

BJL CALGARY 2023 LTD: CROWN SURPLUS

1003-1013 STREET S.E. CALGARY, AB

LOTS 8-15, BLOCK 13, PLAN SA2



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

April 30, 2025

2	2025/04/30	ISSUED FOR DEVELOPMENT PERMIT
1	2025/01/22	ISSUED FOR CLIENT REVIEW

NO	YYY/MM/DD	REVISION
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LIST OF DRAWINGS

ARCHITECTURAL

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CIVIL

- SP1 SITE SERVICING PLAN
- SP2 SITE GRADING PLAN

SURVEY

- SITE SURVEY

CONSULTANTS

ARCHITECTURAL

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CIVIL

JEC

Jubilee
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Municipal Engineering • Industrial, Commercial, & Residential Land Development • Planning • Engineering Surveys

3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4
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LANDSCAPE

NAVAGRAH

1001, 881 18 AVENUE SW CALGARY AB T2D 0C7 | NAVAGRAH.CA
1.48107810781 | INFO@NAVAGRAH.CA

ELECTRICAL

KCL

15 Huron Street Devon, AB T9G 1G4
Ph:780-987-3599 Email: kcl@shaw.ca
KIEZIK CONSULTING LTD.
ELECTRICAL ENGINEERING CONSULTING CONTRACTING

SCALE AS NOTED

CLIENT

BJL CALGARY 2023 LTD.

PROJECT

1003-1013
11 STREET S.E.
CALGARY, AB

LOTS 8-15, BLOCK 13, PLAN SA2

TRADE START DATE 2024

DRAWING

COVER PAGE, CONSULTANTS,
CODE ANALYSIS &
CONSTRUCTION TYPES

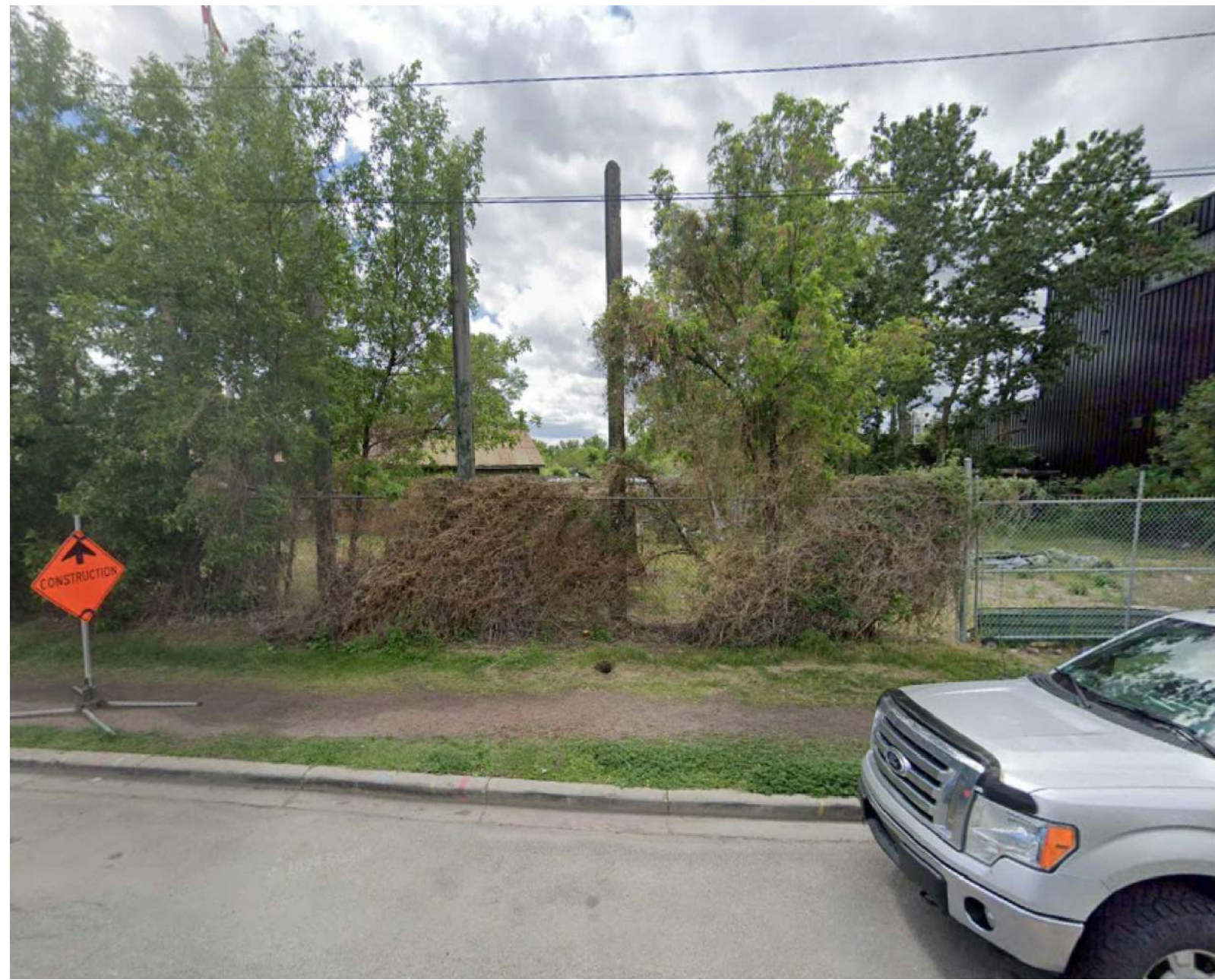
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DRAWN AA JOB No. 2422

