

COVEN HOUSE

NEW PROPOSED BUILDING
1650 15th Street SE,
Calgary, Alberta T2G 3L9

Issued for DTR#2 Responses - 2025-12-03



Architectural & Interior Design

T.i. Studios Architecture Inc.

#201, 1902 11th Street SE
Calgary, AB T2G 3G2
Contact: Daniel Jimenez
Contact Info: d.jimenez@tistudios.ca

Architectural DP

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DP0.3b	BUILDING CODE SPATIAL SEPARATION AND LIMITING DISTANCE CALCULATIONS
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Civil/Geotech Engineer

Watt Consulting Group

1300 – 736 6th Ave SW
Calgary AB T2P 3T7
Contact: Zachary Bridger
Contact Info: zbridger@wattconsultinggroup.com

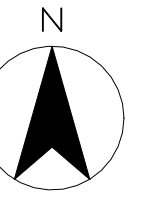
Civil

C01	SITE SERVICING PLAN
C02	SITE GRADING PLAN
C03	CROSS SECTIONS

AMENDED DRAWINGS

DP No Date Received
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COVEN BODY ARTS c/o
DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

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PRIME CONSULTANT

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ARCHITECTURE inc

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PROJECT NAME AND ADDRESS

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1650 15th Street SE,
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LEGAL ADDRESS: 5596L A: 1 & 2

DRAWING TITLE

Cover

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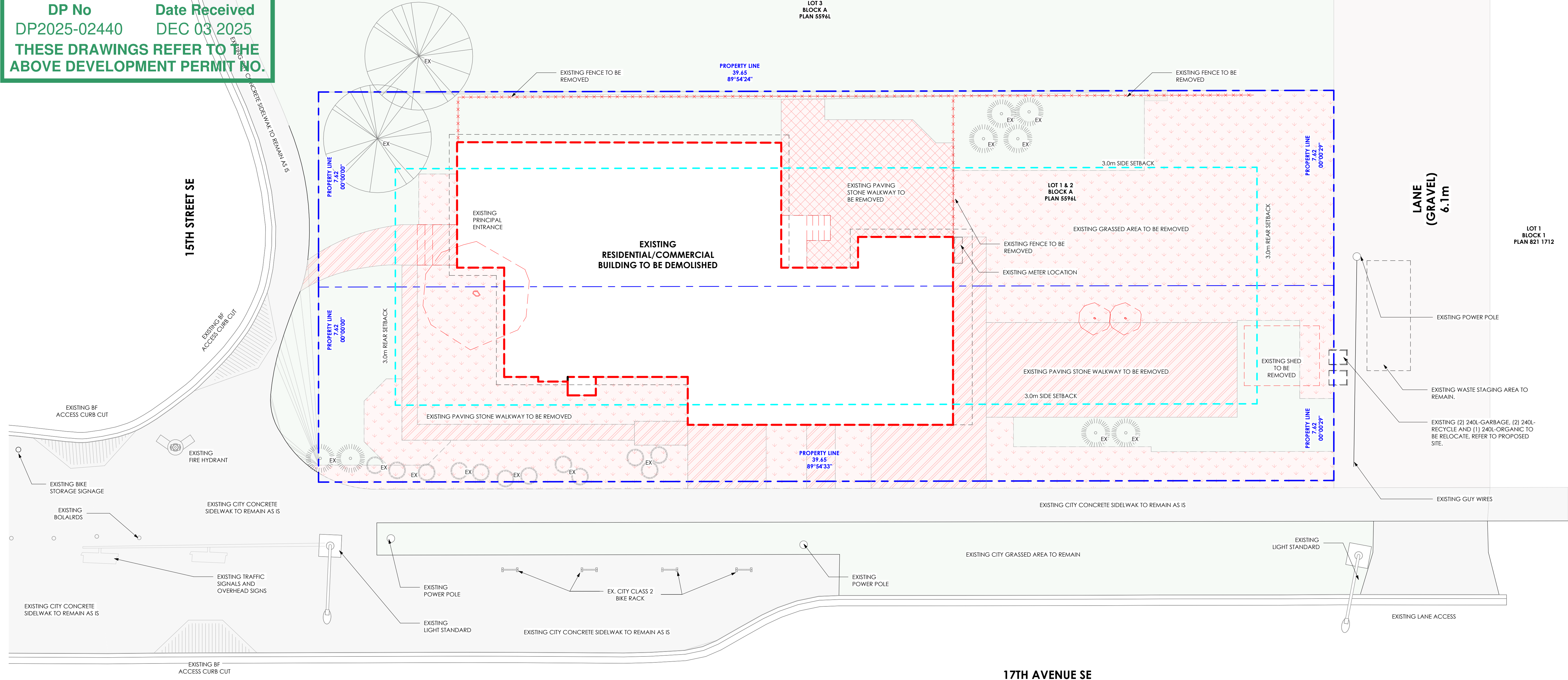
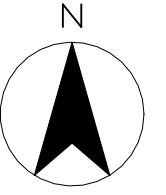
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1
DP1.0

