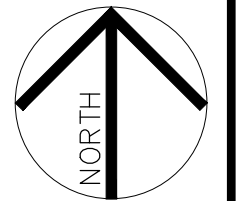


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- ### MATERIAL LEGEND
- 1 CONCRETE CURB
  - 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
  - 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
  - 2 CONCRETE SIDEWALK
  - 3 HANDICAP RAMP TO CITY STANDARDS
  - 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
  - 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
  - 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
  - 7 HEAVY-DUTY ASPHALT PAVING - MIN. 25,000 KG/AXL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE - FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
  - 8 ASPHALT PAVING
  - 9 PAINTED PEDESTRIAN CROSSING
  - 10 CONCRETE APRON - MIN. OF 25,000 KG WEIGHT CAPACITY
  - 11 PARKADE RAMP CONCRETE RETAINING WALL
  - 12 LANDSCAPING
  - 13 CONCRETE PATIO
  - 14 BIKE RACK
  - 15 STOP SIGN
  - 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
  - 17 PEDESTRIAN CROSSING SIGN
  - 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
  - 19 "HANDICAP PARKING" SIGN
  - 20 WHEEL STOPS
  - 21 "NO PARKING" SIGN

- ### LEGEND
- HEAVY DUTY ASPHALT
  - RIGHT-OF-WAY
  - V 'V' INDICATES VISITOR STALLS

**AMENDED DRAWINGS**  
 DP No. Data Received  
 DP2025-02706 01 12 2026  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

**December 17, 2025**  
 ISSUED FOR DTR1 COMMENTS

NO.	DATE	REVISION
5	17/12/25	ISSUED FOR DTR1 COMMENTS
4	19/09/25	ISSUED FOR DTR1 COMMENTS
3	27/05/25	RE-ISSUED FOR DEVELOPMENT PERMIT
2	21/05/25	ISSUED FOR DEVELOPMENT PERMIT
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT

**KN ARCHITECTURE**  
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**REGISTERED ARCHITECT**  
 REG. NO. 11111  
 DEC 17, 2025  
 ALBERTA

**CITY VIBE DEVELOPMENTS INC.**

**ARCADIA POINTE**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE: \_\_\_\_\_ START DATE: JUNE 2024  
 CLIENT: \_\_\_\_\_  
 PROJECT: \_\_\_\_\_  
 DRAWING: **SITE PLAN**  
 DESIGNED: TN/SKM CHECKED: TN  
 DRAWN: SKM JOB No.: 2416  
 DWG No.: **A1.0.0**

### PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 1, BLOCK 1, PLAN 011 2703  
 MUNICIPAL ADDRESS: 2787 86 AVENUE SE, CALGARY, ALBERTA  
 ZONING: MIXED USE - GENERAL (MU-1 F3.5/h50)  
 SITE AREA: ±3.16 ha (±7.81 ac) - MU-1 NO S-SPR(MR)  
 ±4.16 ha (±10.28 ac) - MU-1 WITH S-SPR(MR)  
 PHASE 1 AREA = ±15,573.6 m<sup>2</sup> / ±167,610 ft<sup>2</sup> / ±3.85 ac / ±1.56 ha  
 PHASE 2 AREA = ±10,897.0 m<sup>2</sup> / ±115,108 ft<sup>2</sup> / ±2.64 ac / ±1.07 ha  
 PHASE 3 AREA = ±5,363.9 m<sup>2</sup> / ±57,740 ft<sup>2</sup> / ±1.32 ac / ±0.53 ha  
 PROPOSED GFA:  
 BUILDING 1000 13,539.8 m<sup>2</sup> (145,741 ft<sup>2</sup>)  
 BUILDING 2000 14,243.0 m<sup>2</sup> (153,310 ft<sup>2</sup>)  
 BUILDING 3000 9,332.0 m<sup>2</sup> (100,448 ft<sup>2</sup>)  
 BUILDING 4000 9,332.0 m<sup>2</sup> (100,448 ft<sup>2</sup>)  
 BUILDING 5000 11,907.2 m<sup>2</sup> (128,168 ft<sup>2</sup>)  
 TOTAL GFA 58,353.8 m<sup>2</sup> (628,115 ft<sup>2</sup>)  
 PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

BUILDING/UNITS	1BDR	2BDR	3BDR	PHASE 1	PHASE 2	PHASE 3	TOTAL
BUILDING 1000 PHASE 1	-	143	18	161			
BUILDING 2000 PHASE 1	5	132	30	167			
BUILDING 3000 PHASE 2	-	81	22		103		
BUILDING 4000 PHASE 2	-	81	22		103		
BUILDING 5000 PHASE 3	-	113	24			137	
<b>TOTAL</b>	<b>5</b>	<b>550</b>	<b>116</b>	<b>328</b>	<b>206</b>	<b>137</b>	<b>671</b>

SETBACKS: NO SETBACKS REQUIRED  
 MAXIMUM DENSITY ALLOWED: N/A  
 MINIMUM DENSITY ALLOWED: N/A  
 DENSITY PROVIDED: 671 UNITS / 3.16 ha = 212 UNITS/ha  
 FLOOR AREA RATIO ALLOWED: 3.5  
 FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:  
 BUILDING 1000 (MF 2,262.3 m<sup>2</sup> + UF 2,255.5 m<sup>2</sup> x5) 13,539.8 m<sup>2</sup> (145,741 ft<sup>2</sup>)  
 BUILDING 2000 (MF 2,376.5 m<sup>2</sup> + UF 2,373.3 m<sup>2</sup> x5) 14,243.0 m<sup>2</sup> (153,310 ft<sup>2</sup>)  
 BUILDING 3000 (P2 887.3 m<sup>2</sup> + MF 1,693.5 m<sup>2</sup> + UF 1,687.8 m<sup>2</sup> x4) 9,332.0 m<sup>2</sup> (100,448 ft<sup>2</sup>)  
 BUILDING 4000 (P2 887.3 m<sup>2</sup> + MF 1,693.5 m<sup>2</sup> + UF 1,687.8 m<sup>2</sup> x4) 9,332.0 m<sup>2</sup> (100,448 ft<sup>2</sup>)  
 BUILDING 5000 (MF 1,989.3 m<sup>2</sup> + UF 1,983.6 m<sup>2</sup> x5) 11,907.2 m<sup>2</sup> (128,168 ft<sup>2</sup>)  
 TOTAL FLOOR AREA: 58,353.8 m<sup>2</sup> / 31,620.1 m<sup>2</sup> = 1.84 FAR

LANDSCAPE AREAS: REFER TO LANDSCAPE DRAWINGS PREPARED BY SCALIFF MILLER MURRAY  
 BUILDING HEIGHT ALLOWED: 50m  
 BUILDING HEIGHT PROVIDED: ±18m

**AMENITY CALCULATIONS:**

OUTDOOR - COURTS AND TURF ZONE = 11,530 ft<sup>2</sup>  
 AMENITY #1 = 5,253 ft<sup>2</sup>  
 AMENITY #2 = 6,680 ft<sup>2</sup>  
 AMENITY #3 = 5,040 ft<sup>2</sup>  
 28,503 ft<sup>2</sup>

INDOOR - AMENITY BUILDING = 3,478 ft<sup>2</sup>  
 PARKADE AMENITY = 2,172 ft<sup>2</sup>  
 TOTAL COMMON AMENITY PROVIDED = 5,650 ft<sup>2</sup>  
 34,153 ft<sup>2</sup>

**PARKING CALCULATIONS PHASE 1 - 328 UNITS:**

PARKING STALLS REQUIRED (AS PER LUR 1P2007, PART 6, DIVISION 1, 558 (1) (a) ):  
 DWELLING UNITS : 0.625 (STALLS/UNIT) 328 x 0.625 = 205 STALLS  
 TOTAL STALLS REQUIRED 205 STALLS

PARKING STALLS PROVIDED:  
 SURFACE STALLS (INCL. 6 H/C STALLS) 94 STALLS  
 PARKADE P1 (PHASE 1) EXCLUDING 15 TANDEM 339 STALLS  
 TOTAL STALLS PROVIDED PHASE 1 433 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (559) ):  
 CLASS 1: 328 x 0.5 (STALLS/UNIT) 164 STALLS  
 CLASS 2: 328 x 0.1 (STALLS/UNIT) 33 STALLS  
 TOTAL NUMBER OF STALLS 197 STALLS

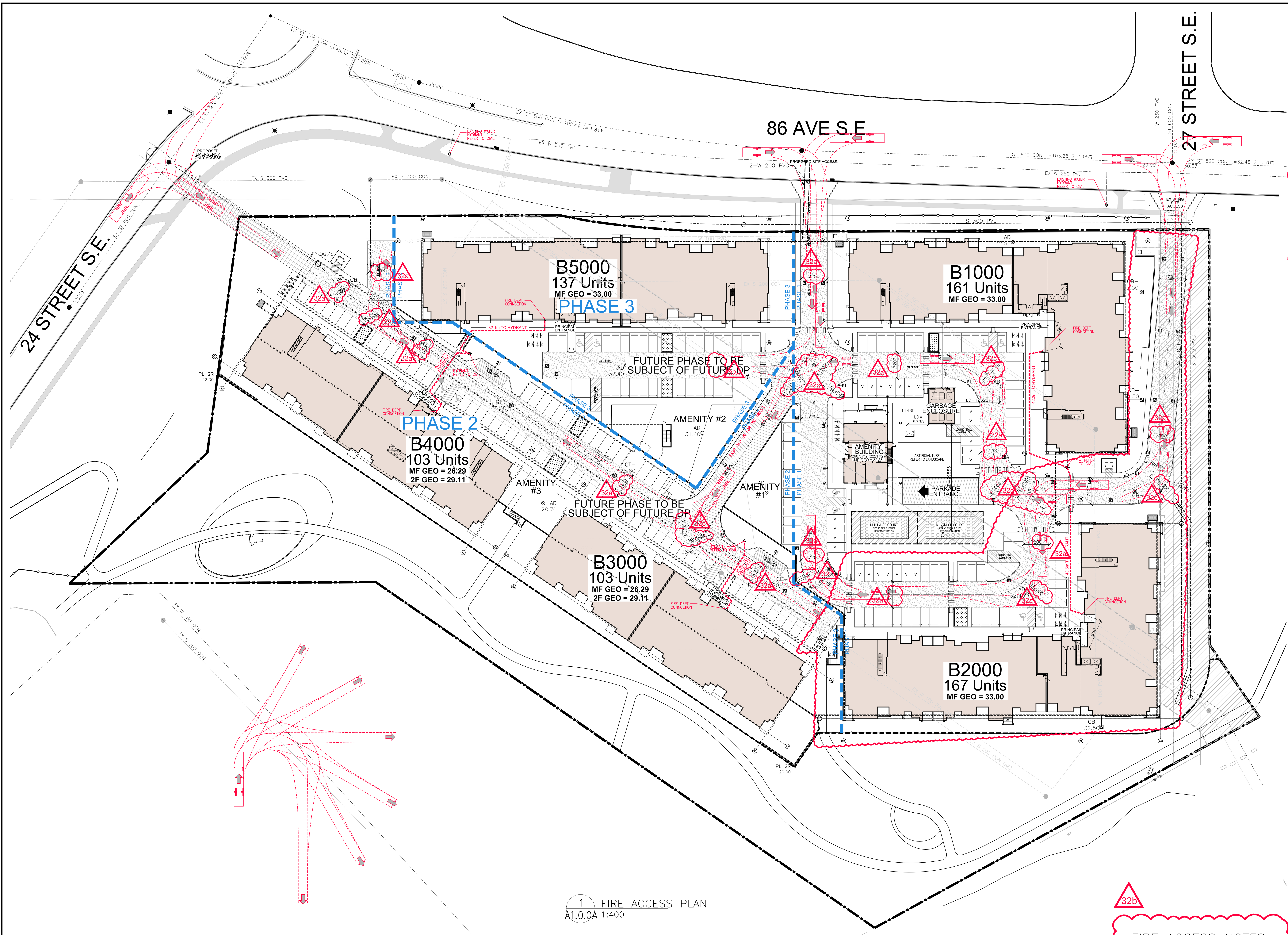
BICYCLE PARKING PROVIDED:  
 CLASS 1: (110 HORIZONTAL + 54 VERTICAL RACKS) 164 STALLS  
 CLASS 2: 34 STALLS  
 TOTAL NUMBER OF STALLS 198 STALLS

**PHASE 1 RATIO: 1.32 STALLS/UNIT**

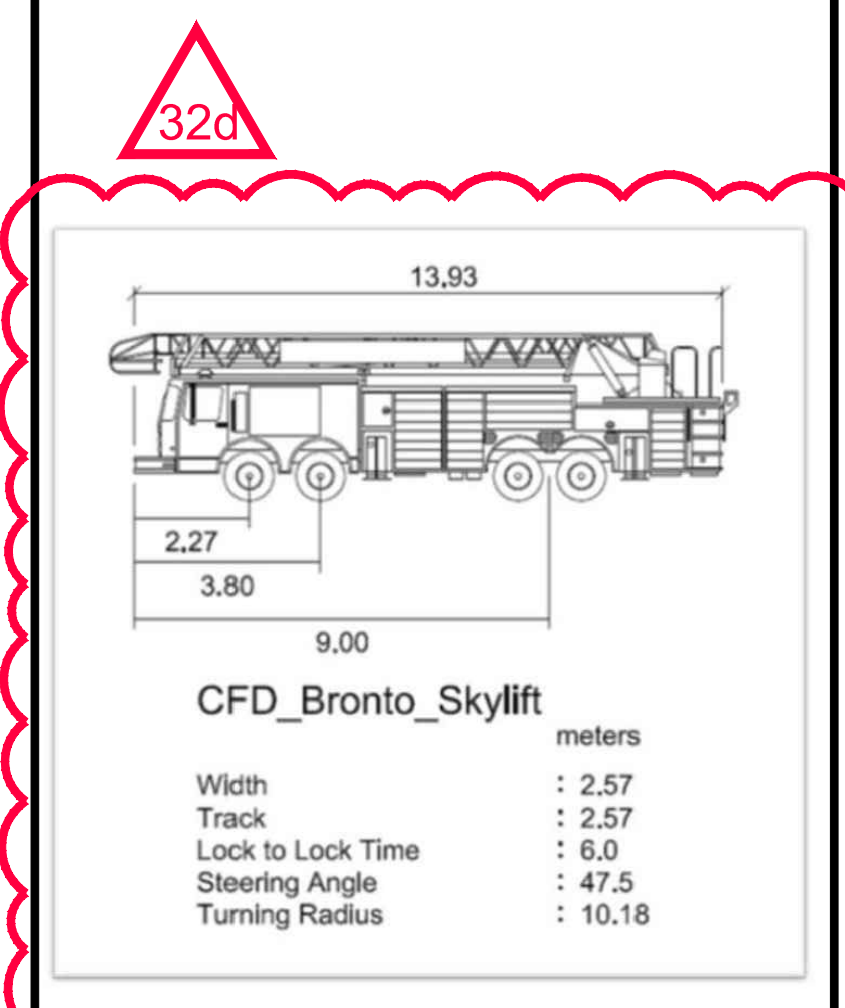
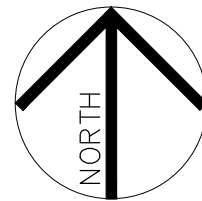
**1 SITE PLAN**  
 A1.0.0 1:400

