



ARCHITECTURAL CONCEPT

ISSUE DATE: MARCH 25, 2025

REVISION #: X

PROJECT: NH016

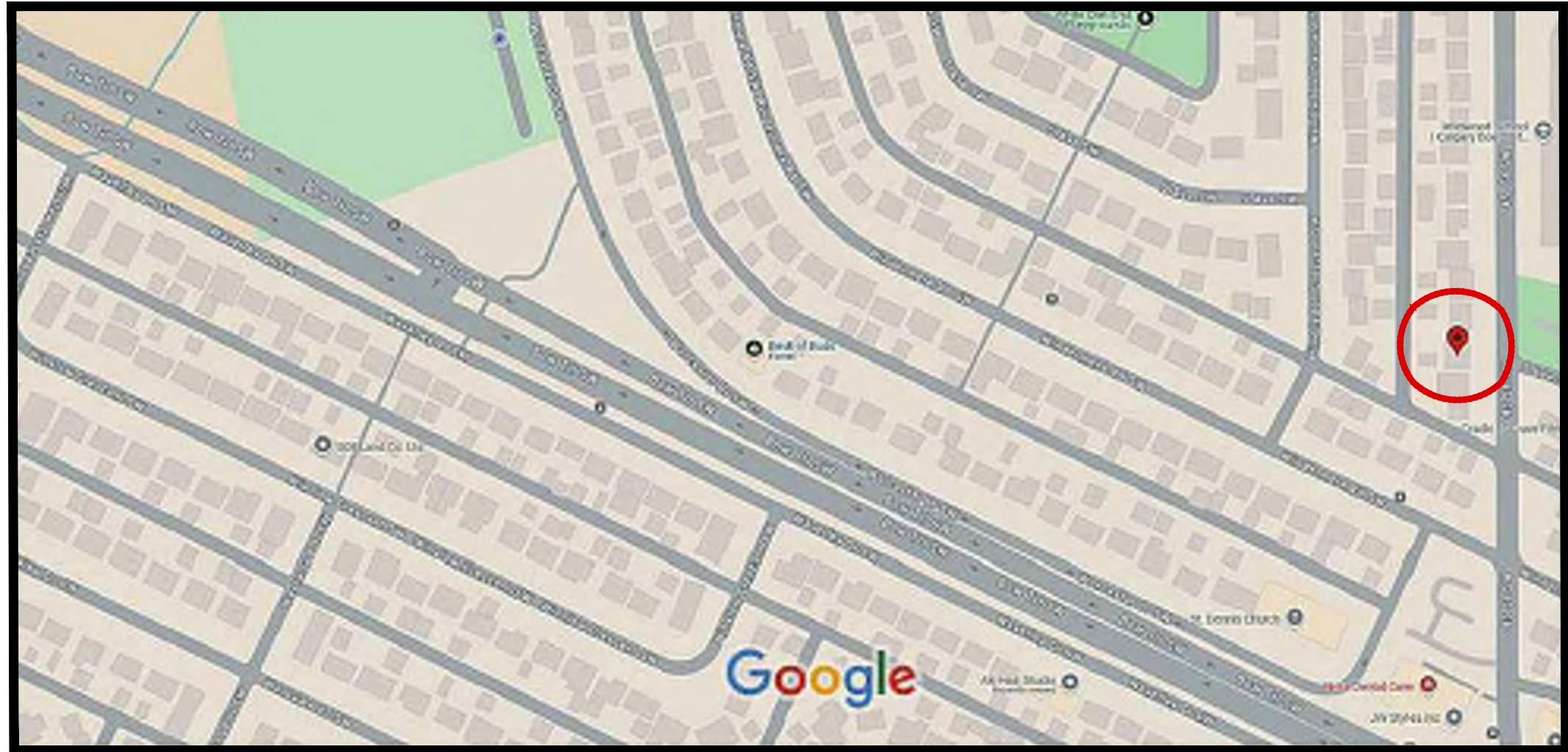
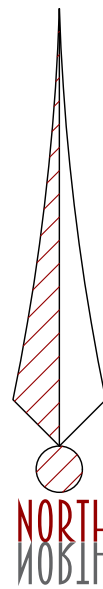
NEW SINGLE SEMI-DETACHED DWELLING

219 45 STREET SW, CALGARY AB T3C 2B4

DEVELOPMENT PERMIT PACKAGE



ADDRESS: 109 LEGACY MANOR SE, CALGARY , AB, T2X 2E7
PHONE: 403 971 9275
EMAIL: info@anomalydraftinganddesign.com
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VICINITY MAP NTS

ARCHITECTURAL PACKAGE:

GENERAL NOTES

- ALL DISCREPANCIES ARE TO BE NOTED AND BROUGHT TO THE ATTENTION OF THE DESIGNER. UNDER NO CIRCUMSTANCES ARE CHANGES TO BE MADE WITHOUT THE PERMISSION FROM THE DESIGNER.

- HVAC AND MECHANICAL IS TO BE SUPPLIED AND INSTALLED BY OTHERS.

FRAMING:

- ALL LOAD BEARING LINTELS ARE TO BE (2)-2X10 #2 SPRUCE UNLESS NOTED BY STRUCTURAL ENGINEER.

- ALL WINDOW AND DOOR SIZES ROUGH OPENING REQUIREMENTS ARE TO BE CONFIRMED BY WINDOW AND DOOR MANUFACTURER.

- FRAMER IS TO APPLY NAILS AND FASTENERS AS PER ROOF TRUSS SUPPLIER'S REQUIREMENTS.

- JOINTS IN PANEL TYPE SHEATHING MUST BE NOT LESS THAN 2MM BETWEEN SHEETS AS PER 9.23.16.4 SENTENCE (2) IN THE N.B.C. ALBERTA EDITION 2023.

FLASHING:

- FLASHING AT ROOF PENETRATIONS SHALL CONFORM TO THE MINIMAL REQUIREMENTS WITHIN 9.26.4.9 SENTENCE (2) OF N.B.C. ALBERTA EDITION 2023

- FLASHING AT CHIMNEY OR ROOF SADDLE IS TO CONFORM TO THE MINIMAL REQUIREMENTS WITHIN 9.26.4.3. OF N.B.C. ALBERTA EDITION 2023

- METAL USED FOR FLASHING IS TO MEET THE REQUIREMENTS OF 9.3.3.2. OF THE N.B.C. ALBERTA EDITION 2023.

FOUNDATION:

- GARAGE FOUNDATION WILL IS REQUIRED TO BE SUPPORTED BY CONCRETE POURED STEP FOOTING. CONTRACTOR IS TO INSURE SEALANT IS APPLIED ACCORDING TO 9.27.4.1 SENTENCES (1) THROUGH (3) OF N.B.C. ALBERTA EDITION 2023

- THICKNESS OF STRIP FOOTING TO MEET THE MINIMUM REQUIREMENTS OF 9.15.3.8. OF THE N.B.C. ALBERTA EDITION 2023.

- IN THE EVENT OF STEP FOOTING, STEP FOOTING IS TO MEET THE MINIMUM REQUIREMENTS OF 9.15.3.9. OF THE N.B.C. ALBERTA EDITION 2023.

- FOUNDATION WALL THICKNESS TO MEET THE MINIMUM REQUIREMENTS OF TABLE 9.15.4.2. -A OF THE N.B.C. ALBERTA EDITION 2023.

CAULKING & SEALANT:

- SEALANTS SHALL BE APPLIED WHERE REQUIRED TO PREVENT WATER ENTERING INTO STRUCTURE. CONTRACTOR IS TO ENSURE SEALANT IS APPLIED ACCORDING TO 9.27.4.1 SENTENCES (1) THROUGH (3) OF N.B.C. ALBERTA EDITION 2023

- CAULKING SHALL BE PROVIDED TO COINCIDE WITH USE OF FLASHING FOR STUCCO APPLICATION. AS PER 9.27.3. AND 9.27.4 OF THE N.B.C. ALBERTA EDITION 2023. CAULKING AND FLASHING WILL BE USED TO PREVENT WATER SEEPAGE BETWEEN CHANGES IN EXTERIOR FINISH MATERIALS.

- MECHANICAL PENETRATIONS THROUGH EXTERIOR FINISH MATERIALS MUST BE CAULKED AS PER 9.27.4. OF THE N.B.C. ALBERTA EDITION 2023.

- STUCCO IS TO BE APPLIED LOW IN TEMPERATURE CONDITIONS AS PER CODE 9.28.6.1 SENTENCES (1) AND (2) OF N.B.C. ALBERTA EDITION 2023.

STUCCO:

- STUCCO APPLICATION IS METHOD IS TO BE 9.28.6. OF THE N.B.C. ALBERTA EDITION 2023 OR AN ALTERNATIVE METHOD SHOWN 9.28.6.6. SENTENCES (1) THROUGH (6).

- SELF FURRING DEVICES SHALL CONFORM AS PER 9.28.4.4 OF THE N.B.C. ALBERTA EDITION 2023.

- APPLICATION OF STUCCO LATH WILL ADHERE TO 9.28.4.5. SENTENCE (4) OF THE N.B.C. ALBERTA EDITION 2023.

FLOOR PLAN LEGEND



8" CONCRETE FOUNDATION WALL



INTERIOR & EXTERIOR WALLS



TALL WALL - SEE ENG. DWGS.