EXIST./DEMO SITE PLAN

1:80

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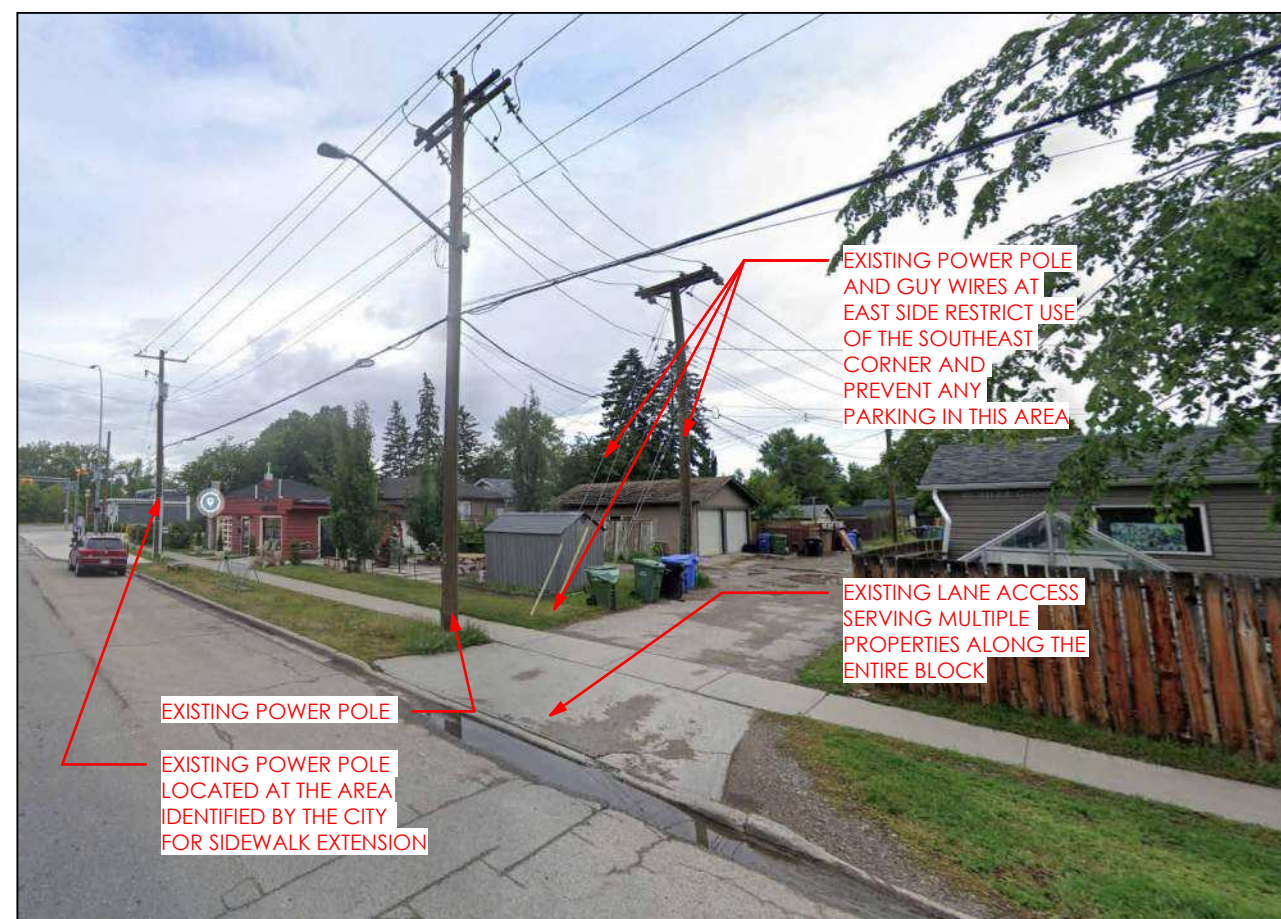
EXISTING SITE PLAN

