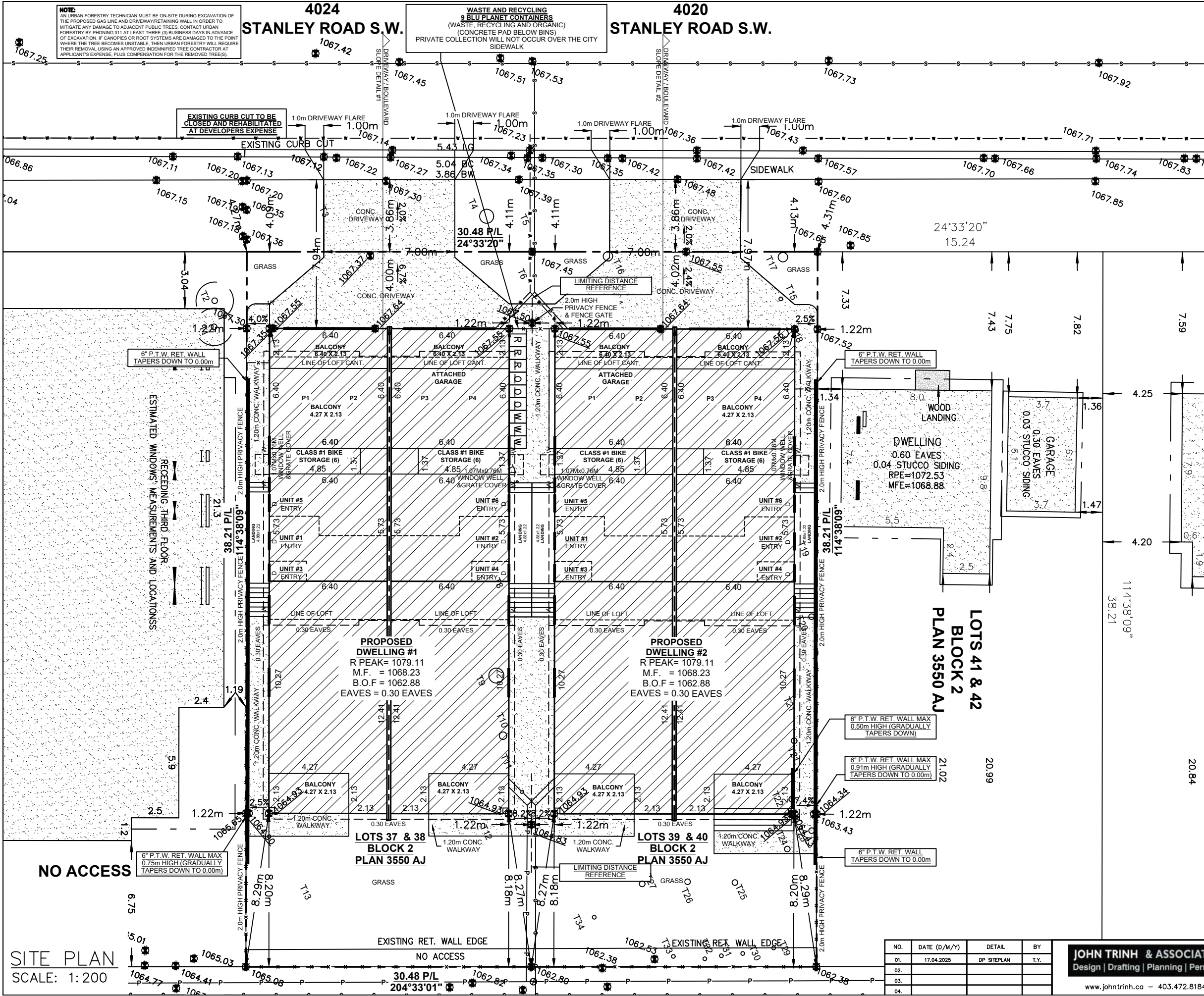




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: * = 1000.00 METRES. (GEODETIC) DISTANCES ARE IN METRES AND DECIMALS THEREOF. ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 55269 AND 179085. ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING. WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT. THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X---X--- denotes Fence
- S---S--- denotes Sanitary Line
- ST---ST--- denotes Storm Line
- W---W--- denotes Water Line
- G---G--- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: M-C1 Multi-Residential

SCALE 1: 200

LEGAL DESCRIPTION:
Lots 37 & 38 & 39 & 40
Block 2
Plan 3550 AJ

MUNICIPAL ADDRESS:
4020 & 2024 STANLEY ROAD S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(TOWN HOUSE)
LOT SIZE : 1164.116 SQ M
HOUSE : 456.960 SQ M
MAIN CANT. : 0.00 SQ M
GARAGE : 169.224 SQ M
MOBILITY STORAGE : 26.616 SQ M
WING WALL : 0.00 SQ M

DENSITY:
12 UNITS

PARKING:
CAR PARKING PROVIDED: 8 STALLS
BIKE PARKING PROVIDED: 24 STALLS

TOTAL : 652.800/1164.116
= 56.07%

NO.	DATE (D/M/Y)	DETAIL	BY
01.	17.04.2025	DP SITEPLAN	T.Y.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

www.johntrinh.ca -- 403.472.8184

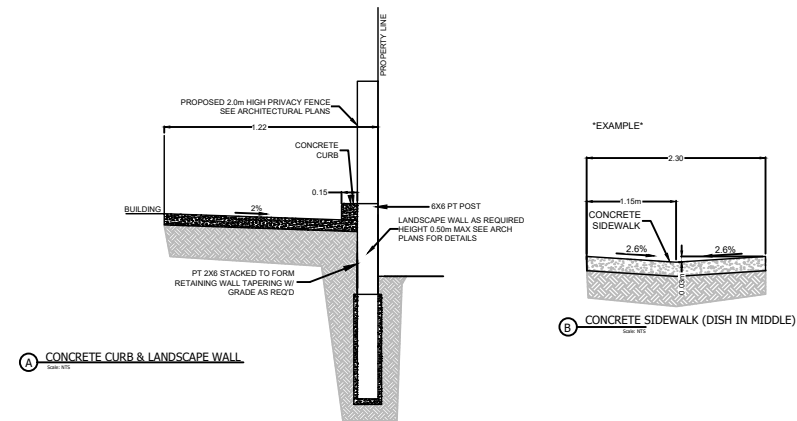
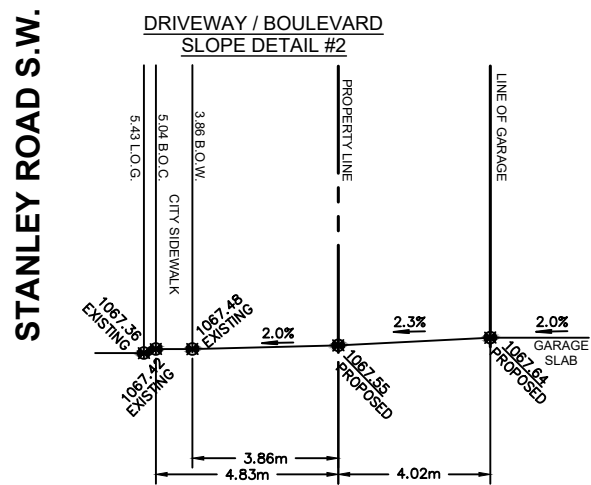
PROJECT NAME AND ADDRESS:
4020 & 2024 STANLEY ROAD. S.W.
Calgary, Alberta