PARTIAL HEIGHT WALL



DROPPED CEILING OR UPPER FLOOR PROJECTION



HANG DRYWALL PRIOR TO MECHANICAL ROUGH-INS



WALL CONTAINS 3-2X8 HEADER FOR BARN DOOR



NEW SOUND-PROOFING WALL



LINE OF ENGINEERED BEAM



60 min F.R.R. STC RATING 54



60min F.R.R.



FIRE RATED DOOR - DOORS LABELED W/ "FF" ARE 30 OR 45 MIN FIRE-RATED DOORS



POCKET DOOR



BARN DOOR - DOOR SLAB IS TO BE MIN. 4" WIDER THAN OPENING



SLIDING DOOR



PROPOSED WINDOW



##" x ##" WIN

LEGEND



F.O.B. 2'-5"

* F.O.B

FACE OF BEAM - DIMENSIONS ARE REFERENCE TO EITHER INSIDE OR OUTSIDE FACE OF BEAM. SEE DRAWING



S.A. 2'-5 1/8"

* S.A

STRUCTURE ABOVE - DIMENSIONS ARE REFERENCE TO STRUCTURE ABOVE - SEE DRAWING



F.O.B. 2'-5"

* F.O.B

FACE OF BEAM - DIMENSIONS ARE REFERENCE FROM THE INSIDE FACE OF THE PARTITION WALL, PRIOR TO DRYWALL INSTALLATION.

ALL DIMENSIONS REFERRING TO THE EXTERIOR OF BUILDING ARE TO FACE OF SHEATHING UNLESS NOTED OTHER WISE.

A.F.F.

- ABOVE FINISHED FLOOR - DIMENSION OR NOTE REFER TO TOP OF SUBFLOOR OR SLAB

F/A

- FRESH AIR INTAKE

TBD

- TO BE DETERMINED

BUILDING NOTES

LEGAL DESCRIPTION:

LOT 9 BLOCK 1, PLAN 1243 HL

LAND DESCRIPTION:

LANED PROPERTY THAT FACES THE SCHOOL ACROSS THE STREET. THIS PROPERTY IS COMPROMISED BY THE NEW CROSSWALK. THEREFORE PARKING IN FRONT OF THE BUILDING IS SEVERELY LIMITED.

ZONING:

H-GO

BUILDING TYPE:

2 STORY RESIDENTIAL - DUPLEX COMPLETE WITH SECONDARY SUITE DETACHED GARAGE - 4 - CAR GARAGE / 1 STALL PER UNIT.

BLD CONSTRUCTION:

COMBUSTIBLE / NON-SPRINKLERED

RES. OCCUPANCY:

PART 9 -

BUILDING AREA:

3848 SQFT or 357 SQM

BUILDING HEIGHT:

9.70m

PARKING:

1 STALL PER DWELLING
NO ADDITIONAL STALLS FOR SECONDARY SUITES. LOCATION IS SERVED BY VARIOUS BUS ROUTES AND APPROX. 3.1km TO THE SALT LRT STATION.

REVISIONS

REVISION #:

PROPOSED MECHANICAL UNITS:

FURNACE:

90 000 BTU'S 96% HIGH EFFICIENCY GAS TWO-STAGE FURNACE

HVAC:

INCL.

HOT WATER TANK:

90 GAL HOT WATER TANK

DRAWING PACKAGE PAGE LIST

GENERAL

A0.0

TITLE PAGE

A0.1

EXISTING PHOTOS AND PROPOSED RENDERINGS

A0.2

SCHEDULES

A0.3

SCHEDULES CONTINUED

A0.4

EXISTING SURVEY

SITE

A1.1

EXISTING SITE PLAN

A1.2

PROPOSED SITE PLAN

A1.3

PROPOSED BLOCK PLAN AND STREETSCAPE

FLOOR

A2.1

PROPOSED SECONDARY SUITE AND DEVELOPMENT

A2.2

PROPOSED MAIN FLOOR LAYOUT

A2.3

PROPOSED UPPER FLOOR LAYOUT

A2.4

PROPOSED ROOF LAYOUT

ELEVATIONS

A3.1

PROPOSED ELEVATIONS

A3.2

PROPOSED ELEVATIONS

CROSS SECTIONS

A4.1

PROPOSED CROSS SECTIONS

CONSTRUCTION DETAILS

A5.1

PROPOSED FRAMING DETAILS

A5.2

PROPOSED CONSTRUCTION DETAILS

A5.3

PROPOSED CONSTRUCTION DETAILS

A5.4

PROPOSED CONSTRUCTION DETAILS

WINDOW DEFINITIONS

FX

- FIXED WINDOW, THIS WINDOW CAN LOOK LIKE A SINGLE HUNG OR SLIDER, IT WILL NOT VENT.

SH

- SINGLE HUNG

CS

- CASEMENT WINDOW, SEE ELEVATION FOR THE SIDE OF CASEMENT HINGE.

SL

- SLIDER WINDOW, "LS" OR "RS" MEANS "LEFT" OR "RIGHT" SLIDE. DIRECTION OF SLIDE IS DETERMINED FROM THE "OUTSIDE" VIEW.

DSL

- DOUBLE SLIDER WINDOW.

PC

- SIMPLE PICTURE WINDOW.

COMBO

- COMBO WINDOWS, CAN BE AN ASSORTMENT OF WINDOWS OF VARIOUS SIZES AND STYLES, THEREFORE A DETAIL WILL BE SHOWN ON THE ELEVATION OF THIS WINDOW, AS A RESULT IT CAN BE

* ALL WINDOW DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION. CONTRACTOR IS NOT TO SCALE MEASUREMENTS OFF OF DRAWING.

WINDOW DESCRIPTION

ALL WINDOWS ARE TO BE DUAL PANE, CLEAR GLASS, AND NO COATINGS

U-VALUE:

1.67

R VALUE:

3.44

ALL SKYLIGHTS ARE TO BE DOUBLE GLAZE, CLEAR GLASS, AND LOES COATINGS

U-VALUE:

2.70

R VALUE:

4.5

DOOR CLARIFICATION

* ALL DOORS SHOWN HEIGHTS ARE TO BE 6'-8" OR 80", UNLESS NOTED OTHERWISE.

PLEASE NOTE DOORS WITH GLASS INSERTS WILL BE IDENTIFIED WITHIN THE DRAWING AS "FR."

DOORS LEADING TO EXTERIOR OR UNHEATED SPACES ARE TO BE INSULATED OR SOLID CORE, WEATHER STRIPPED AND/OR FIRE RATED (WHERE APPLICABLE).

"FF" - DOOR IS TO BE RATED A MINIMUM 45MINS C/W, SMOKE SEALED, AND DOOR SELF CLOSURE.

DOOR DESCRIPTION

ALL DOORS TO BE A MINIMUM U AND R VALUE

U-VALUE:

1.60

R VALUE:

0.63

GENERAL WINDOW SELECTION NOTES

- NEW WINDOWS ON THE MAIN AND UPPER FLOOR WILL BE FRAMED AT A HEIGHT OF 8'-0" A.F.F. UNLESS NOTED OTHERWISE.

- NEW WINDOWS EXTERIOR WINDOW TRIMS WILL BE DETERMINED AT BUILDING PERMIT. THEREFORE, SIDE AND REAR ELEVATIONS MAY NOT HAVE TRIM.

- NEW WINDOWS WILL BE THE BASE COMPOSITION AS NOTED ABOVE. HOWEVER, AT BUILDING PERMIT WINDOW GLAZING WILL BE CONFIRMED.

- WINDOW WELL DEPTH AND HEIGHT, TO BE DETERMINED ON SITE.

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DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 9
Block 1
Plan 1243HL

MUNICIPAL ADDRESS: #219 45 Street S.W.
Calgary, Alberta

DATE OF SURVEY: September 10th, 2024.

SCALE: 1:200 0 4 12 20 METRES

NOTES:

Elevations are shown thus:  = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM: **2410 ELEV.: 1139.811**

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (3TM, CM114) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All eaves are measured to fascia unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

- LEGEND:
- | | |
|---------------------------|---|
| Acc. – Accessory | Calculation points shown thus:  |
| A/C – Air Conditioner | Elevations shown thus:  |
| Bldg – Building | Found iron Posts shown thus:  |
| BOC – Back of Curb | Fire Hydrants shown thus:  |
| BOW – Back of Walk | Lamp Standards shown thus:  |
| Calc. – Calculated | Manholes shown thus:  |
| Cant. – Cantilever | Power Poles shown thus:  |
| Conc. – Concrete | Street Signs shown thus:  |
| C.S. – Countersunk | Electrical Meter shown thus:  |
| DH – Drill Hole | Gas Meter shown thus:  |
| Enc. – Encroaches | Property Lines shown thus:  |
| ELEV. – Elevation | Right of Ways shown thus:  |
| Fd. – Found | Eaves shown thus:  |
| I. – Iron Post | Fences shown thus:  |
| M.A. – Maintenance Access | Overhead Electrical Lines shown thus:  |
| M.F. – Main Floor | Gasline shown thus:  |
| Mk. – Mark | Sanitaryline shown thus:  |
| O.D. – Overland Drainage | Stormline shown thus:  |
| Ret. – Retaining | Waterline are shown thus:  |
| R.P. – Roof Peak | |
| R/W – Right of Way | |
| W/O – Walkout Basement | |
| W.W. – Window Well | |