DWG No. A0.0



VIEW 1



VIEW 2



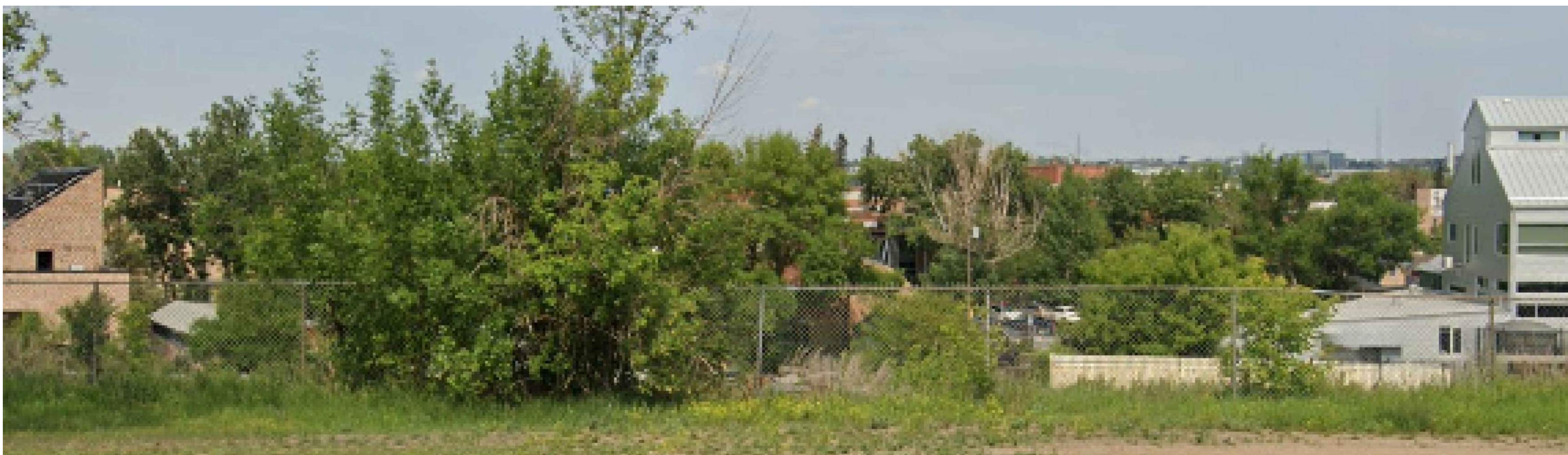
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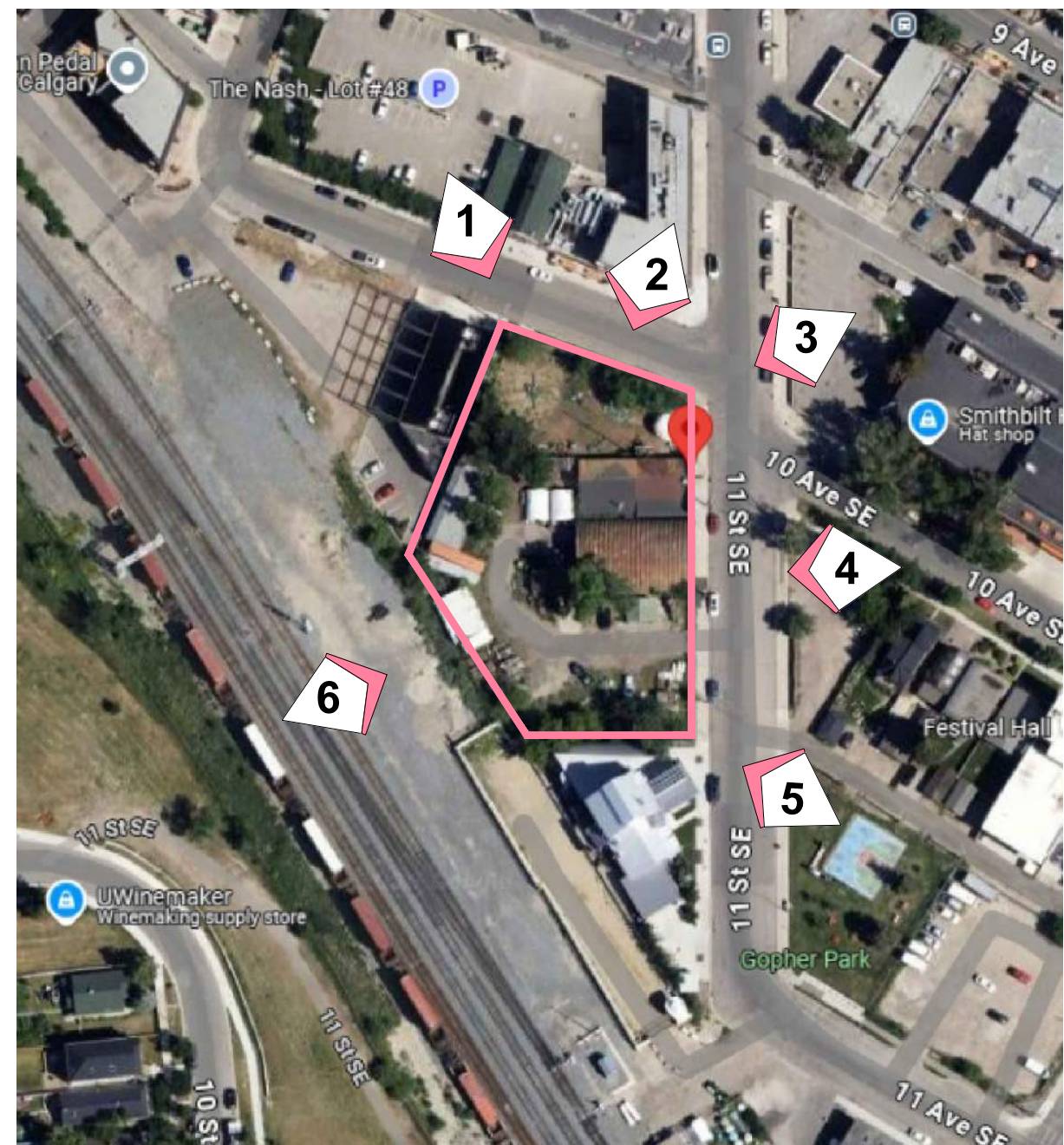
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VIEW 5

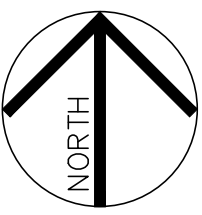


VIEW 6



1
A0.1 KEY MAP
N.T.S.

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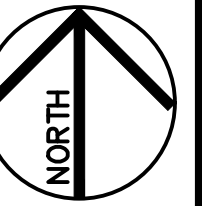
DRAWING

SITE PHOTOS

DESIGNED	AA	CHECKED	MK
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		DWG No.	

A0.1

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- REGIONAL PEDESTRIAN ROUTE
- PRIMARY LOCAL PEDESTRIAN ROUTE
- SECONDARY LOCAL PEDESTRIAN ROUTE
- TENTATIVE MUTUAL ACCESS BOUNDARY
- UNDERGROUND & SURFACE PARKING ACCESS

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DRAWING

CONTEXT PLAN

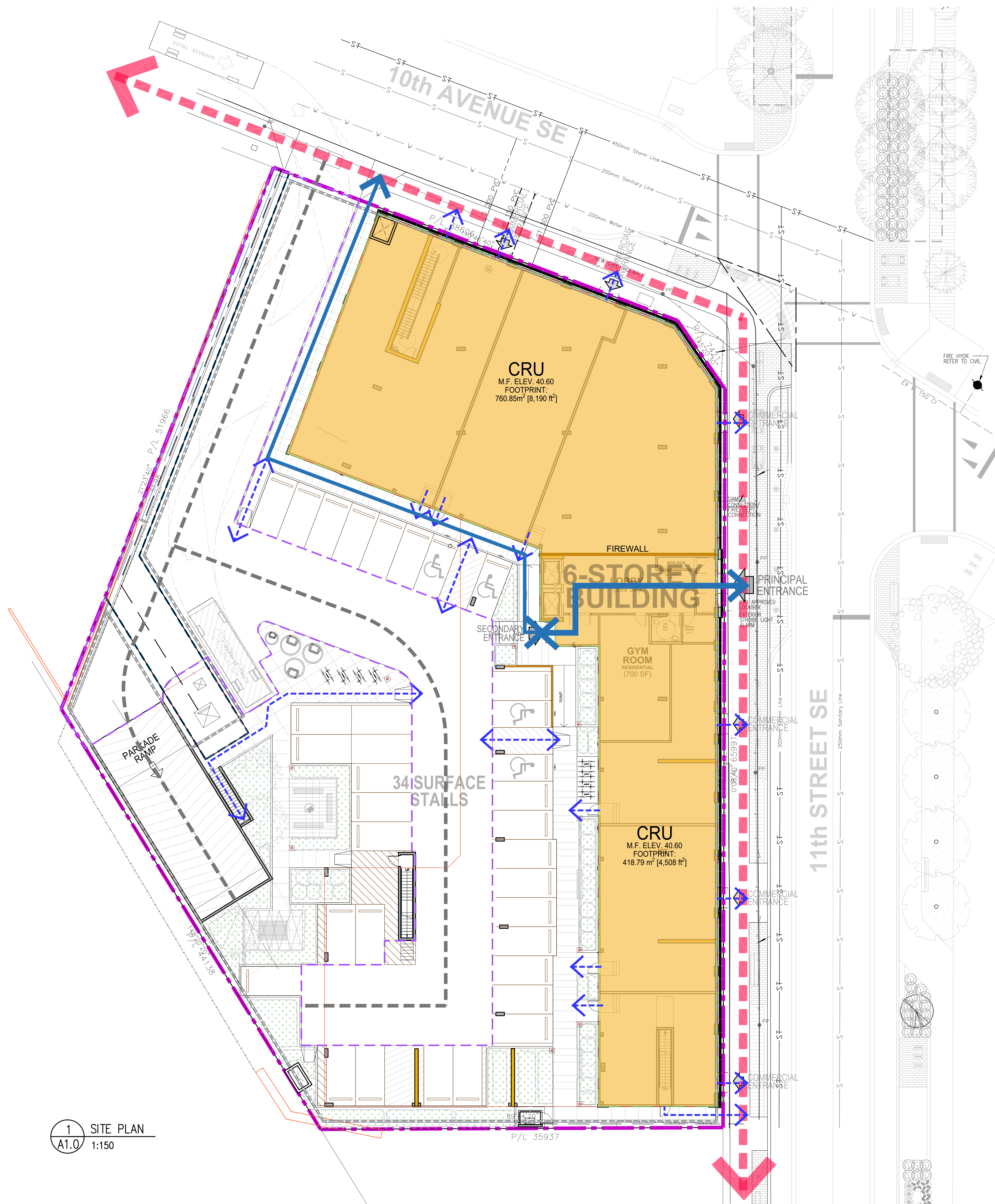
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DRAWN AA JOB No. 2422