PROJECT:
Multi-Family Development

DATE:
APR 17, 2025

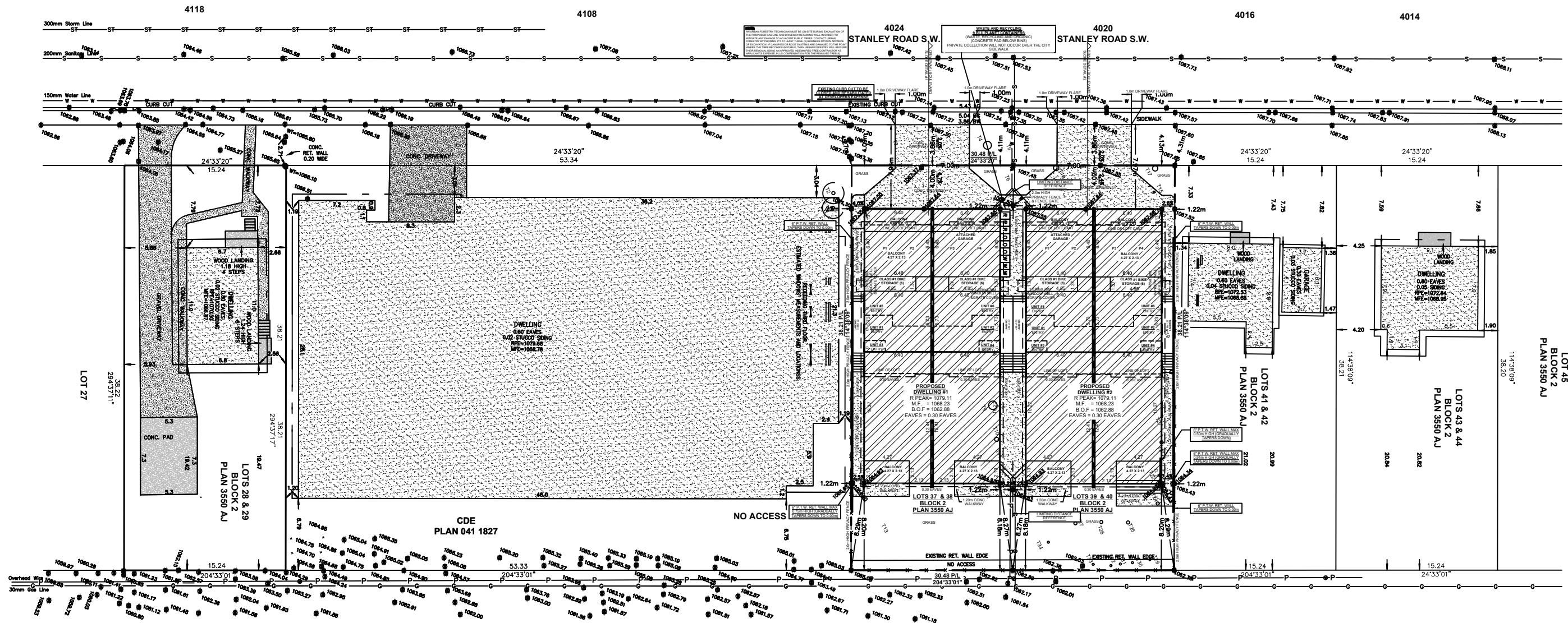
SCALE:
1: 200

DIVISION NUMBER:
S 01



DRAINAGE DETAILS

SCALE: NTS

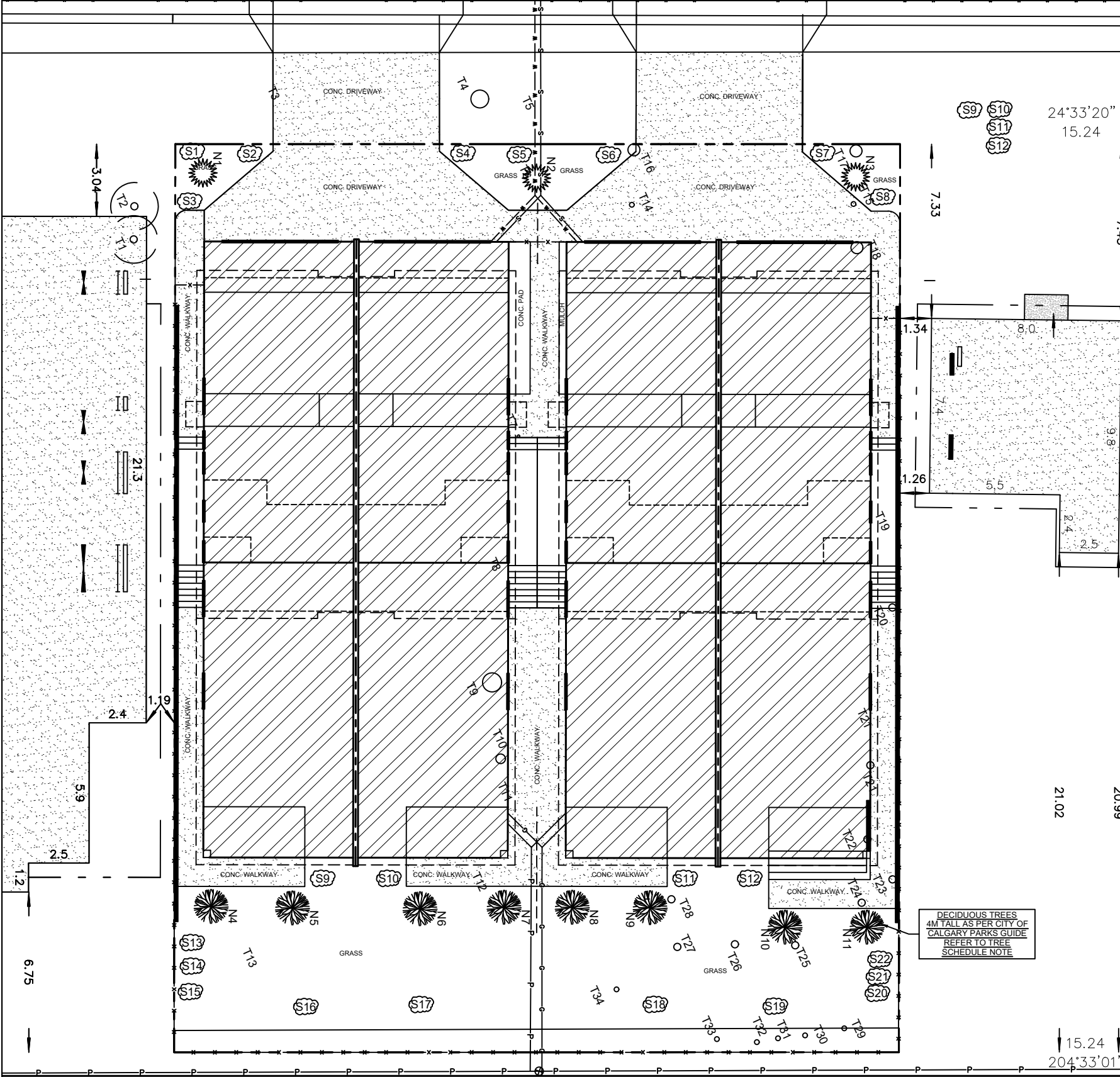


NO.	DATE (D/M/Y)	DETAIL	BY
01.	17.04.2025	DP SITEPLAN	T.Y.
02.			
03.			
04.			

www.johntrinh.ca – 403.472.8184

PROJECT:	Multi-Family Development
DATE:	APR 17, 2025

SCALE:	
As Shown	
DIVISION	NUMBER
S	02



TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	DISPOSITION
T1-T2	Deciduous	0.30	2.0	18.0	In Adjacent Property	TO STAY
T3	Bush	---	6.0	6.0	In City Property	TO BE REMOVED
T4	Deciduous	0.75	12.0	12.0	In City Property	TO BE REMOVED
T5	Bush	---	0.60	1.0	In City Property	TO BE REMOVED
T6	Bush	---	0.60	1.0	In Subject Property	TO BE REMOVED
T7	Deciduous	0.10	3.0	5.0	In Subject Property	TO BE REMOVED
T8	Bush	---	3.5	5.0	In Subject Property	TO BE REMOVED
T9	Coniferous	0.80	8.0	18.0	In Subject Property	TO BE REMOVED
T10	Coniferous	0.60	4.0	15.0	In Subject Property	TO BE REMOVED
T11	Bush	---	6.0	5.0	In Subject Property	TO BE REMOVED
T12	Coniferous	0.60	7.0	15.0	In Subject Property	TO BE REMOVED
T13	Bush	---	3.5	2.0	In Subject Property	TO BE REMOVED
T14-T15	Coniferous	0.20	6.0	15.0	In Subject Property	TO BE REMOVED
T16-T18	Coniferous	0.50	6.0	15.0	In Subject Property	TO BE REMOVED
T19	Bush	---	3.0	3.0	On Property Line	TO BE REMOVED
T20	Deciduous	0.30	6.0	8.0	In Subject Property	TO BE REMOVED
T21	Bush	---	5.0	6.0	In Subject Property	TO BE REMOVED
T22-T28	Coniferous	0.30	6.0	12.0	In Subject Property	TO BE REMOVED
T29-T33	Deciduous	0.20	3.0	8.0	In Subject Property	TO BE REMOVED
T34	Deciduous	0.20	1.0	10.0	In Subject Property	TO BE REMOVED

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Picea Pungens 'Baby Blue Eyes' (Coniferous Trees)	0.06	0.75	3.00	In Subject Property	New
N2	Picea Pungens 'Baby Blue Eyes' (Coniferous Trees)	0.06	0.75	3.00	In Subject Property	New
N3	Picea Pungens 'Baby Blue Eyes' (Coniferous Trees)	0.06	0.75	3.00	In Subject Property	New
N4	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.08	0.75	3.00	In Subject Property	New
N7	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.08	0.75	3.00	In Subject Property	New
N8	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.08	0.75	3.00	In Subject Property	New
N9	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.08	0.75	3.00	In Subject Property	New