Coniferous Tree  Deciduous Tree 

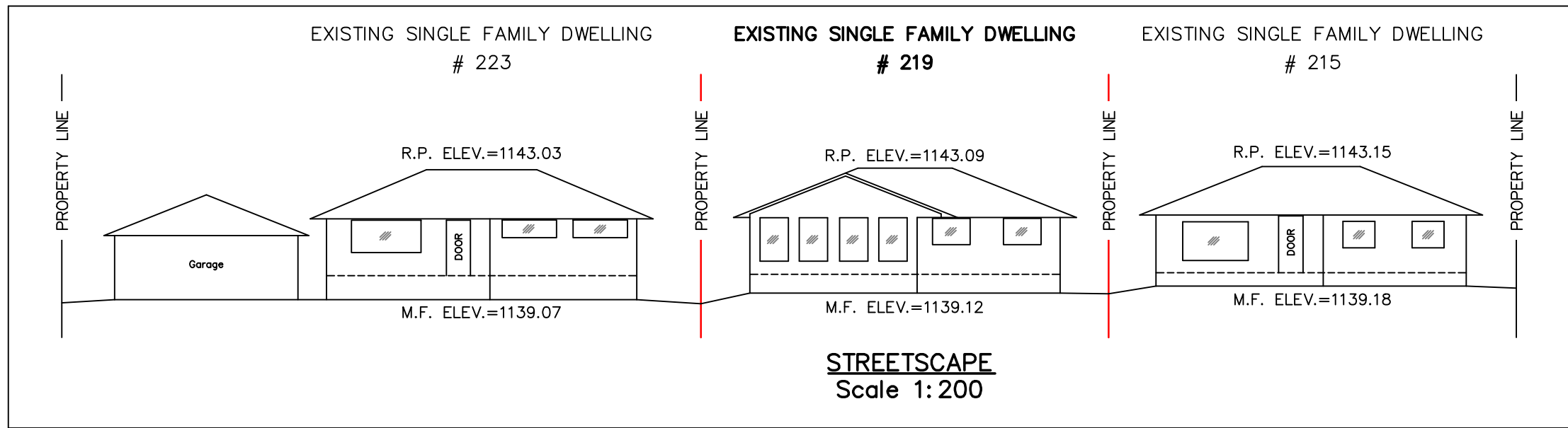
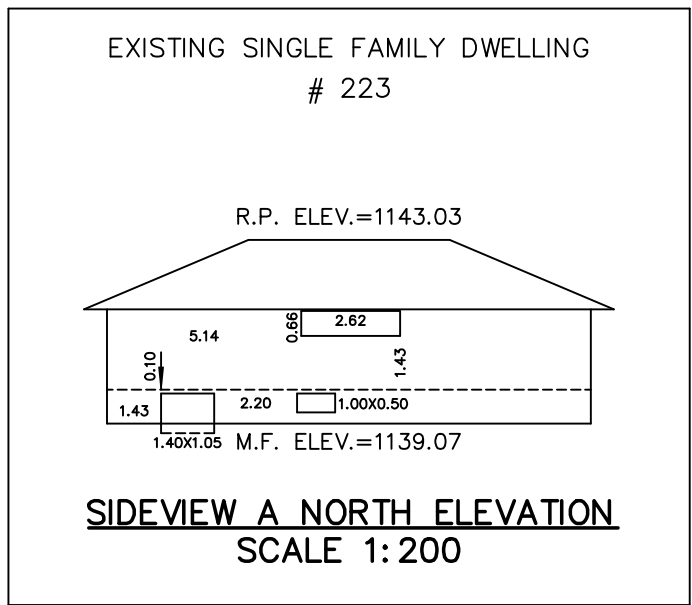
This plan represents the best information at the time of survey.

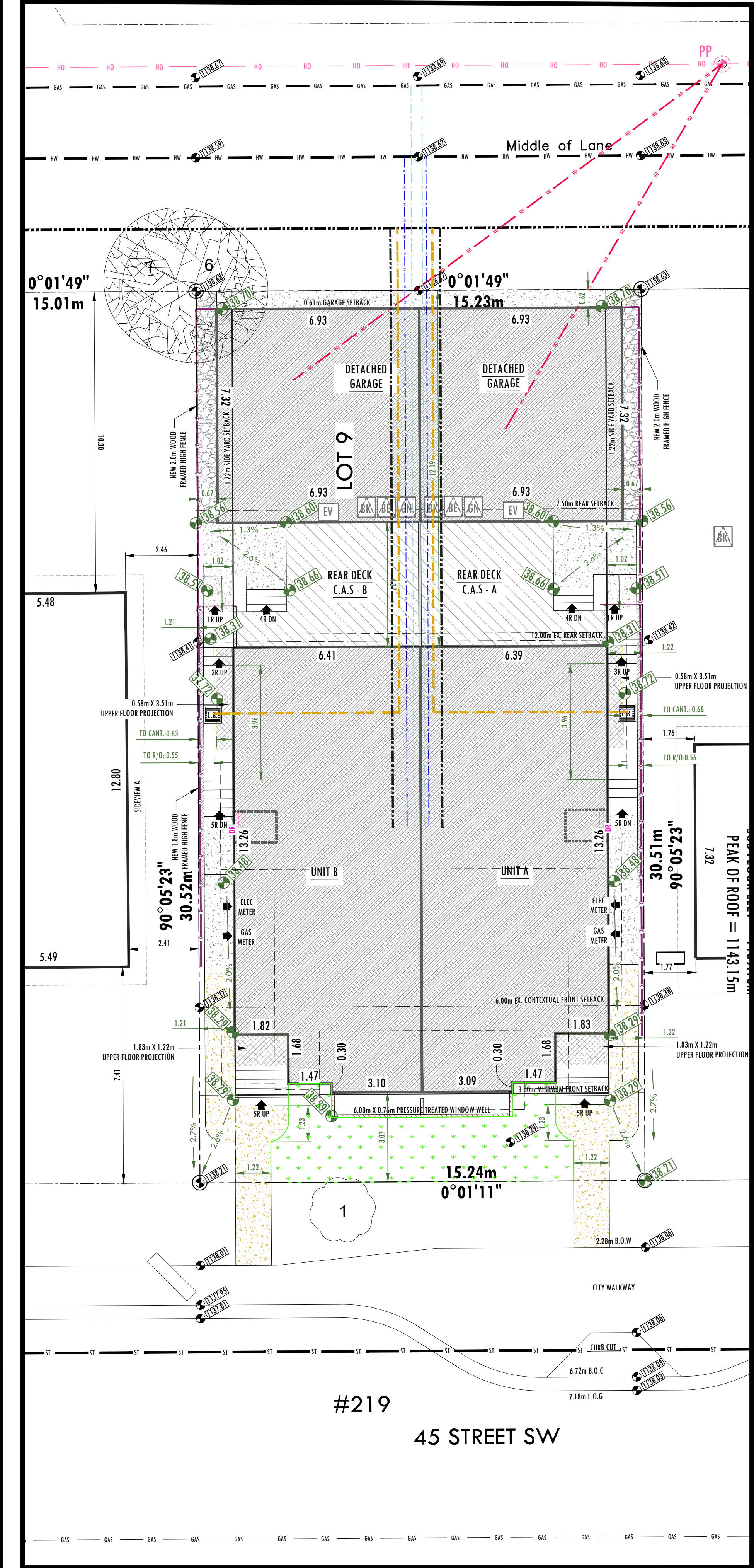
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.

All Underground installations should be located by the respective authorities prior to construction.

CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule				
Tree	Type	Ø	Spread	Height
1	Bush	---	2.00	2.50
2	Coniferous	0.40	4.00	8.00
3	Bush	---	1.00	1.50
4	Bush	---	1.00	1.00
5	Deciduous	0.30	4.00	4.00
6	Deciduous	0.30	5.00	4.00
7	Deciduous	0.30	5.00	4.00





SITE RELATED MEASUREMENTS

SETBACK MEASUREMENTS:

FRONT CONTEXTUAL SETBACK - BYLAW 1395:

BUILDING #1 - MAIN HOUSE
MINIMUM FRONT YARD SETBACK FROM P/L: 3.00m
ACTUAL: 3.07m

SIDEYARD SETBACKS - BYLAW 1396 SENTENCE 1:

BUILDING #1 - MAIN HOUSE
ACTUAL SIDE YARD SETBACK WEST BOUNDARY: 1.21m
ACTUAL SIDE YARD SETBACK EAST BOUNDARY: 1.21m

BUILDING #2 - DETACHED GARAGE - BYLAW 1396 SENTENCE 4
ACTUAL SIDE YARD SETBACK WEST BOUNDARY: 0.61m
ACTUAL SIDE YARD SETBACK EAST BOUNDARY: 0.91m

REAR SETBACKS - BYLAW 1397:

BUILDING #1 - MAIN HOUSE
ACTUAL REAR YARD SETBACK: 12.19m

BUILDING #2 - DETACHED GARAGE - BYLAW 1414 SENTENCE 3a
ACTUAL REAR YARD SETBACK: 0.61m

BUILDING GEODETIC ELEVATIONS

BUILDING #1 - MAIN HOUSE
TOP OF MAIN FLOOR: 1048.34m
BOTTOM OF JOIST: 1038.92m
JOIST THICKNESS: 0.37m
TOP OF BASEMENT SLAB: 1036.15m
ACTUAL TOP OF FOOTING: 1036.08m
ROOF PEAK: 1048.34m

BUILDING #2 - DETACHED GARAGE
TOP OF GARAGE SLAB: 1038.70m
U/S OF CEILING: 1041.65m
ROOF PEAK: 1042.88m

FOUNDATION WALL HEIGHTS

BUILDING #1
FOUNDATION WALL HEIGHT: 2.84m

SETBACK MEASUREMENTS CONTINUED:

AMENITY SPACE - BYLAW 1045 SENTENCE 2:

REAR DECK C.A.S. (COMMON AMENITY SPACE) - A
AREA: 210 SQFT / 19.51m²

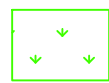
REAR DECK C.A.S. (COMMON AMENITY SPACE) - B
AREA: 210 SQFT / 19.51m²

DEPTH OF SPACE: 4.96m

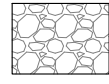
NOTES ABOUT THE CONTEXT OF THE PARCEL:

- THE PARCEL IS LOCATED ON A BLOCK WHERE ALL NEIGHBORING PARCELS ARE A **H-60**.
- PARCEL IS OUTSIDE OF THE FLOODWAY FRINGE ZONE.
- PARCEL MINIMUM WIDTH IS 12.19m
- EXISTING FENCING WILL BE REMOVED OR REPLACED AS PER NEW DEVELOPMENT.
- THE BUILDING HEIGHT FOR **BUILDING #1** IS DETERMINED BY BYLAW 1399 SENTENCE (2B)
- TOP OF MAIN FLOOR FACING THE STREET IS 1.0m ABOVE GRADE.

