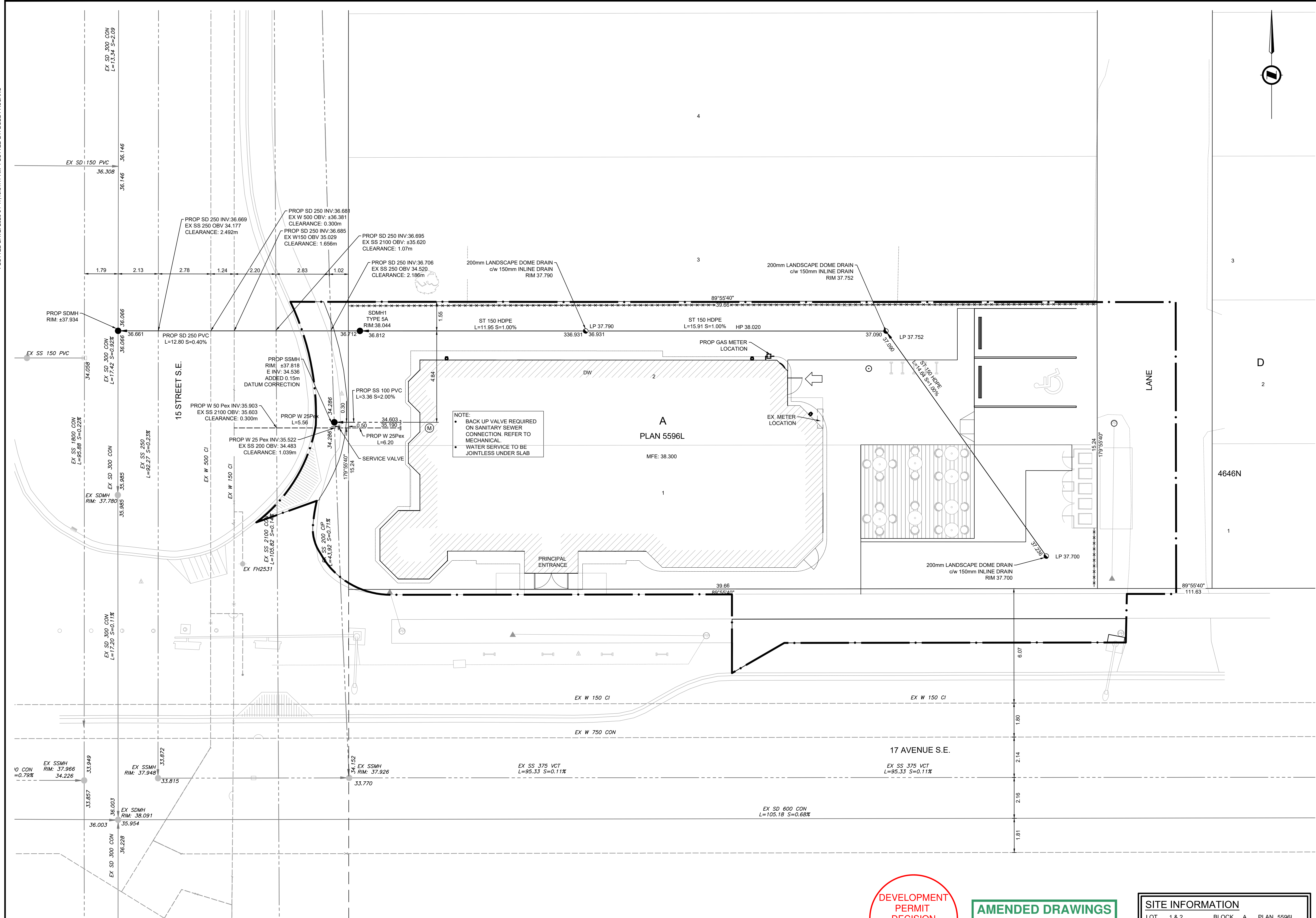


PLOTTED DATE: 2026-04-17 10:31:17 AM PLOTTED BY: BOBBY ASCANO



NOTES

- ALL PIPE SIZES ARE IN MILLIMETRES AND ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
- ALL COORDINATES AND DISTANCES ARE BASED ON 3TM COORDINATE SYSTEM (NAD 83).
- ALL ELEVATIONS ARE PRECEDED BY 1000 TRUE DATUM.
- ALL OB'S ARE 1.20m DEEP UNLESS NOTED OTHERWISE.
- SLOPE ON CB LEADS TO BE 2.00% UNLESS NOTED OTHERWISE.
- ALL WORKS TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
- MINIMUM COVER ABOVE WATER AND SANITARY OBVERTS TO BE 3.0m AND 2.75m, RESPECTIVELY.
- THE PROPOSED DEVELOPMENT WILL INCLUDE THE INSTALLATION OF A SEWER BACK-UP VALVE.

