

COVEN HOUSE

NEW PROPOSED BUILDING
1650 15th Street SE,
Calgary, Alberta T2G 3L9

DP Initial Responses - 2025-06-06

Consultants:

Architectural & Interior Design

T.i. Studios Architecture Inc.

#201, 1902 11th Street SE
Calgary, AB T2G 3G2
Contact: Danika Ferner
Contact Info: d.ferner@tistudios.ca

Civil/Geotech Engineer

Watt Consulting Group

1300 – 736 6th Ave SW
Calgary AB T2P 3T7
Contact: Zachary Bridger
Contact Info: zbridger@wattconsultinggroup.com

Structural Engineer

Wolsey Structural Engineering Ltd.

#200, 1302 – 4th Street SW
Calgary, AB T2R-0X8
Contact: Danny Wolsey
Contact Info: dw@wolsey.ca

Mechanical Engineer

AME Consulting Group

710 – 1122 4th St. SW,
Calgary, AB T2R 1M1
Contact: Pardeep Sharma
Contact Info: PardeepSharma@amegroup.ca

Electrical Engineer

AES Engineering

639 5 Ave SW,
Calgary, AB T2P 0M9
Contact: Daniel Kelly
Contact Info: Daniel.Kelly@aesengr.com

NECB Consultant

Blueshift / Greenhalls

211 10th Ave SW,
Calgary, Alberta, T2R 0A4
Contact: Lisa Kanik
Contact Info: lisa@blueshift.goup

Drawings:

Architectural DP

- DP0.1 Cover
- DP0.2 PROJECT INFORMATION & GENERAL NOTES
- DP0.3a BUILDING CODE SUMMARY, EGRESS & FIRE SEPARATION PLANS
- DP0.3b BUILDING CODE SPATIAL SEPARATION AND LIMITING DISTANCE CALCULATIONS
- DP1.1 SITE PLAN
- DP1.2 SITE DETAILS
- DP2.1 PROPOSED BASEMENT PLAN
- DP2.2 PROPOSED MAIN FLOOR PLAN
- DP2.3 PROPOSED SECOND FLOOR PLAN
- DP2.4 ROOF PLANS
- DP4.1 EXTERIOR ELEVATIONS
- DP4.2 EXTERIOR ELEVATIONS
- DP5.1 BUILDING SECTIONS
- DP10.1 3D VIEW
- DP10.2 3D VIEW
- DP10.3 3D VIEW