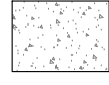
PROPOSED LANDSCAPING LEGEND



GRASS - KENTUCKY BLUE GRASS:
SEED AND SOD APPLIED WHERE
REQUIRED.



NEW GRAVEL - GC TO PICK
STANDARD DRAINAGE ROCK TO BE
APPLIED WHERE SPECIFIED.



NEW CONCRETE - BROOM FINISH
CONCRETE POURED
WALKWAY TO REAR AREAS.
EXPOSED AGGREGATE TO FRONT
WALKS TO MAIN DWELLING DOOR



EX. BUSH OR HEDGE -
SEE TREE SCHEDULE FOR
SPECIES AND
SPECIFICATIONS



NEW CEDAR FENCE - 1.8M HEIGHT,
4X6 CEDAR POSTS @ 1.98M O/C
COMPLETE WITH STAINED CEDAR
PLANKS



NEW CEDAR FENCE GATE - 1.8M
HEIGHT, 4X6 CEDAR POSTS - SEE
DETAIL



EXIST TREE SPECIES: SEE TREE
SCHEDULE SPECIES AND
SPECIFICATIONS

PROPOSED LANDSCAPING NOTES

- NEW DRAINAGE ROCK IS TO BE ADDED TO EAST AND WEST SIDE YARDS SEE PLAN FOR CLARIFICATION.
- ALL TREE LOCATIONS SHOWN ARE APPROXIMATE, THEREFORE, LOCATIONS ARE TO BE DETERMINED ON SITE. GC IS TO CLARIFY TREE LOCATIONS WITH ANOMALY DRAFTING AND DESIGN.
- CATCH BASINS REQUIRED WITHIN WALKWAY TO MAXIMIZE DRAINAGE. GC IS TO CONNECT CATCH BASINS TO WEEPING TILE FOR STORM RUNOFF EXIT THROUGH SEWER LINE.**

PROPOSED SITE PLAN GENERAL INFORMATION

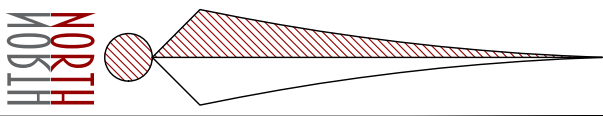
AREA OF PROPOSED BUILDINGS		BUILDING HEIGHTS	
BUILDING #1	86.56m ²	BUILDING #1	9.30m
BUILDING #2	39.01m ²	BUILDING #2	10.74m
AREA OF BUILDINGS TOTAL: 127.57m ²			
PARCEL COVERAGE		FLOOR AREA RATIO	
PARCEL COVERAGE:	125.57m ² / 278.46m ² = 45.09%	MAXIMUM FLOOR AREA RATIO IS 1.5	AREA OF PERMITTED DEVELOPMENT: 344.04m ² 344.04m ² X 1.5 = 516.06m ² OR 5554.82 ft ²

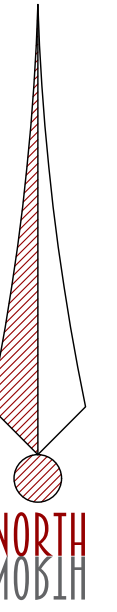
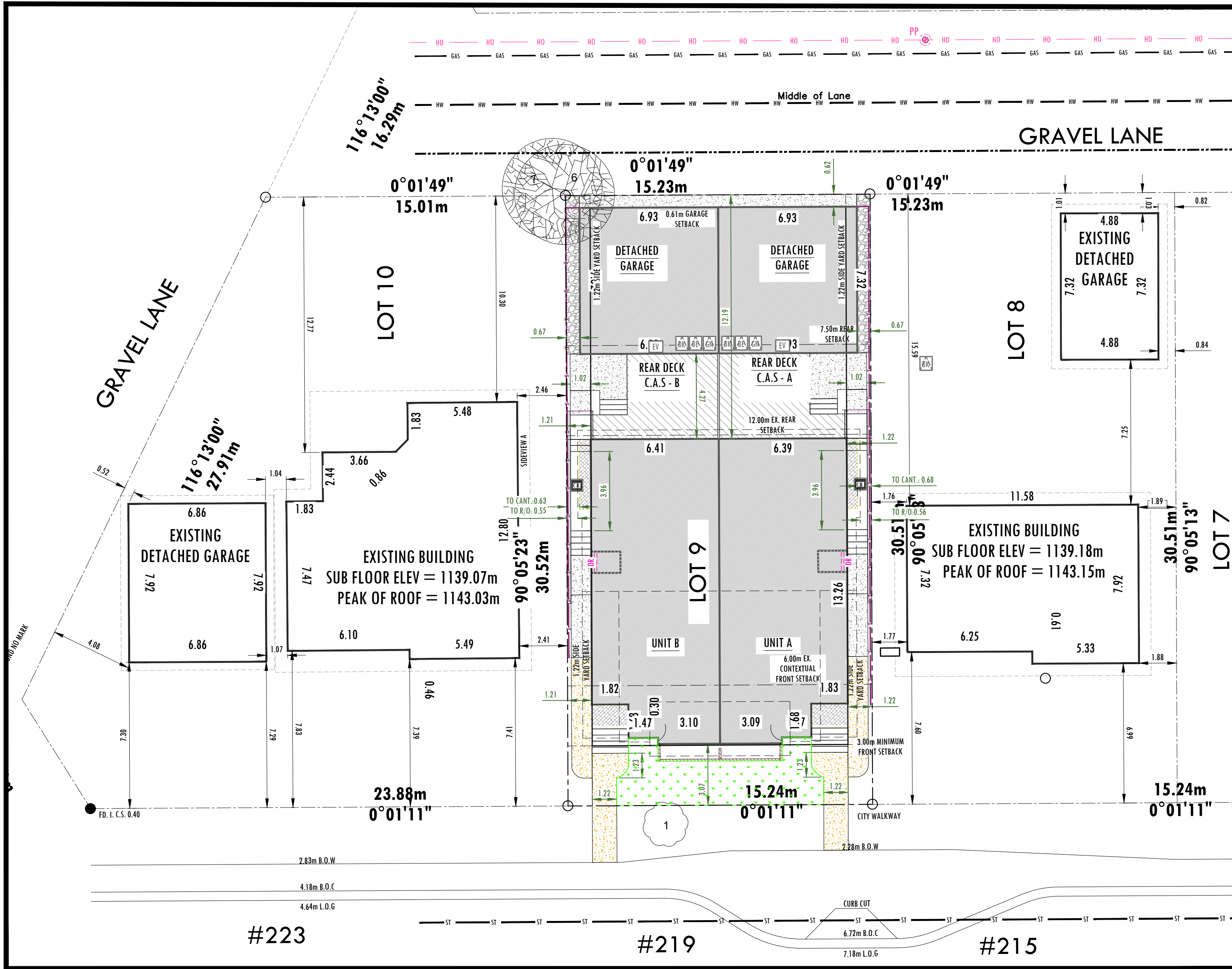
PROPOSED SITE PLAN LEGEND

EXISTING PROPERTY LINE	AREA OF STRUCTURE ABOVE	AREA OF NEW UR/W
SETBACK LINE	WOODEN DECK	AREA OF BALCONY ABOVE
PROPOSED FENCE	AREA OF PROPOSED BUILDING	COMPOST "GREEN" BIN
EXISTING FENCE	AREA OF MAIN FLOOR PROJECTION	CATCH BASIN
ROOF OVERHANG	PLASTIC RECYCLING "BLUE" BIN	ELECTRICAL VEHICLE PLUG OUTLET
EXISTING ROOF OVERHANG	GARBAGE "BLACK" BIN	
OVERHEAD POWER LINES	PRESSURE TREATED WOOD CURB AND/OR RETAINING WALL	
GAS LINE	EXISTING GRADE GEODEC	
WATER LINE	PROPOSED GRADE GEODEC	
PROPOSED SANITARY LINE	ESTABLISHED PIN	
PROPOSED ELECTRICAL CABLE	WATER VALVE	
PROPOSED STORM LINE		
PROPOSED FOUNDATION WINDOW		
MAN DOOR WITH FOUNDATION		
PROPOSED SLOPE		
POURED CONCRETE		
PRESSURE TREATED PRIVACY SCREEN - SEE ELEVATIONS FOR CONFIRMATION		