LEGEND

PROPOSED	EXISTING
LEGAL AND SURFACE	
LOT/PROPERTY LINES	
CONSTRUCTION BOUNDARY	
UNDERGROUND UTILITIES	
PROP S 200 PVC	SANITARY SEWER W/FLOW DIR
PROP W 200 PVC	WATER MAIN
PROP ST 750 PVC	STORM SEWER W/FLOW DIR
GAS LINE	
SYMBOLS	
X	VALVE
⊕	HYDRANT ASSEMBLY
⊙	CAP
●	TYPE 5A MANHOLE
⊙	CATCH BASIN
⊙	LANDSCAPE DOME DRAIN
⊙	MANHOLE NUMBER
⊙	METER ROOM

Click Before YouDig

NAD 83 COORDINATES

ISSUED				
	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
A	ISSUED FOR DP	2025-06-06	RA	TT
B	ISSUED FOR DP	2025-09-26	RA	TT
C	ISSUED FOR DP	2026-03-19	RA	TT
D	ISSUED FOR DP	2026-04-17	RA	TT

REVISIONS				
	REV PER CoC DR COMMENTS DATED	DATE (YYYY-MM-DD)	BY	APPD
1	REV PER CoC DR COMMENTS DATED JULY 17, 2025	2025-09-26	RA	TT
2	REV PER CoC DR COMMENTS DATED JANUARY 05, 2026	2026-03-19	RA	TT

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
PERMIT				
SEAL				

	BY	DATE (YYYY-MM-DD)
DESIGNED	ZB	2025-05-21
DRAWN	RA	2025-05-21
CHECKED	TT	2025-05-21

SCALE 0 2 4 m

1:100

Calgary

WATT Consulting Group

1300 - 736 6th Ave SW Calgary, AB T2P 3T7
T. 403.273.9001 www.wattconsultinggroup.com

PROJECT

COVEN HOUSE
LOT: 1&2, BLK: A, PLAN 5596L
1650 15 STREET SE
CALGARY, AB T2G 3L9

SHEET TITLE

SITE SERVICING PLAN

WORK ORDER NO.	ACTIVITY NO.
FILE NO. 4337.E01.C01-Site Servicing Plan.dwg	ENG DWG NO.
SHEET ID. C01	SHEET NO. 001
BY RA	DATE 2025-05-21
PROFILE NO.	

ISC: SHEET SIZE ANSI D 25 mm

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No: DP2025-02440 Date Received: APR 27 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

SITE INFORMATION
LOT 1 & 2 BLOCK A PLAN 5596L
DP# DP2025-02440
ADDRESS: 1650 15 STREET SE CALGARY, AB
LEGAL DESCRIPTION:

1. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
2. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
3. ALL PROPOSED GRADES ARE REFERENCED TO 1000 GEODETIC DATUM.
4. ALL GRADE POINTS AT CURB LOCATIONS ARE AT THE EDGE OF THE ASPHALT PAVEMENT.
5. ALL CURBS ARE 150mm PIN CURBS UNLESS OTHERWISE NOTED
6. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
7. ALL PROPOSED BUILDINGS WILL BE DESIGNED TO PREVENT STRUCTURAL DAMAGE BY FLOODWATERS.

Legend:

- PROPERTY LINE
- CONSTRUCTION BOUNDARY
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- EX CATCH BASIN
- EX FIRE HYDRANT
- PROP LANDSCAPE DOME DRAIN
- PROPOSED GRASS SWALE
- EX MAJOR GROUND CONTOURS
- EX MINOR GROUND CONTOURS
- PROP MAJOR GROUND CONTOURS
- PROP MINOR GROUND CONTOURS
- LOW POINT ELEVATION
- HIGH POINT ELEVATION

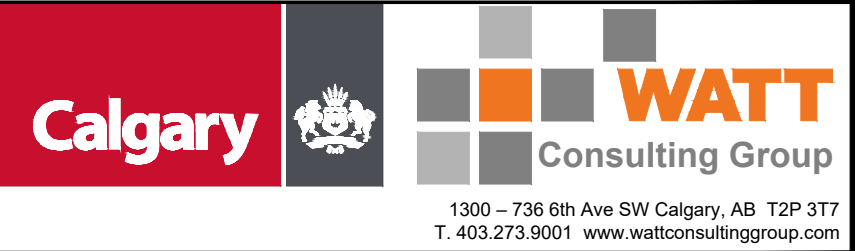
NAD 83
COORDINATES

ISSUED					
	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD	
A	ISSUED FOR DP	2025-06-06	RA	TT	
B	ISSUED FOR DP	2025-09-26	RA	TT	
C	ISSUED FOR DP	2026-03-19	RA	TT	
D	ISSUED FOR DP	2026-04-17	RA	TT	

REVISIONS					
1	REV PER CoC DR COMMENTS DATED JULY 17, 2025	2025-09-26	RA	TT	
2	REV PER CoC DR COMMENTS DATED JANUARY 05, 2026	2026-03-19	RA	TT	
3	REV PER CoC DR COMMENTS DATED APRIL 15, 2026	2026-04-17	RA	TT	

NO.	DESCRIPTION	DATE (YYYYMMDD)	BY	APPD
PERMIT		SEAL		

	BY	DATE (YYYY-MM-DD)
DESIGNED	ZB	2025-05-21
DRAWN	RA	2025-05-21
CHECKED	TT	2025-05-21



PROJECT

COVEN HOUSE
LOT: 1&2, BLK: A, PLAN 5596L
1650 15 STREET SE
CALGARY, AB T2G 3L9

WORK ORDER NO.		ACTIVITY NO.	
FILE NO. 4337.E01.C02-Site Grading Plan.dwg		ENG DWG NO.	
SHEET ID. C02		SHEET NO. 002	
DRAWN	BY RA	DATE (YYYYMMDD) 2025-05-21	PROFILE NO.

COVEN HOUSE

NEW PROPOSED BUILDING

1650 15th Street SE,
Calgary, Alberta T2G 3L9

Issued for DTR#3 Responses R1 - 2026-04-06



Architectural & Interior Design

T.i. Studios Architecture Inc.