N10	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.08	0.75	3.00	In Subject Property	New
N11	Prunus Nigra 'Princess Kay' (Deciduous Tree)	0.08	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S2	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S3	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S4	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S5	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S6	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S7	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S8	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S9	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S10	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S11	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S12	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S13	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S14	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S15	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S16	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S17	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S18	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S19	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S20	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S21	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New
S22	Bearberry (Arctostaphylos) (Shrub)	---	0.61	0.61	In Subject Property	New

NOTE:
Proposed landscaping complies with Bylaw 556 low irrigation requirements and Table 3 for low water trees.

"Provide a minimum soil depth of 600mm for planting beds with shrubs".
"A minimum 300mm (depth) topsoil is proposed for any / all landscaped areas on / within the site".

NOTE:
PROPOSED TREES N4 TO N11 ARE "PRINCESS KAY PLUM - PRUNUS NIGRA". AS PER CITY OF CALGARY PARKS SPECIFICATIONS, THESE TREES GROW TO A MAXIMUM UNTRIMMED HEIGHT OF 4M. WHICH COMPLIES WITH ENMAX REQUIREMENTS. WITH PROPER TRIMMING THEY CAN STAY AT AROUND 3M.
REFER TO ATTACHED LINK:
<https://www.calgary.ca/parks/trees/top-species-for-calgary.html>

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

NOTE:
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS: 4020 & 2024 STANLEY ROAD. S.W. Calgary, Alberta	PROJECT: Multi-Family Development	SCALE: As Shown
01.	17.04.2025	DP SITEPLAN	T.Y.	Lots 37 & 38 & 39 & 40 Block 2 Plan 3550 AJ	DATE: APR 17, 2025	DIVISION NUMBER: S 03
02.						
03.						
04.						