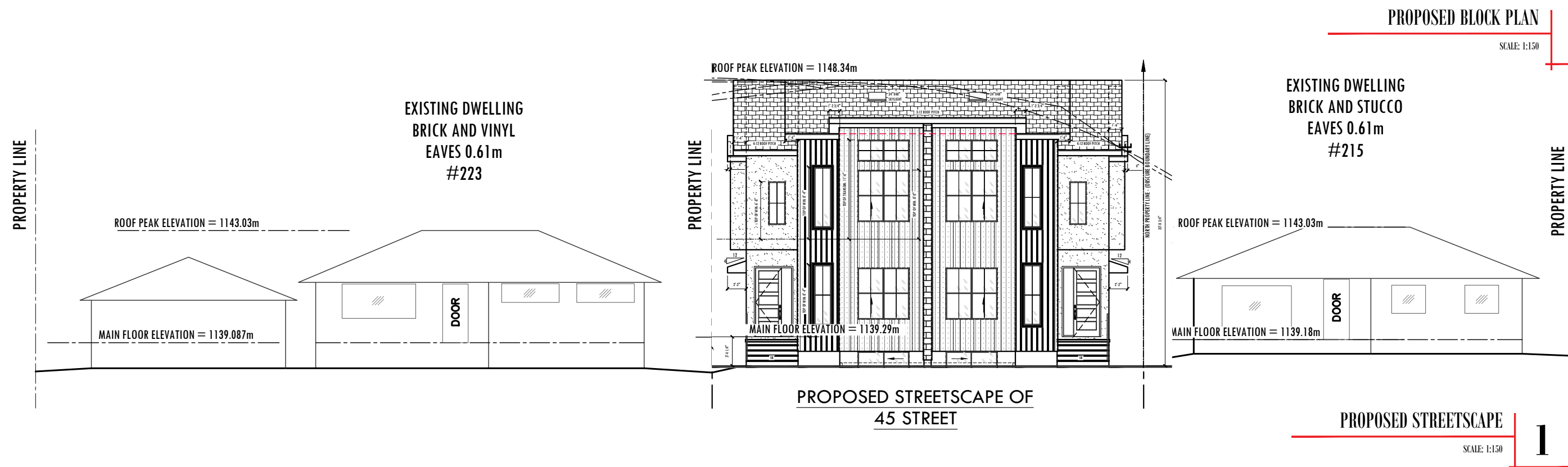
PROJECT ADDRESS: 219 45 STREET SW, CALGARY AB	NEW SINGLE SEMI-DETACHED HOME
TOTAL SQUARE FOOTAGE: 2736 SQFT	CLIENT: HOMEOWNER RESIDENCE
SCALE: 3/16" = 1'-0"	PROJECT NO: NH016
ISSUE DATE: 03/25/2025	PROJECT STATUS: ISSUED FOR DEVELOPMENT PERMIT
REVISION ISSUE #:	SHEET TITLE: PROPOSED SITE PLAN
LEGAL ADDRESS: LOT: 9 BLK: 1 PLAN: 1243HL	SHEET NO.: A1.2

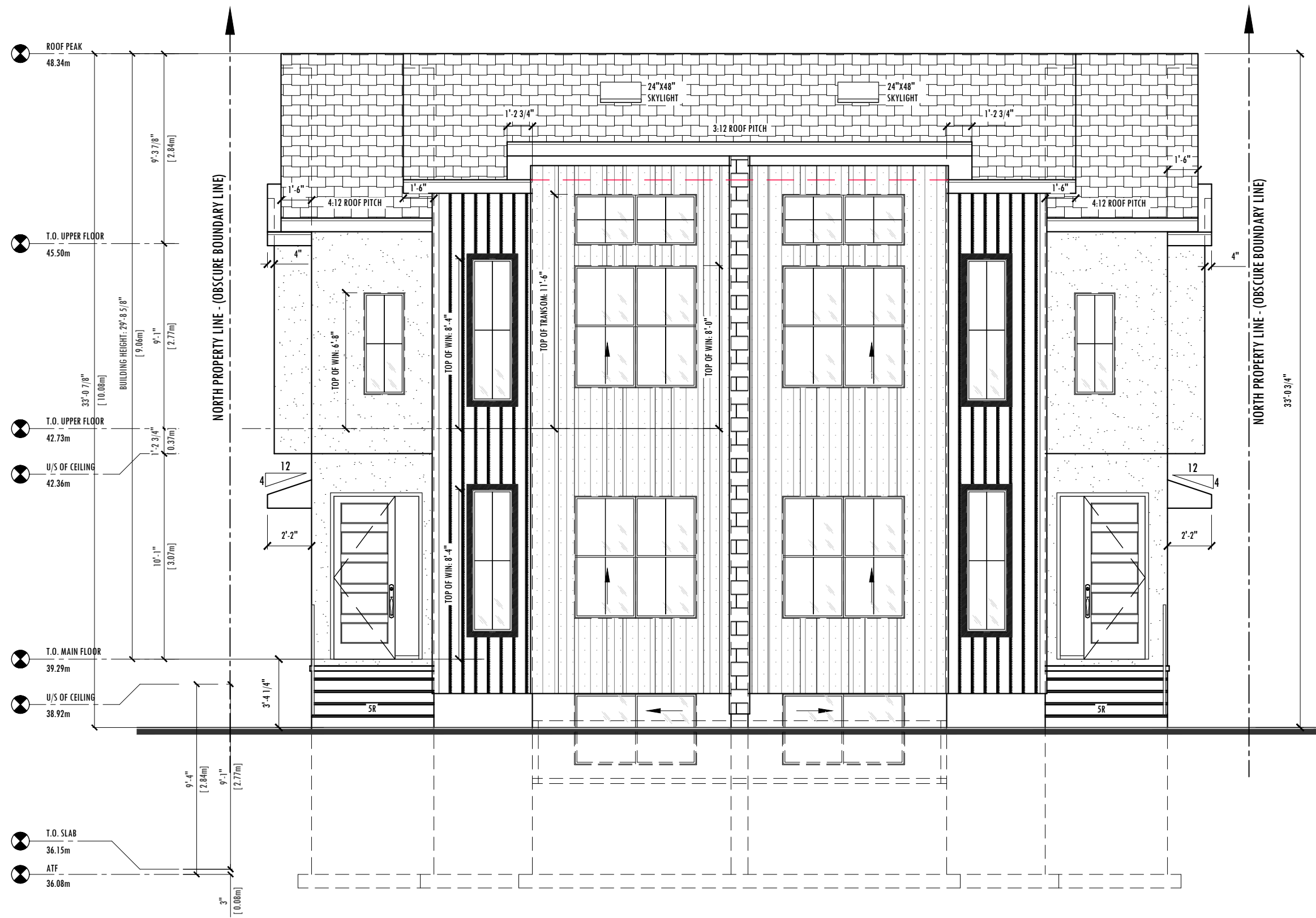
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NEW SINGLE SEMI-DETACHED HOME				
				
www.anomalydraftinganddesign.com				
PROJECT ADDRESS: 219 45 STREET SW, CALGARY AB	UNIT A - MAIN FLOOR SQFT:	932 SQFT	UNIT B - MAIN FLOOR SQFT:	932 SQFT
	UNIT A - UPPER FLOOR SQFT:	1077 SQFT	UNIT B - UPPER FLOOR SQFT:	1077 SQFT
	UNIT A - BSMT SUITE SQFT:	740 SQFT	UNIT B - BSMT SUITE SQFT:	740 SQFT
	BUILDING ENVELOPE SQUARE FOOTAGE		932 FT ² / 86.56m ²	
	TOTAL SQUARE FOOTAGE:		2736 SQFT	
	DRAWN:		EKS	
	CLIENT: HOMEOWNER RESIDENCE			
SCALE:		ISSUE DATE M/D/Y:		
3/16" = 1'-0"		03/25/2025		
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PROJECT NO:		NH016		
PROJECT STATUS: ISSUED FOR DEVELOPMENT PERMIT				
SHEET TITLE: PROPOSED BLOCK PLAN AND STREETScape				
REVISION ISSUE #:		SHEET NO.:		
X		A1.3		
LEGAL ADDRESS: LOT: 9 BLK: 1 PLAN: 1243HL				