DWG No.

A1.0

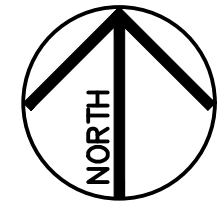
1 SITE PLAN
A1.0 1:150



GENERAL NOTES

1. THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: RICHVIEW ENGINEERING DATED 2021. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
2. UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
3. MIN. 12m RADIUS AND 6m WIDTH FOR FIRE TRUCK & GARBAGE TRUCK ACCESS.
4. TEST MANHOLE LOCATION TO BE DETERMINED
5. ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
6. REFER TO SURVEY DRAWING FOR EXISTING GRADE
7. REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY
8. THE FIRE ACCESS ROUTE (INCLUDING OVER PROPOSED UNDERGROUND PARKADE STRUCTURE) IS CAPABLE OF SUPPORTING A MINIMUM OF 38,556 KG (85,000 LB) FIRE TRUCK LOAD AND THE UNDERGROUND PARKADE STRUCTURE WILL BE DESIGNED TO SUPPORT THE NFPA 1901 POINTLOAD OF 517 KPA (75 PSI) OVER A 24"x24" AREA, WHICH WILL CORRESPOND TO THE OUTRIGGER PAD SIZE. THE PRIMARY ROUTE WILL HAVE A MINIMUM OF 5M O/H CLEARANCE.
9. STREETS, YARDS AND ROADWAYS PROVIDED FOR FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED SO AS TO BE READY FOR USE AT ALL TIMES BY FIRE DEPARTMENT VEHICLES.
10. ALL PROPOSED GEODETIC TO MATCH CIVIL DSSP
11. THE LOCATION OF ALL MECHANICAL EQUIPMENT AND ASSOCIATED VENTILATION AND EXHAUST GRILLES, GAS METRES, AND OTHER SERVICE INFRASTRUCTURE WILL BE SCREENED TO ENSURE THAT IT DOES NOT NEGATIVELY IMPACT THE PUBLIC REALM.

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TRADE

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DRAWING

SITE PLAN
FIRE TRUCK SWEEP PATH

DESIGNED AA

CHECKED MK

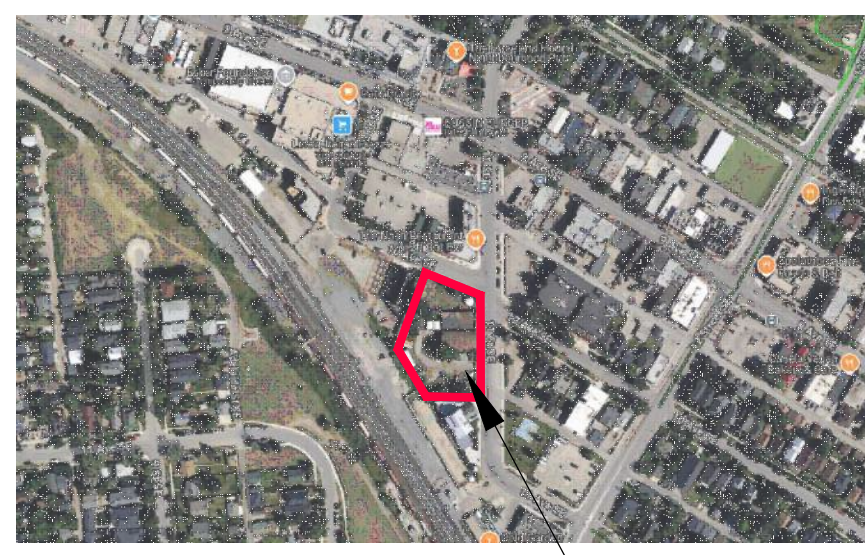
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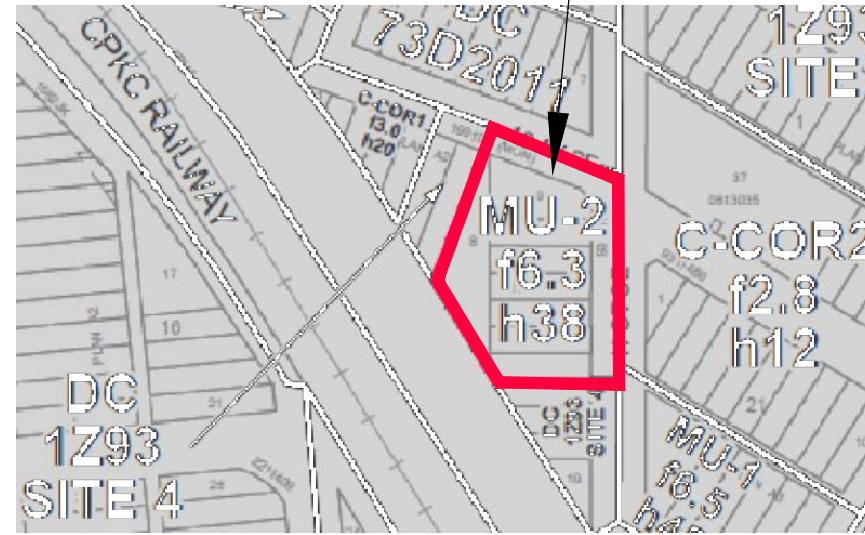
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A10.a

