

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KEY PLAN

MATERIAL LEGEND

1A	HARDIE BOARD PANEL/LAP SIDING (TIMBER BARK)
1B	HARDIE LAP SIDING (TIMBER BARK)
2	HARDIE BOARD PANEL (COBBLESTONE)
3	FIBER CEMENT PANEL (SEPIA)
4A	HARDIE BOARD PANEL (RICH ESPRESSO)
4B	HARDIE LAP SIDING (RICH ESPRESSO)
5	STONE CLADDING
6	RESERVE
7	GLASS SLIDING DOOR
8	BLACK VINYL WINDOW
9	ALUMINUM STORE FRONT GLAZING
10	ALUMINUM GLASS RAILING (BLACK)
11	EXTERIOR GLASS DOOR (BLACK)
12	DRAINAGE SLOT
13	RESERVE
14	RESERVE
15	RESERVE
16	FIBER CEMENT LAP SIDING (SEPIA)
17	VTAC LOUVER (COLOUR TO MATCH WALL)
18	HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. 04-21-2026
 DP 2025-02706
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

March 25, 2026

ISSUED FOR DTR2

4	25/03/26	ISSUED FOR DTR2 COMMENTS
3	17/12/25	ISSUED FOR DTR1 COMMENTS
2	19/09/25	ISSUED FOR DTR1 COMMENTS
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

KN ARCHITECTURE
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 info@kn-architecture.com

ALBERTA ARCHITECTURE
 REG. 15
 MAR 25, 2026

SCALE AS NOTED

CLIENT

CITY VIBE DEVELOPMENTS INC.