#201, 1902 11th Street SE
Calgary, AB T2G 3G2
Contact: Daniel Jimenez
Contact Info: d.jimenez@tistudios.ca

Architectural DP

DP0.1	COVER PAGE
DP0.2	PROJECT INFORMATION & GENERAL NOTES
DP0.3a	BUILDING CODE SUMMARY, EGRESS & FIRE SEPARATION PLANS
DP0.3b	BUILDING CODE SPATIAL SEPARATION AND LIMITING DISTANCE CALCULATIONS
DP1.0	EXISTING SITE PLAN
DP1.1	PROPOSED SITE PLAN
DP1.2	SITE DETAILS
DP1.3	SITE DETAILS
DP1.4	SITE CROSS SECTIONS

Architectural DP

DP1.5	SITE CROSS SECTIONS
DP2.1	PROPOSED BASEMENT PLAN
DP2.2	PROPOSED MAIN FLOOR PLAN
DP2.3	PROPOSED SECOND FLOOR PLAN
DP2.4	ROOF PLANS
DP4.1	EXTERIOR ELEVATIONS
DP4.2	EXTERIOR ELEVATIONS
DP5.1	BUILDING SECTIONS
DP10.1	3D VIEW
DP10.2	3D VIEW
DP10.3	3D VIEW

Civil/Geotech Engineer

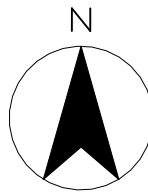
Watt Consulting Group

1300 – 736 6th Ave SW
Calgary AB T2P 3T7
Contact: Zachary Bridger
Contact Info: zbridger@wattconsultinggroup.com

Civil

C01	SITE SERVICING PLAN
C02	SITE GRADING PLAN
C03	CROSS SECTIONS

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06
C Issued for Addressing	2025-08-29
D DTR Responses #1	2025-09-29
E DTR Responses #1 (r1)	2025-10-10
F Issued for Internal Coordination	2025-11-27
G Draft Issued for DTR#2 – AHJ Meeting	2025-11-28
H Issued for DTR#2 Responses	2025-12-03
I Issued for DTR#3 Responses	2026-02-03
J Issued for DTR#3 Responses R1	2026-04-06

CLIENT / OWNER

COVEN BODY ARTS c/o
DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

T.I. STUDIOS
ARCHITECTURE inc

201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403) 806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L A: 1 & 2

DRAWING TITLE

COVER PAGE

SCALE:	1 : 100	DATE:	4/6/2026 1:50:47 PM
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PRINT ON:	Arch D	PROJECT No.	24.317
DWG No.			

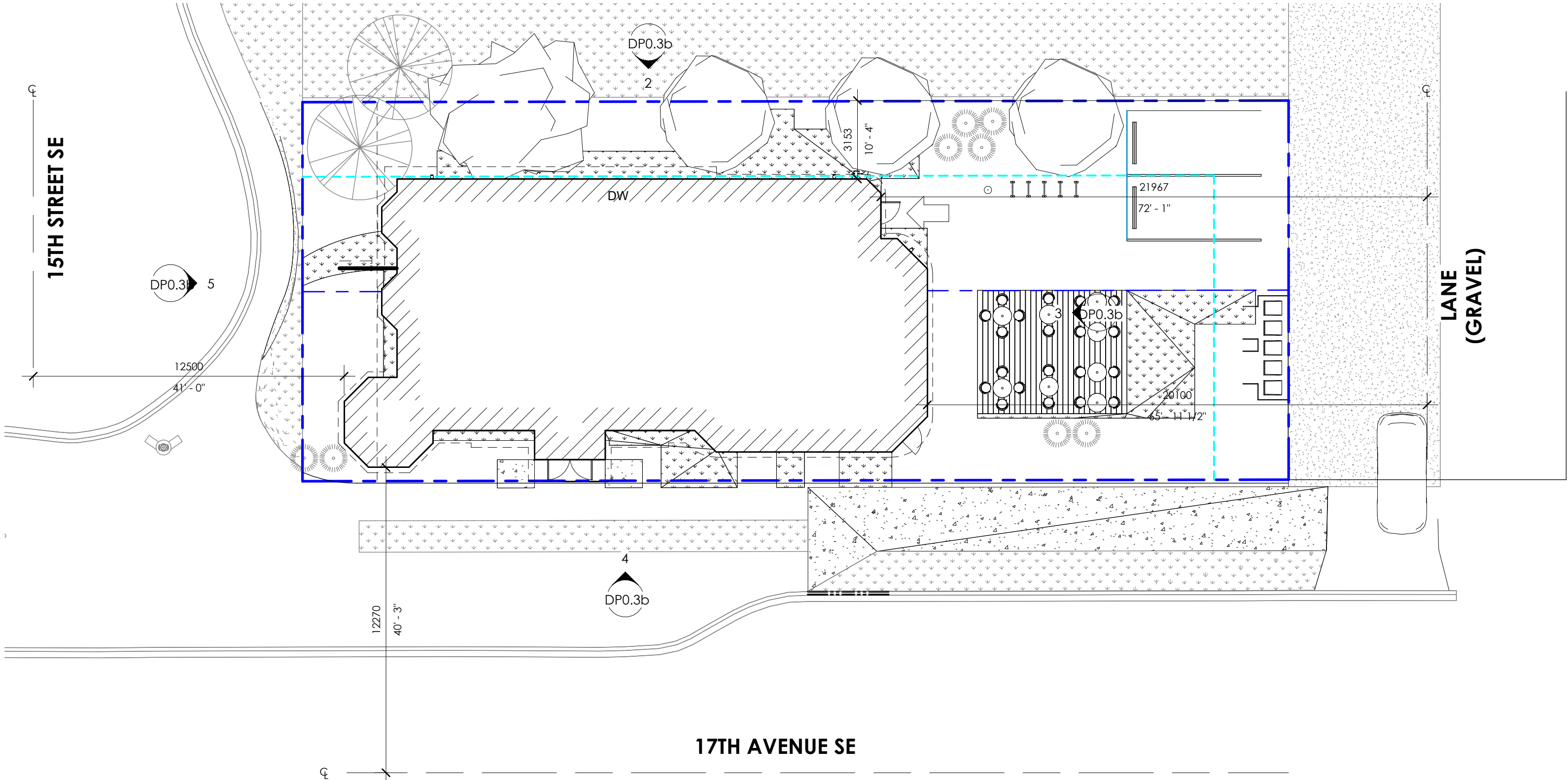
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-02440 APR 27 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DP0.1