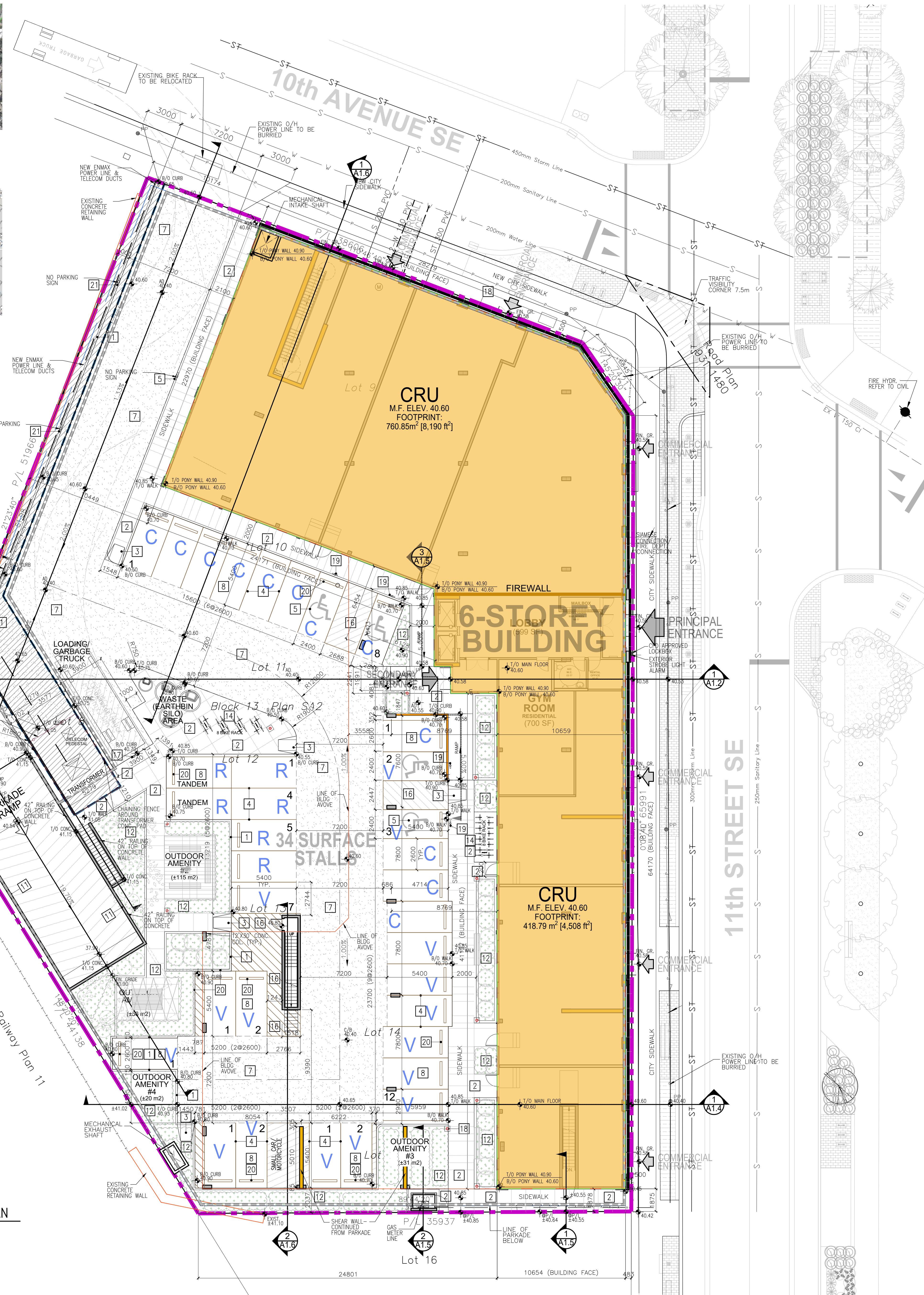
1 SITE PLAN – FIRE TRUCK SWEEP PATH
A10.a 1:150



KEY PLAN
A1.0 N.T.S.



ZONING MAP
A1.0 N.T.S.



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- REFER TO SURVEY DRAWING FOR EXISTING GRADE
- REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY
- THE FIRE ACCESS ROUTE (INCLUDING OVER PROPOSED UNDERGROUND PARKADE STRUCTURE) IS CAPABLE OF SUPPORTING A MINIMUM OF 38,556 KG (85,000 LB) FIRE TRUCK LOAD AND THE UNDERGROUND PARKADE STRUCTURE WILL BE DESIGNED TO SUPPORT THE NFPA 1901 POINTLOAD OF 517 KPA (75 PSI) OVER A 24"x24" AREA, WHICH WILL CORRESPOND TO THE OUTRIGGER PAD SIZE. THE PRIMARY ROUTE WILL HAVE A MINIMUM OF 5M O/H CLEARANCE.
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SITE INFORMATION

LEGAL LOTS 8-15 BLOCK 13 PLAN SA2
MUNICIPAL 1003-1013 11TH STREET S.E., CALGARY, AB
ZONING MU-2F6.3H38 (GFA ALLOWED: 262,740 f12)
AREA 3,874.5 m² / 0.387 ha [0.95 ac]
SETBACKS
USE RESTRICTIONS: NO DWELLING ON GROUND FLOOR FACING COMMERCIAL STREET [1383(F)]

PROJECT INFORMATION

BUILDING FOOTPRINT ±2,201 m² / (±23,690 f12)
PARCEL/BUILDING COVERAGE 35.12% (1,360.8 m² / 3,874.5 m²)
TOTAL GROUND FLOOR AREA ±1,360.8 m² / (±14,648 f12)
(WITHOUT SURFACE PARKING LOT & INCLUDE RESIDENTIAL GYM, RENTAL OFFICE, UNIVERSAL WASHROOM, CRU, LOBBY, STAIRS, ELEVATORS)
TOTAL UPPER FLOOR AREA (5-STORY RESIDENTIAL) ±11,004 m² (±23,690 f12 X 5 = ±118,450 f12)
(INCLUDE AMENITY AREA, LOBBY, STAIRS, CORRIDOR, ELEVATORS, SERVICE AREA, ELEC. ROOM)
TOTAL GFA RESIDENTIAL & CRUs: ±12,364.8 m² / (±133,098 f12)
GROUND FLOOR NET CRU AREA ±1,128 m² / (12,137 f12 CRUs)
(WITHOUT SURFACE PARKING LOT, LOBBY, STAIR, ELEVATORS, MAILROOM, RENTAL OFFICE, RESIDENTIAL GYM, UNIVERSAL WASHROOM)
RESIDENTIAL FLOORS NET AREA (2,3,4,5 FLOOR) ±7,694m² (±20,706 f12/FLOOR X 4 = ±82,824 f12)
(WITHOUT CORRIDOR, ELEVATORS, LOBBY, SERVICE ROOM, STAIRS, ELEC. ROOM)
RESIDENTIAL FLOORS NET AREA (6 FLOOR) ±1,808 m² / (±19,465 f12)
(WITHOUT AMENITY AREA, CORRIDOR, ELEVATORS, LOBBY, SERVICE ROOM, STAIRS, ELEC. ROOM)
TOTAL NET RESIDENTIAL AREA (2-6 FLOOR): ±9,502 m² / (± 102,289 f12)
TOTAL NET RESIDENTIAL & CRUs : ±10,630 m² / (±114,426 f12)
PARKADE AREA ±3,747 m² / (40,337 f12)
FAR 3.002
DENSITY 380/ha