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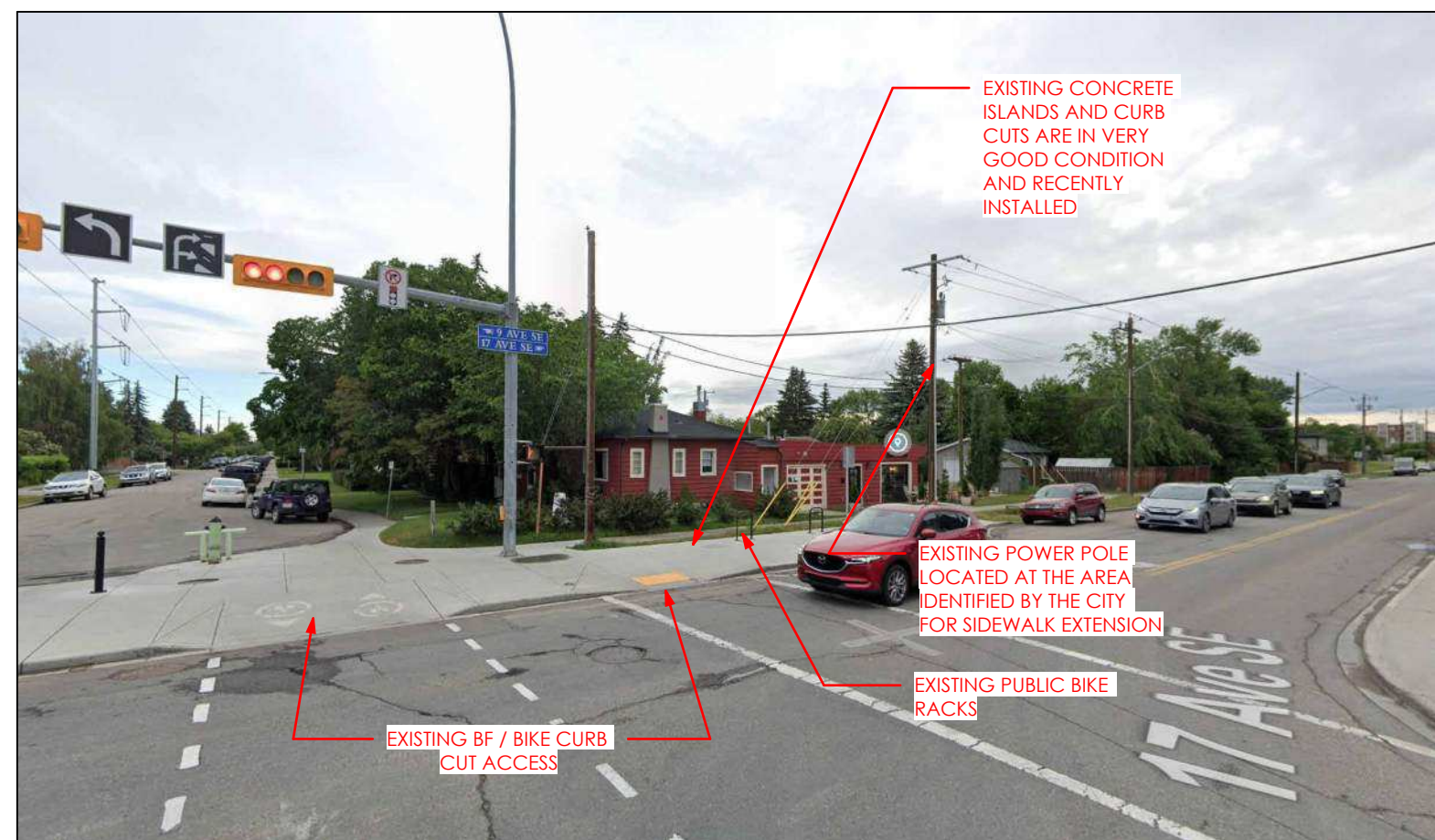
DP1.0