Spatial Separation & Exposure Protection

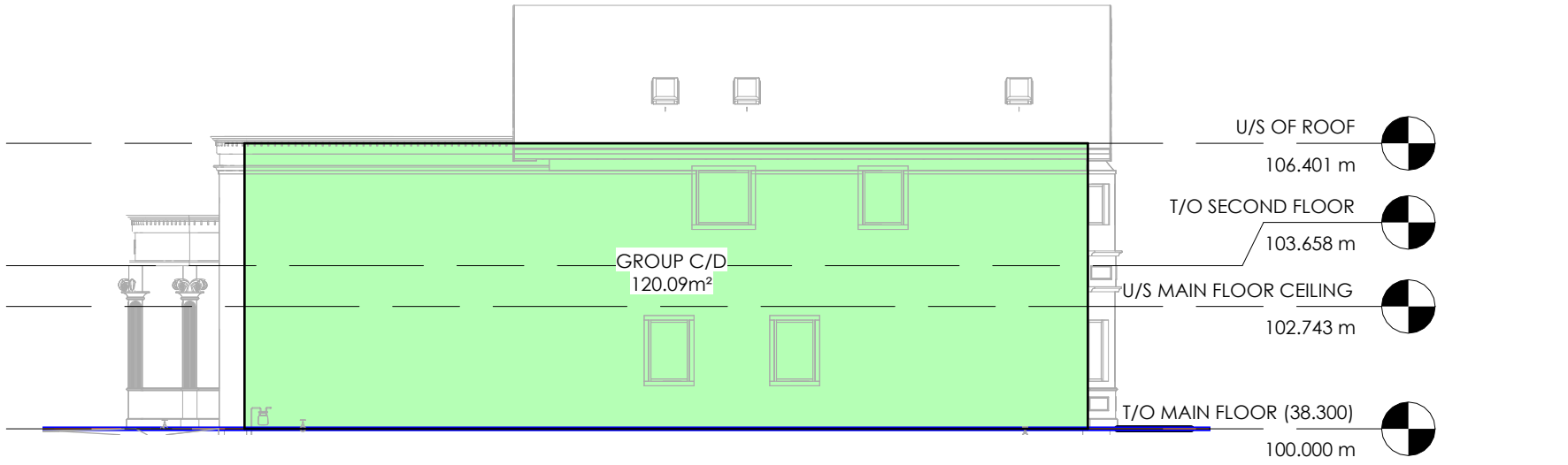
FIRE COMPARTMENT (SEE ELEVATIONS)	OCCUPANCY CLASSIFICATION (MOST RESTRICTIVE)	EXPOSING BUILDING FACE AREA	LIMITING DISTANCE: EXPOSED BUILDING FACE (EBF)	LIMITING DISTANCE: OPENING PLANE (OP)	UNPROTECTED OPENINGS NBC-AE 2023; TABLE 9.10.14.4.-A.		WALL CONSTRUCTION NBC-AE 2023; TABLE 9.10.14.5.-A				NOTES	SCOPE & COMMENTS
					MAX. ALLOWABLE AGGREGATE AREA (OPENING PLANE, %)	ACTUAL AREA	MAX OPENINGS AREA FOR DETERMINATION OF WALL CONSTRUCTION (WALL PLANE)	MIN. REQUIRED FIRE RESISTANCE RATING	CONSTRUCTION REQUIRED NC = NON-COMBUSTIBLE C = COMBUSTIBLE	CLADDING REQUIRED NC = NON-COMBUSTIBLE C = COMBUSTIBLE		
NORTH BUILDING FACE (LIMITING DISTANCE: PROPERTY LINE)												
BUILDING FACE	D/C	120.09m²	3.10m	3.10m	10%	5.11m² (4.25%)	10%	1 hr	C/NC	NC	(1)	1 HR FIRE RATED ASSEMBLY FOR EXTERIOR WALL, NON-COMBUSTIBLE CLADDING.
EAST BUILDING FACE (LIMITING DISTANCE: PROPERTY LINE)												
COFFEE SHOP BUILDING FACE	E	31.63m²	21.10m	21.10m	100% (3)	7.71m² (24.37%)	100%	n/a	n/a	n/a	(2)	
RESIDENTIAL AND PUBLIC STAIR BUILDING FACE	C/D	36.49m²	21.96m	21.96m	100% (3)	7.32m² (20.06%)	100%	n/a	n/a	n/a	(1)	
SOUTH BUILDING FACE (LIMITING DISTANCE: CENTERLINE OF 17TH AVENUE SE)												
FIRE COMPARTMENT 1 (MAIN FLOOR)	E	125.43m²	12.27m	12.27m	27%	25.52m² (20.34%)	27%	1 hr	C/NC	NC	(2)	FIRE RATING TO BE WAIVED BASED ON 9m DRIVE AISLE. REFER TO A0.3a FOR CODE ARTICLE.
WEST BUILDING FACE (LIMITING DISTANCE: CENTERLINE OF 15TH STREET SE)												
FIRE COMPARTMENT 1 (MAIN FLOOR)	D/C	74.15m²	12.50m	12.50m	100% (3)	5.28m² (7.12%)	100%	n/a	n/a	n/a	(1)	
NOTES: (1) NBC-AE 2023: A, B, C, D, F-3 OCCUPANCY - TABLE 9.10.14.4.-A (2) NBC-AE 2023: E, F-1/2 OCCUPANCY - TABLE 9.10.14.4.-A (3) LIMITING DISTANCE SUFFICIENT TO ALLOW 100% OPENINGS												