UNIT COUNT:
GROUND CRUs 6 CRUs
UPPER FLOORS RESIDENTIAL 153 UNITS (UNIT COUNT IS BASED ON 83.5% EFFICIENCY)
TOTAL: 153 UNITS + 6 CRUs

AMENITY AREA:
REQUIRED AMENITY 153 X 5 m² / = 765 m²
PROVIDED AMENITY 767m² / (8,250 f12)
(OUTDOOR 558 m² + INDOOR 179 m²)

VEHICLE PARKING:
BYLAW REQUIRED:
RESIDENTIAL: (0.75/SUITE) 115
VISITOR: (0.1 STALLS PER UNITS) 16
COMMERCIAL: (NO REQUIREMENT) 0
* 4 H/C STALLS REQUIRED PER BUILDING CODE
TOTAL REQUIRED: 131
PROVIDED PARKING:
SURFACE PARKING ±34 (INCLUDE 10COMMERCIAL+2 H/C, 14VISITOR+2 H/C & 6 RESIDENTIAL STALLS)
1 LEVEL U/G PARKADE ±101 (WITH SHORING REQ'D) INCLUDE 1 H/C & RESIDENTIAL STALLS)
TOTAL PARKING PROVIDED: ±135 (0.75 STALL/RESIDENTIAL UNIT)

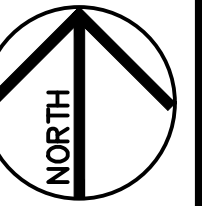
BICYCLE PARKING:
BYLAW REQUIRED:
CLASS 1 (0.5/SUITE) 77
CLASS 2 (0.1/SUITE + 5% OF CRU PARKING) 16
PROVIDED:
CLASS 1 (0.5/SUITE) 78
CLASS 2 (0.1/SUITE + 5% OF CRU PARKING) 16
TOTAL PROVIDED: 94

CPTD DESIGN CONSIDERATIONS

CPTD IS APPLIED THROUGH THREE OVERLAPPING STRATEGIES:
NATURAL SURVEILLANCE: MAXIMIZES THE ABILITY TO SEE WHAT IS OCCURRING IN A GIVEN SPACE, AND OPTIMIZE THE POTENTIAL TO SPOT SUSPICIOUS PERSONS OR ACTIVITIES.
TERRITORIAL REINFORCEMENT: PROMOTES A DEFINITION OF SPACE AND A SENSE OF PROPRIETARY CONCERN.
ACCESS CONTROL: DESIGNATING APPROPRIATE MEANS FOR PUBLIC ACCESS WHILE EFFECTIVELY DENYING ACCESS TO PRIVATE AREAS.
WE HAVE MANAGED TO ACHIEVE THE ABOVE BY ADHERING TO THESE 7 FACTORS IN THE SITE LAYOUT & BUILDING DESIGN:

- SIGHTLINES: WE HAVE AVOIDED DOING ANY SHARP CORNERS OR SLIGHTLY CHANGE IN GRADES THAT MAY OBSTRUCT VIEWS. WE WILL USE MIRRORS WHERE ANYTHING MAY BLOCK SIGHTS.
- PREDICTABLE ROUTES & ISOLATION: ALL STORAGE ROOMS WILL BE KEPT LOCKED TO AVOID ANY POTENTIAL ENTRAPMENT SPOTS ALONG ROUTES OF CIRCULATION. ALL DOORS WILL HAVE A WIRED GLASS PANEL FOR BETTER VISIBILITY TO THE OTHER SIDE. IN ADDITION, ATTENTION WILL BE PAID TO MINIMIZE DARK CORNERS, SHADOWS, ETC.
- LIGHTING: PLEASE REFER TO ENCLOSED ELECTRICAL SITE PLAN THAT DEMONSTRATES A CONSISTENT LEVEL OF LIGHTING THROUGHOUT THE SITE. FURTHERMORE, AREAS COVERED BY THE BUILDING'S STRUCTURAL SLAB SUCH AS THE RESIDENTIAL/COMMERCIAL ENTRANCE, SIDEWALKS AND PARKING LOTS MEET ADEQUATE LIGHTING STANDARDS.
- ACCESS: THERE WILL BE A SECURE FOB SYSTEMS SO THAT ONLY THE RESIDENTS CAN GO IN/OUT OF THE BUILDING. ALL VISITORS WOULD NEED TO ACCESS THE BUILDING THROUGH AN INTERCOM AT THE MAIN FLOOR ENTRANCE VESTIBULE. EVERY UNIT WILL HAVE DEADBOLT LOCKS AND 180 DEGREE EYE VIEWERS INSTALLED ON DOORS. INDOOR/OUTDOOR COMMON AREAS INTENDED FOR RESIDENTS' USE, SUCH AS GYM ROOM, ROOF TOP AND UNDERGROUND PARKING WILL HAVE FOB ACCESS.
- DESIGNATED SPACES: WE HAVE PROVIDED FOR BARRIER FREE STALLS IN CLOSE PROXIMITY TO THE ELEVATOR LOBBY THAT IS ALSO SAFELY NEAR AN EXIT
- SURVEILLANCE & ACTIVITY GENERATOR: CCTV CAMERAS COULD BE INSTALLED OUTSIDE OF BUILDING ENTRANCE DOOR OF COMMERCIAL/ RESIDENTIAL AND INSIDE OF THE BUILDING IN THE STAIRWELLS, LOBBIES, AND OTHER ISOLATED AREAS. PATROLS BY MAINTENANCE STAFF WILL BE ENCOURAGED WHO COULD BE TRAINED TO RESPOND TO OR REPORT EMERGENCIES TO PROMOTE A SENSE OF COMMUNITY. IN ADDITION, WE HAVE PROVIDED COMMON INDOOR/OUTDOOR SPACES TO ENCOURAGE TENANT/ RESIDENTS INTERACTION & THE USE OF PUBLIC SPACES. THE MANAGEMENT COMPANY WILL IN CHARGE OF RECORD/ REPORT/ REMOVAL OF ANY VANDALISM SUCH AS GRAFFITI.
- SIGNS & INFORMATION: ALL DIRECTIONAL SIGNS, INCLUDING ENTRANCES AND EXITS, WILL BE HAVE CLEAR DISTINCTIVE COLORS/SYMBOLS SO THAT CASUAL USERS CAN EASILY FIND THEM. IF THERE ARE SAFETY PROBLEMS, INFORMATION WITH TELEPHONE NUMBERS WILL BE POSTED. IN ADDISON, PRIVATE PROPERTY IS DIFFERENTIATED FROM PUBLIC SPACE THROUGH SHRUBBERY, ALTERNATE PAVING STONE COLOUR OR SIGNAGE.