Civil

- C01 SITE SERVICING PLAN
- C02 SITE GRADING PLAN
- C03 CROSS SECTIONS

General Contractor

TBD



AMENDED DRAWINGS

DP No Date Received
DP2025-02440 JUN 09 2025

**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06

CLIENT / OWNER

**COVEN BODY ARTS c/o
DEE MAE**

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

**T.I. STUDIOS
ARCHITECTURE inc**

201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

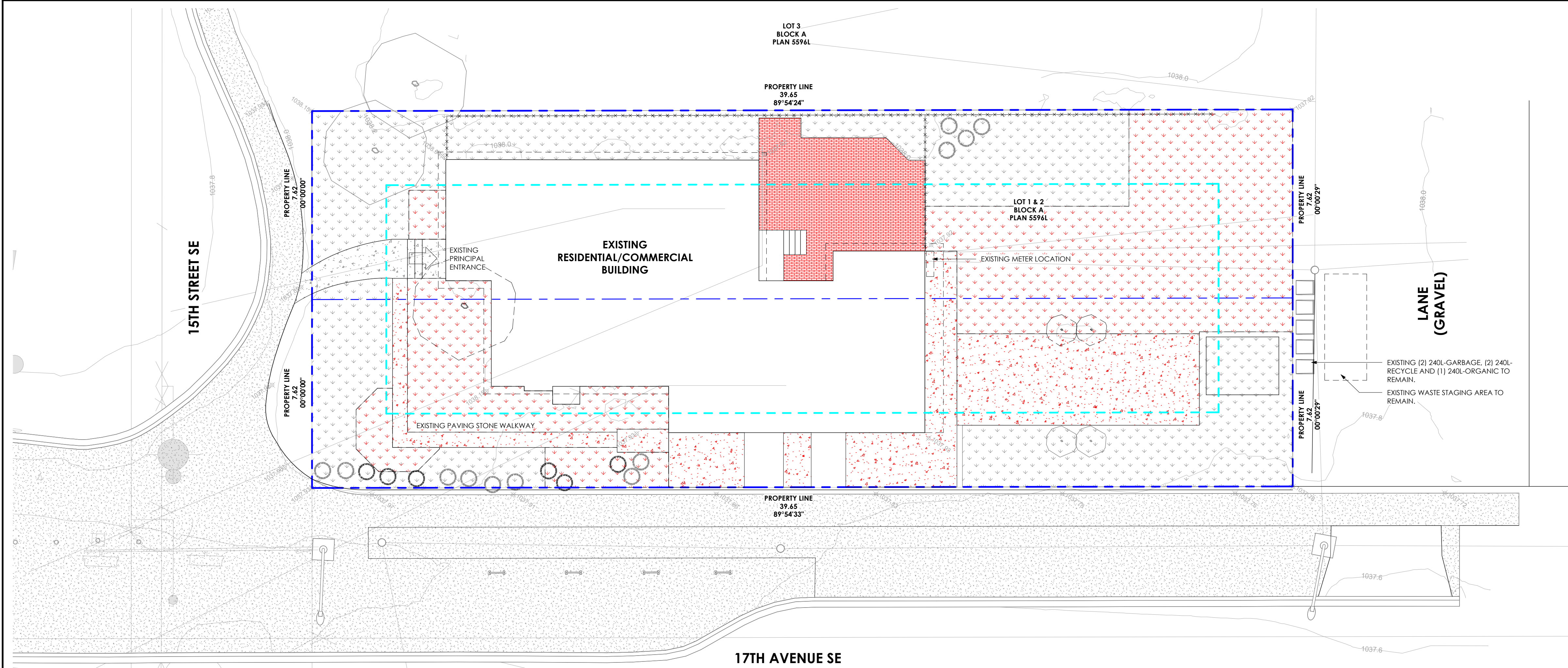
LEGAL ADDRESS: 5596L A: 1 & 2

DRAWING TITLE

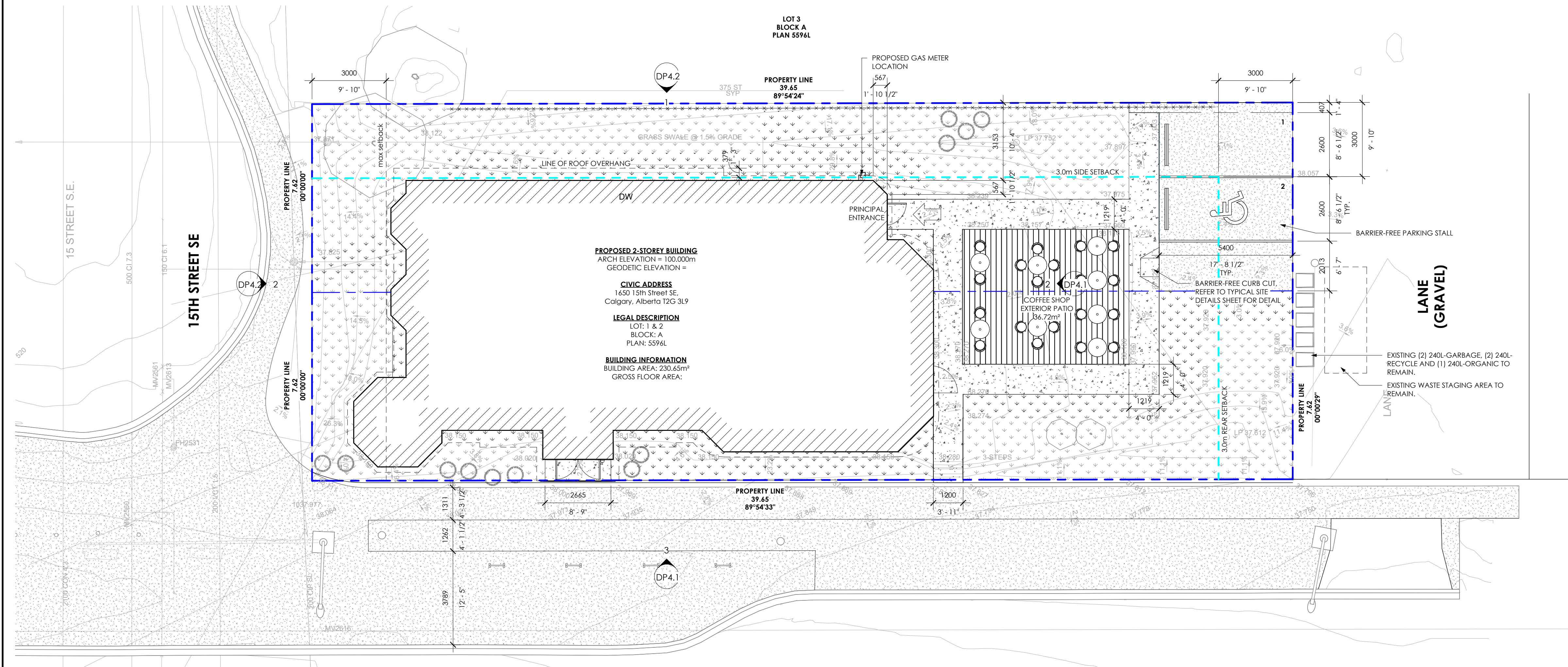
Cover

SCALE:	1 : 100	DATE:	2025-06-05 1:00:04 PM
DRAWN BY:	DF	CHECKED BY:	DJ
PRINT ON:	Arch D	PROJECT No.	24.317
DWG No.			

DP0.1



1 EXIST./DEMO SITE PLAN
DP1.1 1:100



2 PROPOSED SITE PLAN
DP1.1 1:100

SITE LEGEND

- EXISTING SOD
GC TO MAINTAIN SOD WHERE POSSIBLE
- EXISTING CONCRETE
REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS
- PROPOSED HYDROSEED
NO IRRIGATION SYSTEM PROPOSED FOR LANDSCAPING
- PROPOSED GRAVEL
- PROPOSED CONCRETE SIDEWALK
- PROPOSED COMPOSITE PATIO
(OUTDOOR CAFE FOR COFFEE SHOP)

ALL EXISTING GROUND MATERIAL HATCHES TO BE DEMOLISHED ARE SHOWN IN RED.

- PROPERTY LINE
- SETBACK LINE
- FENCE LINE
- DEMOLITION ITEM
- ROOF OVERHANG

LAND USE BY-LAW REVIEW

MUNICIPAL ADDRESS: 1650 15th Street SE, Calgary, Alberta T2G 3L9
LEGAL DESCRIPTION: 5596L; A; 1 & 2

EXISTING / PREVIOUS LAND USE DESIGNATION: DIRECT CONTROL (DC123D2009)

The Commercial — Neighbourhood 1 District is intended to be characterized by:
a. small scale commercial developments;
b. buildings that are close to each other, the street and the public sidewalk;
c. storefront commercial buildings oriented towards the street;
d. lanes for motor vehicle access to parking areas and buildings;
e. buildings that are in keeping with the scale of nearby residential areas;
f. development that has limited use sizes and types; and
g. opportunities for residential uses to occur on the upper floors of buildings that contain commercial uses.