LANDSCAPE COVERAGE

LOT SIZE = 1164.116 SQ. M
LANDSCAPE AREA = 464.138 SQ. M
HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 174.856 SQ. M
SOFT LANDSCAPE (GRASS + MULCH) = 289.282 SQ. M

174.856 / 464.138 = 40.00% OF HARD LANDSCAPE
289.282 / 464.138 = 60.04% OF SOFT LANDSCAPE

LANDSCAPING REQUIREMENTS:

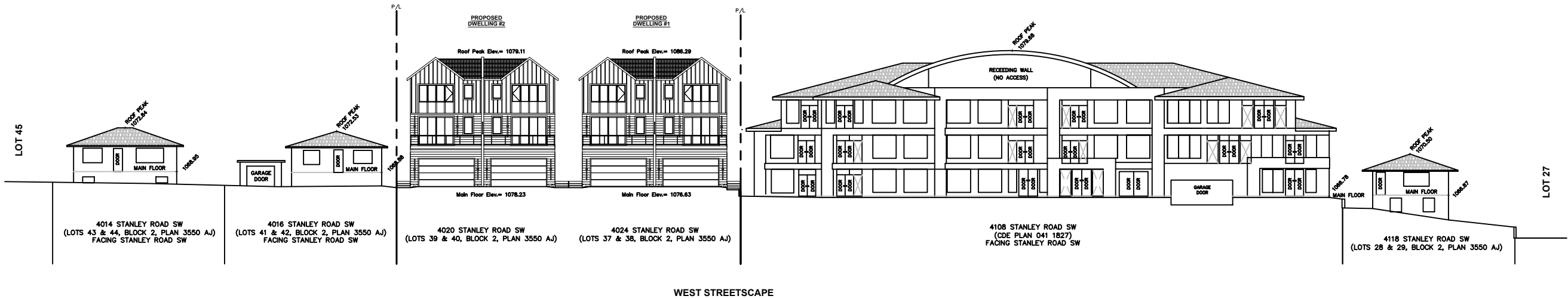
LOT SIZE: 464.138 SQ M
1 TREE PER /45.000 SQM
2 SHRUBS PER /45.000 SQM

11 TREES
22 SHRUBS

LANDSCAPING PLAN

SCALE: 1:200

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".



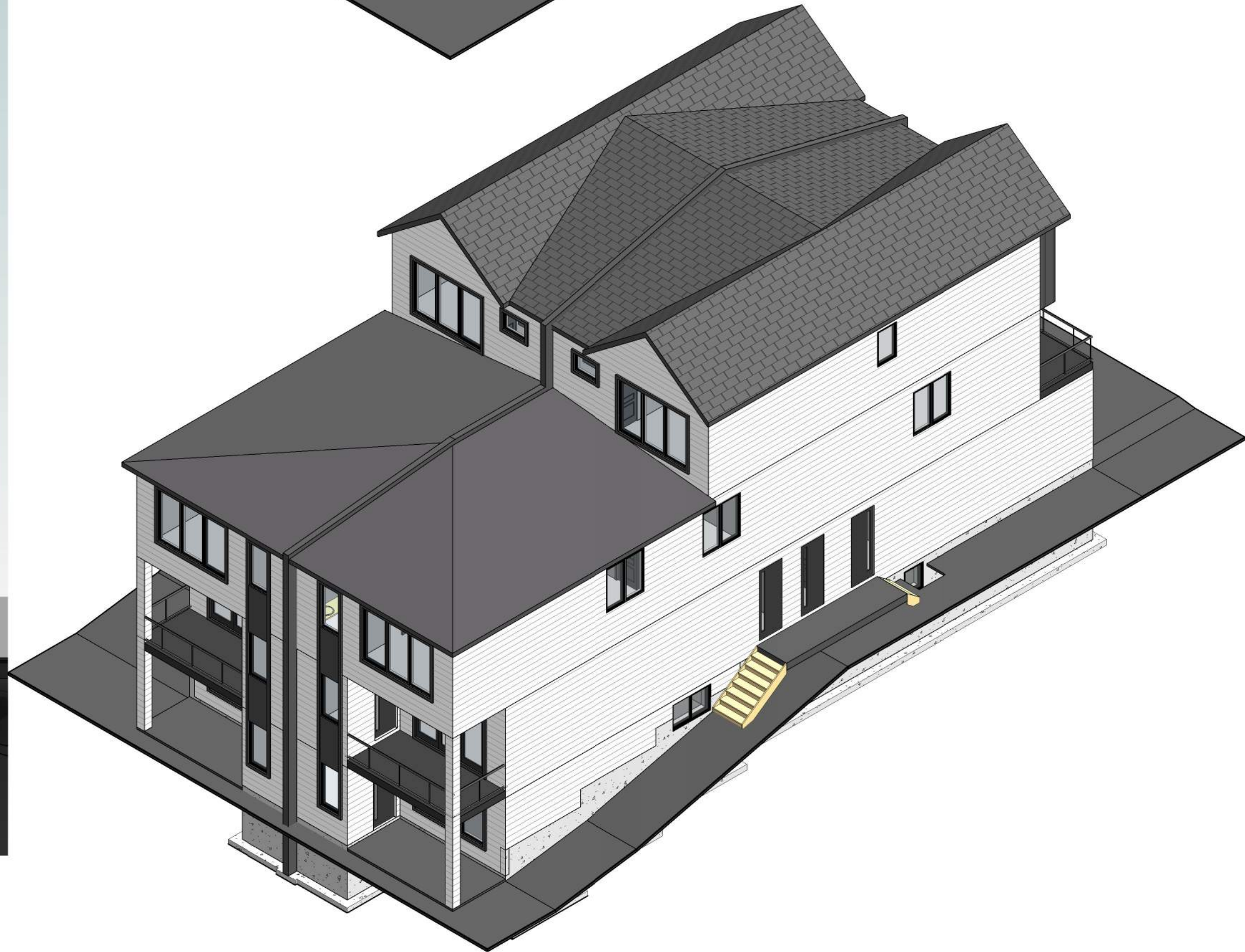
STREETSCAPE
SCALE: 1:400

DWELLING #1 AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA	UNIT #5 AREA	UNIT #6 AREA
BASEMENT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT	1260.00 SQ FT	1260.00 SQ FT
MAIN FLOOR	180.79 SQ FT	180.79 SQ FT	779.63 SQ FT	779.63 SQ FT	201.59 SQ FT	201.59 SQ FT
UPPER FLOOR	772.63 SQ FT	772.63 SQ FT	865.38 SQ FT	865.38 SQ FT	000.00 SQ FT	000.00 SQ FT
LOFT FLOOR	966.00 SQ FT	966.00 SQ FT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT
TOTAL AREA	1919.42 SQ FT	1919.42 SQ FT	1645.01 SQ FT	1645.01 SQ FT	1461.59 SQ FT	1461.59 SQ FT