**EXISTING SOUTHWEST CORNER
VIEW OF CONCRETE CURB, RAMP AND SIDEWALK**



**EXISTING SOUTHEAST CORNER
VIEW OF POWER POLE AND LANE ACCESS**



EXISTING SOUTHEAST CORNER VIEW
OF CITY SIDEWALK IN GOOD CONDITION AND EXISTING BF CURB CUTS

	EXISTING SOD TO REMAIN
	EXISTING CONCRETE TO REMAIN
	EXISTING GRAVEL
	EXISTING SOD TO BE REMOVED REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS
	EXISTING CONCRETE TO BE REMOVED REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS
	EXISTING PAVING TO BE REMOVED REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS
ALL EXISTING GROUND MATERIAL HATCHES TO BE DEMOLISHED ARE SHOWN IN RED.	
	PROPERTY LINE
	SETBACK LINE
	FENCE LINE
	DEMOLITION ITEM
	ROOF OVERHANG

IF ANY SECTIONS ARE AFFECTED BY THE SCOPE OF WORK, THEY WILL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS AT THE DEVELOPER'S EXPENSE.

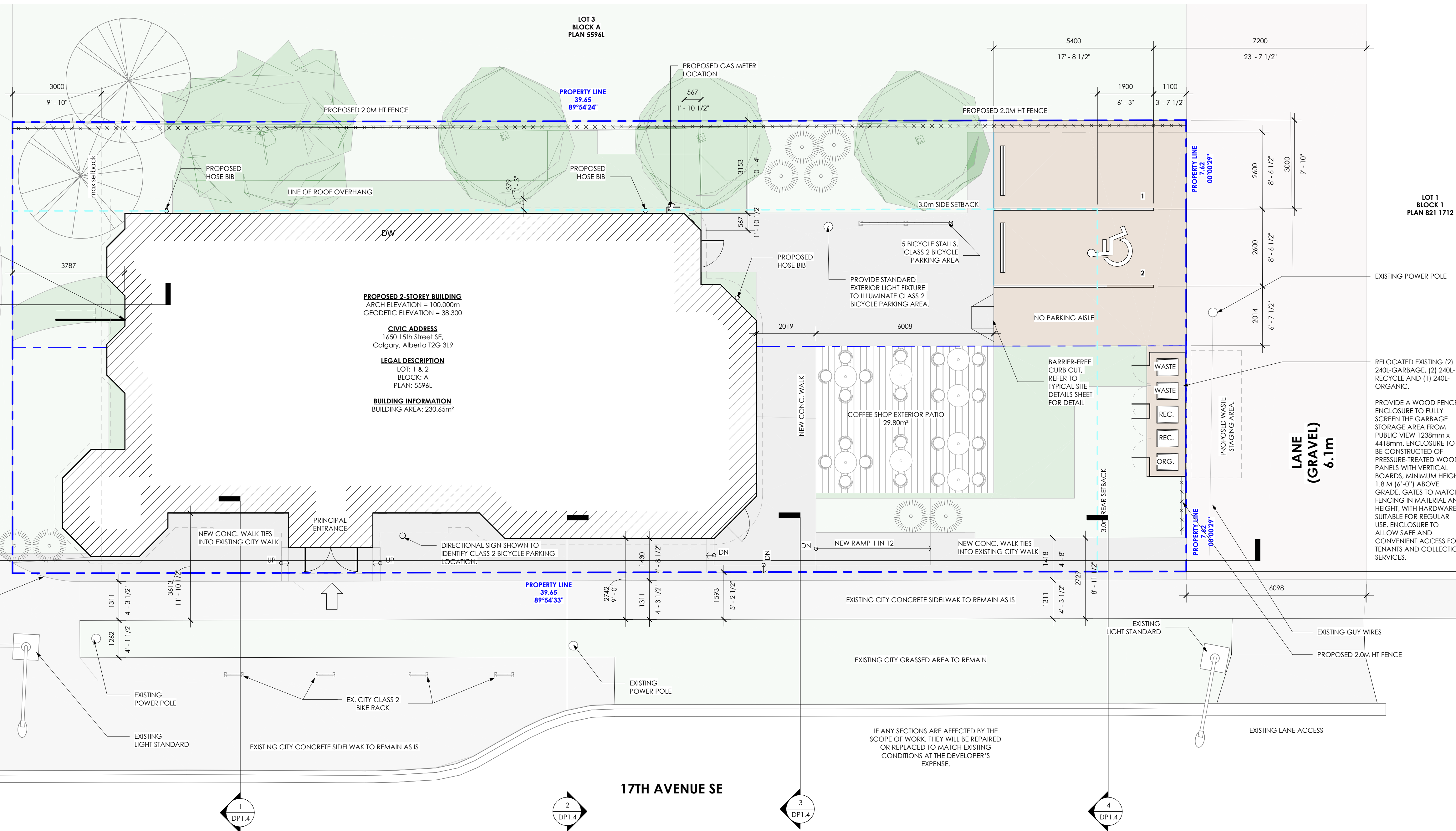
WATER SERVICE ENTRY:
50 mm DOMESTIC LINE ENTERS BUILDING AT SW WALL.
WATER METER AREA INSIDE AT ENTRY POINT.
SEE CIVIL & DP1.2 FOR DETAILS.