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MATERIAL LEGEND

- CONCRETE CURB
- CONCRETE SIDEWALK
- HANDICAP RAMP TO CITY STANDARDS
- 100mm WIDE PAINTED PARKING LINES (YELLOW)
- HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- WASTE & RECYCLING BINS (REFER TO DWG A1.7a)
- HEAVY-DUTY ASPHALT PAVING (MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE -FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG)
- ASPHALT PAVING
- PAINTED PEDESTRIAN CROSSING
- CONCRETE JERSEY (MIN. 25,000 KG WEIGHT CAPACITY)
- PARKADE RAMP CONCRETE RETAINING WALL
- LANDSCAPING
- CONCRETE PATIO
- BKE RACK
- RESERVED
- HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- "LOADING" SIGN
- RESERVED
- "HANDICAP PARKING" SIGN
- WHEEL STOPS
- "NO PARKING" SIGN
- "RESIDENTS' U/G PARKING ONLY" SIGN

LEGEND

- PROPERTY LINE
- PARKADE OUTLINE
- HEAVY DUTY ASPHALT
- UTILITY RIGHT OF WAY ACCESS
- EASEMENT
- RETAINING WALL
- 12" CONCRETE SHEAR WALL

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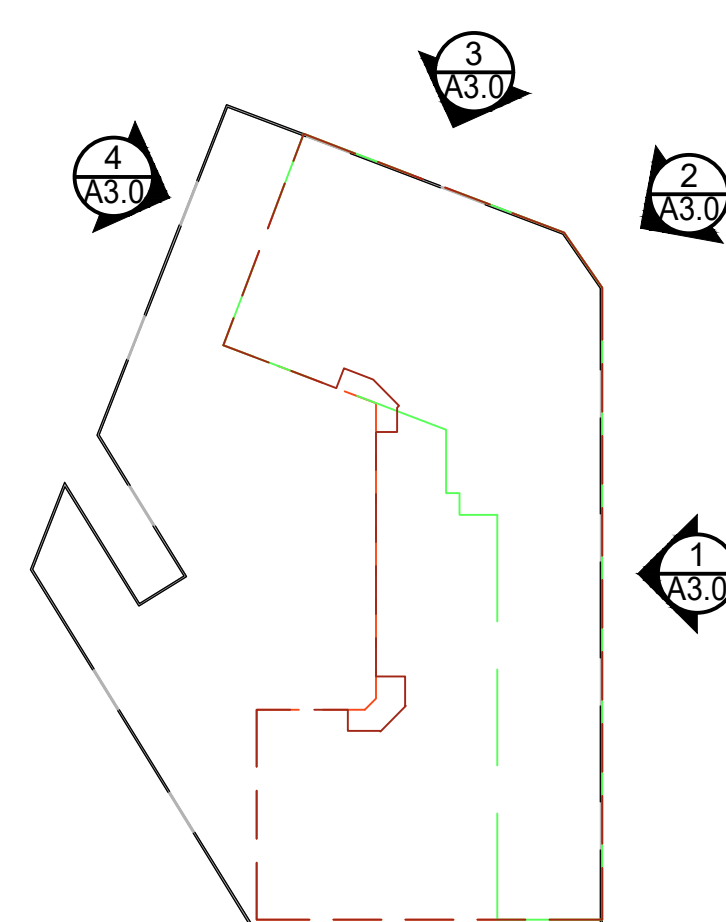
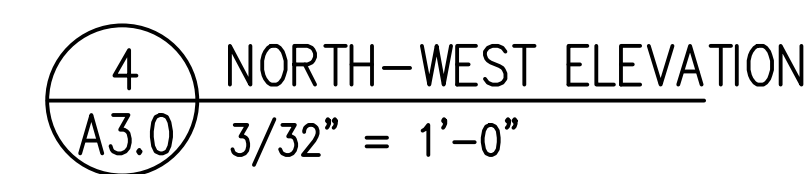
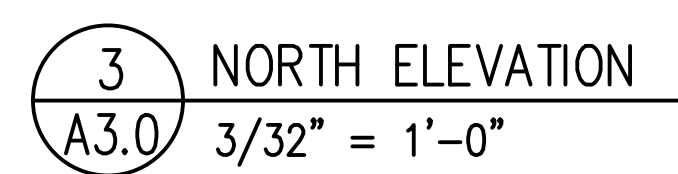
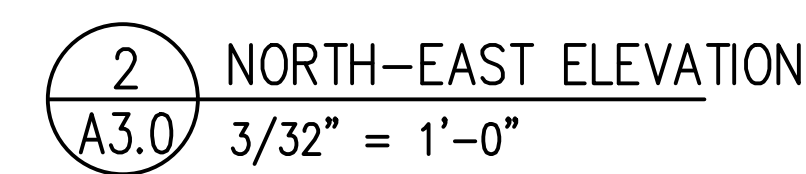
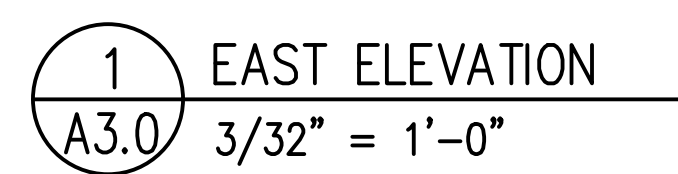
PROJECT
**1003-1013
11 STREET S.E.
CALGARY, AB**
LOTS 8-15, BLOCK 13, PLAN SA2

TRADE START DATE 2024

DRAWING

SITE PLAN

DESIGNED	AA	CHECKED	MK
DRAWN	AA	JOB No.	2422
		DWG No.	A1.1



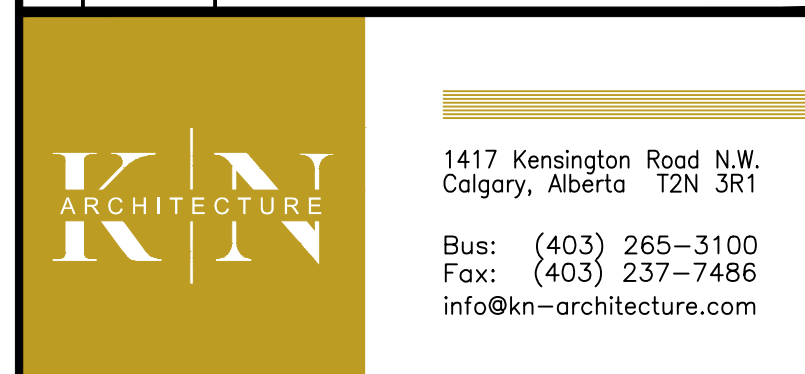
— KEY PLAN
A3.0 NTS

MATERIAL LEGEND:

- ① - 1-XL BRICK (MINGLED SHADE TAPESTRY)
- ② - DARK GRAY HARDIE/ METAL PANEL
- ③ - DARK GRAY HARDIE/ METAL TRIM
- ④ - HARDIE/ METAL PANEL
(COLOR MATCH W/ BRICK)
- ⑤ - GLASS/METAL RAILING
- ⑥ - ARTWORK
- ⑦ - CHANNELUME LETTERS INTERNALLY
ILLUMINATED IN SIGNAGE BOX - ELEC
TO PROVIDE POWER ROUGH-INS
- ⑧ - SITE RETAINING WALL
- ⑨ - PERGOLA (WOOD/METAL) - COLOUR TBD
- ⑩ - CEMENTITIOUS / METAL TRIM
(COLOR MATCH W/ BRICK OR GRAY PANEL)
- ⑪ - PVC FRAMING LOW E COATED
CLEAR GLASS
- ⑫ - INSULATED O/H STEEL DOOR
- ⑬ - ALUMINUM RAILING