APPLICABLE CODES & BYLAWS
• CALGARY LAND USE BY-LAW 1P-2007

REQUIRED PARKING CALCULATIONS
EXISTING STALLS ON SITE: 2 STALLS
STALLS REQUIRED:
GROUP C - RESTAURANT, FOOD SERVICE ONLY [2.85/10.0m² PUBLIC AREA] 30.62 m²/10.0 m² * 2.85 STALLS = **14 STALLS**
GROUP B - RETAIL & CONSUMER SERVICE [4.100/0m² GFA] 392.05m²/100.0m² * 4 STALLS = **15 STALLS**

NOTE: CALCULATIONS ABOVE ARE BASED ON TABLE 121.1, CM-1 ZONING HAS NO MINIMUM REQUIRED MOTOR VEHICLE PARKING STALL REQUIREMENTS. CALCULATION SHOWN FOR REFERENCE ONLY.

STALLS PROVIDED: 2 STALLS ARE PROPOSED, ADDITIONAL STREET PARKING ALONG 17TH AVENUE IS AVAILABLE FOR CUSTOMERS.

BARRIER-FREE CALCULATIONS
NBC-AE 2019; TABLE 3.8.2.5.
NUMBER OF PARKING STALLS REQUIRED
B-F DESIGNATION
11-25 2
26-50 3
51-100 4
FOR EACH ADDITIONAL INCREMENT OF 100 OR PART THEREOF +1

BARRIER-FREE STALLS EXISTING: 0 STALLS
BARRIER-FREE STALLS REQUIRED: 1 STALL

LOADING STALLS
123
EXISTING STALLS ON SITE: 0 STALL
STALLS REQUIRED: 1 STALL
1.0 STALLS / 9300.00 m² GFA
A. LOADING STALL MUST HAVE:
a. A MINIMUM WIDTH OF 3.1m
b. A MINIMUM DEPTH OF 9.2m
c. A MINIMUM HEIGHT OF 4.3m

BICYCLE STALLS
DEPENDANT ON USE
2.0 STALLS - CLASS 2 FOR DEVELOPMENTS OF 20 UNITS OR LESS 1 STALLS

EXISTING BIKE PARKING IS AVAILABLE ALONG 17TH AVENUE. IF AN ON-SITE PARKING IS REQUIRED PLEASE NOTIFY T.I. STUDIOS.

LANDSCAPING AREAS
NORTH EAST LANDSCAPING:
1.0 TREE / 30.0 m²
1.0 TREE (146.58m²) / 30.0m² 4.8 = **5.0 TREES**
SOUTH/WEST LANDSCAPING:
1.0 TREE / 35.0 m²
1.0 TREE (45.27m²) / 35.0m² 1.2 = **1.0 TREES**
2.0 SHRUBS / 35.0m²
2.0 SHRUBS (45.27m²) / 35.0m² 2.4 = **3.0 SHRUBS**

TREES REQUIRED: 6 TREES PROVIDED: 3
SHRUBS REQUIRED: 3 SHRUBS PROVIDED: 12

OUTDOOR CAFE/PATIO
PROPOSED AREA ON SITE: 36.72m²

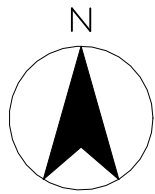
NOTE: CAFE ONLY, NO ALCOHOL TO BE SERVED ON EXTERIOR PATIO LOCATION.

PROJECTIONS INTO SIDE SETBACK AREA
PORTIONS OF A BUILDING GREATER THAN OR EQUAL TO 2.4 METRES ABOVE GRADE MAY PROJECT A MAXIMUM OF 0.6 METRES INTO ANY SIDE SETBACK AREA.

NOTE: PROPOSED SIDE SETBACK PROJECTION IS LESS THAN 0.6m.