### NOTES

- THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: TRONNES GEOMATICS INC. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
- TEST MANHOLE LOCATION TO BE DETERMINED.
- ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
- REFER TO SURVEY DRAWING FOR EXISTING GRADES.
- REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



**MATERIAL LEGEND**  
21 "NO PARKING" SIGN

**AMENDED DRAWINGS**  
DP No: DP2025-02706  
Date Received: 01 12 2026  
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

**December 17, 2025**  
ISSUED FOR DTR1 COMMENTS

3	17/12/25	ISSUED FOR DTR1 COMMENTS
4	19/09/25	ISSUED FOR DTR1 COMMENTS
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

**KN ARCHITECTURE**  
1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1  
Ph: (403) 265-3100  
info@kn-architecture.com



SCALE: AS NOTED

CLIENT:

**CITYVIBE DEVELOPMENTS INC.**

PROJECT:

**ARCADIA POINTE**  
2787 86 Avenue SE  
Calgary, Alberta  
Lot 1, Block 1, Plan 011 2703

TRADE: START DATE: JUNE 2024

DRAWING: **FIRE ACCESS PLAN**

DESIGNED: TN/SKM CHECKED: TN

DRAWN: SKM JOB No: 2416

DWG No: **A1.0.0A**

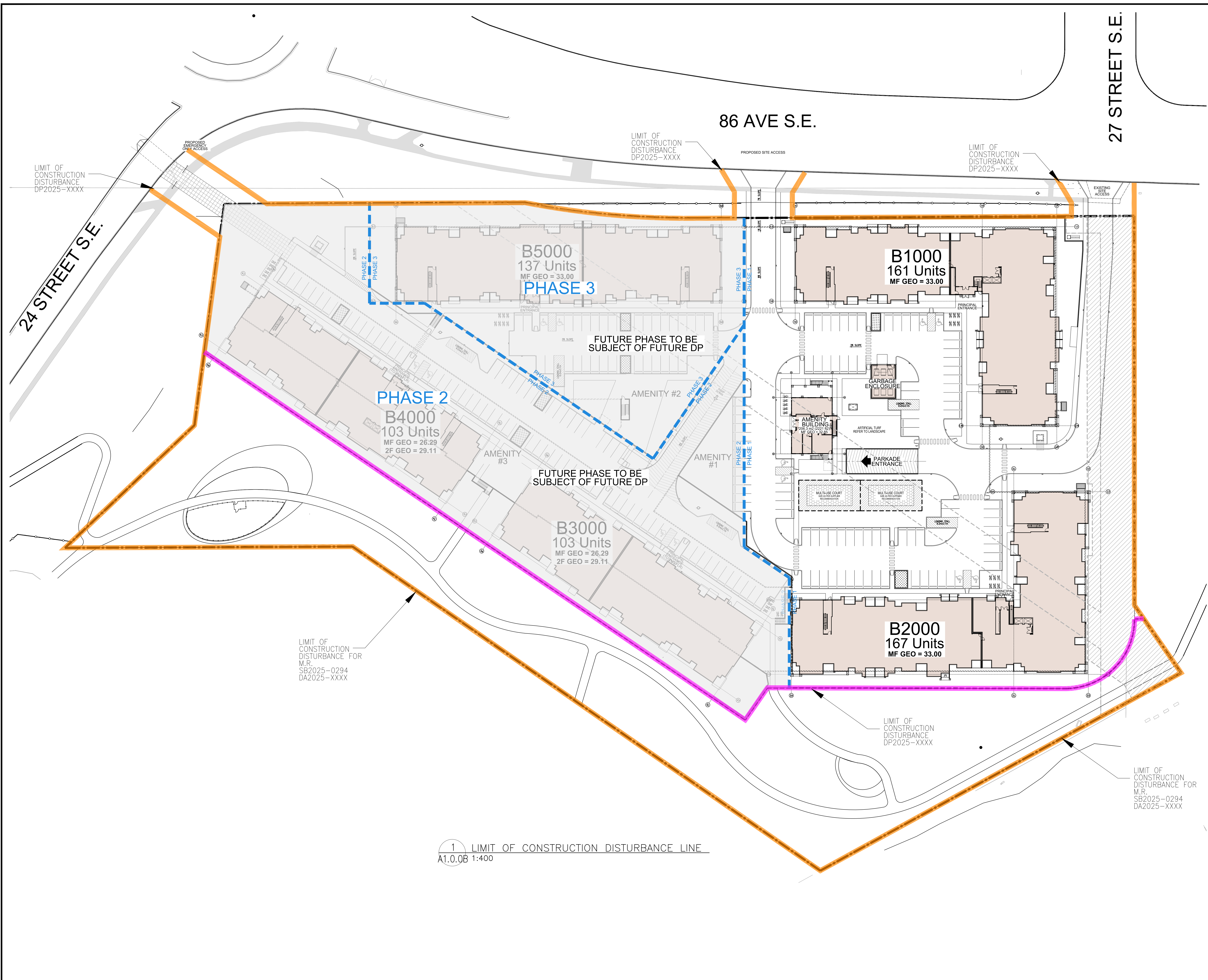
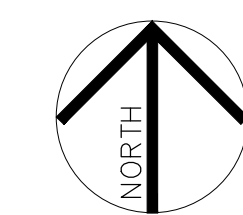
**1 FIRE ACCESS PLAN**  
A1.0.0A 1:400

**32b**

**FIRE ACCESS NOTES**

- MIN. 12m CENTERLINE RADIUS FOR FIRE TRUCK ACCESS.
- ENTIRE FIRE TRUCK ACCESS ROUTE INCLUDING OVER UNDERGROUND PARKADE TO BE CAPABLE OF SUPPORTING A LOAD OF 38,556 KG (85,000 lb).
- ENTIRE FIRE TRUCK ACCESS ROUTE INCLUDING OVER UNDERGROUND PARKADE TO BE DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psf) OVER A 24' x 24' AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE.
- MIN OVERHEAD CLEARANCE 5.0m OVER FIRE TRUCK ACCESS ROUTES

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**AMENDED DRAWINGS**  
 DP No. DP2025-02706 Date Received 01/12/2026  
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NO.	DD/MM/YY	REVISION

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SCALE AS NOTED

CLIENT



**PROJECT**  
**ARCADIA POINTE**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

**DRAWING**  
**LIMIT OF CONSTRUCTION DISTURBANCE LINE**

DESIGNED TN/SKM CHECKED TN  
 DRAWN SKM JOB No. 2416

DWG No. **A1.0.0B**

1 LIMIT OF CONSTRUCTION DISTURBANCE LINE  
 A1.0.0B 1:400

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**MATERIAL LEGEND**

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (RICH ESPRESSO)
- ③ RESERVED
- ④ STUCCO (TO MATCH HARDIE RICH ESPRESSO)
- ⑤ HARDIE BOARD PANEL (ARCTIC WHITE)
- ⑥ RESERVED
- ⑦ VENTILATION LOUVRE - 54"(W)x40"(H)
- ⑧ HARDIE TRIM 4" OR 6" (ARCTIC WHITE)
- ⑨ RESERVED
- ⑩ RESERVED
- ⑪ EXTERIOR WALL MOUNTED LIGHT (COLOR TO MATCH WALL)
- ⑫ INSULATED OH STEEL DOOR (COLOR TO MATCH WALL)
- ⑬ METAL FLASHING (COLOUR TO MATCH)
- ⑭ EXPOSED CONCRETE
- ⑮ EXTERIOR INSULATED METAL DOOR (COLOR TO MATCH WALL)

**NOTE:**  
 1) TPO ROOF MEMBRANE  
 2) PAINT BOLLARD YELLOW  
 3) PAINT R.W.L. AND LADDER TO MATCH WALL.

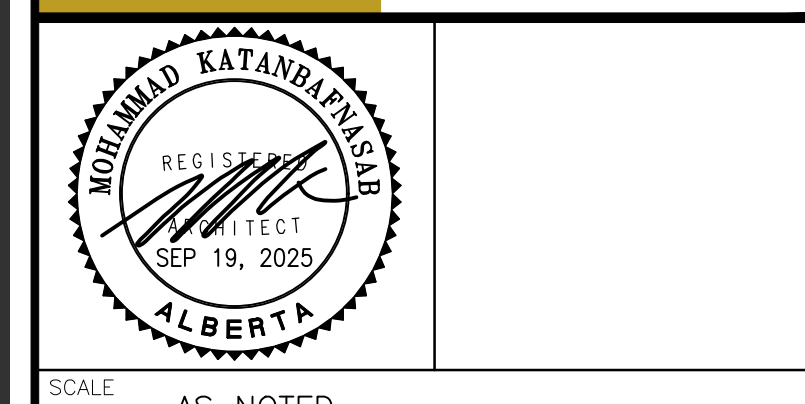
**AMENDED DRAWINGS**  
 DP No: DP2025-02706  
 Date Received: 01 12 2025  
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**September 19, 2025**

ISSUED FOR DTR1 COMMENTS

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1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

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SCALE: AS NOTED

CLIENT:



PROJECT:

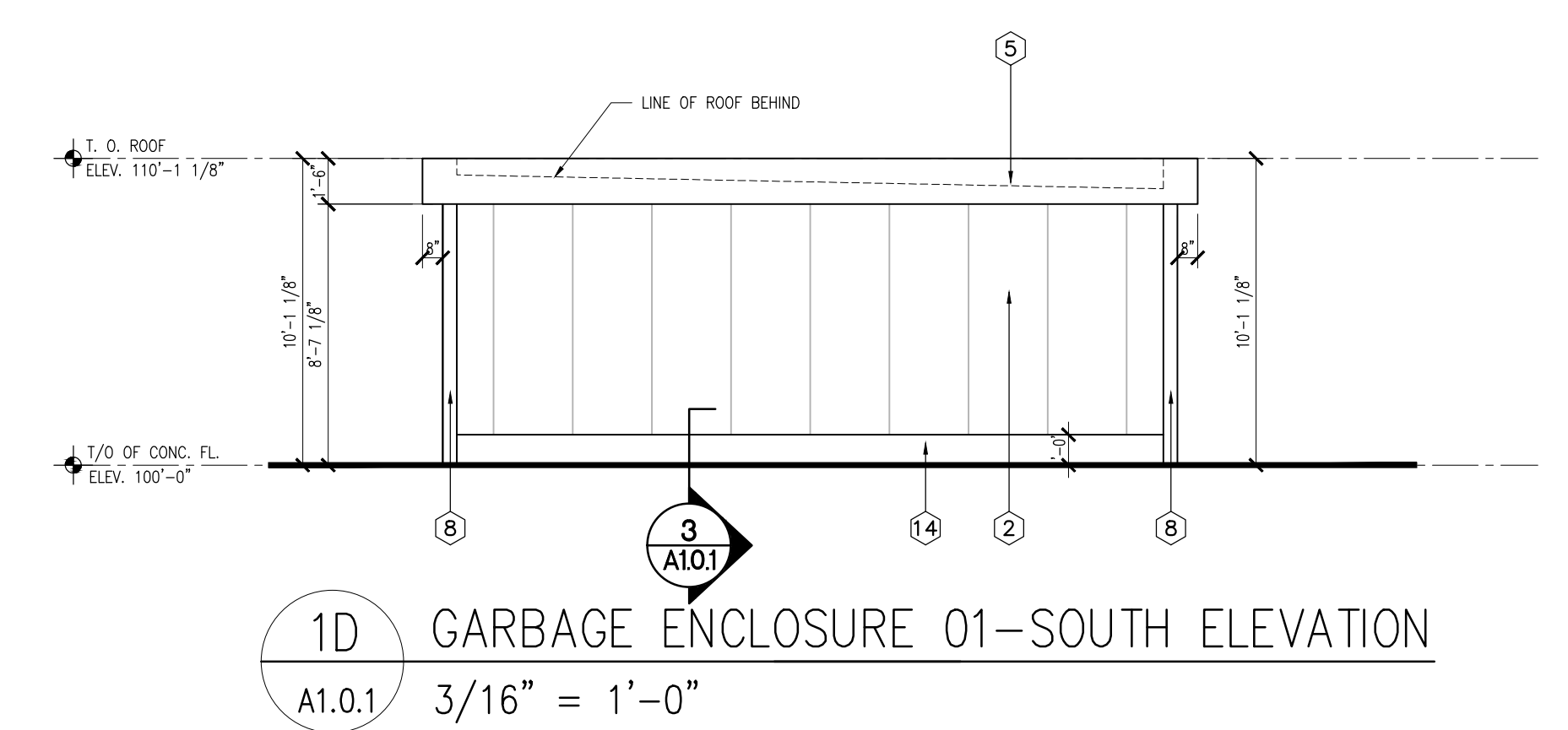
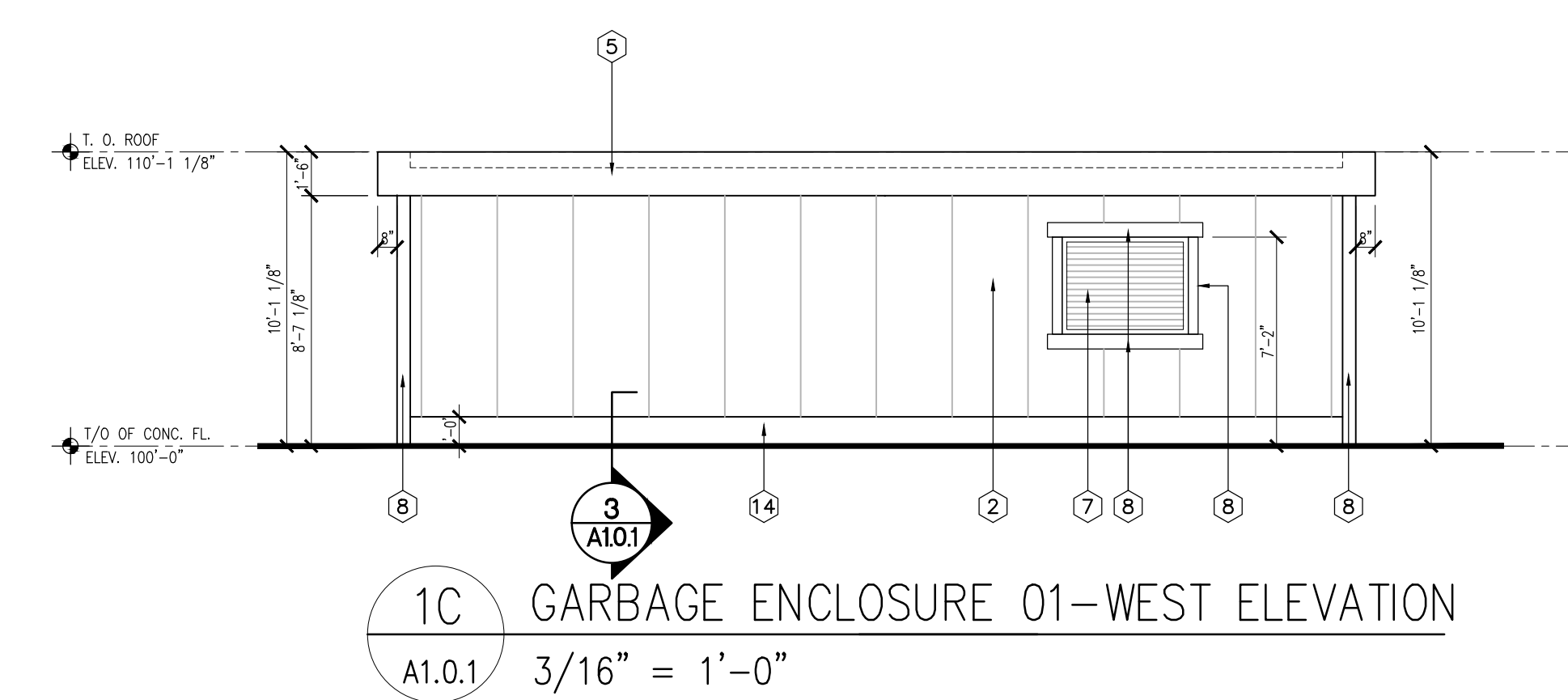
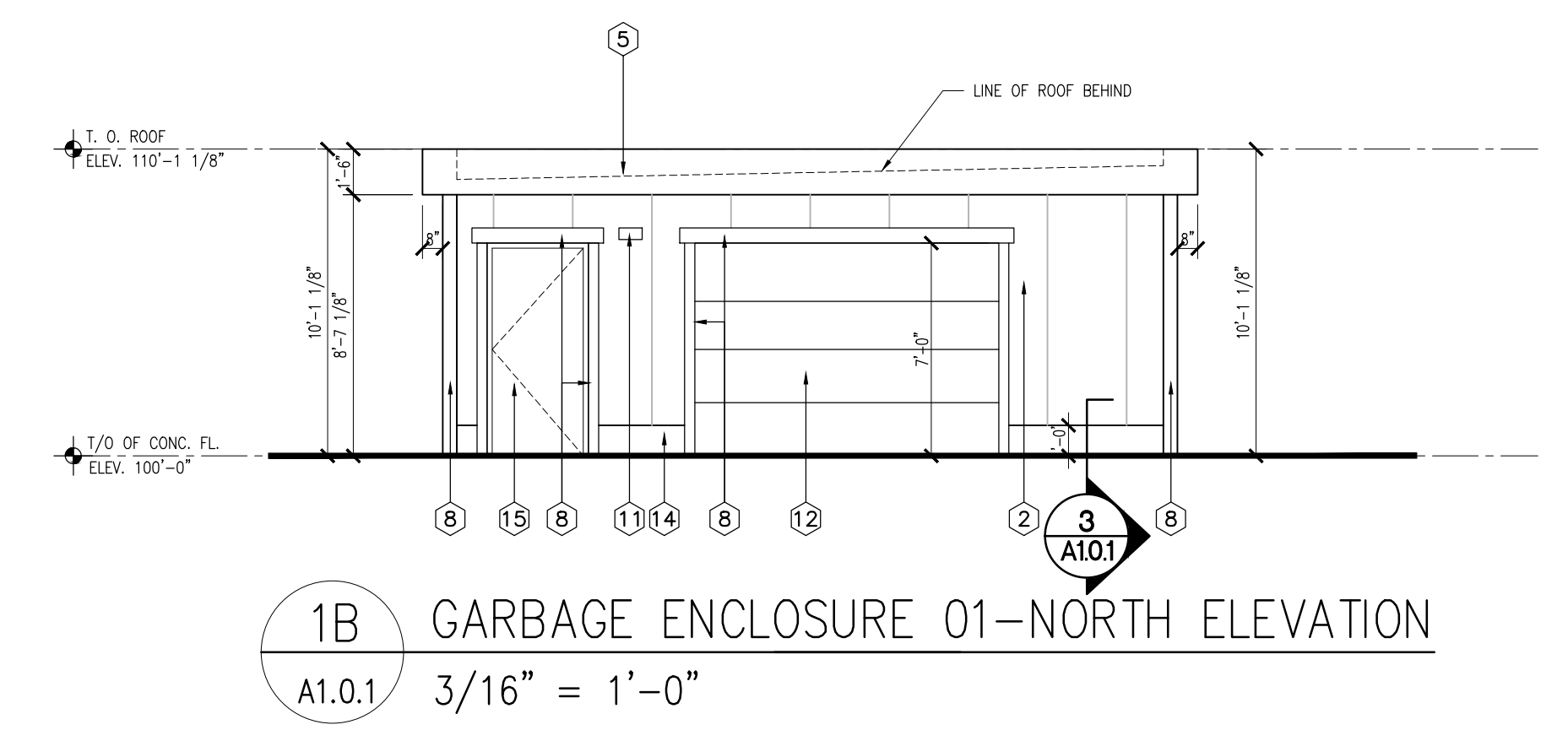
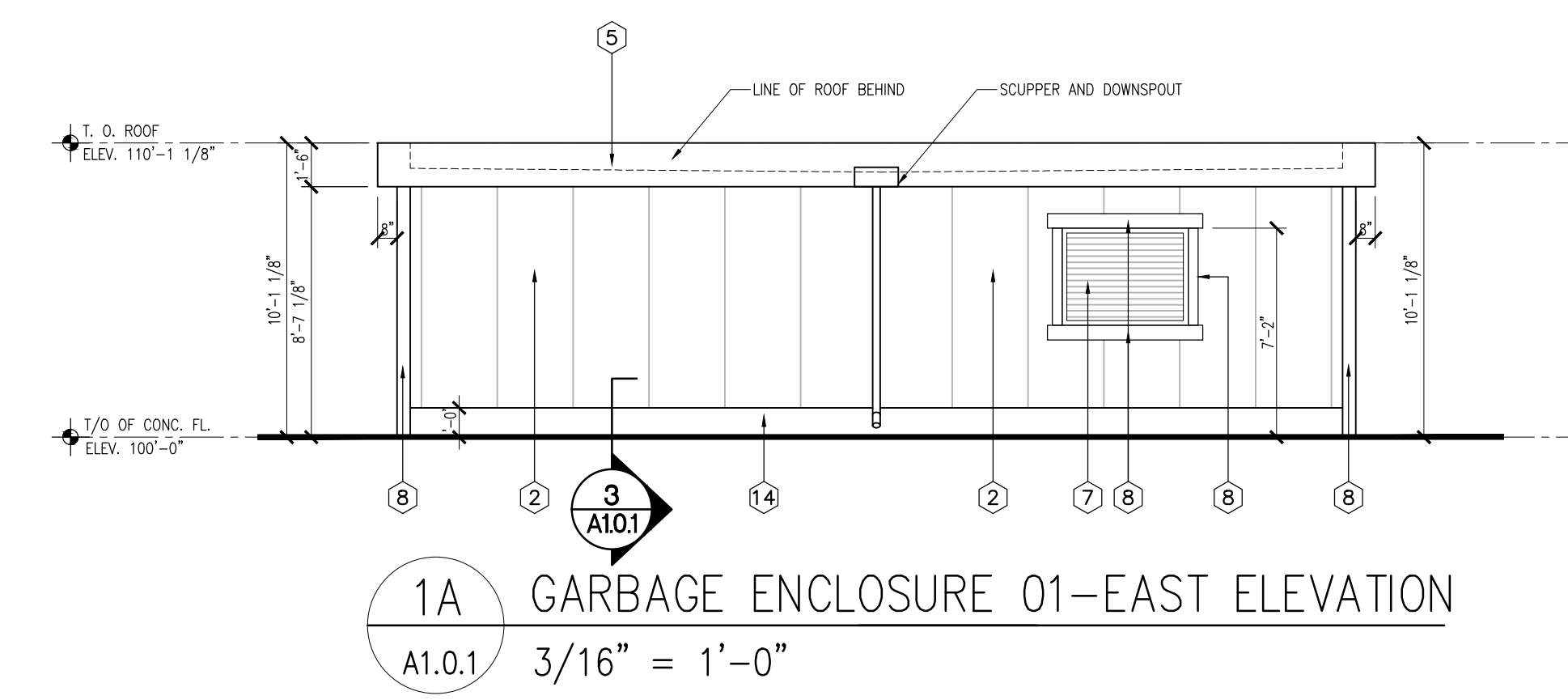
**ARCADIA STATION**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE: START DATE: JUNE 2024

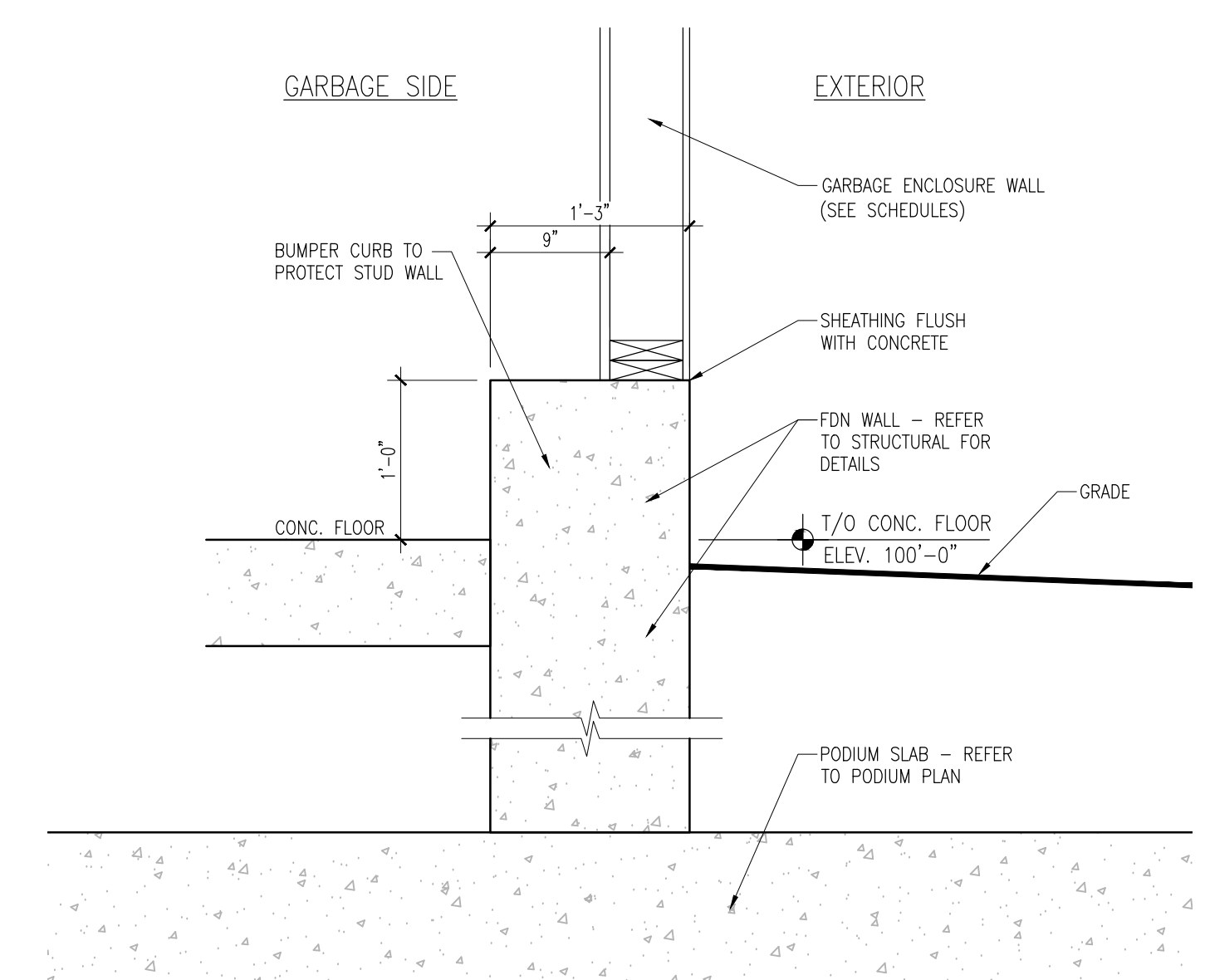
DRAWING: **GARBAGE BUILDING DETAILS**

DESIGNED: TN/SKM CHECKED: TN  
 DRAWN: SKM JOB No: 2416

DWG No: **A1.0.1**



FACE	AREA OF EXPOSING BUILDING FACE	AREA OF UNPROTECTED OPENINGS	LIMITING DISTANCE	PERCENTAGE OF OPENINGS PROVIDED	MAX PERMITTED PERCENTAGE OF OPENINGS PER TABLE 9.10.14.4-A	RATING REQUIRED PER TABLE 9.10.14.5-A	CONSTRUCTION PERMITTED PER TABLE 9.10.14.5-A	CLADDING PERMITTED PER TABLE 9.10.14.5-A
NORTH	23 m <sup>2</sup>	9 m <sup>2</sup>	9 m	39%	>100%	N/A	COMBUSTIBLE	COMBUSTIBLE
EAST	31 m <sup>2</sup>	1.4 m <sup>2</sup>	12.2 m	4.5%	>100%	N/A	COMBUSTIBLE	COMBUSTIBLE
SOUTH	23 m <sup>2</sup>	-	29.2 m	-	>100%	N/A	COMBUSTIBLE	COMBUSTIBLE
WEST	31 m <sup>2</sup>	1.4 m <sup>2</sup>	4.8 m	4.5%	59%	45 MIN	COMBUSTIBLE	COMBUSTIBLE



**3** CONC. PROTECTION CURB DETAIL  
 A1.0.1 1\"/>

**WASTE CALCULATION**  
 PHASE 1 - 328 UNITS:

**REQUIREMENTS:**  
 TOTAL WASTE PRODUCED: 328 UNITS x 0.3 yd<sup>3</sup> = 98.4 yd<sup>3</sup>  
 NUMBER OF BINS REQUIRED: 98.4yd<sup>3</sup>/4yd<sup>3</sup> (typical bin) = 25 BINS REQ'D

**PROVIDED:**  
 NUMBER OF BINS PROVIDED: (IN ONE GARBAGE ENCLOSURE) = 9 BINS  
 (REQUIRES 3 TIME/WEEK PICK-UP)

**GARBAGE ENCLOSURE CONSTRUCTION TYPES**

- GW1** GARBAGE EXTERIOR WALL (1 HR. F.R.R.)  
 -5/8" TYPE "X" GYPSUM BOARD  
 -2x6 WOOD STUDS @ 16" O.C. (16" SPACING REQ'D FOR RATING)  
 -3/8" OSB SHEATHING  
 -1 LAYER BUILDING PAPER  
 -EXTERIOR FINISH AS PER ELEVATIONS  
 1 HR. F.R.R. AS PER NBC AE 2023, APPENDIX 'D', TABLE D-2.3.4.-A,E
- GW2** GARBAGE EXTERIOR WALL - NO RATING  
 (-1/2" GYPSUM BOARD OPTIONAL INTERIOR FINISH)  
 -2x6 WOOD STUDS @ 16" O.C.  
 -3/8" OSB SHEATHING  
 -1 LAYER BUILDING PAPER  
 -EXTERIOR FINISH AS PER ELEVATIONS