DWELLING #2 AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA	UNIT #5 AREA	UNIT #6 AREA
BASEMENT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT	1260.00 SQ FT	1260.00 SQ FT
MAIN FLOOR	180.79 SQ FT	180.79 SQ FT	779.63 SQ FT	779.63 SQ FT	201.59 SQ FT	201.59 SQ FT
UPPER FLOOR	772.63 SQ FT	772.63 SQ FT	865.38 SQ FT	865.38 SQ FT	000.00 SQ FT	000.00 SQ FT
LOFT FLOOR	966.00 SQ FT	966.00 SQ FT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT	000.00 SQ FT
TOTAL AREA	1919.42 SQ FT	1919.42 SQ FT	1645.01 SQ FT	1645.01 SQ FT	1461.59 SQ FT	1461.59 SQ FT



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

UNIT #1 AREA:

BASEMENT: -- SQ.FT.

MAIN FLOOR PLAN: 180.79 SQ.FT.

UPPER FLOOR PLAN: 772.63 SQ.FT.

LOFT FLOOR PLAN: 966.00 SQ.FT.

TOTAL: 1919.42 SQ.FT.

UNIT #2 AREA:

BASEMENT: -- SQ.FT.

MAIN FLOOR PLAN: 180.79 SQ.FT.

UPPER FLOOR PLAN: 772.63 SQ.FT.

LOFT FLOOR PLAN: 966.00 SQ.FT.

TOTAL: 1919.42 SQ.FT.

UNIT #3 AREA:

BASEMENT: -- SQ.FT.

MAIN FLOOR PLAN: 779.63 SQ.FT.

UPPER FLOOR PLAN: 865.38 SQ.FT.

TOTAL: 1645.01 SQ.FT.

UNIT #4 AREA:

BASEMENT: -- SQ.FT.

MAIN FLOOR PLAN: 779.63 SQ.FT.

UPPER FLOOR PLAN: 865.38 SQ.FT.

TOTAL: 1645.01 SQ.FT.

UNIT #5 AREA:

BASEMENT: 1260.00 SQ.FT.

MAIN FLOOR PLAN: 201.59 SQ.FT.

TOTAL: 1461.59 SQ.FT.

UNIT #6 AREA:

BASEMENT: 1260.00 SQ.FT.

MAIN FLOOR PLAN: 201.59 SQ.FT.

TOTAL: 1461.59 SQ.FT.

TOTAL AMENITY SPACE:

63.72 SQ.M.



GENERAL NOTES:

MUNICIPAL ADDRESS:
4024 STANLEY ROAD S.W.
CALGARY, ALBERTA

PROJECT:
PROPOSED
DWELLING #1
PROJECT NUMBER:
10 - 25

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
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REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01	17.04.25	DP PLAN	T.Y.
02	--	--	--
03	--	--	--
04	--	--	--
05	--	--	--
06	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING - ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

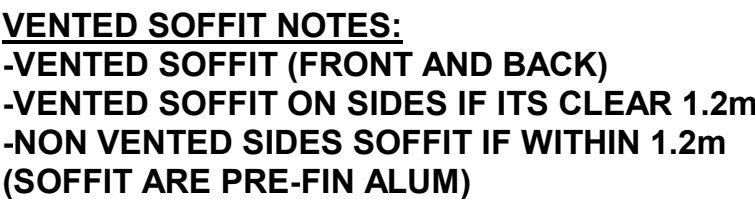
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SCALE:

PAGE:

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1	ASPHALT SHINGLES
2	6" ALUMINUM FASCIA - BLACK
3	BOARD & BATTEN FINISH - DARK GREY
4	SMART BOARD - DARK GREY
5	SIDING FINISH - WHITE
6	CONCRETE PAVING



MUNICIPAL ADDRESS:
4024 STANLEY ROAD S.W
CALGARY, ALBERTA

PROJECT:
PROPOSED
DWELLING #1
PROJECT NUMBER:
10 - 25

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	17.04.25	DP PLAN	T.Y.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

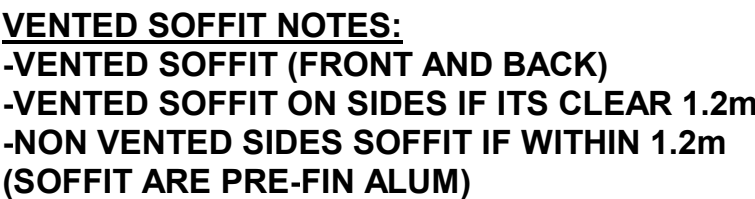
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1	ASPHALT SHINGLES
2	6" ALUMINUM FASCIA - BLACK
3	BOARD & BATTEN FINISH - DARK GREY
4	SMART BOARD - DARK GREY
5	SIDING FINISH - WHITE
6	CONCRETE PAVING



A-2.0

EXTERIOR FINISHES:

- 1ASPHALT SHINGLES
- 26" ALUMINUM FASCIA - BLACK
- 3BOARD & BATTEN FINISH - DARK GREY
- 4SMART BOARD - DARK GREY
- 5SIDING FINISH - WHITE
- 6CONCRETE PARGING

WINDOW CALCULATION :

@ 1.22m LIMITING DISTANCE
WALL AREA = 2343.04 SQ. FT.
WINDOW AREA = 131.23 SQ. FT.
TOTAL: 131.23 / 2343.04 = 5.60%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
4024 STANLEY ROAD S.W.
CALGARY, ALBERTA

PROJECT:
PROPOSED
DWELLING #1
PROJECT NUMBER:
10 - 25

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NO.	DATE(D/M/Y)	DETAIL	BY
01	17.04.25	DP PLAN	T.Y.
02	--	--	--
03	--	--	--
04	--	--	--
05	--	--	--
06	--	--	--

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ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:
Left Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-09 11:15:59 AM

SCALE: 1/4" = 1'-0"

PAGE:

A-2.1

EXTERIOR FINISHES:

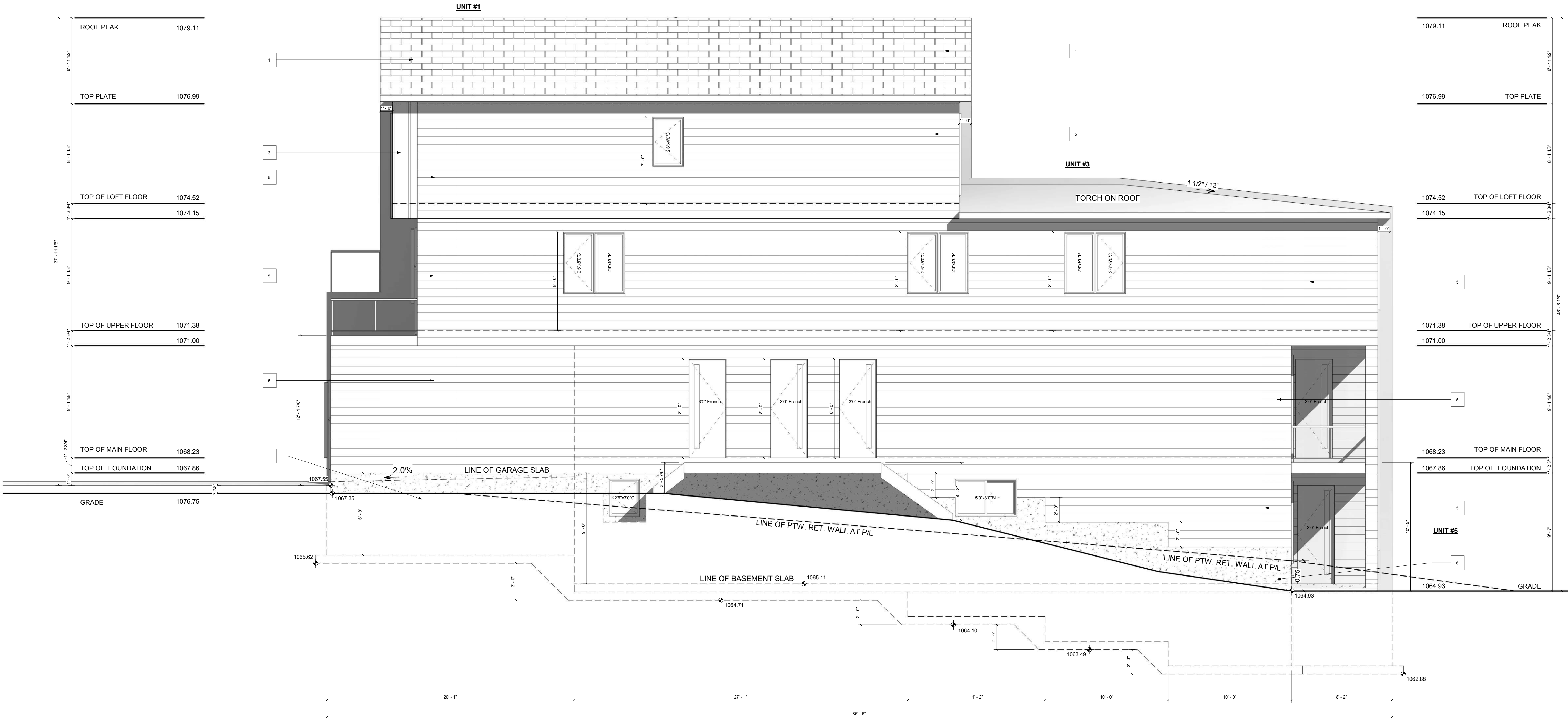
- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 BOARD & BATTEN FINISH - DARK GREY
- 4 SMART BOARD - DARK GREY
- 5 SIDING FINISH - WHITE
- 6 CONCRETE PARGING

WINDOW CALCULATION:
@ 1.22m LIMITING DISTANCE

WALL AREA = 2343.04 SQ. FT.
WINDOW AREA = 131.23 SQ. FT.
TOTAL: 131.23 / 2343.04 = 5.60%

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
4024 STANLEY ROAD S.W.
CALGARY, ALBERTA

PROJECT:
PROPOSED DWELLING #1
PROJECT NUMBER:
10 - 25

DO NOT SCALE DRAWINGS.
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01	17.04.25	DP PLAN	T.Y.
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DRAWING SET:

SHEET NAME:
Right Elevation

DESIGN BY: JT

DRAWN BY: JT

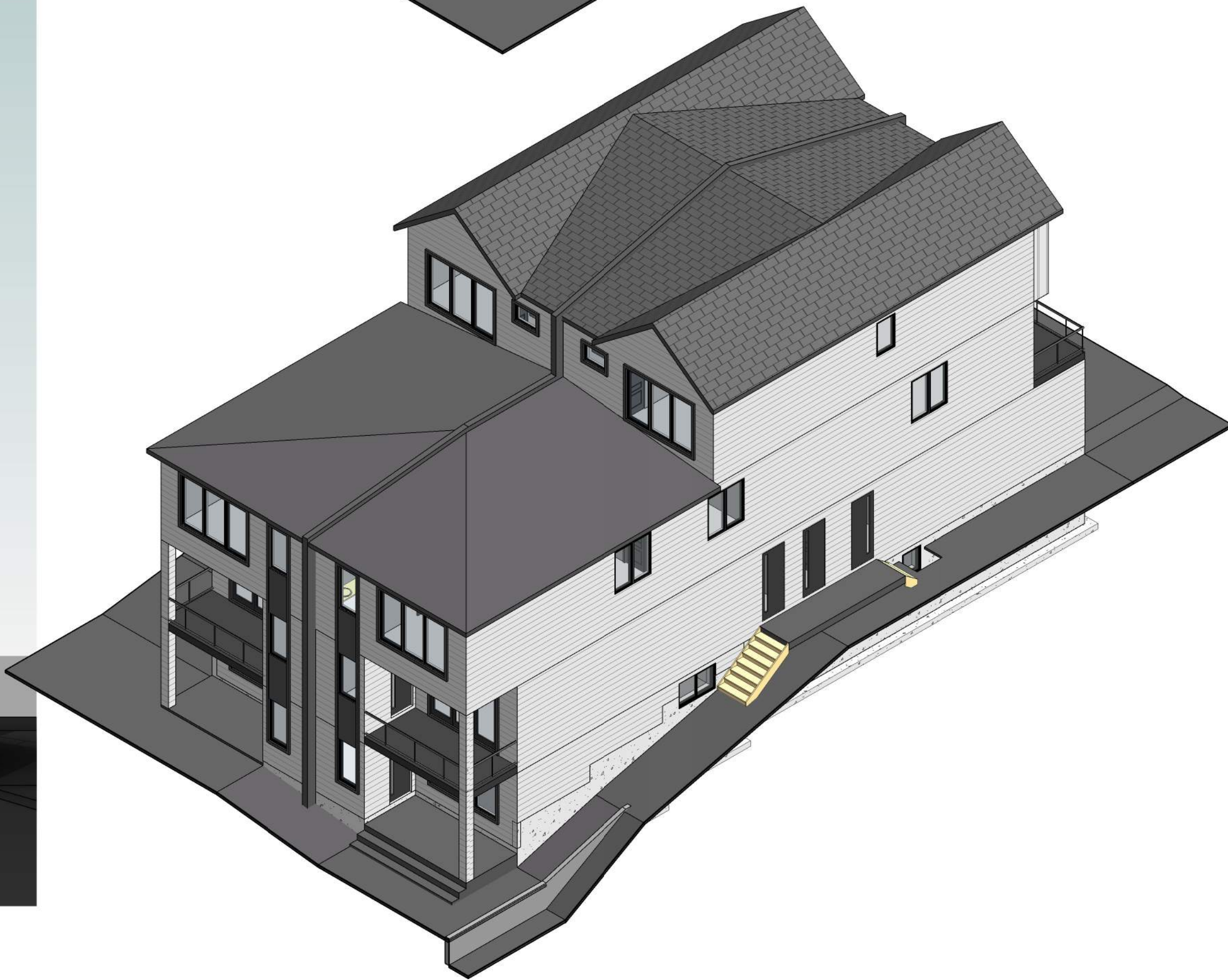
LAST REVISION BY:

PRINTED: 2025-05-09 11:16:25 AM

SCALE: 1/4" = 1'-0"

PAGE:

A-2.2



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

UNIT #1 AREA:		UNIT #2 AREA:	
BASEMENT:	-- SQ.FT.	BASEMENT:	-- SQ.FT.
MAIN FLOOR PLAN:	180.79 SQ.FT.	MAIN FLOOR PLAN:	180.79 SQ.FT.
UPPER FLOOR PLAN:	772.63 SQ.FT.	UPPER FLOOR PLAN:	772.63 SQ.FT.
LOFT FLOOR PLAN:	966.00 SQ.FT.	LOFT FLOOR PLAN:	966.00 SQ.FT.
TOTAL:	1919.42 SQ.FT.	TOTAL:	1919.42 SQ.FT.
UNIT #3 AREA:		UNIT #4 AREA:	
BASEMENT:	-- SQ.FT.	BASEMENT:	-- SQ.FT.
MAIN FLOOR PLAN:	779.63 SQ.FT.	MAIN FLOOR PLAN:	779.63 SQ.FT.
UPPER FLOOR PLAN:	865.38 SQ.FT.	UPPER FLOOR PLAN:	865.38 SQ.FT.
TOTAL:	1645.01 SQ.FT.	TOTAL:	1645.01 SQ.FT.
UNIT #5 AREA:		UNIT #6 AREA:	
BASEMENT:	1260.00 SQ.FT.	BASEMENT:	1260.00 SQ.FT.
MAIN FLOOR PLAN:	201.59 SQ.FT.	MAIN FLOOR PLAN:	201.59 SQ.FT.
TOTAL:	1461.59 SQ.FT.	TOTAL:	1461.59 SQ.FT.

TOTAL AMENITY SPACE:
63.72 SQ.M.



GENERAL NOTES:

MUNICIPAL ADDRESS:
**4020 STANLEY ROAD S.W.
CALGARY, ALBERTA**

PROJECT:
**PROPOSED
DWELLING #2**
PROJECT NUMBER:
10 - 25

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SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-09 11:06:19 AM

SCALE:

PAGE:

A-0.0

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 BOARD & BATTEN FINISH - GREY
- 4 SMART BOARD - GREY
- 5 SIDING FINISH - WHITE
- 6 CONCRETE PARGING

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 BOARD & BATTEN FINISH - GREY
- 4 SMART BOARD - GREY
- 5 SIDING FINISH - WHITE
- 6 CONCRETE PARGING



VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

REAR ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
4020 STANLEY ROAD S.W.
CALGARY, ALBERTA

PROJECT:
PROPOSED
DWELLING #2
PROJECT NUMBER:
10 - 25

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DRAWING SET:

SHEET NAME:

Front & Rear Elevation

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

PRINTED:

2025-05-09 11:06:44 AM

SCALE:

1/4" = 1'-0"

PAGE:

A-2.0

EXTERIOR FINISHES:

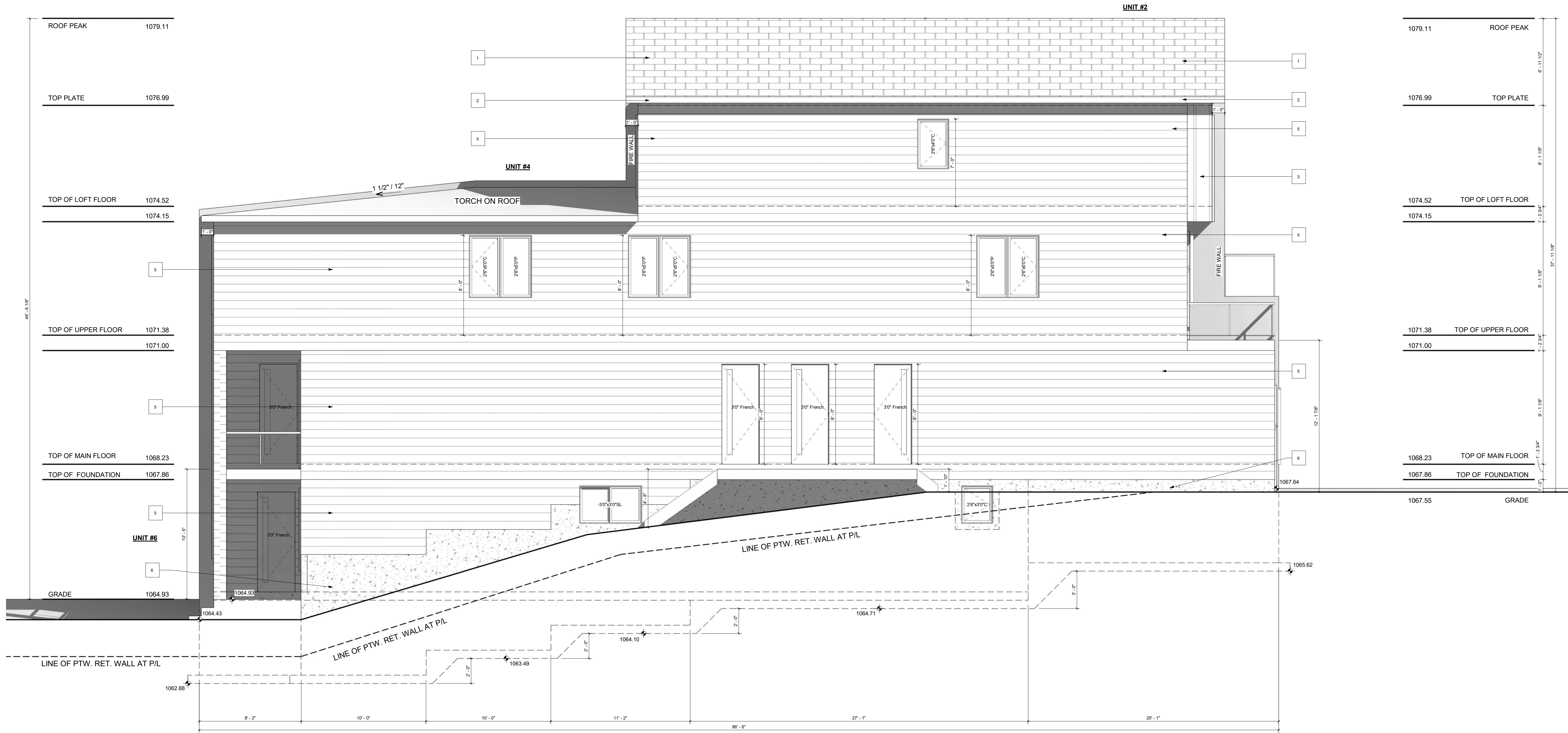
- 1
- ASPHALT SHINGLES
- 2
- 6" ALUMINUM FASCIA - BLACK
- 3
- BOARD & BATTEN FINISH - GREY
- 4
- SMART BOARD - GREY
- 5
- SIDING FINISH - WHITE
- 6
- CONCRETE PARGING