AMENDED DRAWINGS
DP No Date Received
DP2025-02440 JUN 09 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED DATE
A Development Permit 2025-04-17
B DP Initial Responses 2025-06-06

CLIENT / OWNER
COVEN BODY ARTS c/o DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

T.I. STUDIOS ARCHITECTURE inc
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A; 1 & 2

DRAWING TITLE

SITE PLAN

SCALE: 1:100 DATE: 2025-06-05 1:01:09 PM

DRAWN BY: DF CHECKED BY: DJ

PRINT ON: Arch D PROJECT No. 24.317

DWG No.

DP1.1



3 SOUTH EXTERIOR ELEVATION
DP4.1 1 : 50

EXTERIOR ELEVATION KEYNOTES	
40	STUCCO COLOUR: BLACK FINISH: TBD
41	STUCCO COLOUR: DARK GREY FINISH: TBD
42	HORIZONTAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: HORIZONTAL
43	VERTICAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: VERTICAL
44	ASPHALT SHINGLES MANUFACTURER: TBD COLOUR: TBD
45	METAL SCALLOPED SHINGLES MANUFACTURER: TBD COLOUR: TBD
46	TRANSITION TRIM MANUFACTURER: WESTFORM COLOUR: MATCH METAL CLADDING NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
47	PREFINISHED METAL PARAPET CAP & TRIM COLOUR: TBD
48	GOthic DECORATIVE ELEMENT
49	PREFINISHED METAL TURRET CAP COLOUR: TBD
50	THERMALLY BROKEN ALUMINIUM DOOR & FRAME
51	BARRIER-FREE PUSH BUTTON
52	EXTERIOR SIGNAGE NOTE: SIGNAGE NOT INCLUDED WITHIN SCOPE OF WORK, SHOWN FOR REFERENCE ONLY. SIGNAGE TO BE SUPPLIED, DESIGNED AND INSTALLED BY SIGNAGE CONSULTANT.
53	SKYLIGHT
54	GLAZING
55	PREFINISHED METAL FASCIA COLOUR: TBD PROFILE: CUSTOM
56	PREFINISHED METAL GUTTER COLOUR: TBD
57	CUSTOM STONE GOthic MOULDINGS, BASE AND CORNICE MANUFACTURER: STONETILE PROFILE: TBD COLOUR: TBD NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

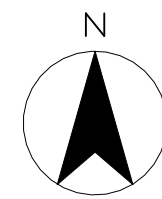
EXTERIOR ELEVATION LEGEND	
	PROPOSED DARK STUCCO COLOUR: TBD
	PROPOSED LIGHT STUCCO COLOUR: TBD
	PROPOSED HORIZONTAL METAL SIDING COLOUR: BLACK
	PROPOSED VERTICAL METAL SIDING COLOUR: BLACK
	PROPOSED DARK SHINGLE COLOUR: BLACK
	PROPOSED COPPER SCALLOPED SHINGLE COLOUR: COPPER



2 EAST EXTERIOR ELEVATION
DP4.1 1 : 50

AMENDED DRAWINGS
DP No **DP2025-02440** Date Received **JUN 09 2025**
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06

CLIENT / OWNER
COVEN BODY ARTS c/o DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

TI STUDIOS ARCHITECTURE inc
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