15TH STREET SE

EXISTING BIKE STORAGE SIGNAGE
EXISTING FIRE HYDRANT
EXISTING BOLARDS
EXISTING TRAFFIC SIGNALS AND OVERHEAD SIGNS
EXISTING CITY CONCRETE SIDEWALK TO REMAIN AS IS
EXISTING BF ACCESS CURB CUT

NEW CONC. WALK TIES INTO EXISTING CITY WALK

EXISTING BF ACCESS CURB CUT



2
DP1.1
PROPOSED SITE PLAN
1 : 80

ISOMETRIC VIEW – EXISTING AND PROPOSED PEDESTRIAN CONNECTIONS

THE INTERNAL CONCRETE SIDEWALK ALONG THE SOUTH SIDE OF THE BUILDING CONNECTS DIRECTLY TO THE EXISTING CITY SIDEWALK AND CREATES A WIDE, CONTINUOUS PEDESTRIAN ROUTE FOR THE COMMUNITY. WHEN BOTH ARE READ TOGETHER, THE TOTAL PEDESTRIAN ZONE EXCEEDS THE MINIMUM 2.0 M WIDTH.

THIS APPROACH IMPROVES PEDESTRIAN COMFORT AND SAFETY WHILE KEEPING ALL EXISTING CITY INFRASTRUCTURE IN PLACE. THE CITY SIDEWALK FRONTING THE SITE IS IN VERY GOOD CONDITION AND DOES NOT REQUIRE WIDENING OR RECONSTRUCTION.

THE EXISTING POWER POLE AND GUY WIRES ALONG THE EAST SIDE OF THE PROPERTY LIMIT THE USE OF THE SOUTHEAST CORNER, MAKING IT IMPOSSIBLE TO ADD MORE PARKING IN THAT AREA.

THIS ISOMETRIC VIEW SHOWS HOW THE INTERNAL WALKWAY DESIGN PROVIDES CLEAR, SAFE AND PRACTICAL PEDESTRIAN CONNECTIONS WITHOUT THE NEED FOR OFF SITE SIDEWALK OR LANE MODIFICATIONS.

AMENDED DRAWINGS
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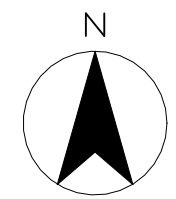
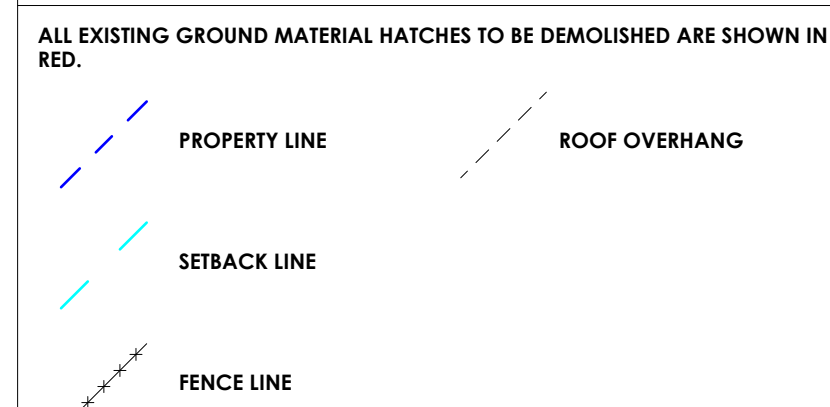
LANDSCAPING LEGEND



NOTE:
SOFT SURFACE LANDSCAPED AREAS WILL BE MAINTAINED USING THREE EXTERIOR HOSE BIBS LOCATED ALONG THE NORTH AND EAST SIDES OF THE BUILDING. AN UNDERGROUND IRRIGATION SYSTEM IS NOT PROPOSED.