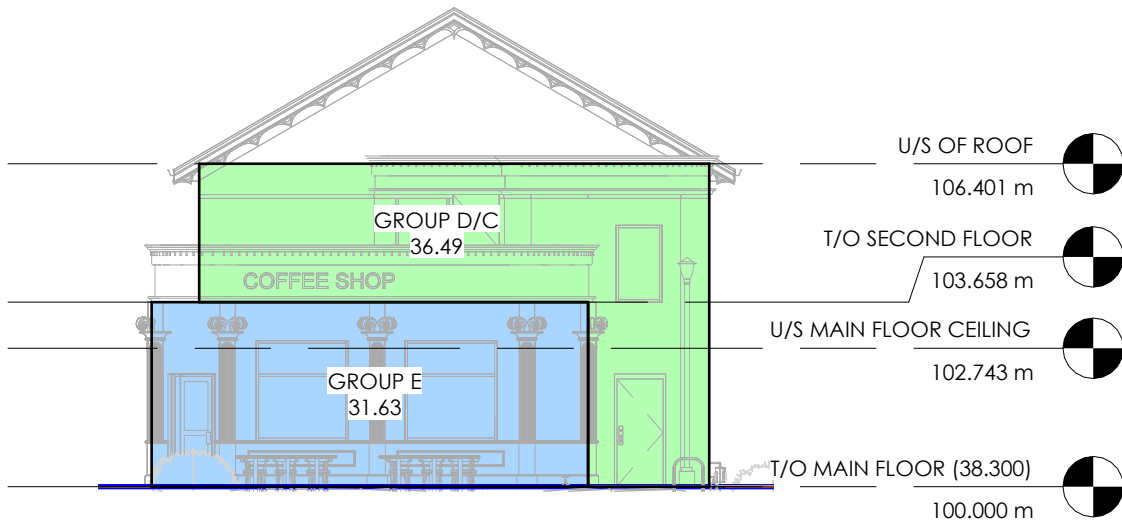
1 PROPOSED SITE PLAN
DP0.3b 1 : 150

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

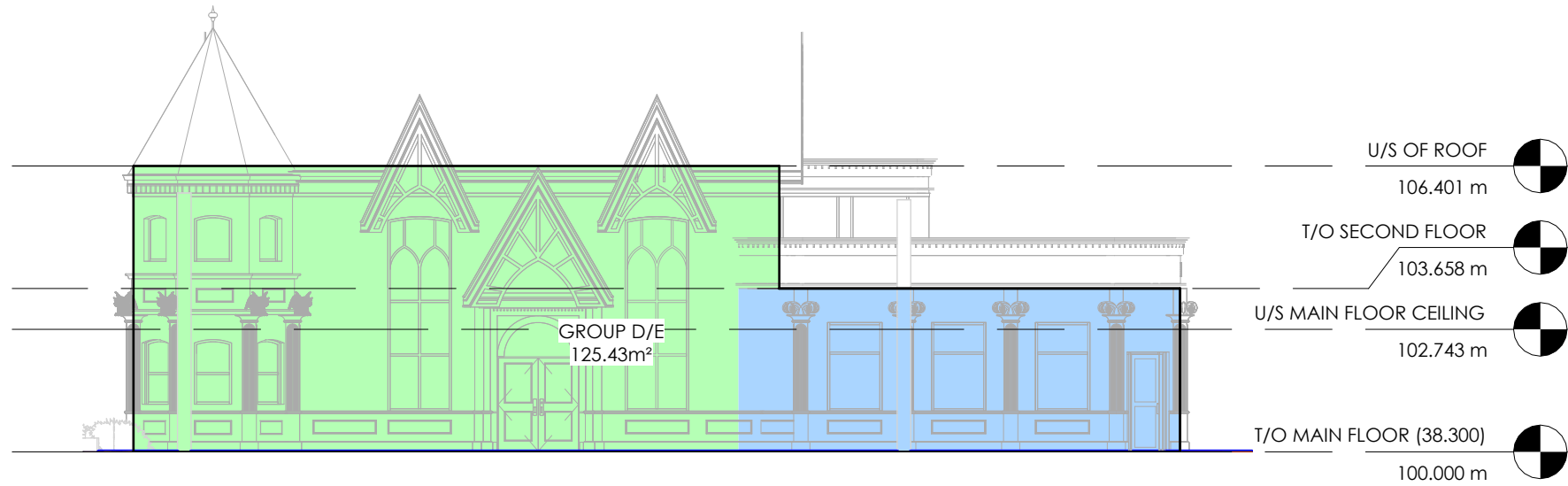
AMENDED DRAWINGS
DP No Date Received
DP2025-02440 APR 27 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