PROJECT
ARCADIA POINTE
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

DRAWING

BUILDING 1000 ELEVATIONS

DESIGNED TN/SKM CHECKED TN

DRAWN SKM JOB No. 2416

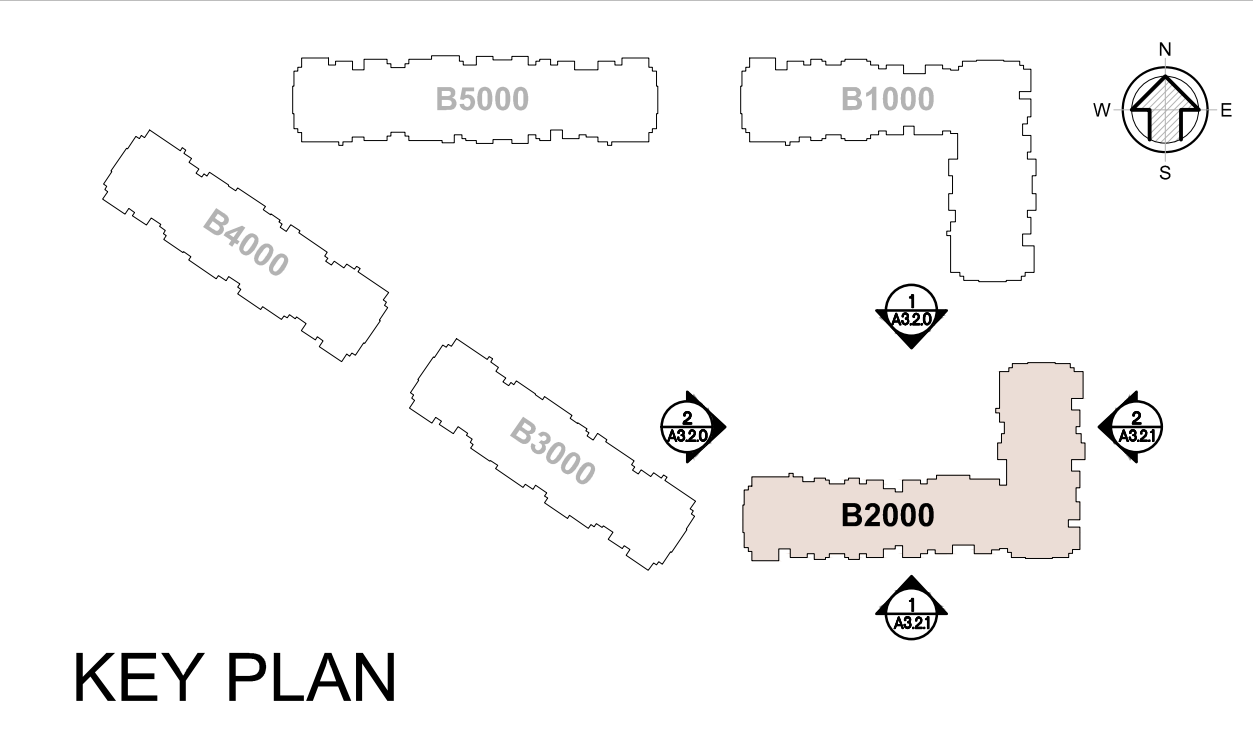
DWG No. **A3.1.1**



1 NORTH ELEVATION
 A3.1.1 3/32" = 1'-0"



2 EAST ELEVATION
 A3.1.1 3/32" = 1'-0"



KEY PLAN

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MATERIAL LEGEND

1A	HARDIE BOARD PANEL (TIMBER BARK)	[Symbol]
1B	HARDIE LAP SIDING (TIMBER BARK)	[Symbol]
2	HARDIE BOARD PANEL (ARCTIC WHITE)	[Symbol]
3	FIBER CEMENT PANEL (SEPIA)	[Symbol]
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	[Symbol]
4B	HARDIE LAP SIDING (RICH ESPRESSO)	[Symbol]
5	STONE CLADDING	[Symbol]
6	RESERVE	[Symbol]
7	GLASS SLIDING DOOR	[Symbol]
8	BLACK VINYL WINDOW	[Symbol]
9	ALUMINUM STORE FRONT GLAZING	[Symbol]
10	ALUMINUM GLASS RAILING (BLACK)	[Symbol]