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**MATERIAL LEGEND**

- ① HARDIE BOARD PANEL (COBBLESTONE)
- ② HARDIE BOARD PANEL (RICH ESPRESSO)
- ③ FIBER CEMENT SIDING (SEPIA)
- ④ RESERVED
- ⑤ HARDIE BOARD PANEL (ARCTIC WHITE)
- ⑥ HARDIE BOARD PANEL (TIMBER BARK)
- ⑦ GLASS SLIDING DOOR
- ⑧ BLACK VINYL WINDOW
- ⑨ ALUMINUM STORE FRONT GLAZING
- ⑩ BLACK ALUMINUM GLASS RAILING
- ⑪ EXTERIOR GLASS DOOR
- ⑫ GLASS SPANDREL
- ⑬ RESERVED
- ⑭ CONCRETE
- ⑮ RESERVED
- ⑯ RESERVED
- ⑰ LIGHT FIXTURE
- ⑱ HARDIE TRIM (BLACK)
- ⑲ HARDIE LAP SIDING (TIMBER BARK)
- ⑳ HARDIE LAP SIDING (COBBLESTONE)

**NOTES**

- 1) SOFFIT & DECK FASCIA TO BE BLACK
- 2) TPO ROOF MEMBRANE

**AMENDED DRAWINGS**  
 DP No. Date Received  
 DP2025-02706 01 12 2026  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

**September 19, 2025**

ISSUED FOR DTR1 COMMENTS

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SCALE AS NOTED

CLIENT



**PROJECT**  
**ARCADIA STATION**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

**DRAWING**  
**AMENITY BUILDING ELEVATIONS/SECTIONS**

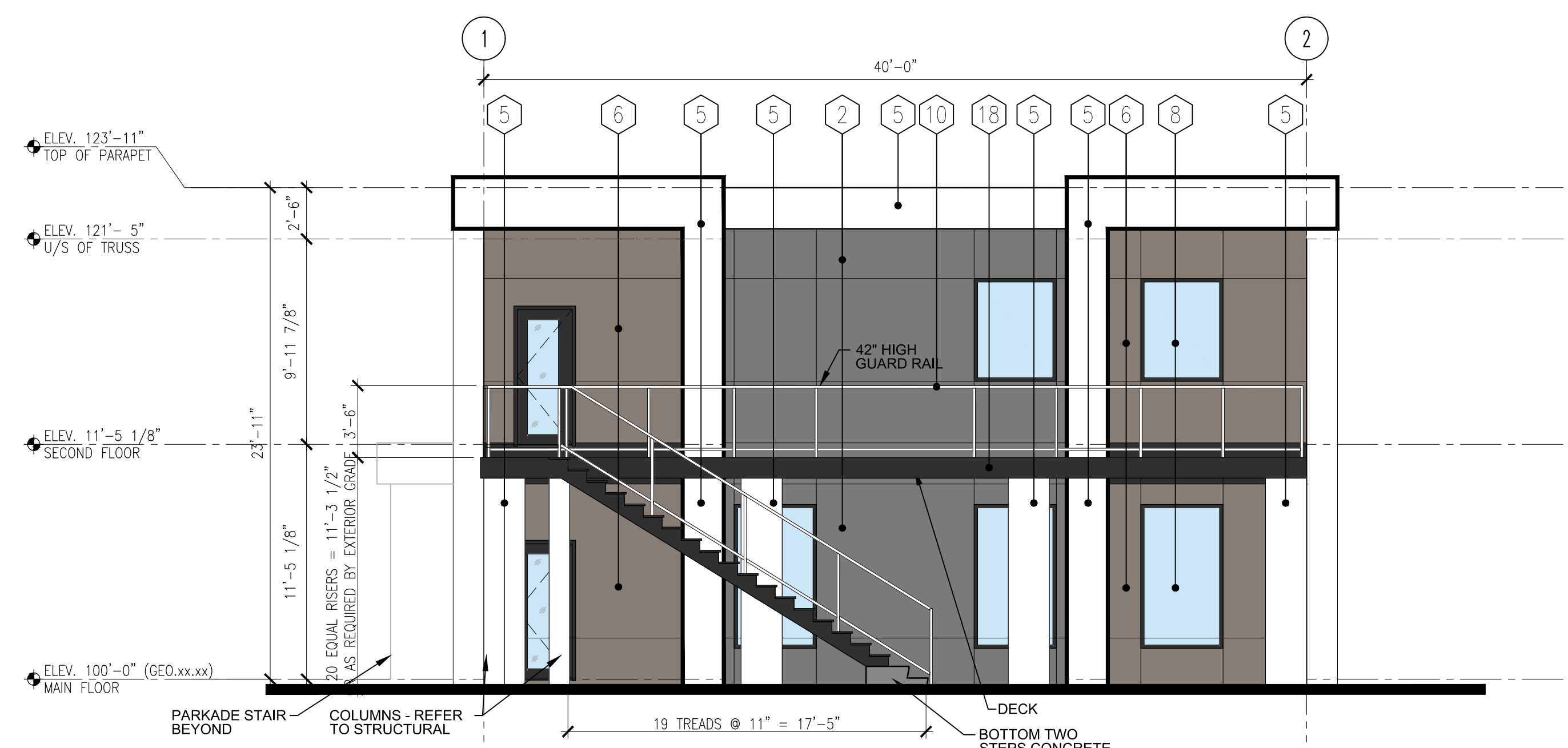
DESIGNED TN/SKM CHECKED TN

DRAWN SKM JOB No. 2416

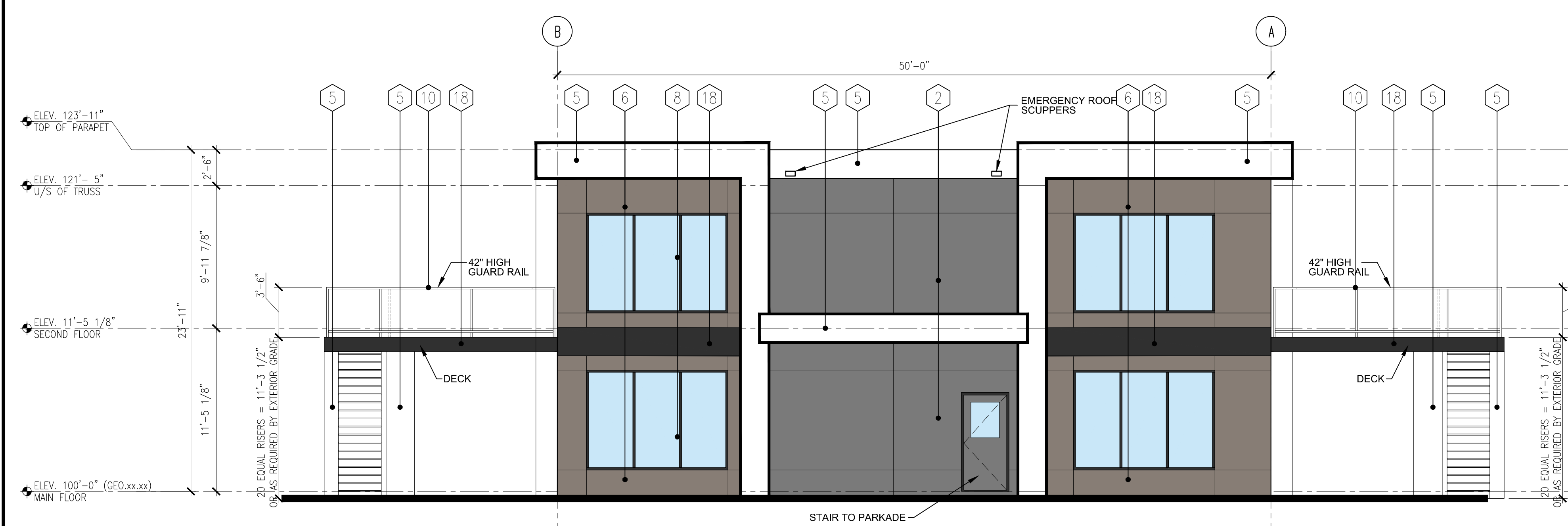
DWG No. **A10.5**



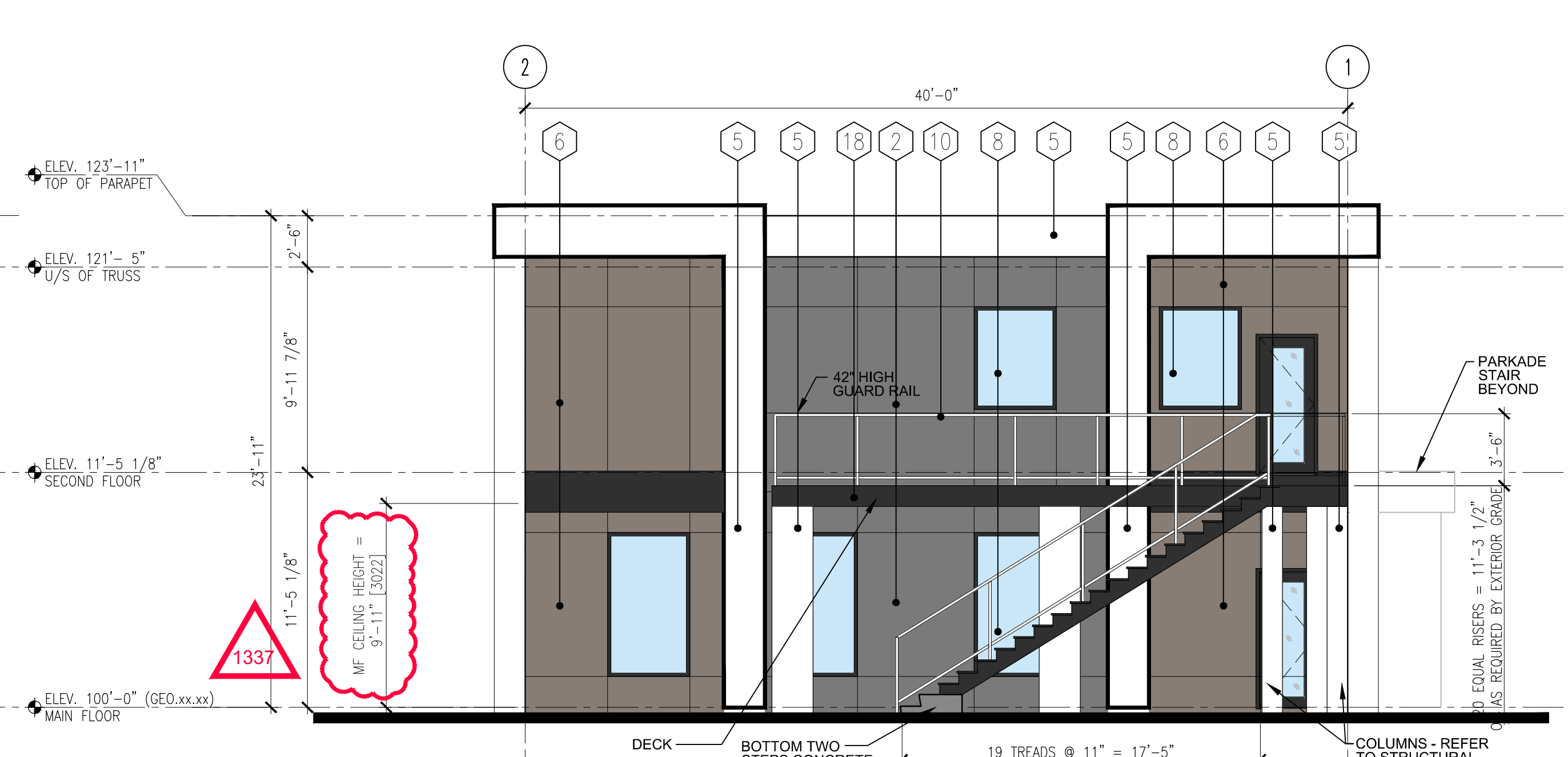
**1 AMENITY BUILDING SOUTH-WEST ELEVATION**  
 A1.0.5 3/16" = 1'-0"



**2 AMENITY BUILDING NORTH-WEST ELEVATION**  
 A1.0.5 3/16" = 1'-0"

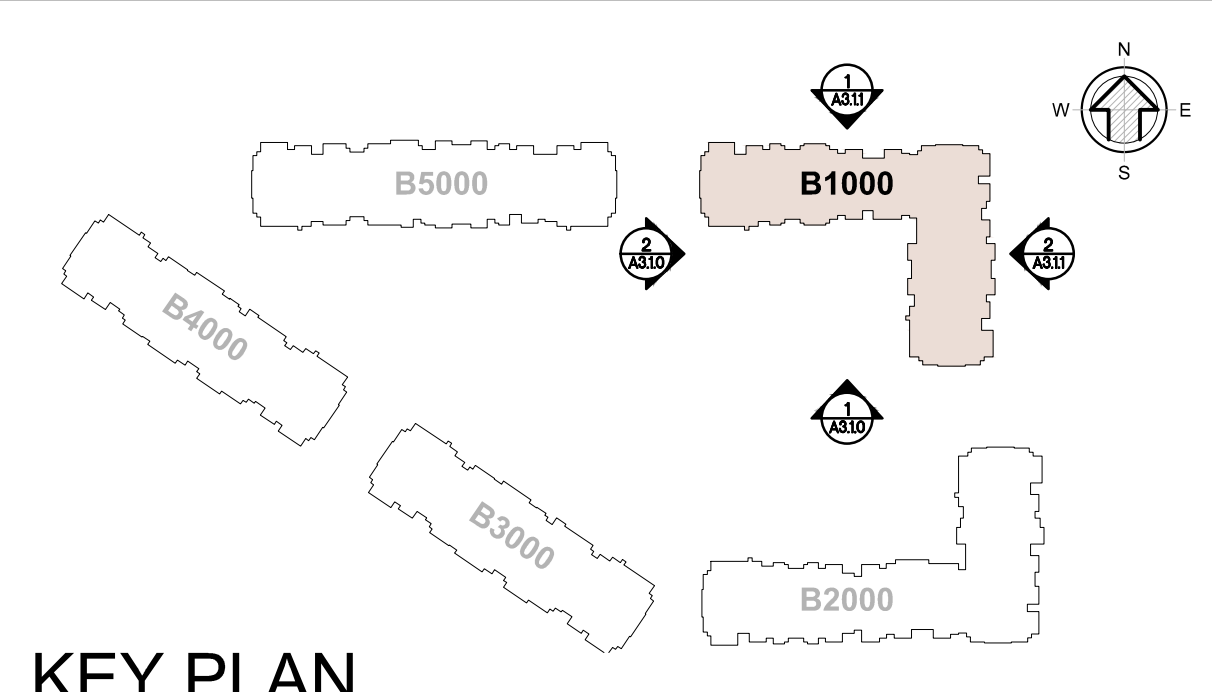


**3 AMENITY BUILDING NORTH-EAST ELEVATION**  
 A1.0.5 3/16" = 1'-0"



**4 AMENITY BUILDING SOUTH-EAST ELEVATION**  
 A1.0.5 3/16" = 1'-0"

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KEY PLAN

**MATERIAL LEGEND**

- 1A HARDIE BOARD PANEL/LAP SIDING (TIMBER BARK)
- 1B HARDIE LAP SIDING (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
- 3 FIBER CEMENT PANEL (SEPIA)
- 4A HARDIE BOARD PANEL (RICH ESPRESSO)
- 4B HARDIE LAP SIDING (RICH ESPRESSO)
- 5 STONE CLADDING
- 6 RESERVE
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 ALUMINUM GLASS RAILING (BLACK)
- 11 EXTERIOR GLASS DOOR (BLACK)
- 12 DRAINAGE SLOT
- 13 RESERVE
- 14 RESERVE
- 15 RESERVE
- 16 FIBER CEMENT LAP SIDING (SEPIA)
- 17 VTAC LOUVER (COLOUR TO MATCH WALL)
- 18 HARDIE BOARD PANEL (ARCTIC WHITE)