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	2024
DRAWING	

ELEVATIONS

DESIGNED AA	CHECKED MK
DRAWN AA	JOB No. 2422

A3.0



1 SOUTH-WEST ELEVATION
A3.1 3/32" = 1'-0"



2 WEST ELEVATION
A3.1 3/32" = 1'-0"

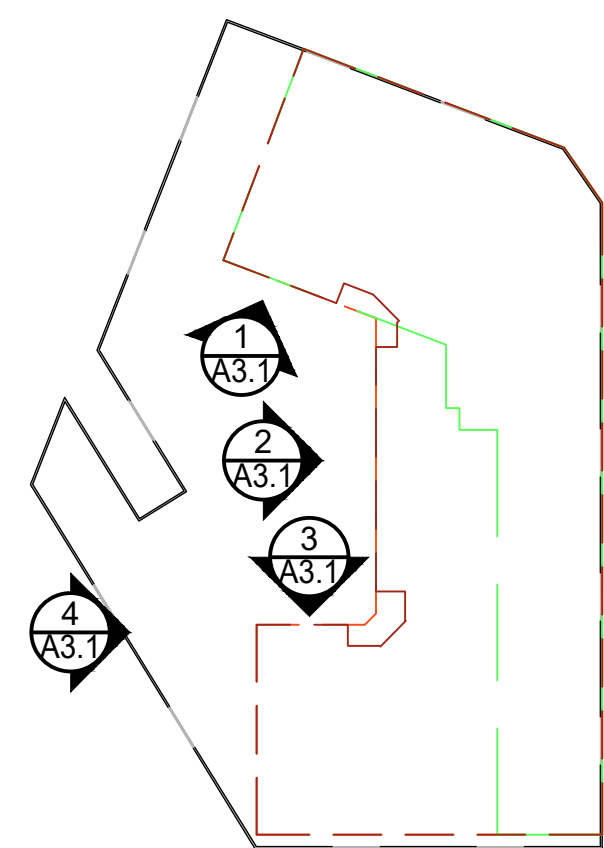


3 NORTH ELEVATION
A3.1 3/32" = 1'-0"



4 WEST ELEVATION
A3.1 3/32" = 1'-0"

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



KEY PLAN
A3.1 NTS

MATERIAL LEGEND:

- 1 - I-XL BRICK (MINGLED SHADE TAPESTRY)
- 2 - DARK GRAY HARDIE/ METAL PANEL
- 3 - DARK GRAY HARDIE/ METAL TRIM
- 4 - HARDIE/ METAL PANEL (COLOR MATCH W/ BRICK)
- 5 - GLASS/METAL RAILING
- 6 - ARTWORK
- 7 - CHANNELUME LETTERS INTERNALLY ILLUMINATED IN SIGNAGE BOX - ELEC TO PROVIDE POWER ROUGH-INS
- 8 - SITE RETAINING WALL
- 9 - PERGOLA (WOOD/METAL) - COLOUR TBD
- 10 - CEMENTITIOUS / METAL TRIM (COLOR MATCH W/ BRICK OR GRAY PANEL)
- 11 - PVC FRAMING LOW E COATED CLEAR GLASS
- 12 - INSULATED O/H STEEL DOOR
- 13 - ALUMINUM RAILING

April 30, 2025

2	2025/04/30	ISSUED FOR DEVELOPMENT PERMIT
1	2025/01/22	ISSUED FOR CLIENT REVIEW
NO	YYY/MM/DD	REVISION

K|N
ARCHITECTURE

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SCALE AS NOTED

CLIENT

BJL CALGARY 2023 LTD.

PROJECT

1003-1013
11 STREET S.E.
CALGARY, AB

LOTS 8-15, BLOCK 13, PLAN SA2

TRADE START DATE 2024

DRAWING

ELEVATIONS

DESIGNED AA CHECKED MK

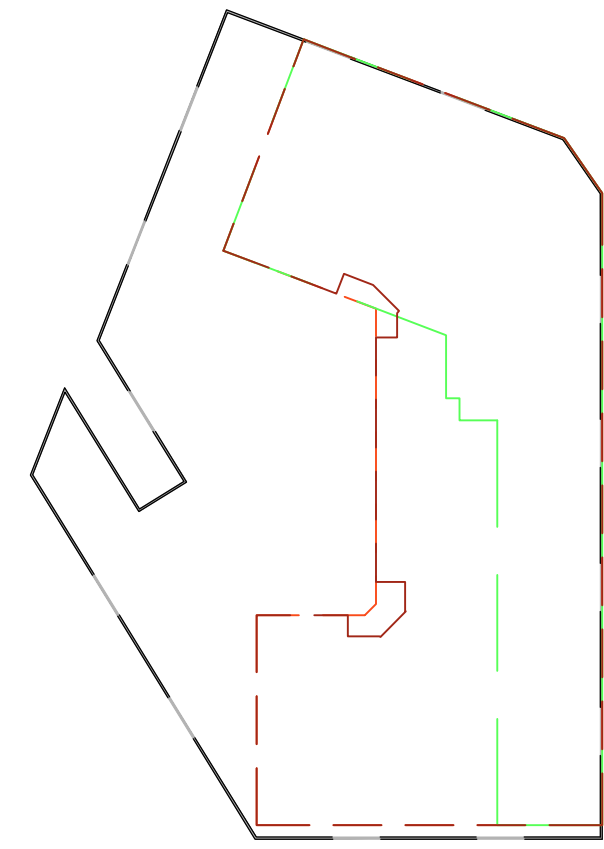
DRAWN AA JOB No. 2422

DWG No.

A3.1



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



KEY PLAN
A3.2 NTS

- MATERIAL LEGEND:**
- 1 - I-XL BRICK (MINGLED SHADE TAPESTRY)
 - 2 - DARK GRAY HARDIE/ METAL PANEL
 - 3 - DARK GRAY HARDIE/ METAL TRIM
 - 4 - HARDIE/ METAL PANEL (COLOR MATCH W/ BRICK)
 - 5 - GLASS/METAL RAILING
 - 6 - ARTWORK
 - 7 - CHANNELUME LETTERS INTERNALLY ILLUMINATED IN SIGNAGE BOX - ELEC TO PROVIDE POWER ROUGH-INS
 - 8 - SITE RETAINING WALL
 - 9 - PERGOLA (WOOD/METAL) - COLOUR TBD
 - 10 - CEMENTITIOUS / METAL TRIM (COLOR MATCH W/ BRICK OR GRAY PANEL)
 - 11 - PVC FRAMING LOW E COATED CLEAR GLASS
 - 12 - INSULATED O/H STEEL DOOR
 - 13 - ALUMINUM RAILING

April 30, 2025

2	2025/04/30	ISSUED FOR DEVELOPMENT PERMIT
1	2025/01/22	ISSUED FOR CLIENT REVIEW

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SCALE AS NOTED

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PROJECT

1003-1013
11 STREET S.E.
CALGARY, AB

LOTS 8-15, BLOCK 13, PLAN SA2

TRADE START DATE 2024

DRAWING

ELEVATIONS

DESIGNED AA	CHECKED MK
DRAWN AA	JOB No. 2422
DWG No.	