2 NORTH EXPOSED BUILDING FACE
DP0.3b 1 : 150

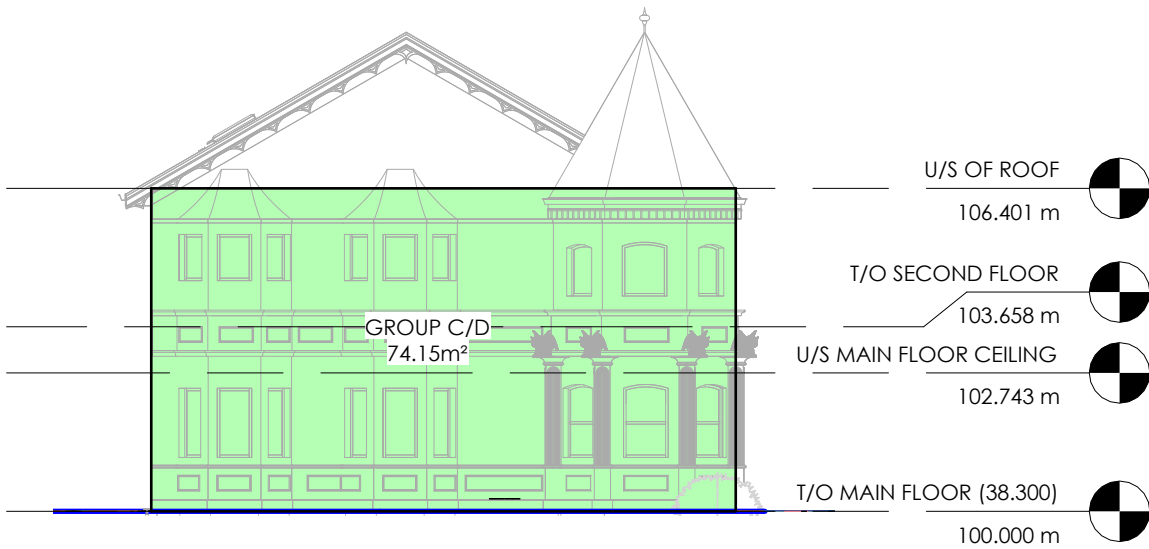


3 EAST EXPOSED BUILDING FACE
DP0.3b 1 : 150



SOUTH ELEVATION CALCULATED UNDER GROUP E AS MOST RESTRICTIVE REQUIREMENT.

4 SOUTH EXPOSED BUILDING FACE
DP0.3b 1 : 150



5 WEST EXPOSED BUILDING FACE
DP0.3b 1 : 150

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CONSULTANT SEAL

ISSUED	DATE
B DP Initial Responses	2025-06-06
D DTR Responses #1	2025-09-29
E DTR Responses #1 (r1)	2025-10-10
F Issued for Internal Coordination	2025-11-27
G Draft Issued for DTR#2 - AHJ Meeting	2025-11-28
H Issued for DTR#2 Responses	2025-12-03
I Issued for DTR#3 Responses	2026-02-03
J Issued for DTR#3 Responses R1	2026-04-06

CLIENT / OWNER

COVEN BODY ARTS c/o
DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

TI STUDIOS
ARCHITECTURE inc
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A: 1 & 2

DRAWING TITLE

**BUILDING CODE SPATIAL
SEPARATION AND LIMITING
DISTANCE CALCULATIONS**

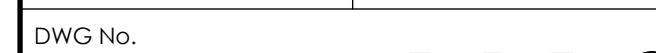
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DRAWN BY: DF/DJ CHECKED BY: DJ/MH

PRINT ON: Arch D PROJECT No. 24.317

DWG No.

DP0.3b



DP1.0



EXISTING SITE LEGEND



EXISTING SOD
TO REMAIN



EXISTING CONCRETE
TO REMAIN



EXISTING GRAVEL



EXISTING SOD TO BE REMOVED
REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS



EXISTING CONCRETE TO BE REMOVED
REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS



EXISTING PAVING TO BE REMOVED
REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS

ALL EXISTING DEMOLITION MATERIAL HATCHES TO BE DEMOLISHED ARE SHOWN IN RED.