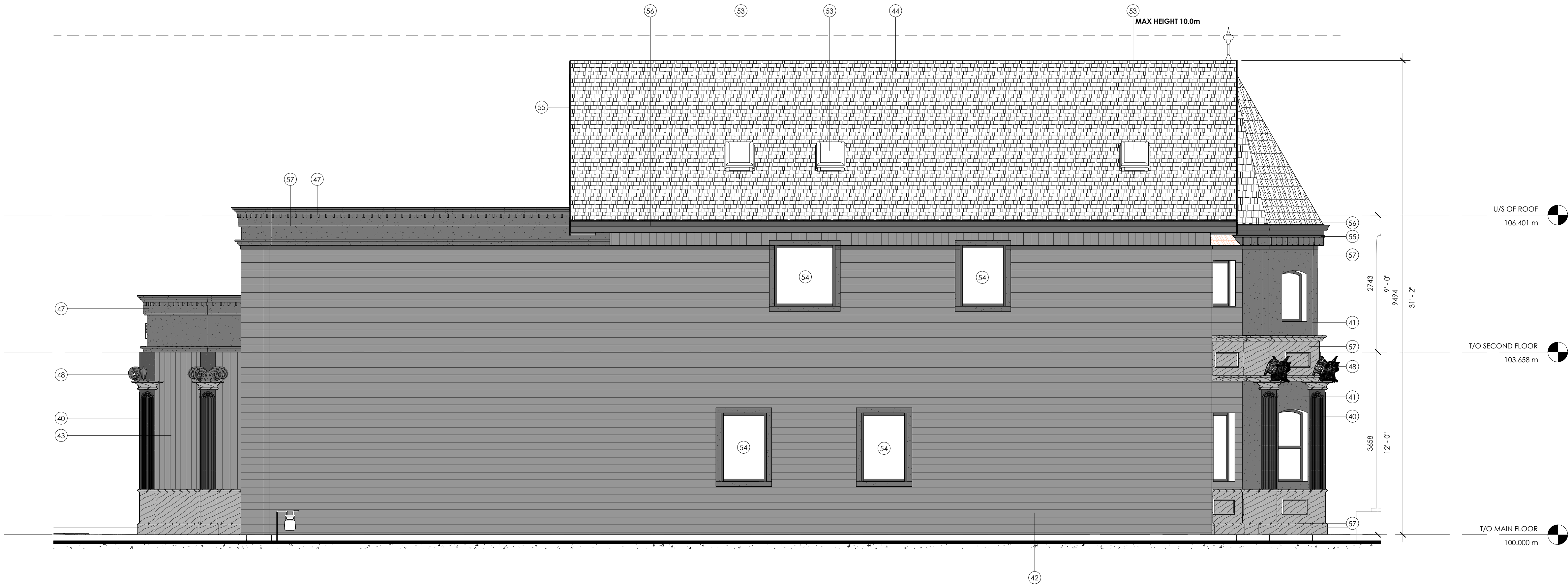
LEGAL ADDRESS: 5596L A: 1 & 2

DRAWING TITLE

EXTERIOR ELEVATIONS

SCALE:	As indicated	DATE:	2025-06-05 1:01:37 PM
DRAWN BY:	DF	CHECKED BY:	DJ
PRINT ON:	Arch D	PROJECT No.	24.317
DWG No.			

DP4.1



1 NORTH EXTERIOR ELEVATION
DP4.2 1 : 50

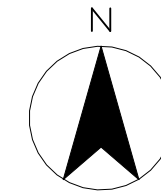


2 WEST EXTERIOR ELEVATION
DP4.2 1 : 50

EXTERIOR ELEVATION KEYNOTES	
40	STUCCO COLOUR: BLACK FINISH: TBD
41	STUCCO COLOUR: DARK GREY FINISH: TBD
42	HORIZONTAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: HORIZONTAL
43	VERTICAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: VERTICAL
44	ASPHALT SHINGLES MANUFACTURER: TBD COLOUR: TBD
45	METAL SCALLOPED SHINGLES MANUFACTURER: TBD COLOUR: TBD
46	TRANSITION TRIM MANUFACTURER: WESTFORM COLOUR: MATCH METAL CLADDING NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
47	PREFINISHED METAL PARAPET CAP & TRIM COLOUR: TBD
48	GOthic DECORATIVE ELEMENT
49	PREFINISHED METAL TURRET CAP COLOUR: TBD
50	THERMALLY BROKEN ALUMINUM DOOR & FRAME
51	BARRIER-FREE PUSH BUTTON
52	EXTERIOR SIGNAGE NOTE: SIGNAGE NOT INCLUDED WITHIN SCOPE OF WORK, SHOWN FOR REFERENCE ONLY. SIGNAGE TO BE SUPPLIED, DESIGNED AND INSTALLED BY SIGNAGE CONSULTANT.
53	SKYLIGHT
54	GLAZING
55	PREFINISHED METAL FASCIA COLOUR: TBD PROFILE: CUSTOM
56	PREFINISHED METAL GUTTER COLOUR: TBD
57	CUSTOM STONE GOthic MOULDINGS, BASE AND CORNICE MANUFACTURER: STONETILE PROFILE: TBD COLOUR: TBD NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