A3.2



LEGEND

- Regular grey concrete
- Charcoal mulch
- Proposed trees
- Proposed shrubs
- Proposed perennials

DESIGN ELEMENTS

- 1 MAIN ENTRY
- 2 PEDESTRIAN WALKWAY
- 3 VEHICLE PARKING STALLS
- 4 LANDSCAPE PLANTING BED
- 5 SEATING WITH BENCH
- 6 FIRE PIT NODE WITH TRELLIS
- 7 SEATING NODE WITH PICNIC TABLE AND TWINKLE LIGHTS
- 8 BIKE PARKING STALLS
- 9 MOLOK BINS
- 10 TRANSFORMER
- 11 POTENTIAL FLEX SPACE FOR SUMMER MARKET/ PAINTED PEDESTRIAN ZONE
- 12 PARKADE LINE
- 13 PROPERTY LINE
- 14 BUILDING STRUCTURE ABOVE

GENERAL NOTES

- 1. THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- 2. ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- 3. ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- 4. DO NOT SCALE DRAWINGS.
- 5. ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- 6. ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- 7. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

LEGEND

- REGULAR GREY COLOR CONCRETE WITH CONTROL JOINTS
- PAINTED LINE ON TOP OF ASPHALT
- PLANTING BED WITH CHARCOAL MULCH
- LIGHT BOLLARD
- FIRE PIT
- BENCH
- PICNIC TABLE WITH BENCHES
- TWINKLE LIGHT
- 1800MM HT. FENCE
- CLASS 2 BIKE PARKING
TOTAL QUANTITY: 8 RACKS/ 16 STALLS
- DECIDUOUS TREES
- DECIDUOUS SHRUBS
- CONIFEROUS SHRUBS
- PERENNIALS

LANDSCAPE ANALYSIS

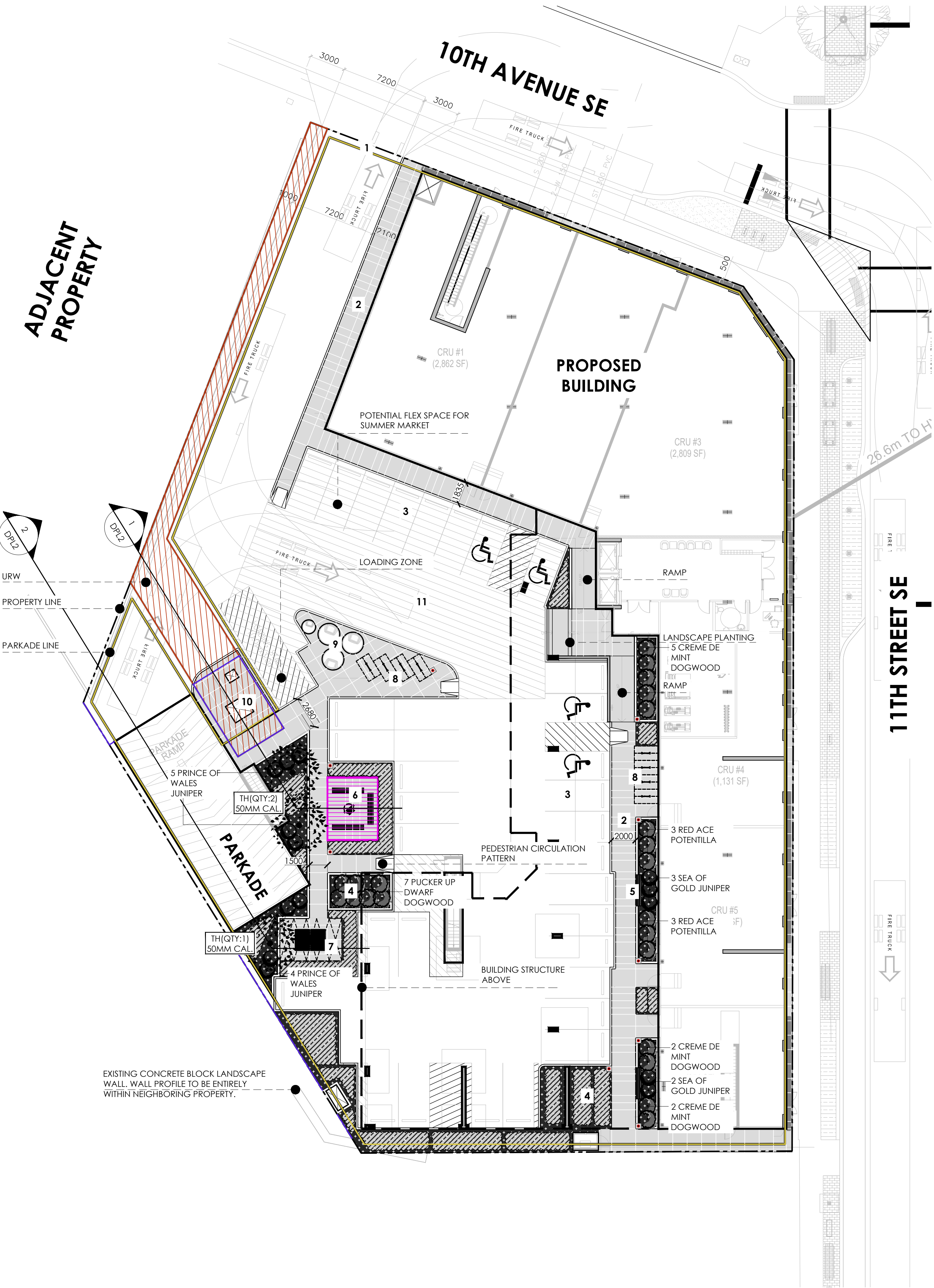
SITE AREA: 3874.49 SQ.M.
TOTAL TREES PROVIDED = 3
DECIDUOUS TREES PROVIDED = 3
DECIDUOUS TREES WITH MIN 75MM CALLIPER REQUIRED = 2
PROVIDED = 2
TOTAL SHRUBS PROVIDED = 36

DESIGN ELEMENTS

- 1. MAIN ENTRY
- 2. PEDESTRIAN WALKWAY
- 3. VEHICLE PARKING STALLS
- 4. LANDSCAPE PLANTING BED
- 5. SEATING WITH BENCH
- 6. FIRE PIT NODE WITH TRELLIS
- 7. SEATING NODE WITH PICNIC TABLE AND TWINKLE LIGHTS
- 8. BIKE PARKING STALLS
- 9. MOLOK BINS
- 10. TRANSFORMER
- 11. POTENTIAL FLEX SPACE FOR SUMMER MARKET/ PAINTED PEDESTRIAN ZONE

PLANTING SCHEDULE

common name	latin name	size/ spread	quantity	comments
deciduous trees (TOTAL QUANTITY: 3)				
TOBA HAWTHORN	CRATAEGUS X MORDENENSIS 'TOBA'	50MM CAL.	03	B&B, SPECIMEN
common name	latin name	size/ spread	quantity	comments
deciduous shrubs (TOTAL QUANTITY: 22)				
PUCKER UP DWARF DOGWOOD	CORNUS STOLONIFERA	600MM HT.	07	MIN 5-7 STEMS
CREME DE MINT DOGWOOD	CORNUS ALBA 'CRMIZAM'	600MM HT.	09	MIN 5-7 STEMS
RED ACE POTENTILLA	POTENTILLA FRUTICOSA 'RED ACE'	600MM HT.	06	MIN 5-7 STEMS
coniferous shrubs (TOTAL QUANTITY: 14)				
SEA OF GOLD JUNIPER	JUNIPERUS X PFITZERIANA 'MONSAN'	600MM HT.	05	MIN 5-7 STEMS
PRINCE OF WALES JUNIPER	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	600MM HT.	09	MIN 5-7 STEMS



ISSUED FOR
COORDINATION
COORDINATION
DP

DATE
250206
250411
250425

SCALE 1:200
DATE 250411
DRAWN BY CC
CHECKED BY YN