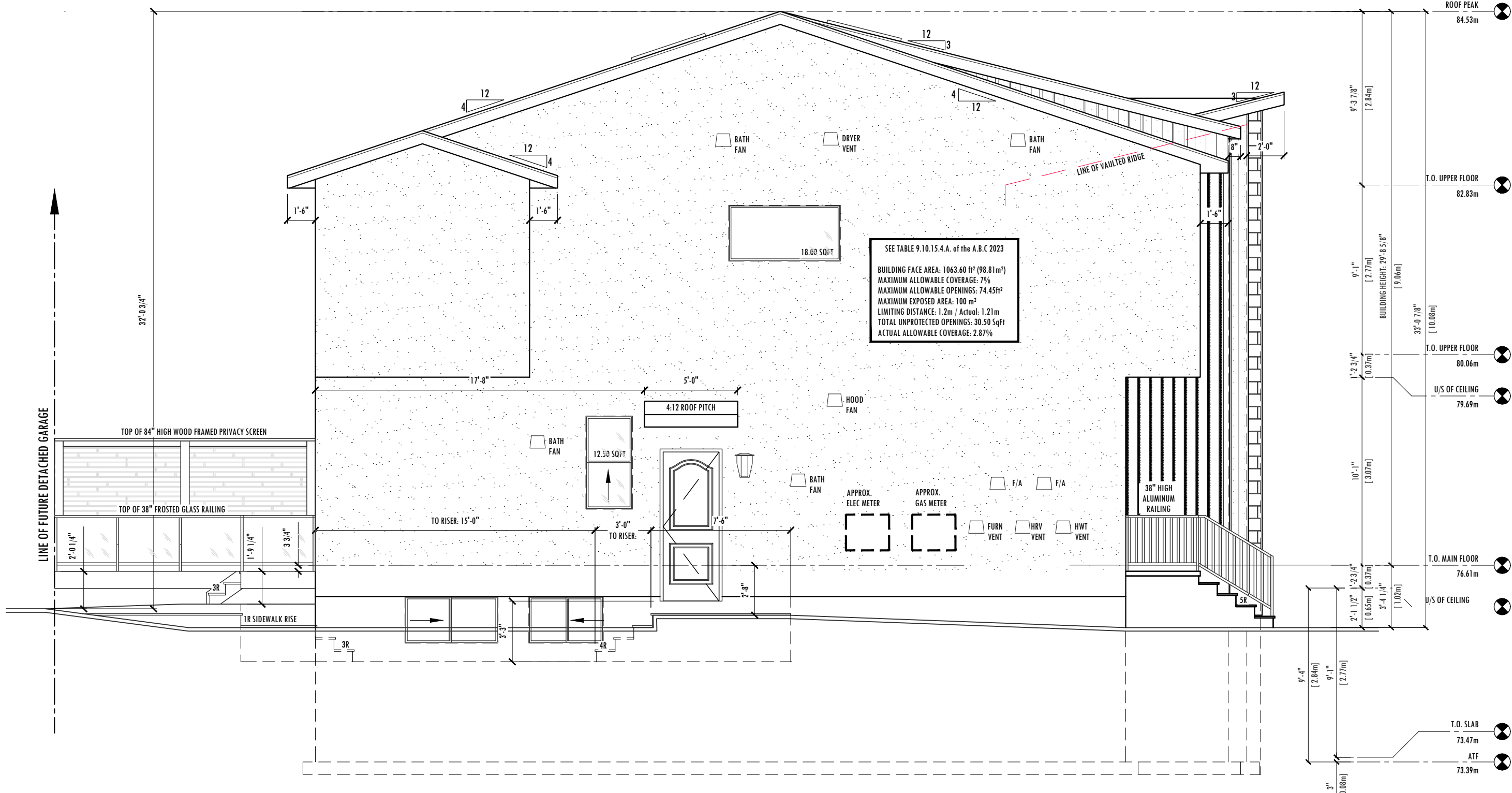




EAST 'FRONT'
ELEVATION VIEW

SCALE: 3/16" = 1'-0"

1



SOUTH 'LEFT'
ELEVATION VIEW

SCALE: 3/16" = 1'-0"

2

ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN, THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER. THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.
- WINDOWS SHOWN ARE ALUMINUM CLAD C/W GRILLS, SEE ELEVATIONS FOR CLARIFICATION.
- SEE ELEVATIONS FOR 6" JAMES HARDIE CORNER BOARD LOCATIONS.
- RAILING IS TO BE ALUMINUM C/W GLASS PANELING.
- WOOD DECKING IS TO BE COMPOSITE.
- DETAILS FOR REAR PORCH: REAR PORCH TO BE COMPOSITE WOOD DECKING.
- ROOF: PRE-FINISHED ALUMINUM TO 8" FASCIA.
- WOOD SOFFIT LOCATIONS TBD. HOWEVER, WOOD SOFFIT TO FRONT ENTRY. OTHER LOCATIONS TO BE PRE-FINISHED ALUMINUM.

EXTERIOR FINISHES LEGEND

- STUCCO: TBD
- ACM PANEL: TBD - SUPPLIED BY JAY'S METAL
- ASPHALT SHINGLES: IKO ASPHALT SHINGLES
- CORRUGATED METAL ROOF: INTERLOCK 100 16" CORRUGATED METAL ROOFING
- VERTICAL SIDING: JAMES HARDIE BOARD AND BATTEN SIDING
- COMPOSITE HARDIE PANEL: FULL WIDTH HARIDE PANELS CUT AS PER ARCHITECTURAL DRAWING

NEW SINGLE
SEMI-DETACHED HOME



www.anomalydraftinganddesign.com

UNIT A - MAIN FLOOR SQFT:	932 SQFT	UNIT B - MAIN FLOOR SQFT:	932 SQFT
UNIT A - UPPER FLOOR SQFT:	1077 SQFT	UNIT B - UPPER FLOOR SQFT:	1077 SQFT
UNIT A - BSMT SUITE SQFT:	740 SQFT	UNIT B - BSMT SUITE SQFT:	740 SQFT
BUILDING ENVELOPE SQUARE FOOTAGE			
932 FT² / 86.56m²			

TOTAL SQUARE FOOTAGE:	2736 SQFT	DRAWN:	EKS
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CLIENT:	HOMEOWNER RESIDENCE
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SCALE:	3/16" = 1'-0"	ISSUE DATE M/D/Y:	03/25/2025
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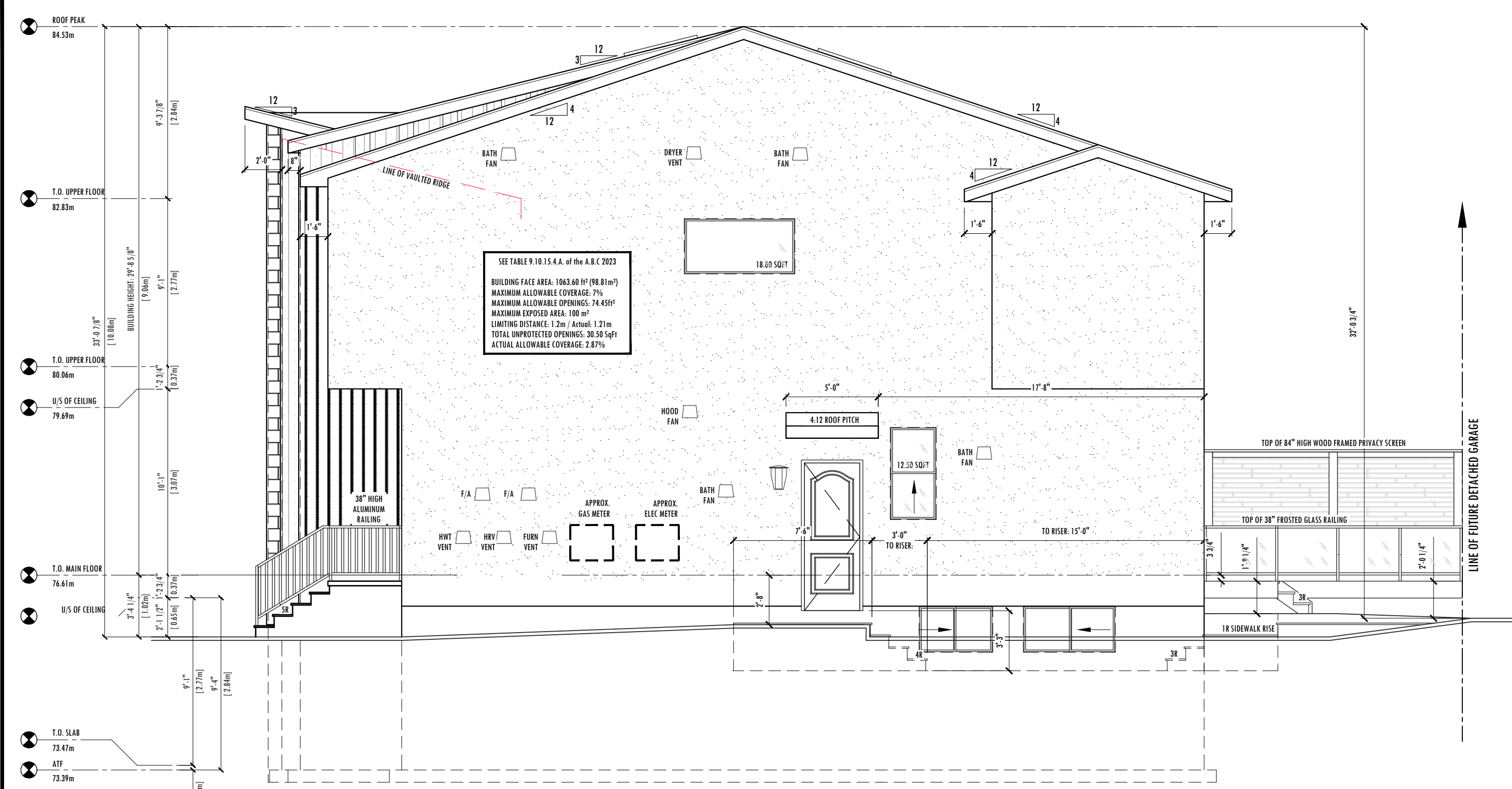
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PROJECT NO:	NH016
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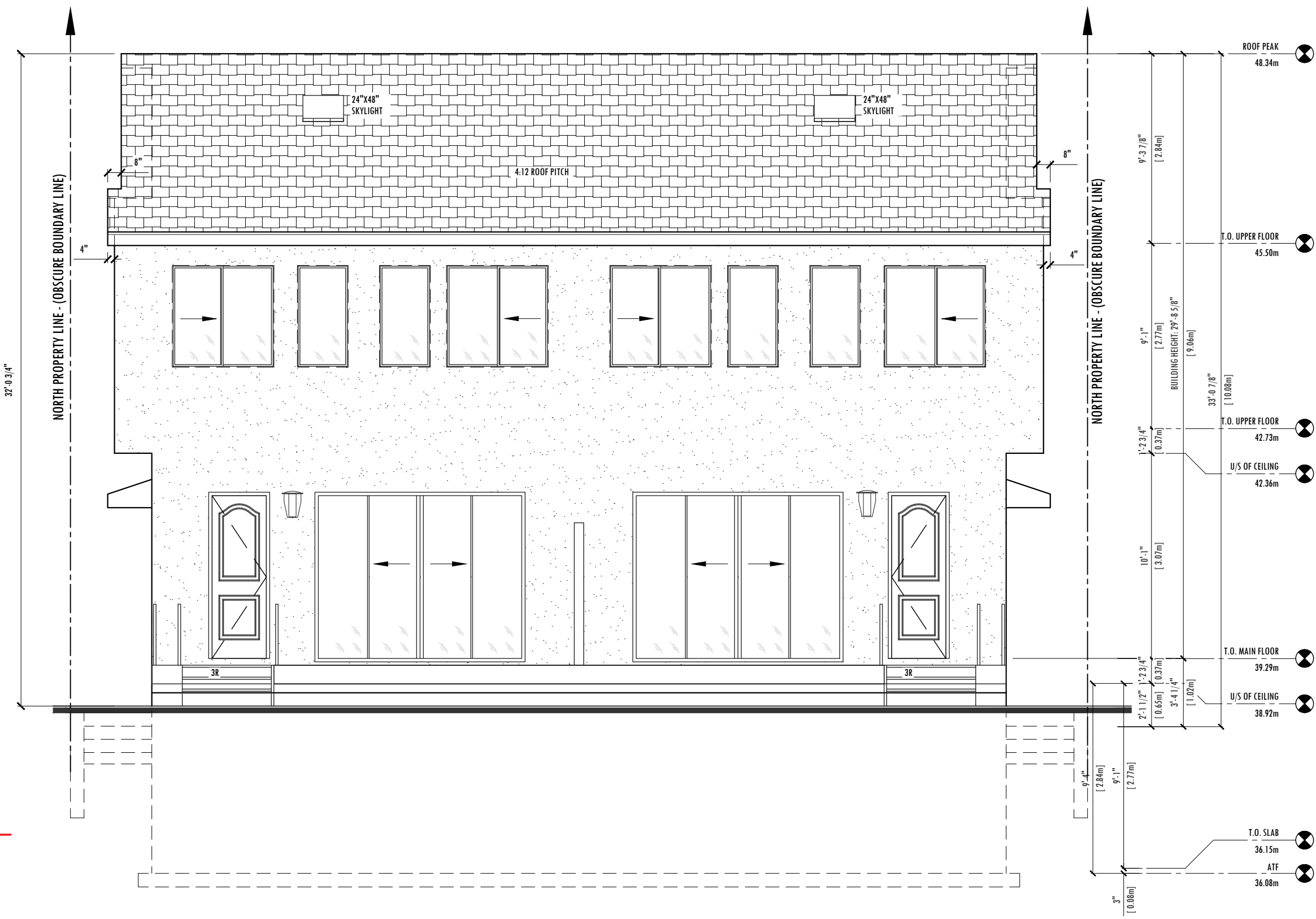
PROJECT STATUS:	ISSUED FOR DEVELOPMENT PERMIT
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SHEET TITLE:	PROPOSED ELEVATIONS
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REVISION ISSUE #:	X	SHEET NO.:	A3.1
LEGAL ADDRESS:	LOT: 9 BLK: 1	PLAN:	1243HL