**NOTES:**  
 1) SOFFIT & DECK FASCIA (T.B.D.)  
 2) ROOF MEMBRANE (T.B.D.)

**AMENDED DRAWINGS**  
 DP No. DP2025-02706 Date Received 01 12 2026  
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**December 17, 2025**  
 ISSUED FOR DTR1 COMMENTS

3	17/12/25	ISSUED FOR DTR1 COMMENTS
2	19/09/25	ISSUED FOR DTR1 COMMENTS
1	24/04/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

**KN ARCHITECTURE**  
 1417 Kensington Road N.W.  
 Calgary, Alberta T2N 3R1  
 Ph: (403) 265-3100  
 info@kn-architecture.com



SCALE AS NOTED

CLIENT



**PROJECT**  
**ARCADIA POINTE**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

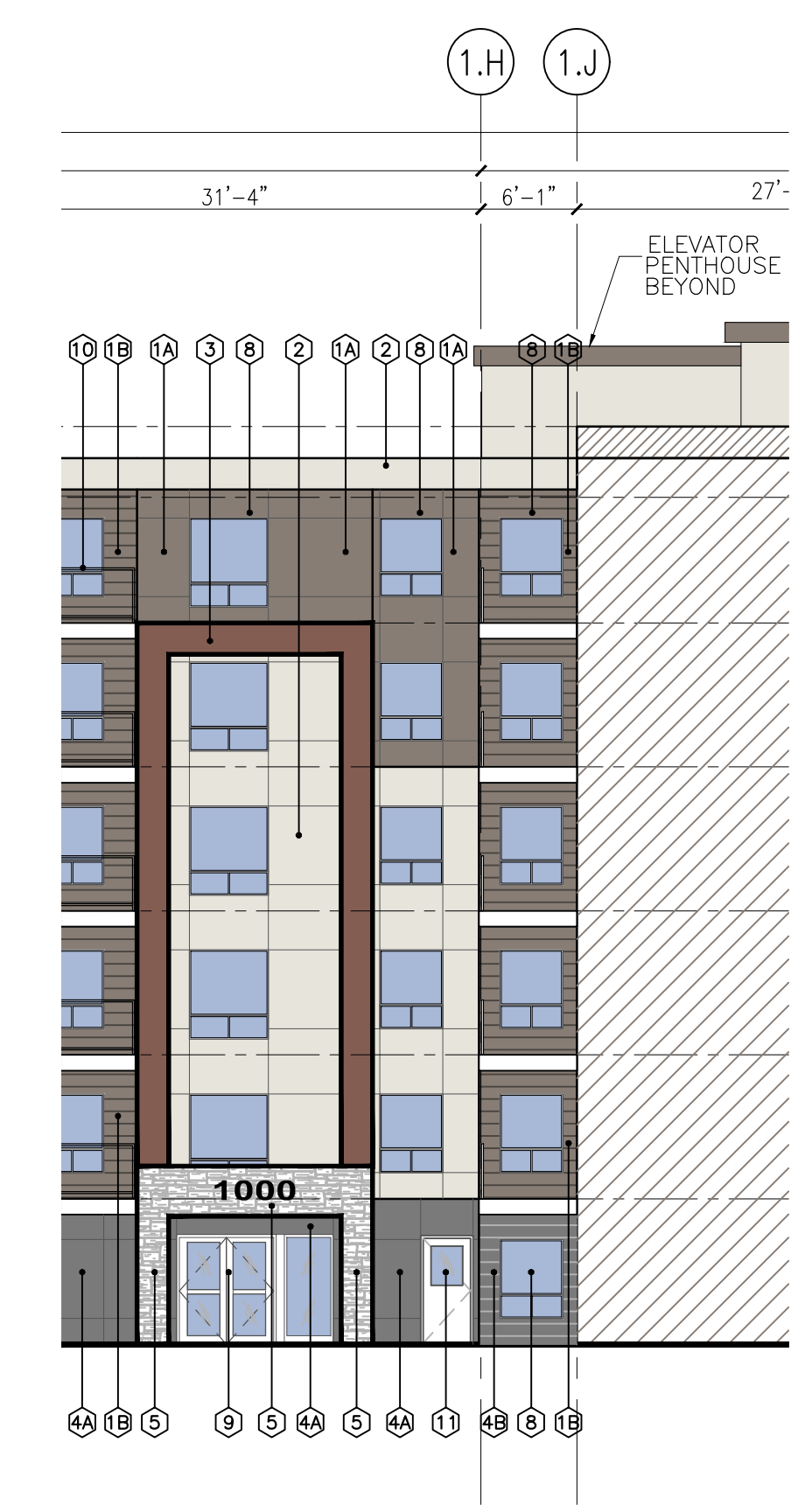
**DRAWING**  
**BUILDING 1000 ELEVATIONS**

DESIGNED TN/SKM	CHECKED TN
DRAWN SKM	JOB No. 2416
DWG No.	

**A3.1.0**



1 SOUTH ELEVATION  
 A3.1.0 3/32" = 1'-0"



1A SOUTH ELEV. (hidden portion)  
 A3.1.0 3/32" = 1'-0"

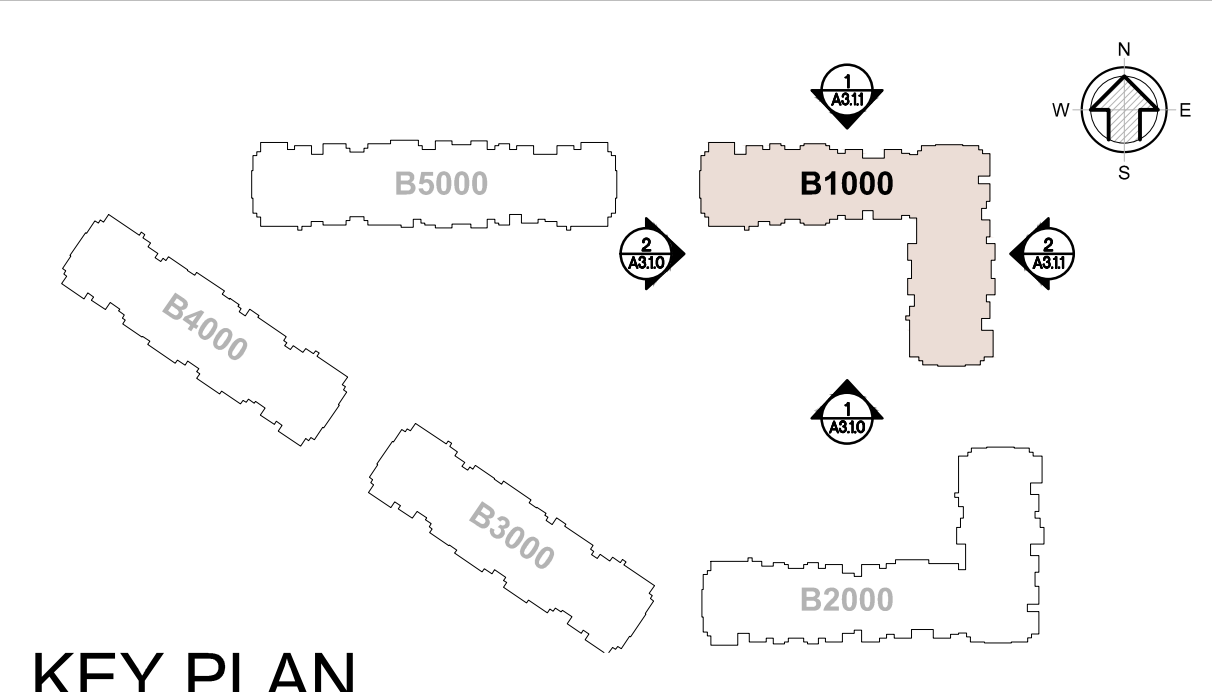


2 WEST ELEVATION  
 A3.1.0 3/32" = 1'-0"



2A WEST ELEV. (hidden portion)  
 A3.1.0 3/32" = 1'-0"

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KEY PLAN

**MATERIAL LEGEND**

1A	HARDIE BOARD PANEL/LAP SIDING (TIMBER BARK)
1B	HARDIE LAP SIDING (TIMBER BARK)
2	HARDIE BOARD PANEL (COBBLESTONE)
3	FIBER CEMENT PANEL (SEPIA)
4A	HARDIE BOARD PANEL (RICH ESPRESSO)
4B	HARDIE LAP SIDING (RICH ESPRESSO)
5	STONE CLADDING
6	RESERVE
7	GLASS SLIDING DOOR
8	BLACK VINYL WINDOW
9	ALUMINUM STORE FRONT GLAZING
10	ALUMINUM GLASS RAILING (BLACK)
11	EXTERIOR GLASS DOOR (BLACK)
12	DRAINAGE SLOT
13	RESERVE
14	RESERVE
15	RESERVE
16	FIBER CEMENT LAP SIDING (SEPIA)
17	VTAC LOUVER (COLOUR TO MATCH WALL)
18	HARDIE BOARD PANEL (ARCTIC WHITE)

**NOTES:**  
 1) SOFFIT & DECK FASCIA (T.B.D.)  
 2) ROOF MEMBRANE (T.B.D.)

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**ALBERTA ARCHITECTURE**  
 REG. 155  
 DEC 17, 2025

SCALE AS NOTED

CLIENT

**CITY VIBE DEVELOPMENTS INC.**

**PROJECT**  
**ARCADIA POINTE**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

DRAWING

**BUILDING 1000 ELEVATIONS**

DESIGNED TN/SKM CHECKED TN

DRAWN SKM JOB No. 2416

DWG No.

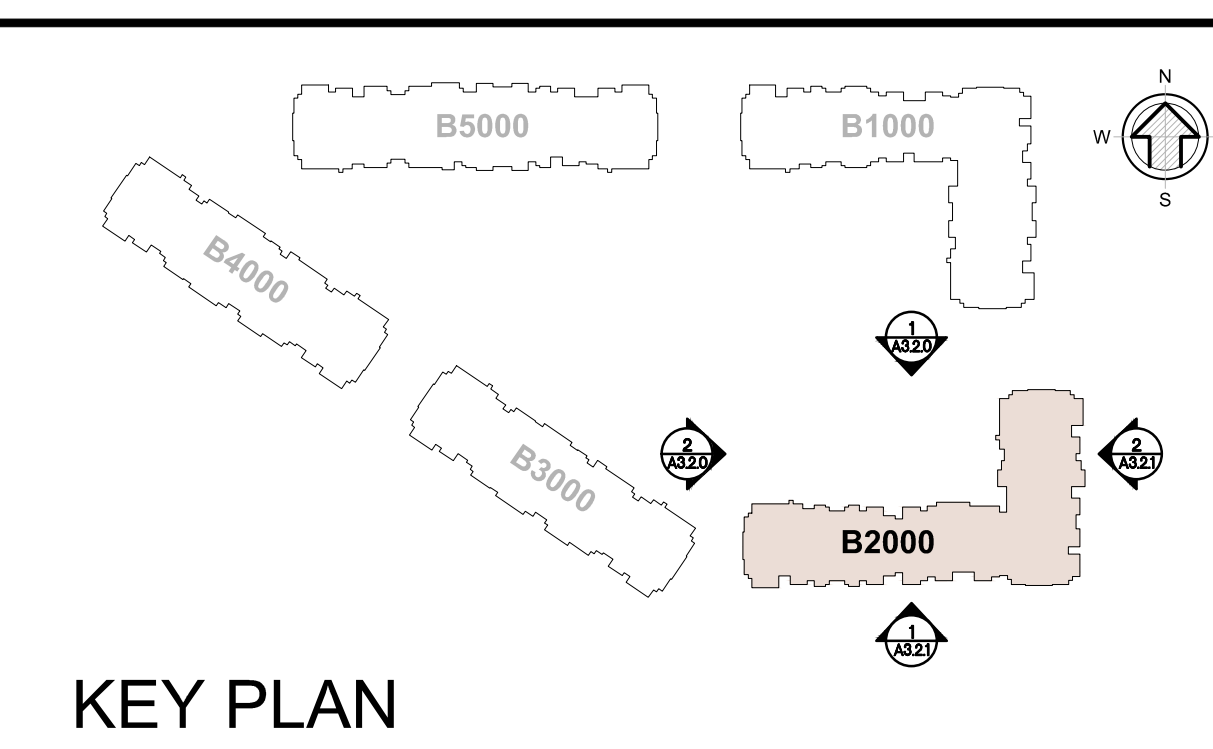
**A3.1.1**



**1 NORTH ELEVATION**  
 A3.1.1 3/32" = 1'-0"



**2 EAST ELEVATION**  
 A3.1.1 3/32" = 1'-0"



KEY PLAN

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**MATERIAL LEGEND**

1A	HARDIE BOARD PANEL (TIMBER BARK)	[Symbol]
1B	HARDIE LAP SIDING (TIMBER BARK)	[Symbol]
2	HARDIE BOARD PANEL (ARCTIC WHITE)	[Symbol]
3	FIBER CEMENT PANEL (SEPIA)	[Symbol]
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	[Symbol]
4B	HARDIE LAP SIDING (RICH ESPRESSO)	[Symbol]
5	STONE CLADDING	[Symbol]
6	RESERVE	[Symbol]
7	GLASS SLIDING DOOR	[Symbol]
8	BLACK VINYL WINDOW	[Symbol]
9	ALUMINUM STORE FRONT GLAZING	[Symbol]
10	ALUMINUM GLASS RAILING (BLACK)	[Symbol]
11	EXTERIOR GLASS DOOR (BLACK)	[Symbol]
12	DRAINAGE SLOT	[Symbol]
13	RESERVE	[Symbol]
14	RESERVE	[Symbol]
15	RESERVE	[Symbol]
16	FIBER CEMENT LAP SIDING (SEPIA)	[Symbol]
17	VTAC LOUVER (COLOUR TO MATCH WALL)	[Symbol]

**NOTES:**  
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**ALBERTA ARCHITECTURE**  
 REG. 1111  
 DEC 17, 2025

SCALE AS NOTED

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**CITY VIBE DEVELOPMENTS INC.**

**PROJECT**  
**ARCADIA POINTE**  
 2787 86 Avenue SE  
 Calgary, Alberta  
 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