PROPOSED GRADES AND SITE SERVICE LOCATIONS AS PER WATT CONSULTING GROUP. REFER TO THE APPROVED DSSP FOR DETAILS.

PROPOSED SITE LEGEND



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LOT 1
BLOCK 1
PLAN 821 1712

EXISTING POWER POLE

RELOCATED EXISTING (2) 240L-GARAGE, (2) 240L-RECYCLE AND (1) 240L-ORGANIC.

PROVIDE A WOOD FENCE ENCLOSURE TO FULLY SCREEN THE GARBAGE STORAGE AREA FROM PUBLIC VIEW 1238mm x 4418mm. ENCLOSURE TO BE CONSTRUCTED OF PRESSURE-TREATED WOOD PANELS WITH VERTICAL BOARDS, MINIMUM HEIGHT 1.8 M (6'-0") ABOVE GRADE. GATES TO MATCH FENCING IN MATERIAL AND HEIGHT, WITH HARDWARE SUITABLE FOR REGULAR USE. ENCLOSURE TO ALLOW SAFE AND CONVENIENT ACCESS FOR TENANTS AND COLLECTION SERVICES.

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TI STUDIOS ARCHITECTURE

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PROPOSED SITE PLAN

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DP1.1



General Isometric View

ARCHD 24536" (610 x 914mm) 12/3/2025 9:48:13 AM



3 SOUTH EXTERIOR ELEVATION
DP4.1 1 : 50



2 EAST EXTERIOR ELEVATION
DP4.1 1 : 50

EXTERIOR ELEVATION KEYNOTES

- 40 STUCCO
COLOUR: **BLACK**
FINISH: **TBD**
- 41 STUCCO
COLOUR: **DARK GREY**
FINISH: **TBD**
- 42 HORIZONTAL METAL CLADDING
MANUFACTURER: **WESTFORM**
SPECIFICATION: **PROBOARD 4" OR 6"**
COLOUR: **TBD**
FINISH: **SMOOTH**
INSTALL PATTERN: **HORIZONTAL**
- 43 VERTICAL METAL CLADDING
MANUFACTURER: **WESTFORM**
SPECIFICATION: **PROBOARD 4" OR 6"**
COLOUR: **TBD**
FINISH: **SMOOTH**
INSTALL PATTERN: **VERTICAL**
- 44 ASPHALT SHINGLES
MANUFACTURER: **TBD**
COLOUR: **TBD**
- 45 METAL SCALLOPED SHINGLES
MANUFACTURER: **TBD**
COLOUR: **TBD**
- 46 TRANSITION TRIM
MANUFACTURER: **WESTFORM**
COLOUR: **MATCH METAL CLADDING**
NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
- 47 PREFINISHED METAL PARAPET CAP & TRIM
COLOUR: **TBD**
- 48 GOTHIC DECORATIVE ELEMENT
- 49 PREFINISHED METAL TURRET CAP
COLOUR: **TBD**
- 50 THERMALLY BROKEN ALUMINIUM DOOR & FRAME
- 51 BARRIER-FREE PUSH BUTTON
- 52 EXTERIOR SIGNAGE
NOTE: SIGNAGE NOT INCLUDED WITHIN SCOPE OF WORK, SHOWN FOR REFERENCE ONLY. SIGNAGE TO BE SUPPLIED, DESIGNED AND INSTALLED BY SIGNAGE CONSULTANT.
- 53 SKYLIGHT
- 54 GLAZING
- 55 PREFINISHED METAL FASCIA
COLOUR: **TBD**
PROFILE: **CUSTOM**
- 56 PREFINISHED METAL GUTTER
COLOUR: **TBD**
- 57 CUSTOM STONE GOTHIC MOULDINGS, BASE AND CORNICE
MANUFACTURER: **STONETILE**
PROFILE: **TBD**
COLOUR: **TBD**
NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