11	EXTERIOR GLASS DOOR (BLACK)	[Symbol]
12	DRAINAGE SLOT	[Symbol]
13	RESERVE	[Symbol]
14	RESERVE	[Symbol]
15	RESERVE	[Symbol]
16	FIBER CEMENT LAP SIDING (SEPIA)	[Symbol]
17	VTC LOUVER (COLOUR TO MATCH WALL)	[Symbol]

NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. DP2025-02706 Date Received 04/21/2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

March 25, 2026
 ISSUED FOR DTR2

4	25/03/26	ISSUED FOR DTR2 COMMENTS
3	17/12/25	ISSUED FOR DTR1 COMMENTS
2	19/09/25	ISSUED FOR DTR1 COMMENTS
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

KN ARCHITECTURE
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 info@kn-architecture.com

ALBERTA ARCHITECTURE REGISTRY
 REG 150
 REG. 11111
 MAR 25, 2026
 ALBERTA

SCALE AS NOTED

CLIENT

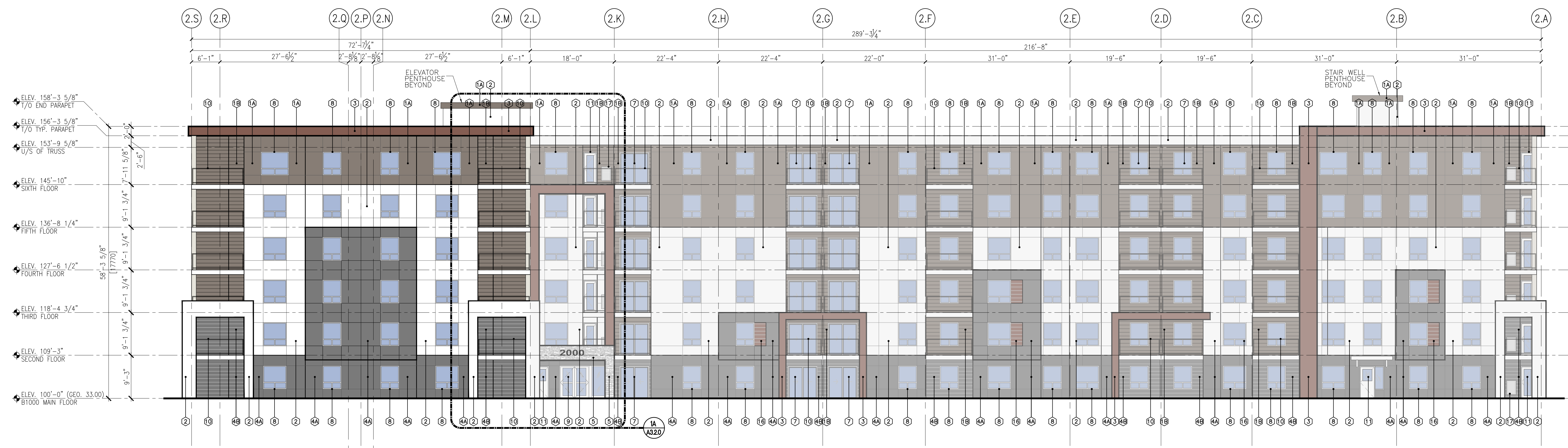
CITY VIBE DEVELOPMENTS INC.