PROPERTY LINE



DEMOLITION ITEM



SETBACK LINE



ROOF OVERHANG



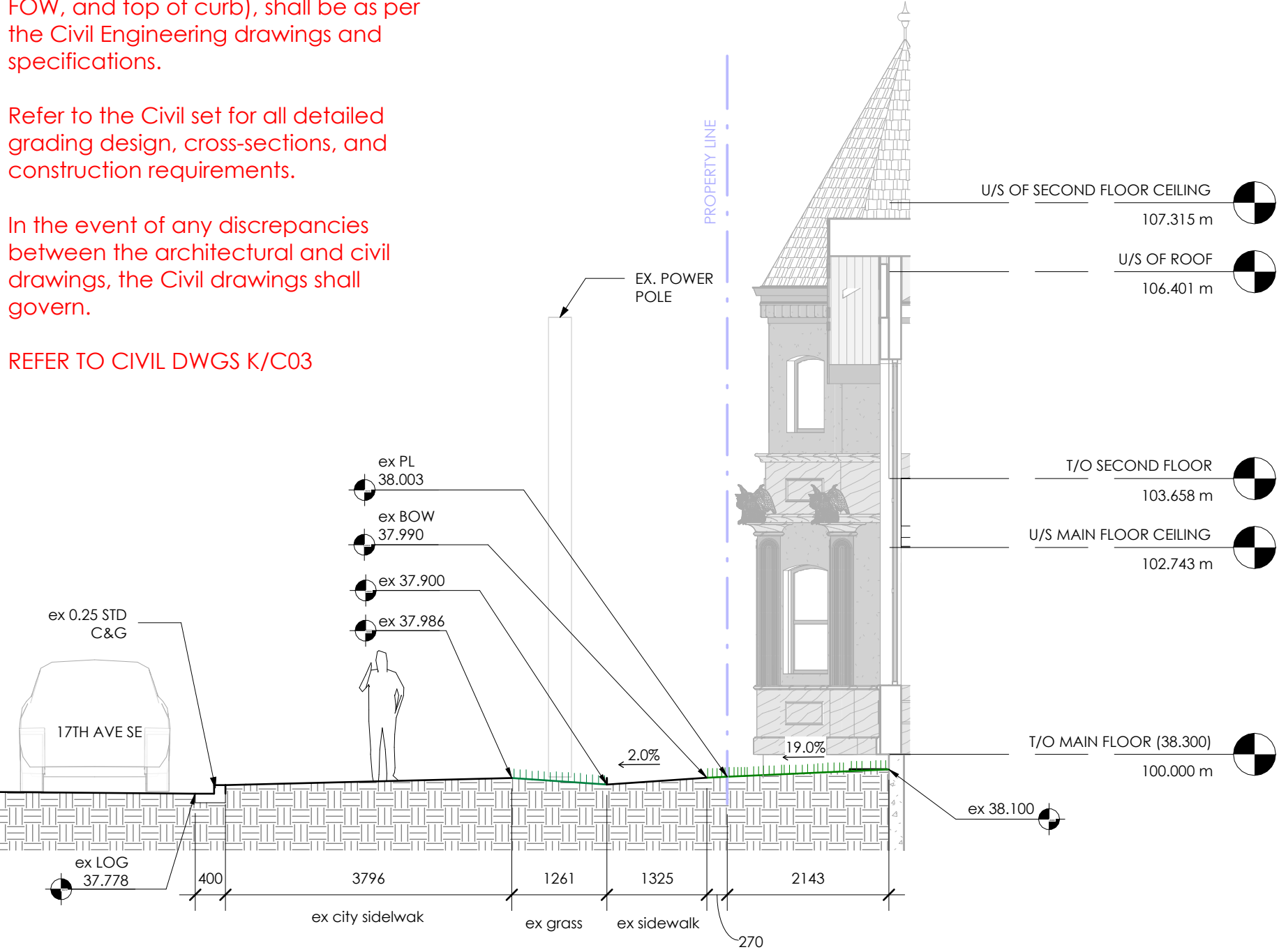
FENCE LINE

All grading information, including elevations, slopes, dimensions, curb and sidewalk details (including BOW, FOW, and top of curb), shall be as per the Civil Engineering drawings and specifications.

Refer to the Civil set for all detailed grading design, cross-sections, and construction requirements.

In the event of any discrepancies between the architectural and civil drawings, the Civil drawings shall govern.

REFER TO CIVIL DWGS K/C03



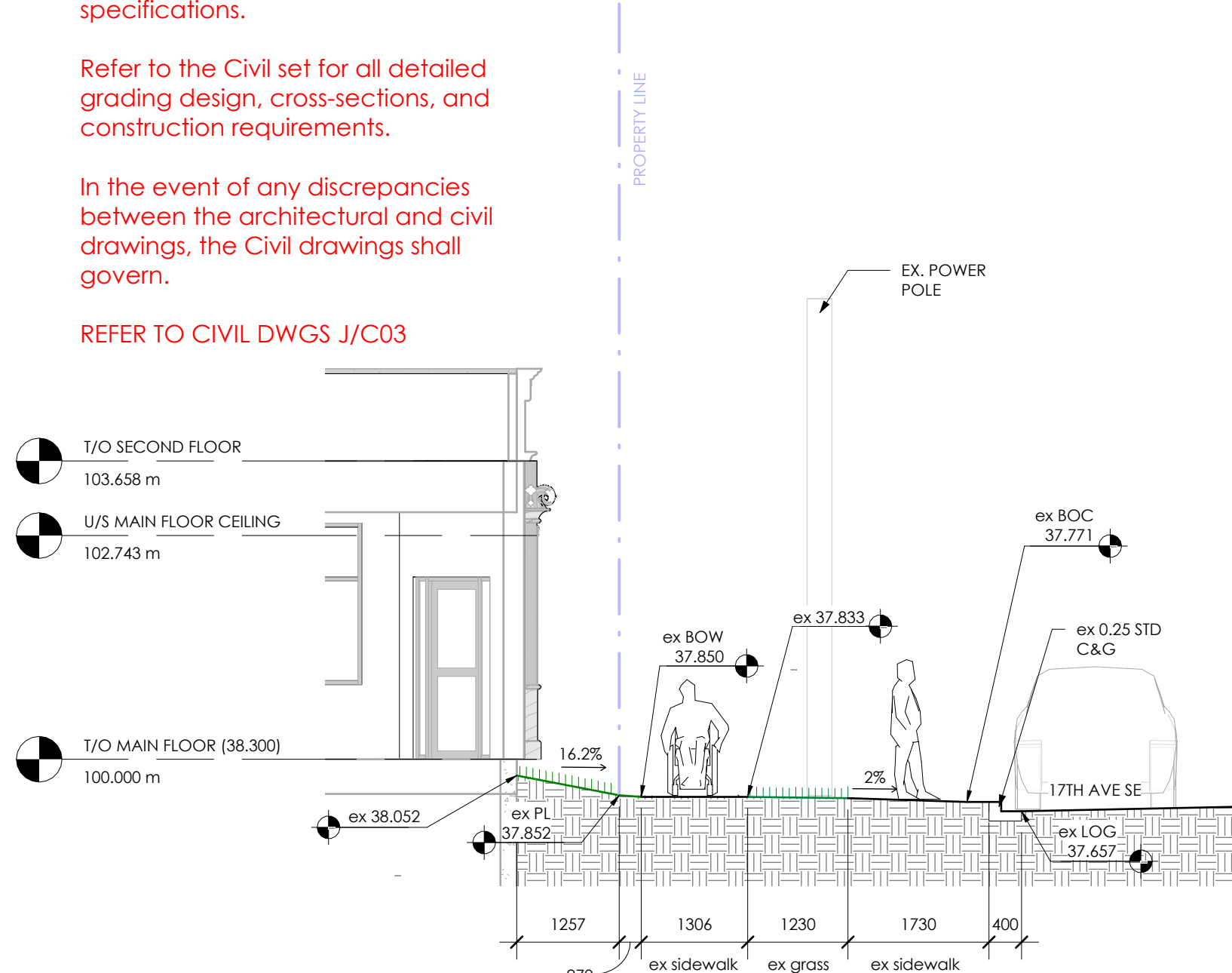
1 Cross Section #1 at 17th Avenue SE
DP1.4 1 : 70