EXTERIOR ELEVATION LEGEND



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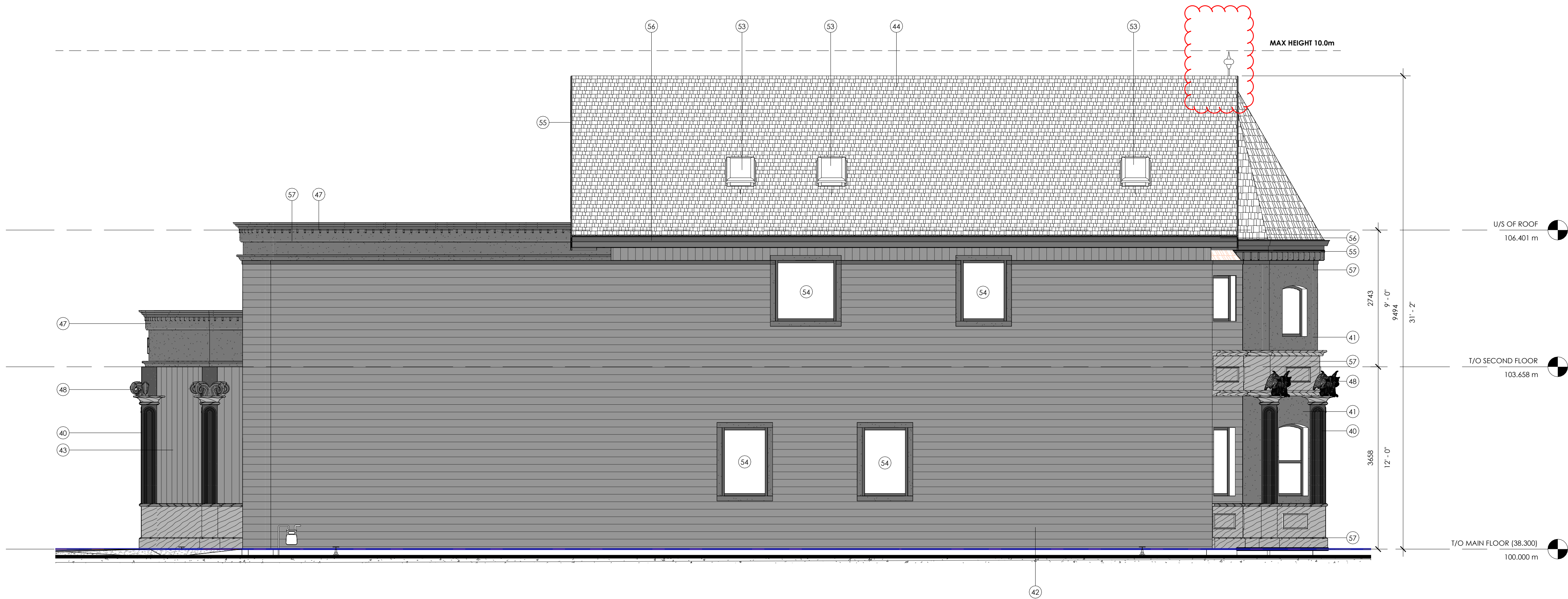
EXTERIOR ELEVATIONS