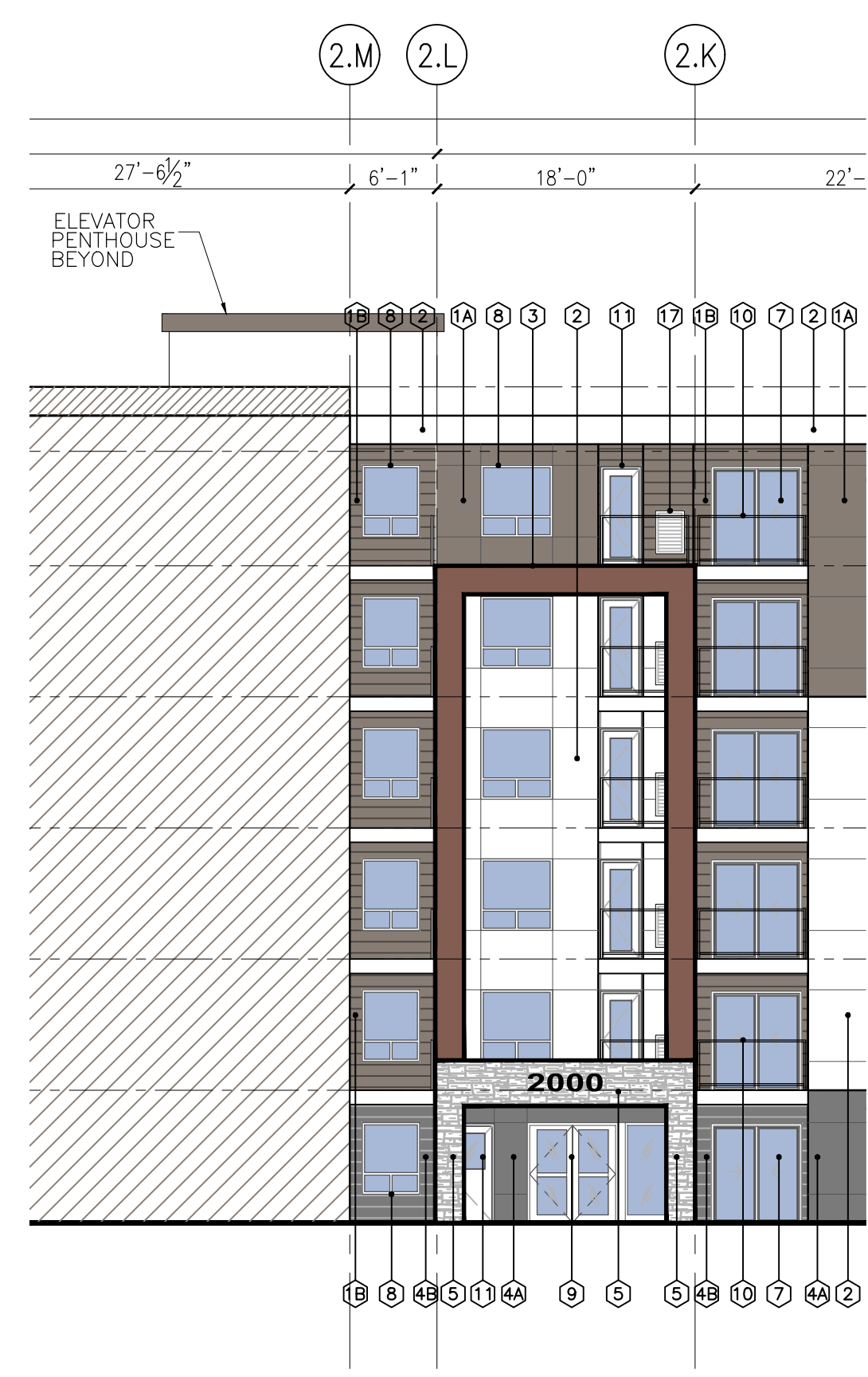
**DRAWING**  
**BUILDING 2000 ELEVATIONS**

DESIGNED TN/SKM CHECKED TN  
 DRAWN SKM JOB No. 2416

DWG No. **A3.2.0**



1 NORTH ELEVATION  
 A3.2.0 3/32" = 1'-0"



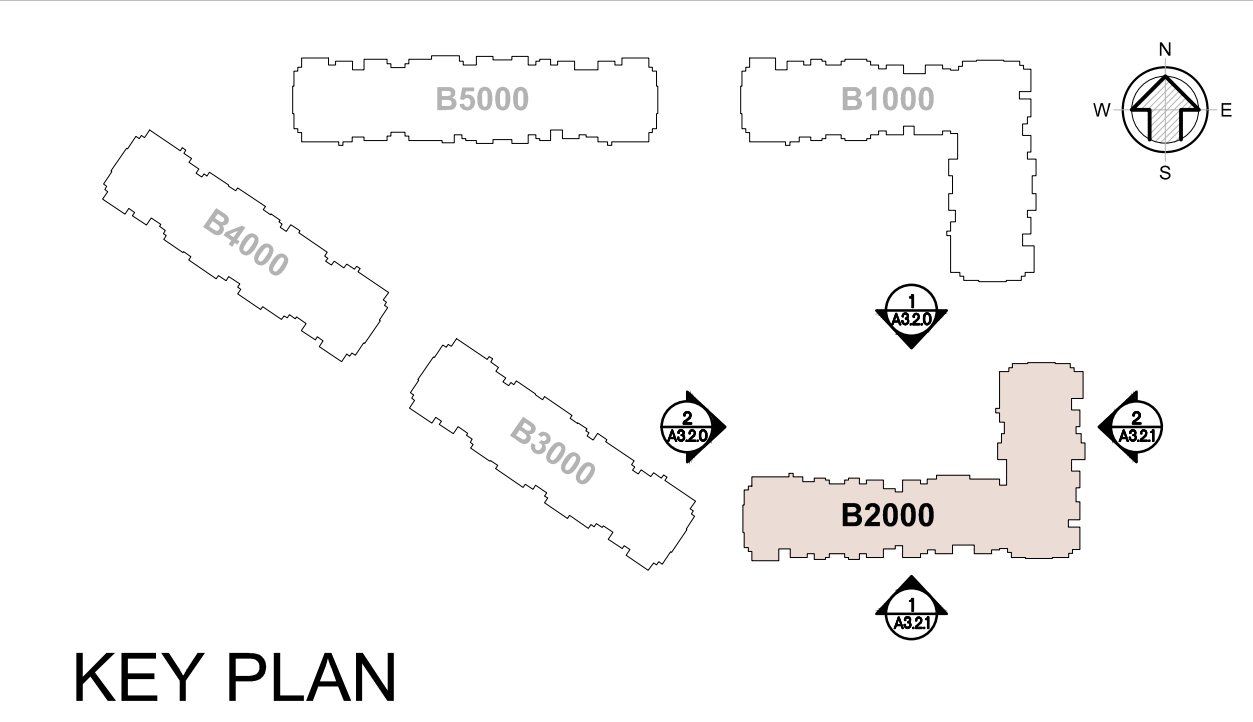
1A NORTH ELEV. (hidden portion)  
 A3.2.0 3/32" = 1'-0"



2 WEST ELEVATION  
 A3.2.0 3/32" = 1'-0"



2A WEST ELEV. (hidden portion)  
 A3.2.0 3/32" = 1'-0"



KEY PLAN

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**MATERIAL LEGEND**

1A	HARDIE BOARD PANEL (TIMBER BARK)	[Symbol]
1B	HARDIE LAP SIDING (TIMBER BARK)	[Symbol]
2	HARDIE BOARD PANEL (ARCTIC WHITE)	[Symbol]
3	FIBER CEMENT PANEL (SEPIA)	[Symbol]
4A	HARDIE BOARD PANEL (RICH ESPRESSO)	[Symbol]
4B	HARDIE LAP SIDING (RICH ESPRESSO)	[Symbol]
5	STONE CLADDING	[Symbol]
6	RESERVE	[Symbol]
7	GLASS SLIDING DOOR	[Symbol]
8	BLACK VINYL WINDOW	[Symbol]
9	ALUMINUM STORE FRONT GLAZING	[Symbol]
10	ALUMINUM GLASS RAILING (BLACK)	[Symbol]
11	EXTERIOR GLASS DOOR (BLACK)	[Symbol]
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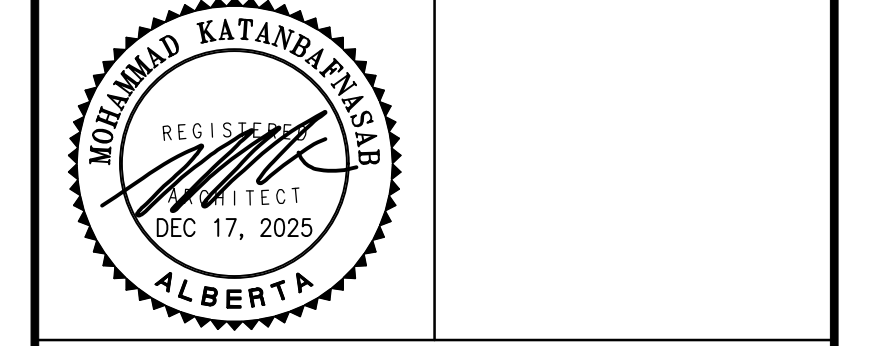
**NOTES:**  
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**PROJECT**  
**ARCADIA POINTE**  
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 Lot 1, Block 1, Plan 011 2703

TRADE START DATE JUNE 2024

**BUILDING 2000 ELEVATIONS**

DESIGNED TN/SKM CHECKED TN  
 DRAWN SKM JOB No. 2416

DWG No. **A3.2.1**

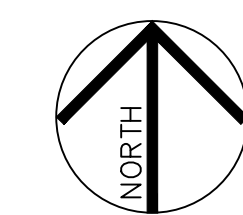


1 SOUTH ELEVATION  
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2 EAST ELEVATION  
 A3.2.1 3/32" = 1'-0"

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[ SMM ]  
SCATLIFF + MILLER + MURRAY

AMENDED DRAWINGS  
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02	26/09/25	ISSUED FOR DR1
01	23/04/25	ISSUED FOR DP
NO	DD/MM/YY	REVISION

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SCALE AS NOTED

**CARLISLE GROUP**  
eye on quality ... focus on value

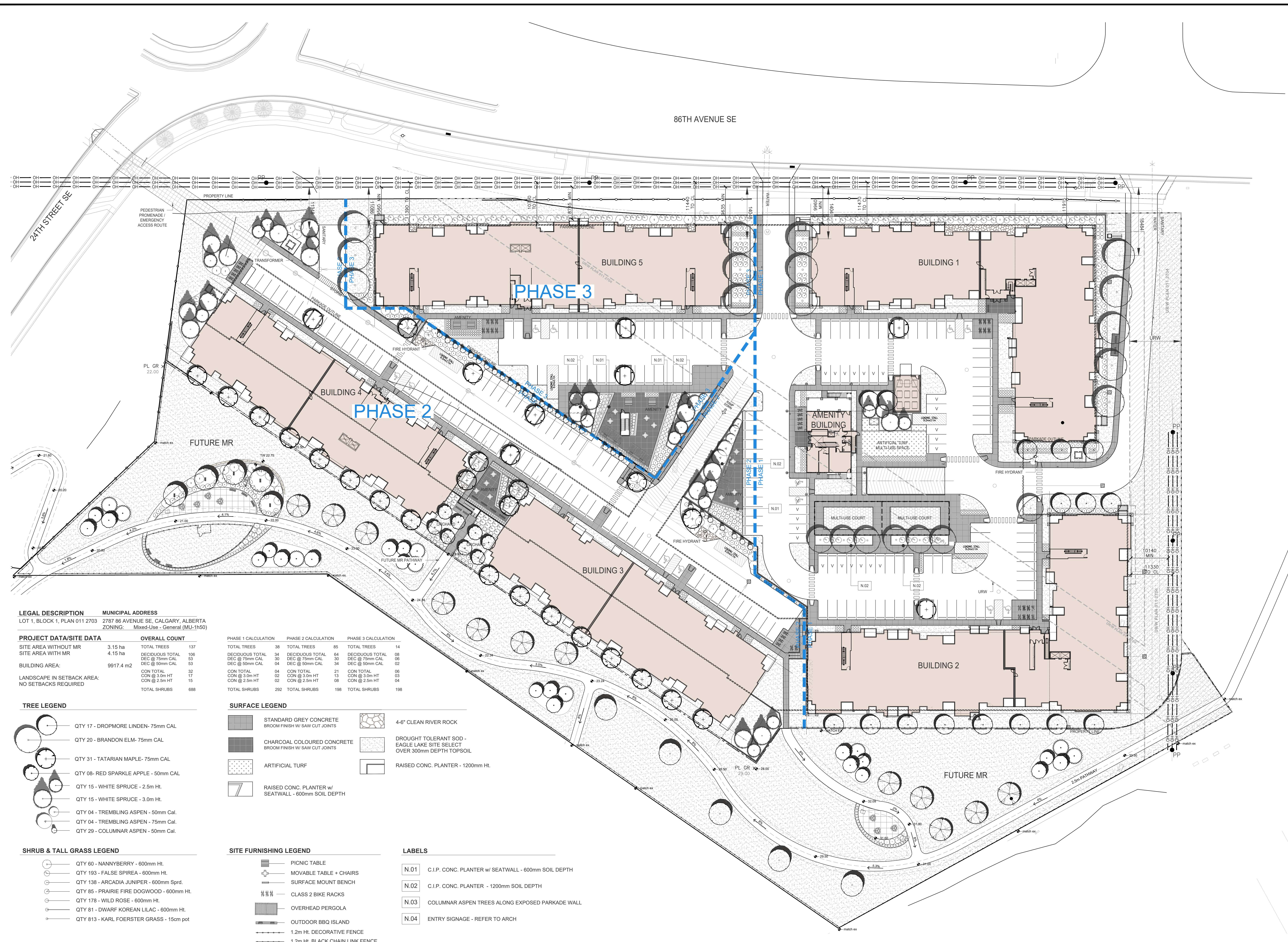
PROJECT  
**ARCADIA POINTE**  
2787 86 Avenue SE  
Calgary, Alberta  
Lot 1, Block 1, Plan 011 2703

TRADE AS NOTED START DATE JUNE 2024

DRAWING  
**LANDSCAPE PLAN**

DESIGNED AP	CHECKED DM
DRAWN AP	JOB No.
	DWG No.

L100



**LEGAL DESCRIPTION MUNICIPAL ADDRESS**  
LOT 1, BLOCK 1, PLAN 011 2703 2787 86 AVENUE SE, CALGARY, ALBERTA  
ZONING: Mixed-Use - General (MU-1H50)

PROJECT DATA/SITE DATA	OVERALL COUNT
SITE AREA WITHOUT MR	3.15 ha
SITE AREA WITH MR	4.15 ha
BUILDING AREA:	9917.4 m <sup>2</sup>
LANDSCAPE IN SETBACK AREA: NO SETBACKS REQUIRED	

**TREE LEGEND**

	QTY 17 - DROPMORE LINDEN - 75mm CAL
	QTY 20 - BRANDON ELM - 75mm CAL
	QTY 31 - TATARIAN MAPLE - 75mm CAL
	QTY 08 - RED SPARKLE APPLE - 50mm CAL
	QTY 15 - WHITE SPRUCE - 2.5m HT.
	QTY 15 - WHITE SPRUCE - 3.0m HT.
	QTY 04 - TREMBLING ASPEN - 50mm Cal.
	QTY 04 - TREMBLING ASPEN - 75mm Cal.
	QTY 29 - COLUMNAR ASPEN - 50mm Cal.