NORTH 'RIGHT'
ELEVATION VIEW
SCALE: 3/16" = 1'-0" 1



WEST 'REAR'
ELEVATION VIEW
SCALE: 3/16" = 1'-0" 2

WINDOW DESCRIPTION	
U-VALUE:	R-VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings.

- ELEVATION GENERAL NOTES**
- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN, THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
 - ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO THE DESIGNER FOR CLARIFICATION.
 - LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
 - EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
 - DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
 - WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER, THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
 - GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
 - G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.
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 - SEE ELEVATIONS FOR 6" JAMES HARDIE CORNER BOARD LOCATIONS.
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 - WOOD DECKING IS TO BE COMPOSITE.
 - DETAILS FOR REAR PORCH TBD, REAR PORCH TO BE COMPOSITE WOOD DECKING.
 - ROOF PRE-FINISHED ALUMINUM TO 8" FASCIA.
 - WOOD SOFFIT LOCATIONS TBD, HOWEVER, WOOD SOFFIT TO FRONT ENTRY. OTHER LOCATIONS TO BE PRE-FINISHED ALUMINUM.

- EXTERIOR FINISHES LEGEND**
- STUCCO: TBD
 - ACM PANEL: TBD - SUPPLIED BY JAY'S METAL
 - ASPHALT SHINGLES: IKO ASPHALT SHINGLES
 - CORRUGATED METAL ROOF: INTERLOCK 100 16" CORRUGATED METAL ROOFING
 - VERTICAL SIDING: JAMES HARDIE BOARD AND BATTEN SIDING
 - COMPOSITE HARDIE PANEL: FULL WIDTH HARDIE PANELS CUT AS PER ARCHITECTURAL DRAWING

NEW SINGLE SEMI-DETACHED HOME

ANOMALY
DRAFTING AND DESIGN

www.anomalydraftinganddesign.com

UNIT A - MAIN FLOOR SQFT:	932 SQFT	UNIT B - MAIN FLOOR SQFT:	932 SQFT
UNIT A - UPPER FLOOR SQFT:	1077 SQFT	UNIT B - UPPER FLOOR SQFT:	1077 SQFT
UNIT A - BSMNT SUITE SQFT:	740 SQFT	UNIT B - BSMNT SUITE SQFT:	740 SQFT
BUILDING ENVELOPE SQUARE FOOTAGE			
932 FT² / 86.56m²			

TOTAL SQUARE FOOTAGE:	2736 SQFT	DRAWN:	EKS
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CLIENT: HOMEOWNER RESIDENCE

SCALE:	3/16" = 1'-0"	ISSUE DATE M/D/Y:	03/25/2025
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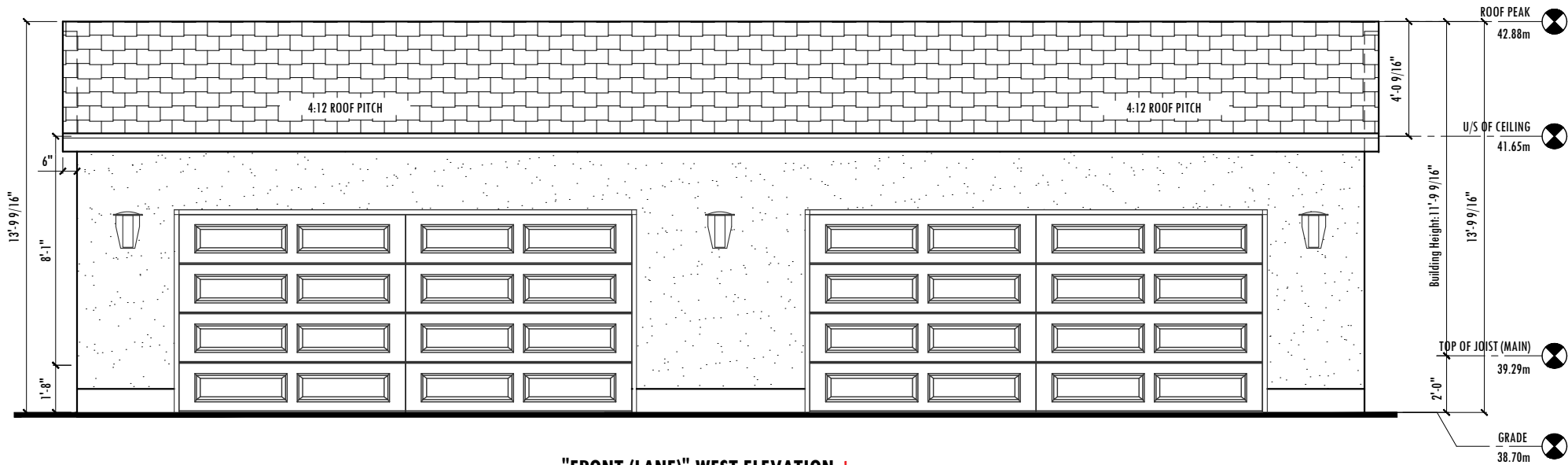
PROJECT NO: NH016