EXTERIOR ELEVATION LEGEND	
	PROPOSED DARK STUCCO COLOUR: TBD
	PROPOSED LIGHT STUCCO COLOUR: TBD
	PROPOSED HORIZONTAL METAL SIDING COLOUR: BLACK
	PROPOSED VERTICAL METAL SIDING COLOUR: BLACK
	PROPOSED DARK SHINGLE COLOUR: BLACK
	PROPOSED COPPER SCALLOPED SHINGLE COLOUR: COPPER

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06

CLIENT / OWNER
COVEN BODY ARTS c/o DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

TI STUDIOS ARCHITECTURE inc
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A: 1 & 2

DRAWING TITLE

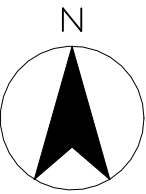
EXTERIOR ELEVATIONS

SCALE:	As indicated	DATE:	2025-06-05 1:01:49 PM
DRAWN BY:	Author	CHECKED BY:	Checker
PRINT ON:	Arch D	PROJECT No.	24.317
DWG No.			

DP4.2

AMENDED DRAWINGS
DP No Date Received
DP2025-02440 JUN 09 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06

CLIENT / OWNER

**COVEN BODY ARTS c/o
DEE MAE**

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

**TI STUDIOS
ARCHITECTURE inc**

201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403) 806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A: 1 & 2

DRAWING TITLE

3D VIEW

SCALE:	DATE: 2025-06-05 1:02:02 PM,
DRAWN BY: DF	CHECKED BY: JK
PRINT ON: Arch D	PROJECT No. 24.317
DWG No.	

DP10.1



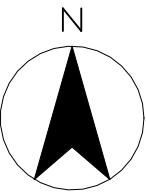
1
DP10.1 SOUTH-WEST EXTERIOR VIEW

AMENDED DRAWINGS

DP No Date Received
DP2025-02440 JUN 09 2025

**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06

CLIENT / OWNER

**COVEN BODY ARTS c/o
DEE MAE**

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

**TI STUDIOS
ARCHITECTURE inc**

201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A: 1 & 2

DRAWING TITLE

3D VIEW

SCALE:	DATE: 2025-06-05 1:02:14 PM
DRAWN BY: Author	CHECKED BY: Checker
PRINT ON: Arch D	PROJECT No. 24.317
DWG No.	

DP10.2



1 SOUTH-EAST EXTERIOR VIEW

DP10.2

AMENDED DRAWINGS

DP No **Date Received**
DP2025-02440 JUN 09 2025

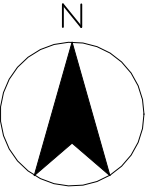
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**



1 SOUTH EXTERIOR VIEW
DP10.3

AMENDED DRAWINGS
DP No Date Received
DP2025-02440 JUN 09 2025
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE
PROPERTY OF THE ARCHITECT AND MAY NOT BE USED
WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR
DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING
WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06

CLIENT / OWNER
**COVEN BODY ARTS c/o
DEE MAE**

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

**TI STUDIOS
ARCHITECTURE**
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403) 806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS
COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L: A: 1 & 2

DRAWING TITLE

3D VIEW

SCALE:	DATE: 2025-06-05 1:02:27 PM
DRAWN BY: Author	CHECKED BY: Checker
PRINT ON: Arch D	PROJECT No. 24.317
DWG No.	

DP10.3