**SHRUB & TALL GRASS LEGEND**

	QTY 60 - NANNYBERRY - 600mm HT.
	QTY 193 - FALSE SPIREA - 600mm HT.
	QTY 138 - ARCADIA JUNIPER - 600mm Sprd.
	QTY 85 - PRAIRIE FIRE DOGWOOD - 600mm HT.
	QTY 178 - WILD ROSE - 600mm HT.
	QTY 81 - DWARF KOREAN LILAC - 600mm HT.
	QTY 813 - KARL FOERSTER GRASS - 15cm pot

**GENERAL NOTES**

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
- ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
- ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
- ALL SOFT LANDSCAPE AREAS TO BE EQUIPPED WITH A HIGH EFFICIENCY IRRIGATION SYSTEM. SOD AREAS TO BE IRRIGATED WITH A ROTORS. TREES AND SHRUBS TO BE IRRIGATED BY DRILLINE

PHASE 1 CALCULATION	PHASE 2 CALCULATION	PHASE 3 CALCULATION
TOTAL TREES 38	TOTAL TREES 85	TOTAL TREES 14
DECIDUOUS TOTAL 34	DECIDUOUS TOTAL 64	DECIDUOUS TOTAL 08
DEC @ 75mm CAL 30	DEC @ 75mm CAL 30	DEC @ 75mm CAL 06
DEC @ 50mm CAL 04	DEC @ 50mm CAL 34	DEC @ 50mm CAL 02
CON TOTAL 04	CON TOTAL 21	CON TOTAL 06
CON @ 3.0m HT 02	CON @ 3.0m HT 13	CON @ 3.0m HT 03
CON @ 2.5m HT 02	CON @ 2.5m HT 08	CON @ 2.5m HT 04
TOTAL SHRUBS 292	TOTAL SHRUBS 198	TOTAL SHRUBS 198

**SURFACE LEGEND**

	STANDARD GREY CONCRETE BROOM FINISH W/ SAW CUT JOINTS		4-6" CLEAN RIVER ROCK
	CHARCOAL COLOURED CONCRETE BROOM FINISH W/ SAW CUT JOINTS		DROUGHT TOLERANT SOD - EAGLE LAKE SITE SELECT OVER 300mm DEPTH TOPSOIL
	ARTIFICIAL TURF		RAISED CONC. PLANTER - 1200mm HT.
	RAISED CONC. PLANTER W/ SEATWALL - 600mm SOIL DEPTH		

**SITE FURNISHING LEGEND**

	PICNIC TABLE		C.I.P. CONC. PLANTER W/ SEATWALL - 600mm SOIL DEPTH
	MOVABLE TABLE + CHAIRS		C.I.P. CONC. PLANTER - 1200mm SOIL DEPTH
	SURFACE MOUNT BENCH		COLUMNAR ASPEN TREES ALONG EXPOSED PARKADE WALL
	CLASS 2 BIKE RACKS		ENTRY SIGNAGE - REFER TO ARCH
	OVERHEAD PERGOLA		
	OUTDOOR BBQ ISLAND		
	1.2m HL DECORATIVE FENCE		
	1.2m HL BLACK CHAIN LINK FENCE		

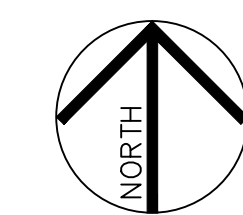
**SOIL DEPTH NOTES**

- TREES PLANTED OVER PARKADE TO HAVE MIN 1.2M SOIL DEPTH
- SHRUBS PLANTED OVER PARKADE TO HAVE A MIN 600mm SOIL DEPTH
- ORNAMENTAL GRASSES & SOD OVER PARKADE TO HAVE MIN 300mm SOIL DEPTH

**REFERENCE NOTES**

- REFER TO CIVIL FOR GRADING, RETAINING WALLS AND SITE SERVICING
- REFER TO ELECTRICAL FOR SITE LIGHTING
- REFER TO ARCH FOR ASPHALT PARKING, LOADING, WASTE & RECYCLING

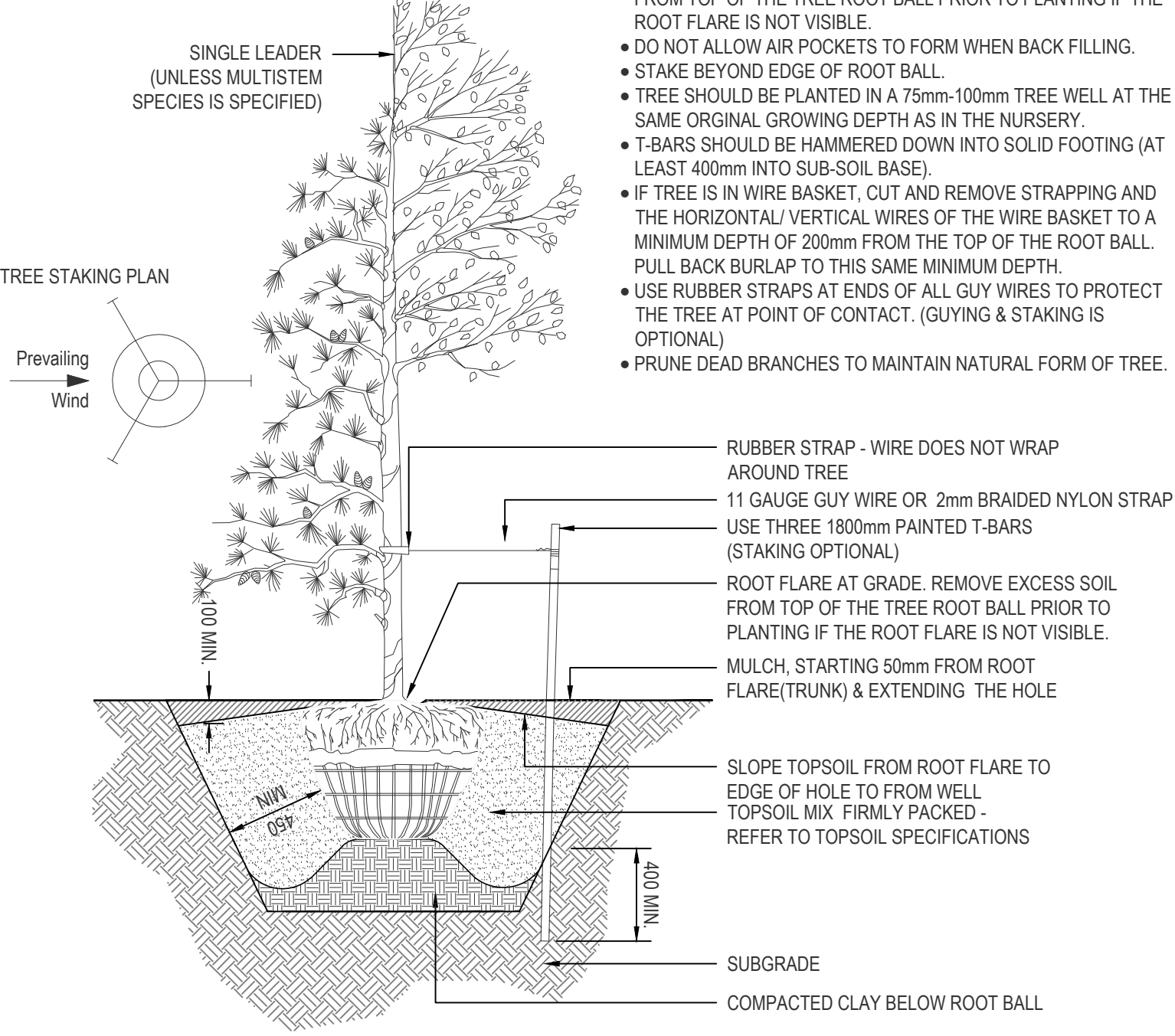
1 LANDSCAPE PLAN  
SCALE 1:400



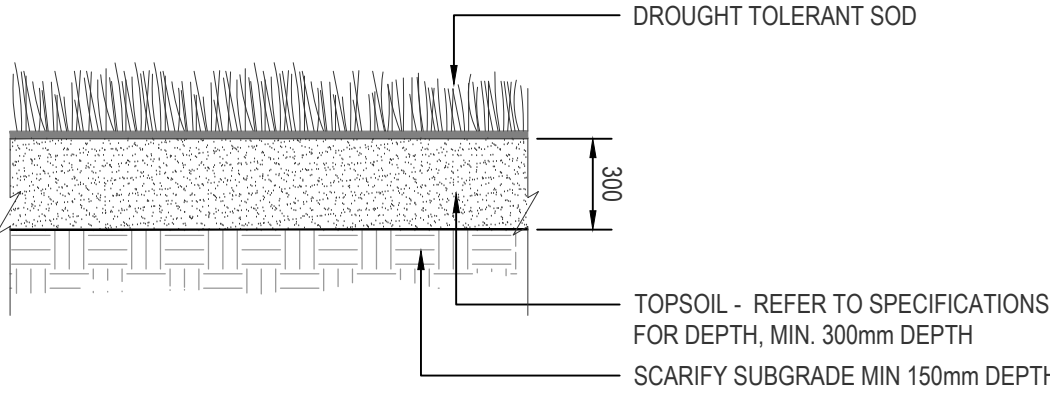
[ SMM ]  
SCATLIFF + MILLER + MURRAY

**CONIFEROUS DECIDUOUS NOTES:**

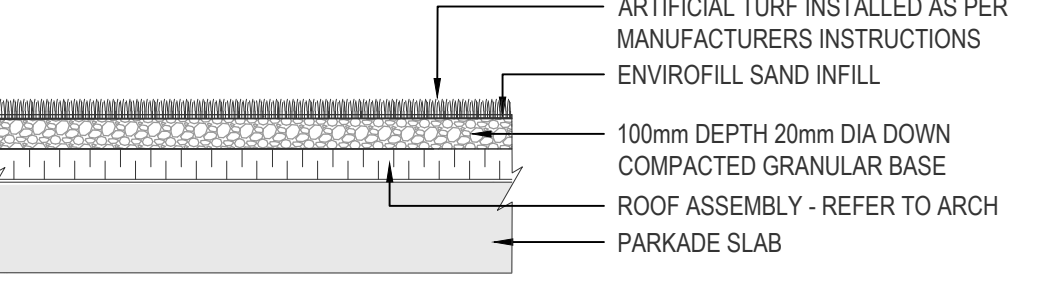
- TREES TO BE PLANTED AT GRADE WITH TRUNK FLARE VISIBLE - NO MORE THAN 25mm ABOVE GRADE. REMOVE EXCESS SOIL FROM TOP OF THE TREE ROOT BALL PRIOR TO PLANTING IF THE ROOT FLARE IS NOT VISIBLE.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- STAKE BEYOND EDGE OF ROOT BALL.
- TREE SHOULD BE PLANTED IN A 75mm-100mm TREE WELL AT THE SAME ORIGINAL GROWING DEPTH AS IN THE NURSERY.
- T-BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE).
- IF TREE IS IN WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE WIRE BASKET TO A MINIMUM DEPTH OF 200mm FROM THE TOP OF THE ROOT BALL. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
- USE RUBBER STRAPS AT ENDS OF ALL GUY WIRES TO PROTECT THE TREE AT POINT OF CONTACT. (GUYING & STAKING IS OPTIONAL).
- PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF TREE.



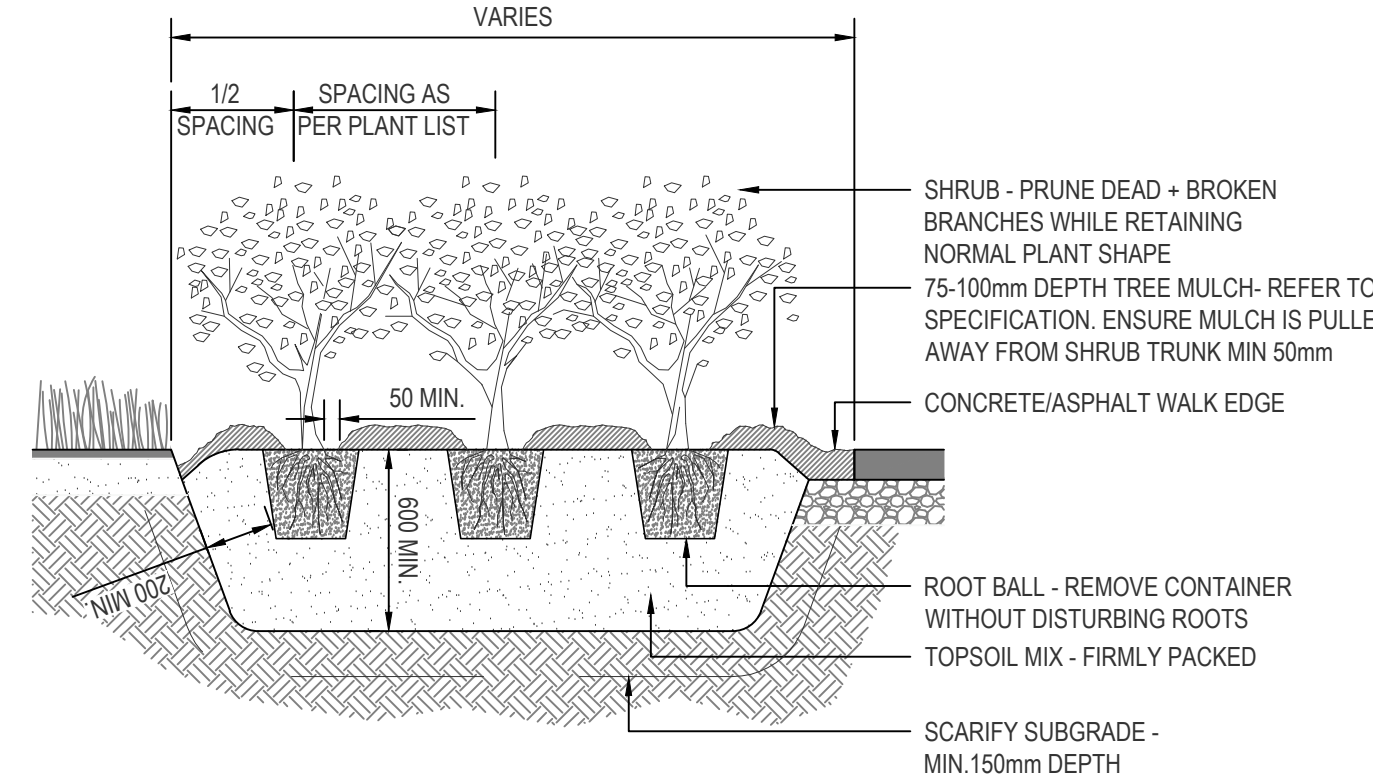
1 TYPICAL TREE PLANTING DETAIL  
L200 SCALE 1:25