PROJECT
ARCADIA POINTE
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

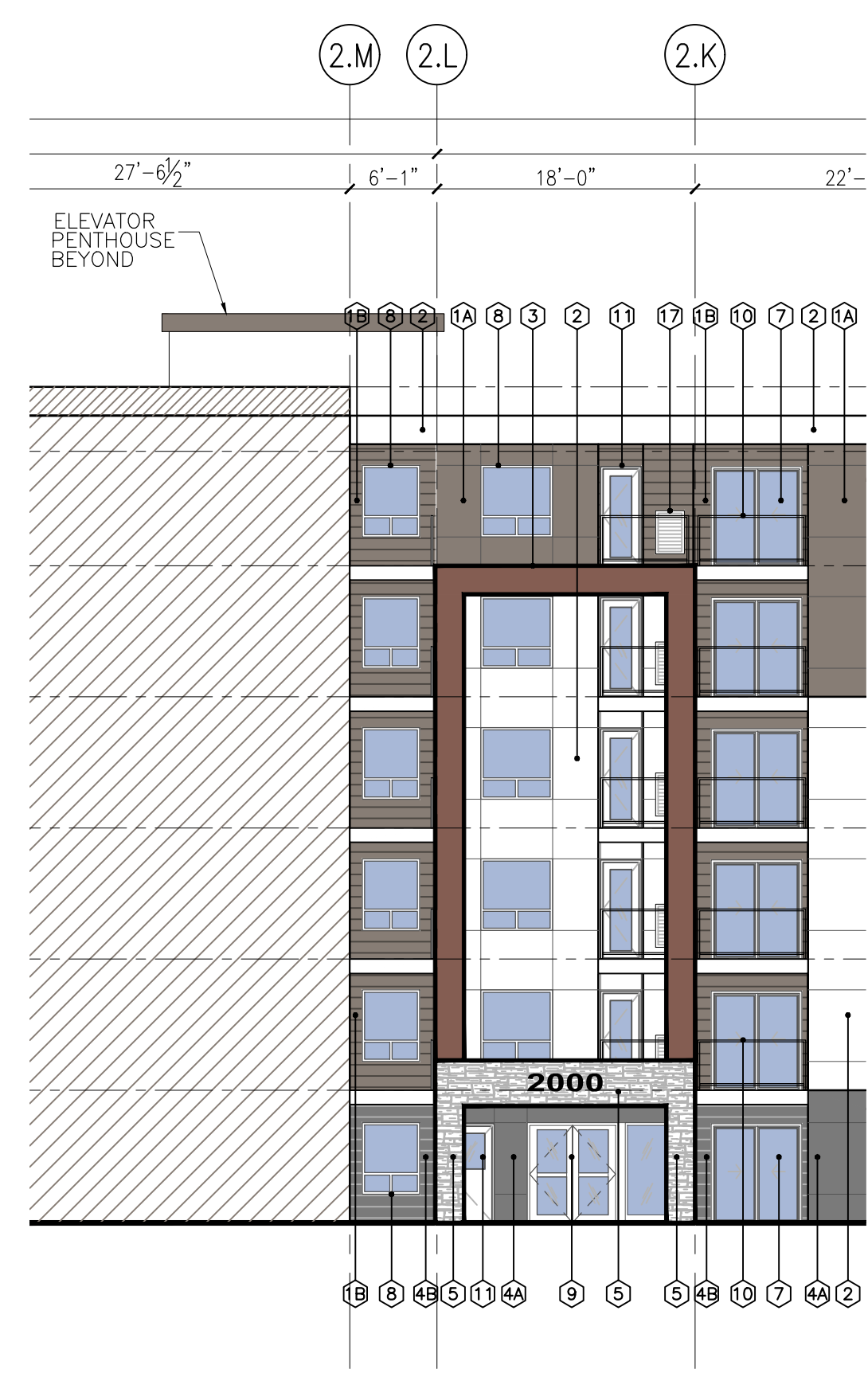
TRADE START DATE JUNE 2024

BUILDING 2000 ELEVATIONS

DESIGNED	TN/SKM	CHECKED	TN
DRAWN	SKM	JOB No.	2416
		DWG No.	A3.2.0



1 NORTH ELEVATION
 A3.2.0 3/32" = 1'-0"



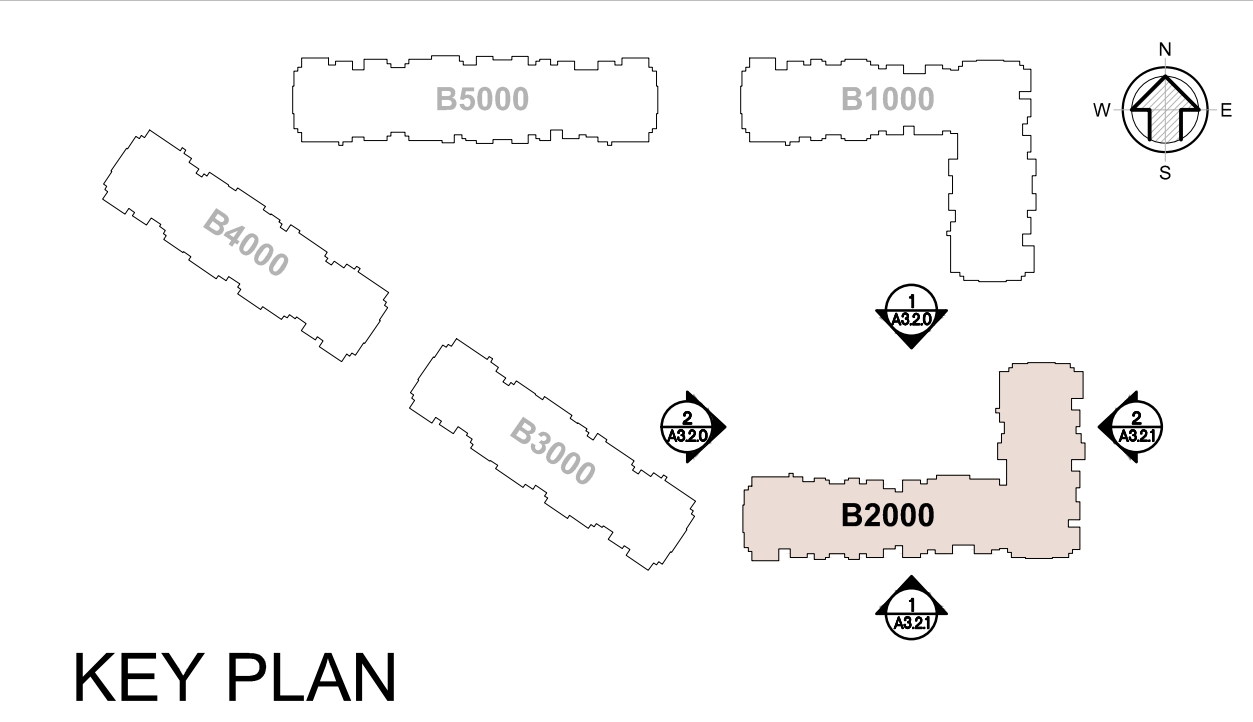
1A NORTH ELEV. (hidden portion)
 A3.2.0 3/32" = 1'-0"



2 WEST ELEVATION
 A3.2.0 3/32" = 1'-0"



2A WEST ELEV. (hidden portion)
 A3.2.0 3/32" = 1'-0"