PROJECT STATUS: **ISSUED FOR DEVELOPMENT PERMIT**

SHEET TITLE: **PROPOSED ELEVATIONS**

REVISION ISSUE #:	X	SHEET NO.:	A3.2
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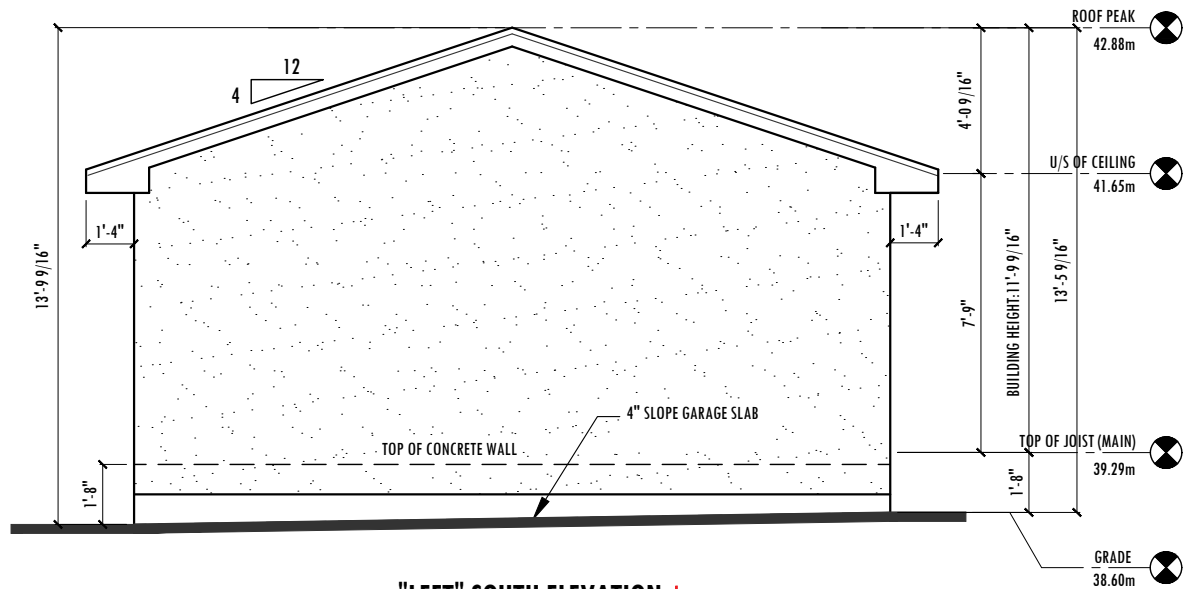
LEGAL ADDRESS: LOT: 9 BLK: 1 PLAN: 1243HL



"FRONT (LANE)" WEST ELEVATION

SCALE: 3/16" = 1'-0"

1



"LEFT" SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

2

ELEVATION GENERAL NOTES

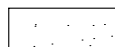
- Geodetic elevations at building corners is to be remain constant for masonry return. Therefore G.C. is to confirm grading with surveyor prior to excavation. Both the elevations and site plan need to be reviewed.
- Any discrepancies with regards to exterior finish materials shown, must be communicated to the designer for clarification.
- Locations of drops in foundation shown are approximate, therefore, drops will be verified on site.
- Except stucco, all exterior siding will be a minimum 10" above grade.
- Downspout locations will be determined by supplier on site.
- Windows to be supplied and installed by supplier. Therefore window dimensions shown, to be confirmed by supplier prior to building permit submission.
- Grade slopes shown are approximate, therefore geodetic elevations to be determined on site.
- G.C. is to install flashing to all exterior finish material changes.

WINDOW DESCRIPTION

U-VALUE:	R VALUE:
2.725	0.367

All windows are to be dual pane, clear glass, and no coatings

EXTERIOR FINISHES LEGEND



Stucco: Acrylic stucco



Roof Shingles: Asphalt Wood Shingles. See spec for shingles:

DETACHED GARAGE

PROJECT NO:

NH016



PROJECT ADDRESS:

1430 21 AVENUE NW, CALGARY AB

CLIENT:

HOMEOWNER RESIDENCE

GARAGE ENV.
square footage

1092 FT²/ 101.45m²

GARAGE TOTAL
square footage

420 FT²

DRAWN:

EKS

ISSUE #:

X

SCALE:

3/16" = 1'-0"

ISSUE DATE M/D/Y:

03/25/25

SHEET TITLE:

PROPOSED GARAGE ELEVATIONS

LEGAL ADDRESS:

LOT: 9 BLK: 1
PLAN: 1243HL

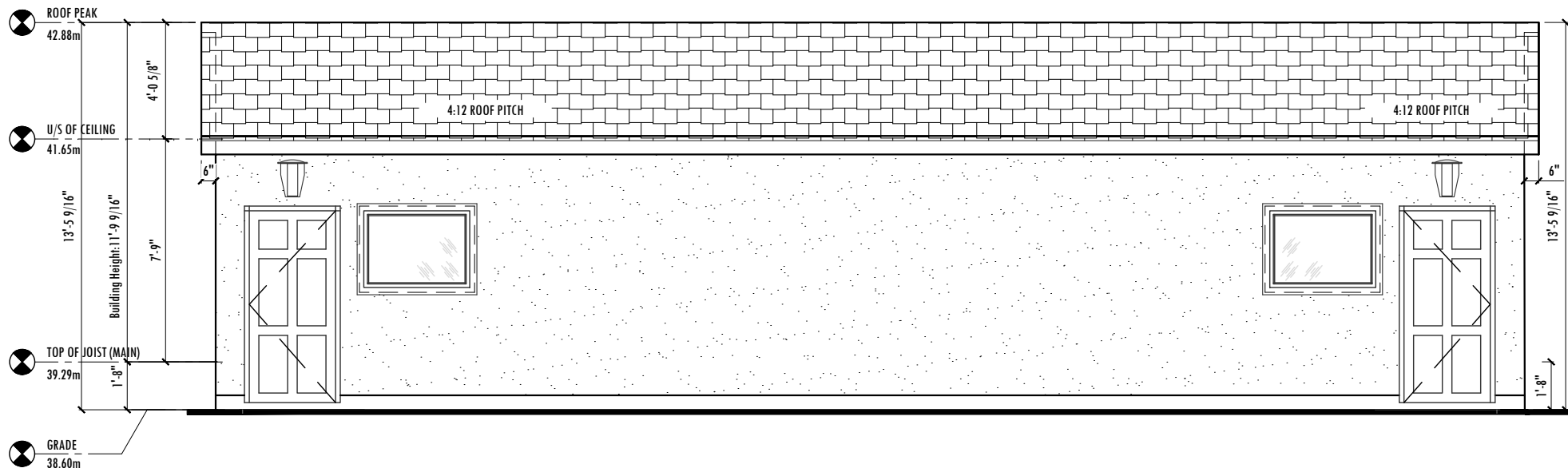
PROJECT STATUS:

DEVELOPMENT PERMIT

SHEET NO.:

G4

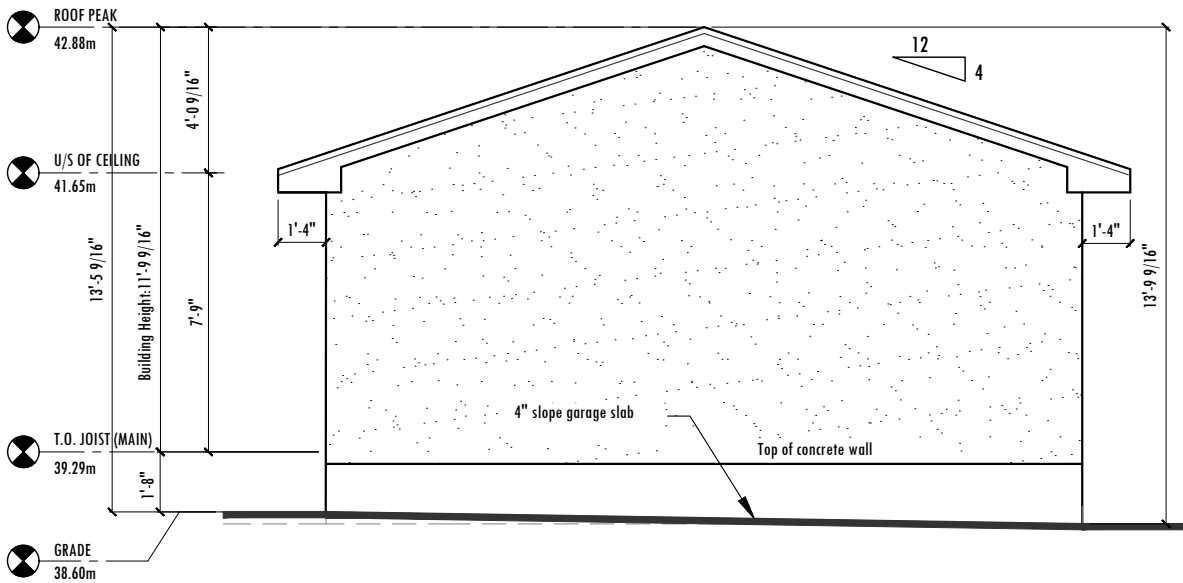
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"REAR" EAST ELEVATION

SCALE: 3/16" = 1'-0"

1



"RIGHT" NORTH ELEVATION

SCALE: 3/16" = 1'-0"

4

ELEVATION GENERAL NOTES

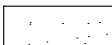
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EXTERIOR FINISHES LEGEND



Stucco: Acrylic stucco



Roof Shingles: Asphalt Wood Shingles. See spec for shingles.

DETACHED GARAGE

PROJECT NO:

NH016



PROJECT ADDRESS:

1430 21 AVENUE NW, CALGARY AB

CLIENT:

HOMEOWNER RESIDENCE

GARAGE ENV.

square footage

1092 FT² / 101.45m²

GARAGE TOTAL

square footage

420 FT²

DRAWN:

ISSUE #:

EKS

X

SCALE:

3/16" = 1'-0"

ISSUE DATE M/D/Y:

03/25/25

PROPOSED GARAGE ELEVATIONS

LEGAL ADDRESS:

LOT: 9 BLK: 1
PLAN: 1243HL

PROJECT STATUS:

DEVELOPMENT PERMIT

SHEET NO.:

G5