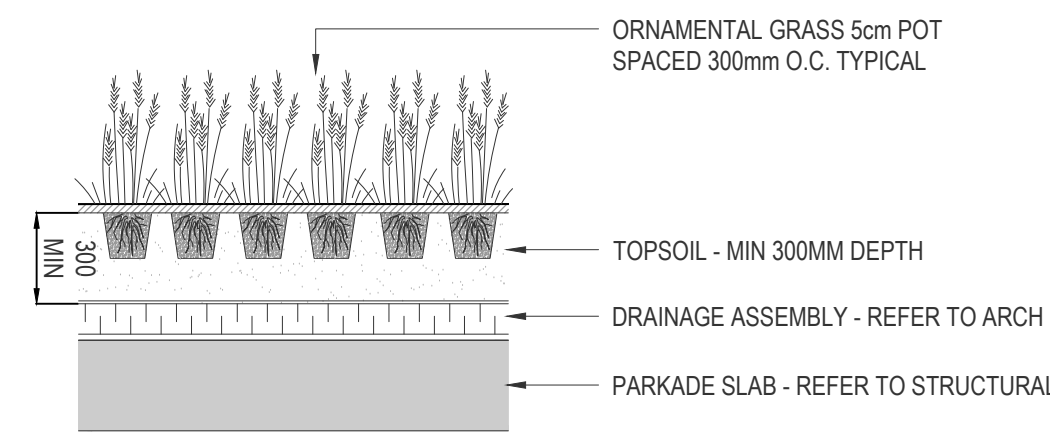
2 TYPICAL SOD PLANTING DETAIL  
L200 SCALE 1:25



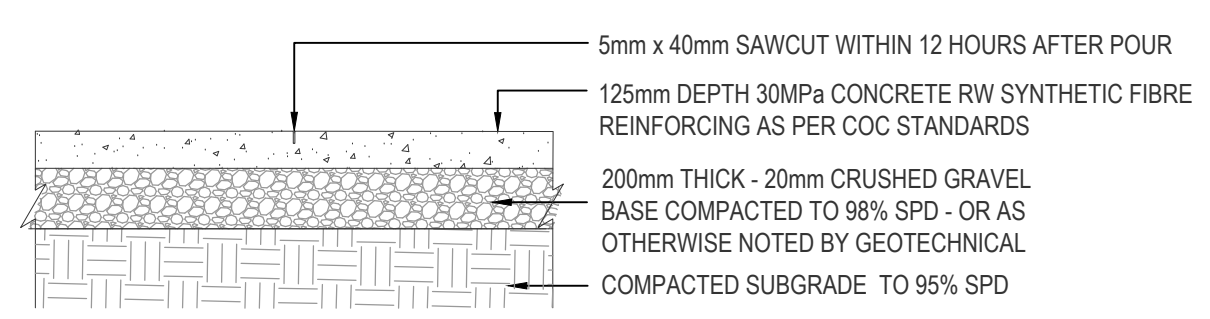
4 TYPICAL ARTIFICIAL TURF DETAIL  
L200 SCALE 1:25



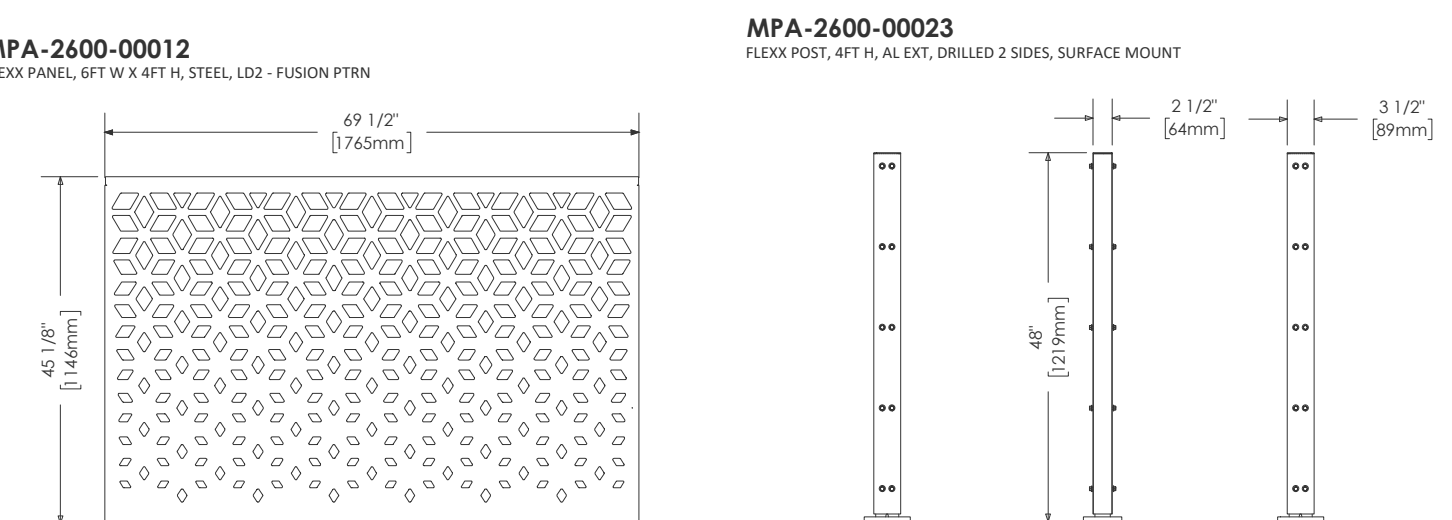
3 TYPICAL SHRUB PLANTING DETAIL  
L200 SCALE 1:25



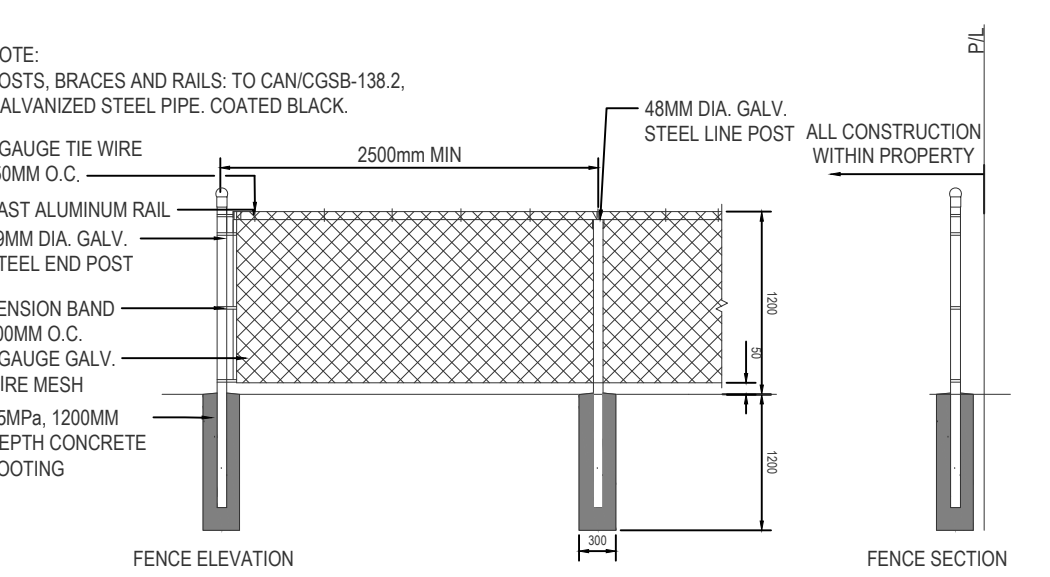
5 TYPICAL ORNAMENTAL GRASS OVER PARKADE DETAIL  
L200 SCALE 1:25



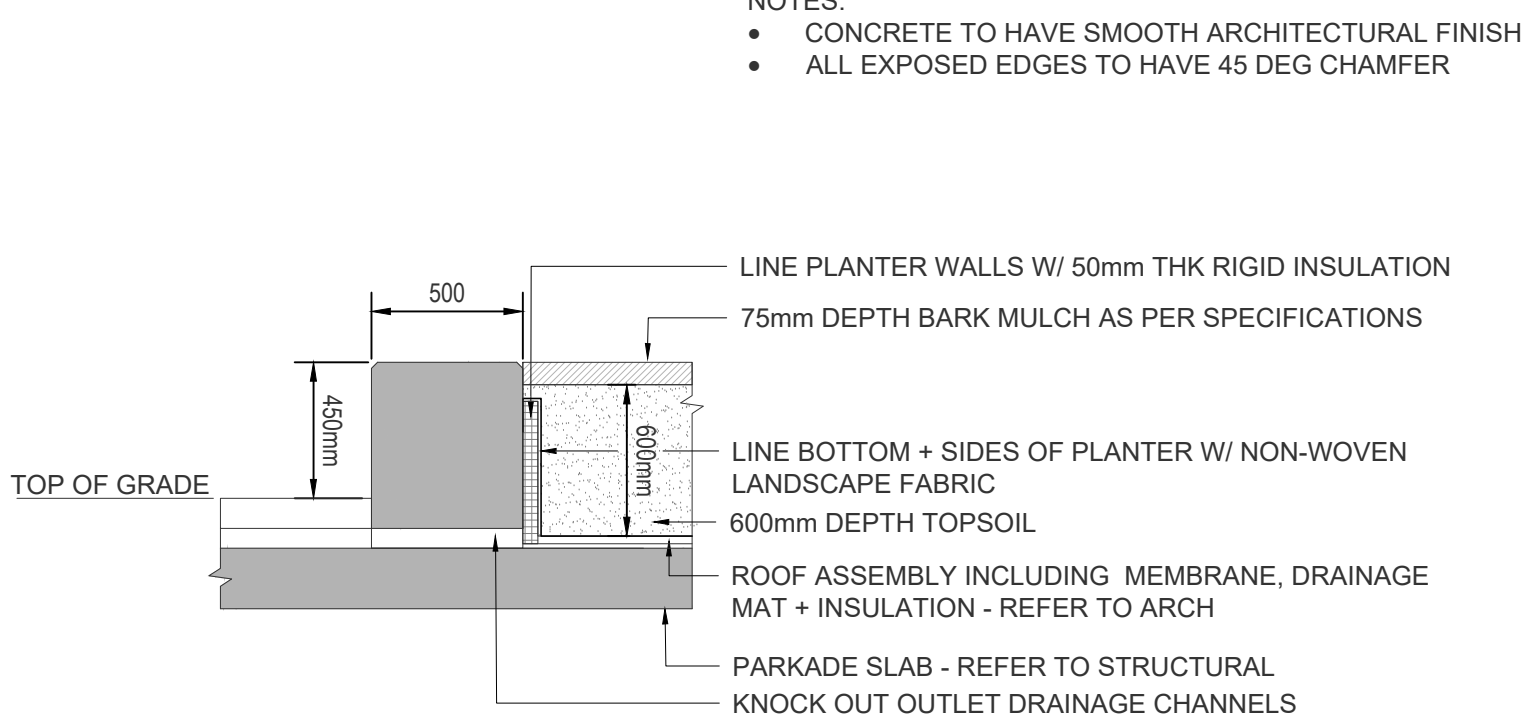
6 TYPICAL CONCRETE SIDEWALK SLAB DETAIL  
L200 SCALE 1:25



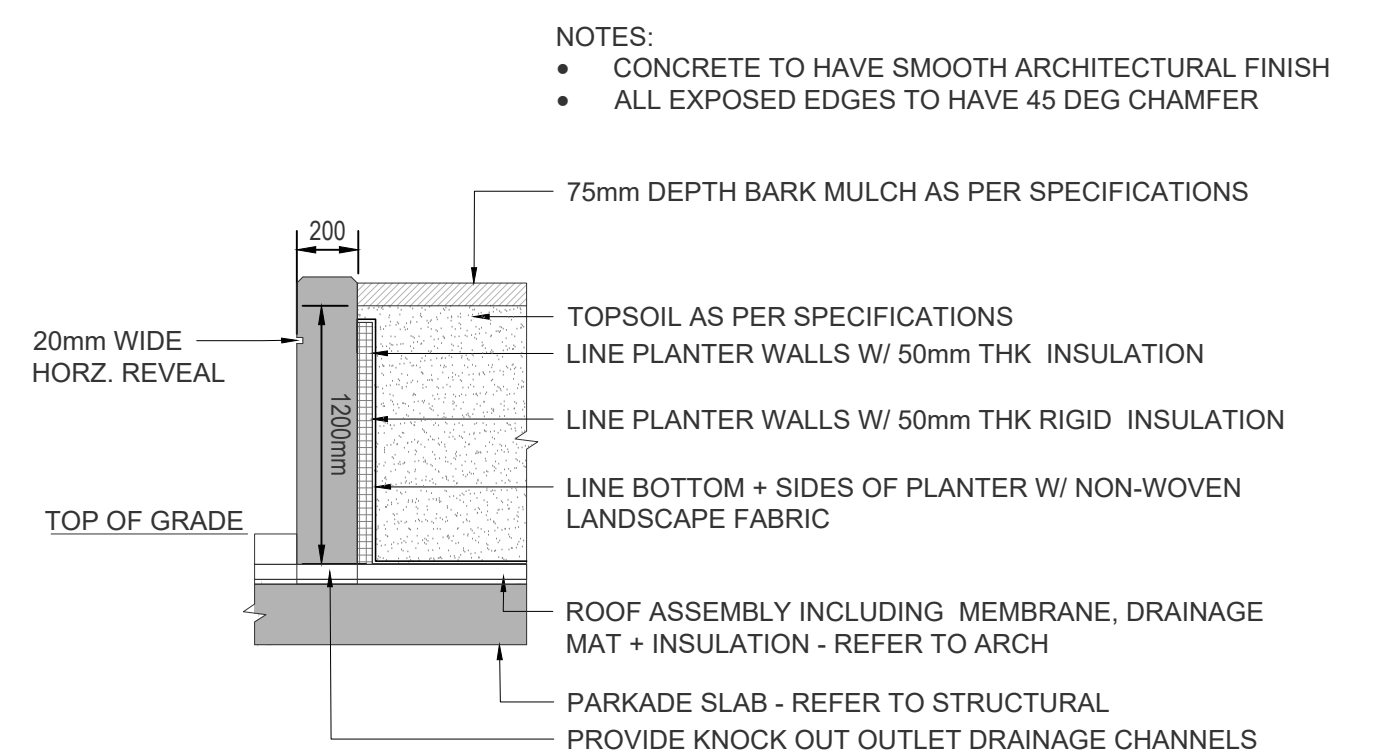
7 TYPICAL DECORATIVE FENCE DETAIL  
L200 SCALE 1:25



8 TYPICAL 1.2m HT. CHAIN LINK FENCE DETAIL  
L200 SCALE 1:50



8 TYPICAL RAISES CONC. PLANTER w/ SEATWALL - SHRUBS  
L200 SCALE 1:25



9 TYPICAL RAISED CONCRETE PLANTER - TREES  
L200 SCALE 1:25

AMENDED DRAWINGS  
DP No. Date Received  
DP2025-02706 01 12 2026  
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D2	26/09/25	ISSUED FOR DR1
D1	23/04/25	ISSUED FOR DP
NO	DD/MM/YY	REVISION

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SCALE AS NOTED

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eye on quality ... focus on value

PROJECT  
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TRADE START DATE JUNE 2024

DRAWING  
**LANDSCAPE DETAILS**

DESIGNED AP CHECKED DM  
DRAWN AP JOB No.

DWG No. **L200**