KEY PLAN

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MATERIAL LEGEND

1A	HARDIE BOARD PANEL (TIMBER BARK)	[Symbol]
1B	HARDIE LAP SIDING (TIMBER BARK)	[Symbol]
2	HARDIE BOARD PANEL (ARCTIC WHITE)	[Symbol]
3	FIBER CEMENT PANEL (SEPIA)	[Symbol]
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	[Symbol]
4B	HARDIE LAP SIDING (RICH ESPRESSO)	[Symbol]
5	STONE CLADDING	[Symbol]
6	RESERVE	[Symbol]
7	GLASS SLIDING DOOR	[Symbol]
8	BLACK VINYL WINDOW	[Symbol]
9	ALUMINUM STORE FRONT GLAZING	[Symbol]
10	ALUMINUM GLASS RAILING (BLACK)	[Symbol]
11	EXTERIOR GLASS DOOR (BLACK)	[Symbol]
12	DRAINAGE SLOT	[Symbol]
13	RESERVE	[Symbol]
14	RESERVE	[Symbol]
15	RESERVE	[Symbol]
16	FIBER CEMENT LAP SIDING (SEPIA)	[Symbol]
17	VTAC LOUVER (COLOUR TO MATCH WALL)	[Symbol]

NOTES:
 1) SOFFIT & DECK FASCIA (T.B.D.)
 2) ROOF MEMBRANE (T.B.D.)

AMENDED DRAWINGS
 DP No. 04-21-2026
 Date Received 04/21/2026
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March 25, 2026

ISSUED FOR DTR2

NO.	DATE	REVISION
4	25/03/26	ISSUED FOR DTR2 COMMENTS
3	17/12/25	ISSUED FOR DTR1 COMMENTS
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 info@kn-architecture.com

ALBERTA ARCHITECTS ASSOCIATION
 REG. 119
 ARCHITECT
 MAR 25, 2026
 ALBERTA

SCALE AS NOTED

CLIENT

CITY VIBE DEVELOPMENTS INC.

PROJECT
ARCADIA POINTE
 2787 86 Avenue SE
 Calgary, Alberta
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

DRAWING
BUILDING 2000 ELEVATIONS

DESIGNED TN/SKM	CHECKED TN
DRAWN SKM	JOB No. 2416
	DWG No.