WINDOW CALCULATION :

@ 1.22m LIMITING DISTANCE
WALL AREA = 2343.04 SQ. FT.
WINDOW AREA = 131.23 SQ. FT.
TOTAL: 131.23 / 2343.04 = 5.60%

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
4020 STANLEY ROAD S.W.
CALGARY, ALBERTA

PROJECT:
PROPOSED
DWELLING #2
PROJECT NUMBER:
10 - 25

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DRAWING SET:

SHEET NAME:
Left Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-09 11:06:57 AM

SCALE: 1/4" = 1'-0"

PAGE:

A-2.1

EXTERIOR FINISHES:

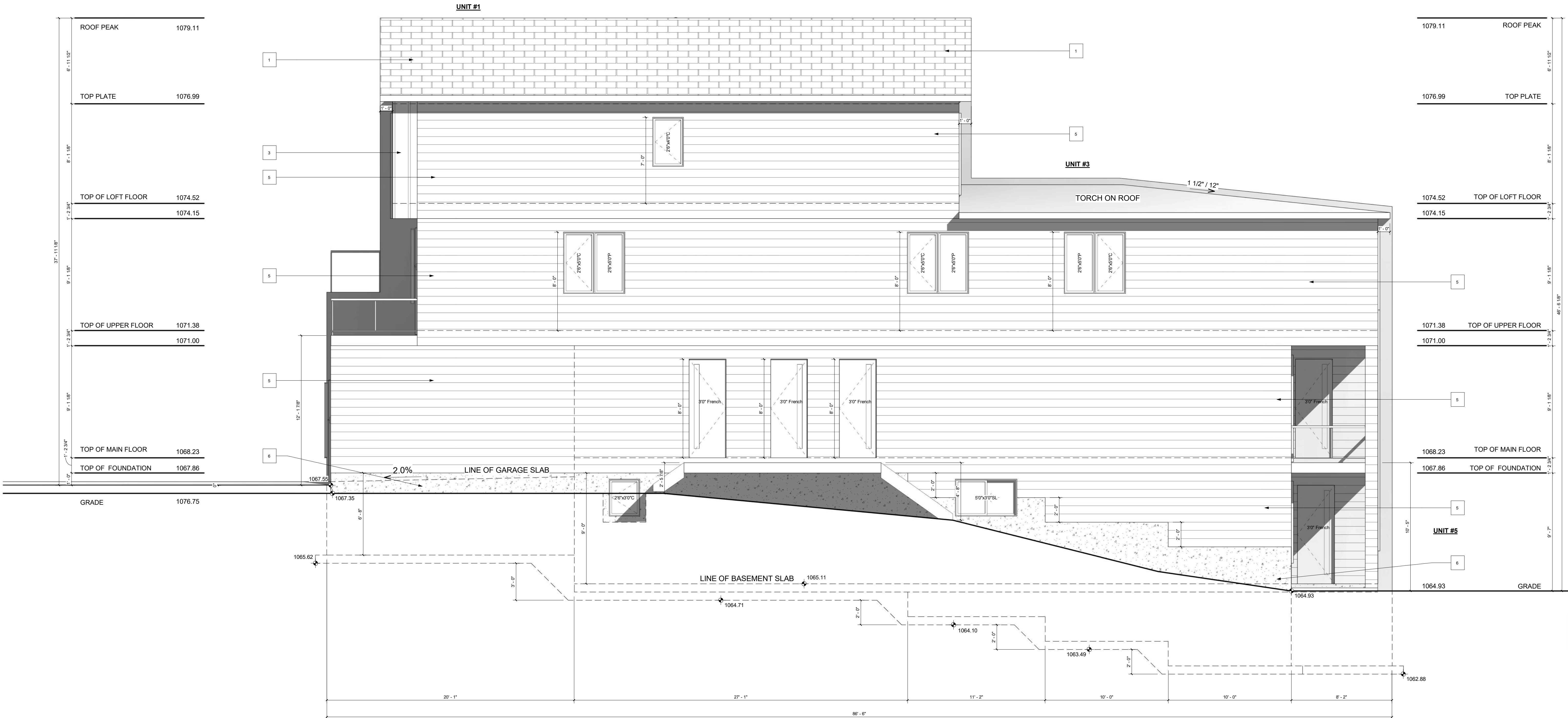
- 1
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@ 1.22m LIMITING DISTANCE

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-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



GENERAL NOTES:

MUNICIPAL ADDRESS:
4020 STANLEY ROAD S.W.
CALGARY, ALBERTA

PROJECT:
PROPOSED DWELLING #2
PROJECT NUMBER:
10 - 25

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DRAWING SET:

SHEET NAME:
Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-09 11:07:09 AM

SCALE: 1/4" = 1'-0"

PAGE:

A-2.2

RIGHT ELEVATION
SCALE: 1/4" = 1'-0"