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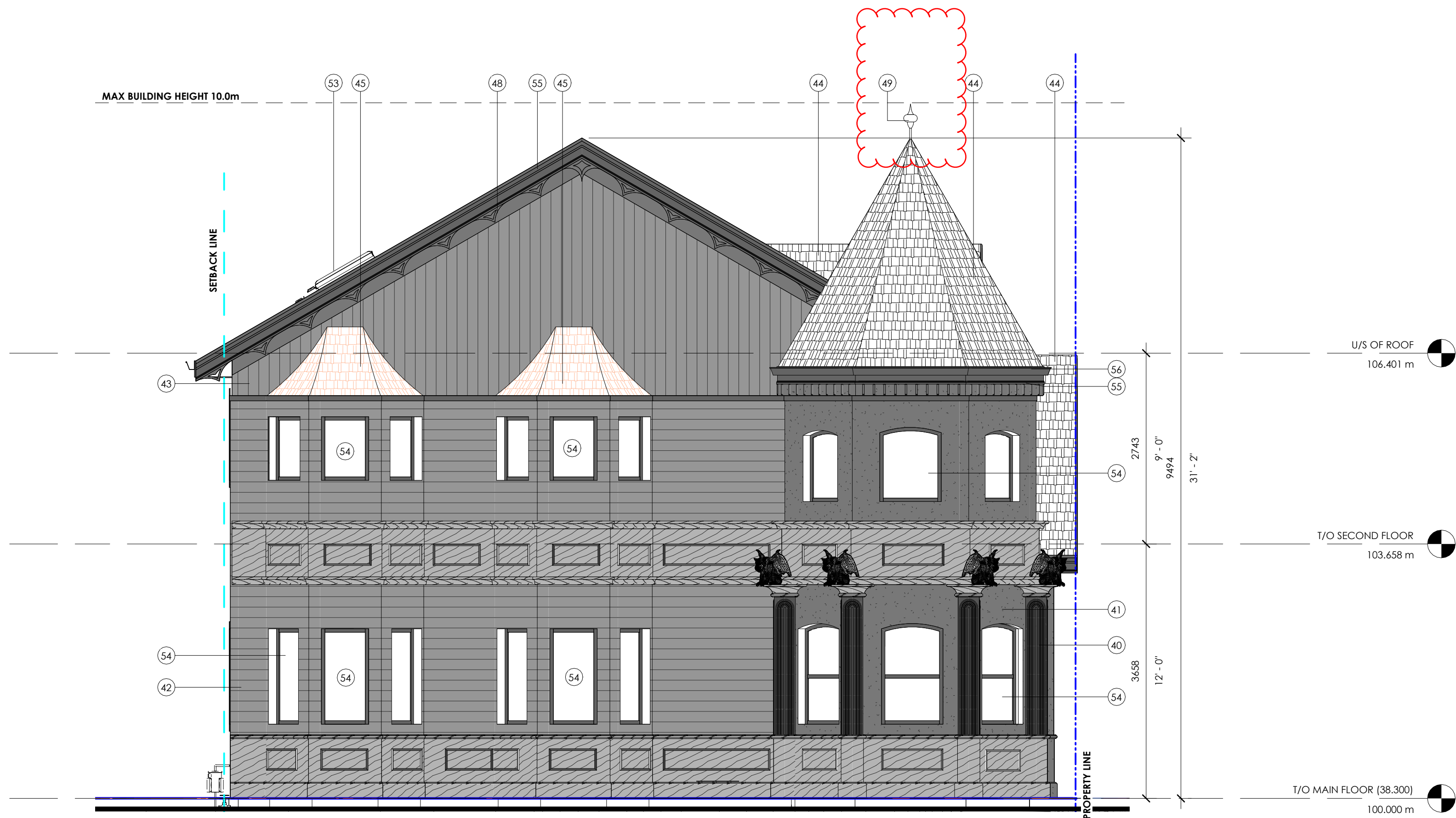
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DP4.1

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1 NORTH EXTERIOR ELEVATION
DP4.2
1 : 50



2 WEST EXTERIOR ELEVATION
DP4.2
1 : 50

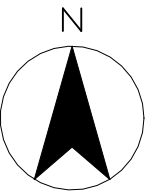
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EXTERIOR ELEVATION LEGEND



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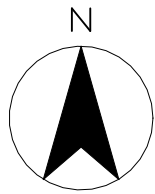
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DP10.1

SOUTH-WEST EXTERIOR VIEW

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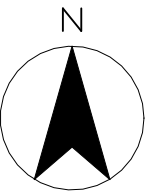
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3D VIEW

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DP10.1

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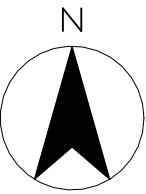
DP10.2



1 SOUTH-EAST EXTERIOR VIEW
DP10.2

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ISSUED	DATE
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B DP Initial Responses	2025-06-06
D DTR Responses #1	2025-09-29
E DTR Responses #1 (r1)	2025-10-10
F Issued for Internal Coordination	2025-11-27
G Draft Issued for DTR #2 - AHJ Meeting	2025-11-28
H Issued for DTR #2 Responses	2025-12-03

CLIENT / OWNER

**COVEN BODY ARTS c/o
DEE MAE**

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

**TI STUDIOS
ARCHITECTURE**
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A: 1 & 2

DRAWING TITLE

3D VIEW

SCALE:	DATE: 12/3/2025 9:48:44 AM
DRAWN BY: DF/DJ	CHECKED BY: DJ/MH
PRINT ON: Arch D	PROJECT No. 24.317
DWG No.	

DP10.3



1 SOUTH EXTERIOR VIEW

DP10.3

AMENDED DRAWINGS
DP No Date Received
DP2025-02440 DEC 03 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.