A3.2.1

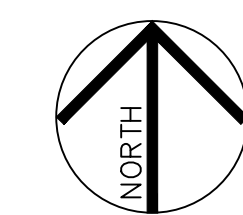


1 SOUTH ELEVATION
 A3.2.1 3/32" = 1'-0"

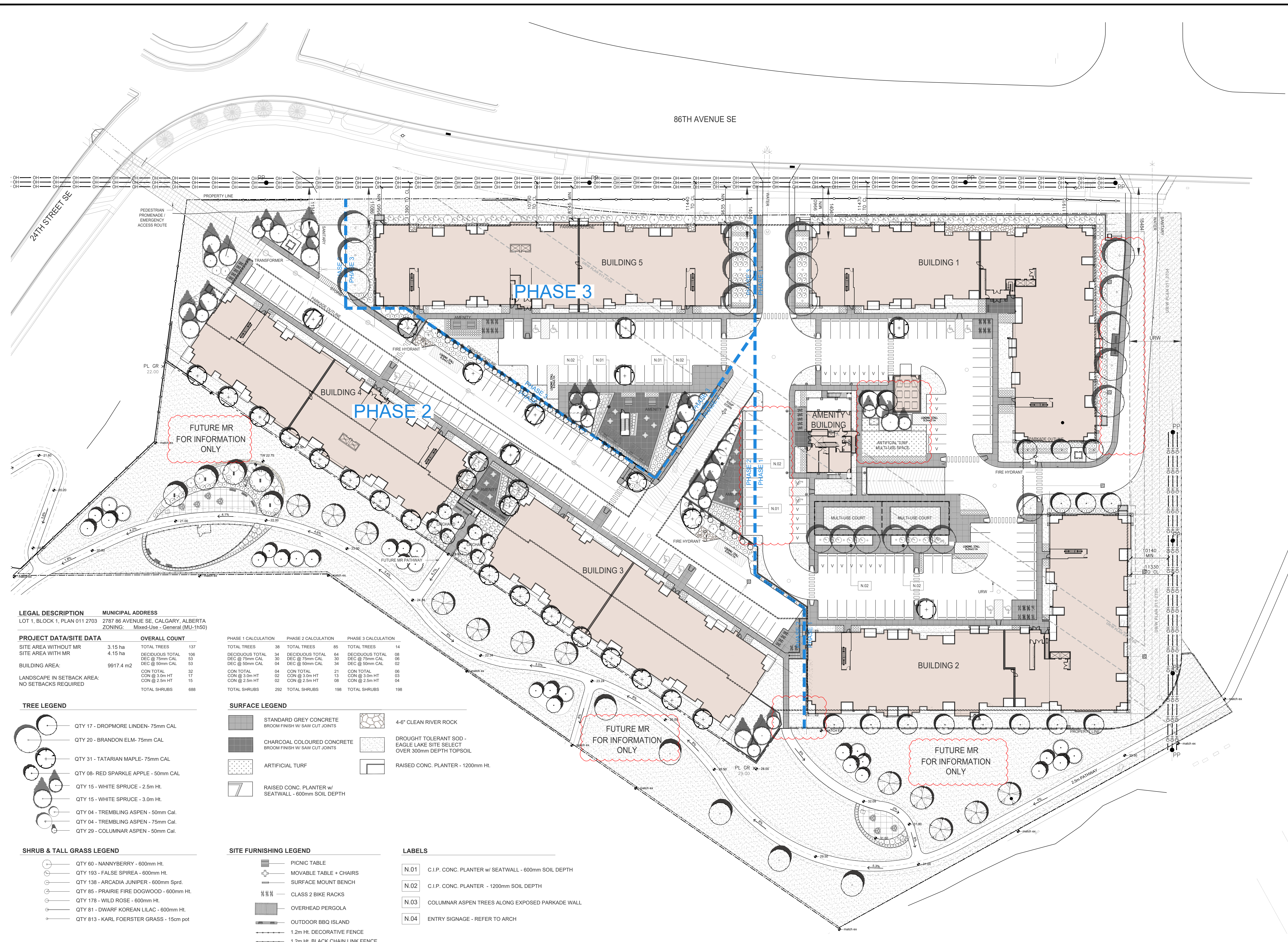


2 EAST ELEVATION
 A3.2.1 3/32" = 1'-0"

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



[SMM]
SCATLIFF + MILLER + MURRAY



LEGAL DESCRIPTION MUNICIPAL ADDRESS
LOT 1, BLOCK 1, PLAN 011 2703 2787 86 AVENUE SE, CALGARY, ALBERTA
ZONING: Mixed-Use - General (MU-1H50)

PROJECT DATA/SITE DATA	OVERALL COUNT
SITE AREA WITHOUT MR	3.15 ha
SITE AREA WITH MR	4.15 ha
BUILDING AREA:	9917.4 m ²
LANDSCAPE IN SETBACK AREA: NO SETBACKS REQUIRED	

TREE LEGEND

	QTY 17 - DROPMORE LINDEN - 75mm CAL
	QTY 20 - BRANDON ELM - 75mm CAL
	QTY 31 - TATARIAN MAPLE - 75mm CAL
	QTY 08 - RED SPARKLE APPLE - 50mm CAL
	QTY 15 - WHITE SPRUCE - 2.5m HT.
	QTY 15 - WHITE SPRUCE - 3.0m HT.
	QTY 04 - TREMBLING ASPEN - 50mm Cal.
	QTY 04 - TREMBLING ASPEN - 75mm Cal.
	QTY 29 - COLUMNAR ASPEN - 50mm Cal.

SHRUB & TALL GRASS LEGEND

	QTY 60 - NANNYBERRY - 600mm HT.
	QTY 193 - FALSE SPIREA - 600mm HT.
	QTY 138 - ARCADIA JUNIPER - 600mm Sprd.
	QTY 85 - PRAIRIE FIRE DOGWOOD - 600mm HT.
	QTY 178 - WILD ROSE - 600mm HT.
	QTY 81 - DWARF KOREAN LILAC - 600mm HT.
	QTY 813 - KARL FOERSTER GRASS - 15cm pot

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
- ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
- ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- ALL SOFT LANDSCAPE AREAS TO BE EQUIPPED WITH A HIGH EFFICIENCY IRRIGATION SYSTEM. SOD AREAS TO BE IRRIGATED WITH A ROTORS. TREES AND SHRUBS TO BE IRRIGATED BY DRILLLINE

PHASE 1 CALCULATION	PHASE 2 CALCULATION	PHASE 3 CALCULATION
TOTAL TREES 38	TOTAL TREES 85	TOTAL TREES 14
DECIDUOUS TOTAL 34	DECIDUOUS TOTAL 64	DECIDUOUS TOTAL 08
DEC @ 75mm CAL 30	DEC @ 75mm CAL 30	DEC @ 75mm CAL 06
DEC @ 50mm CAL 04	DEC @ 50mm CAL 34	DEC @ 50mm CAL 02
CON TOTAL 04	CON TOTAL 21	CON TOTAL 06
CON @ 3.0m HT 02	CON @ 3.0m HT 13	CON @ 3.0m HT 03
CON @ 2.5m HT 02	CON @ 2.5m HT 08	CON @ 2.5m HT 04
TOTAL SHRUBS 292	TOTAL SHRUBS 198	TOTAL SHRUBS 198

SURFACE LEGEND

	STANDARD GREY CONCRETE BROOM FINISH W/ SAW CUT JOINTS		4-6" CLEAN RIVER ROCK
	CHARCOAL COLOURED CONCRETE BROOM FINISH W/ SAW CUT JOINTS		DROUGHT TOLERANT SOD - EAGLE LAKE SITE SELECT OVER 300mm DEPTH TOPSOIL
	ARTIFICIAL TURF		RAISED CONC. PLANTER - 1200mm HT.
	RAISED CONC. PLANTER W/ SEATWALL - 600mm SOIL DEPTH		

SITE FURNISHING LEGEND

	PICNIC TABLE		C.I.P. CONC. PLANTER W/ SEATWALL - 600mm SOIL DEPTH
	MOVABLE TABLE + CHAIRS		C.I.P. CONC. PLANTER - 1200mm SOIL DEPTH
	SURFACE MOUNT BENCH		COLUMNAR ASPEN TREES ALONG EXPOSED PARKADE WALL
	CLASS 2 BIKE RACKS		ENTRY SIGNAGE - REFER TO ARCH
	OVERHEAD PERGOLA		
	OUTDOOR BBQ ISLAND		
	1.2m HL DECORATIVE FENCE		
	1.2m HL BLACK CHAIN LINK FENCE		

SOIL DEPTH NOTES

- TREES PLANTED OVER PARKADE TO HAVE MIN 1.2M SOIL DEPTH
- SHRUBS PLANTED OVER PARKADE TO HAVE A MIN 600mm SOIL DEPTH
- ORNAMENTAL GRASSES & SOD OVER PARKADE TO HAVE MIN 300mm SOIL DEPTH

REFERENCE NOTES

- REFER TO CIVIL FOR GRADING, RETAINING WALLS AND SITE SERVICING
- REFER TO ELECTRICAL FOR SITE LIGHTING
- REFER TO ARCH FOR ASPHALT PARKING, LOADING, WASTE & RECYCLING

1 LANDSCAPE PLAN
SCALE 1:400

AMENDED DRAWINGS
Date Received 04/21/2026
DP No DP2025-02706
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

NO	DATE	REVISION
03	23/03/26	ISSUED FOR DR2
02	26/09/25	ISSUED FOR DR1
01	23/04/25	ISSUED FOR DP

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info@kn-architecture.com

SCALE AS NOTED

CARLISLE GROUP
eye on quality ... focus on value

ARCADIA POINTE
2787 86 Avenue SE
Calgary, Alberta
Lot 1, Block 1, Plan 011 2703

TRADE	DESIGNED	CHECKED	START DATE
LANDSCAPE PLAN	AP	DM	JUNE 2024
	AP		

DWG No. **L100**