All grading information, including elevations, slopes, dimensions, curb and sidewalk details (including BOW, FOW, and top of curb), shall be as per the Civil Engineering drawings and specifications.

Refer to the Civil set for all detailed grading design, cross-sections, and construction requirements.

In the event of any discrepancies between the architectural and civil drawings, the Civil drawings shall govern.

REFER TO CIVIL DWGS J/C03



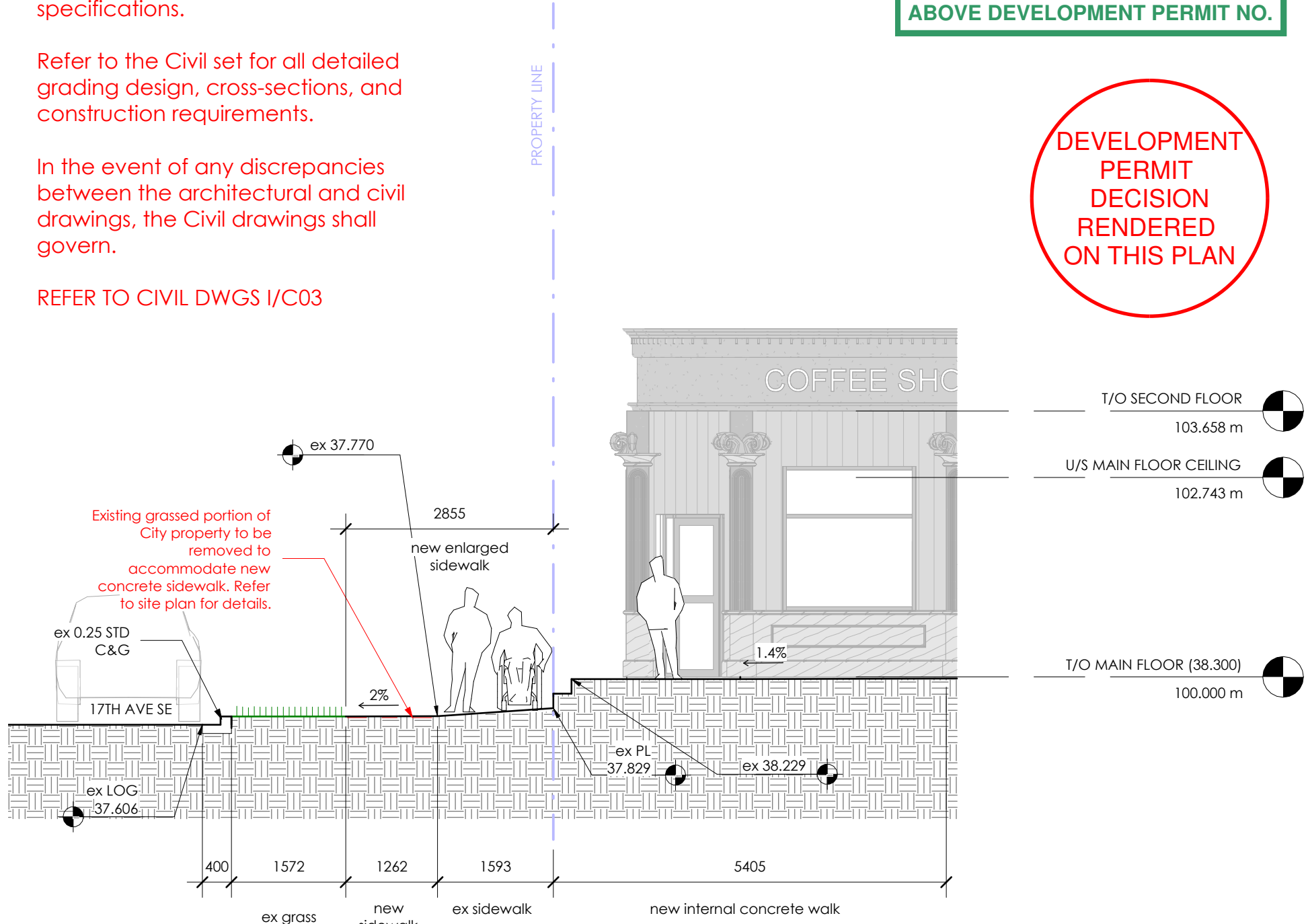
2 Cross Section #2 at 17th Avenue SE
DP1.4 1 : 70

All grading information, including elevations, slopes, dimensions, curb and sidewalk details (including BOW, FOW, and top of curb), shall be as per the Civil Engineering drawings and specifications.

Refer to the Civil set for all detailed grading design, cross-sections, and construction requirements.

In the event of any discrepancies between the architectural and civil drawings, the Civil drawings shall govern.

REFER TO CIVIL DWGS I/C03



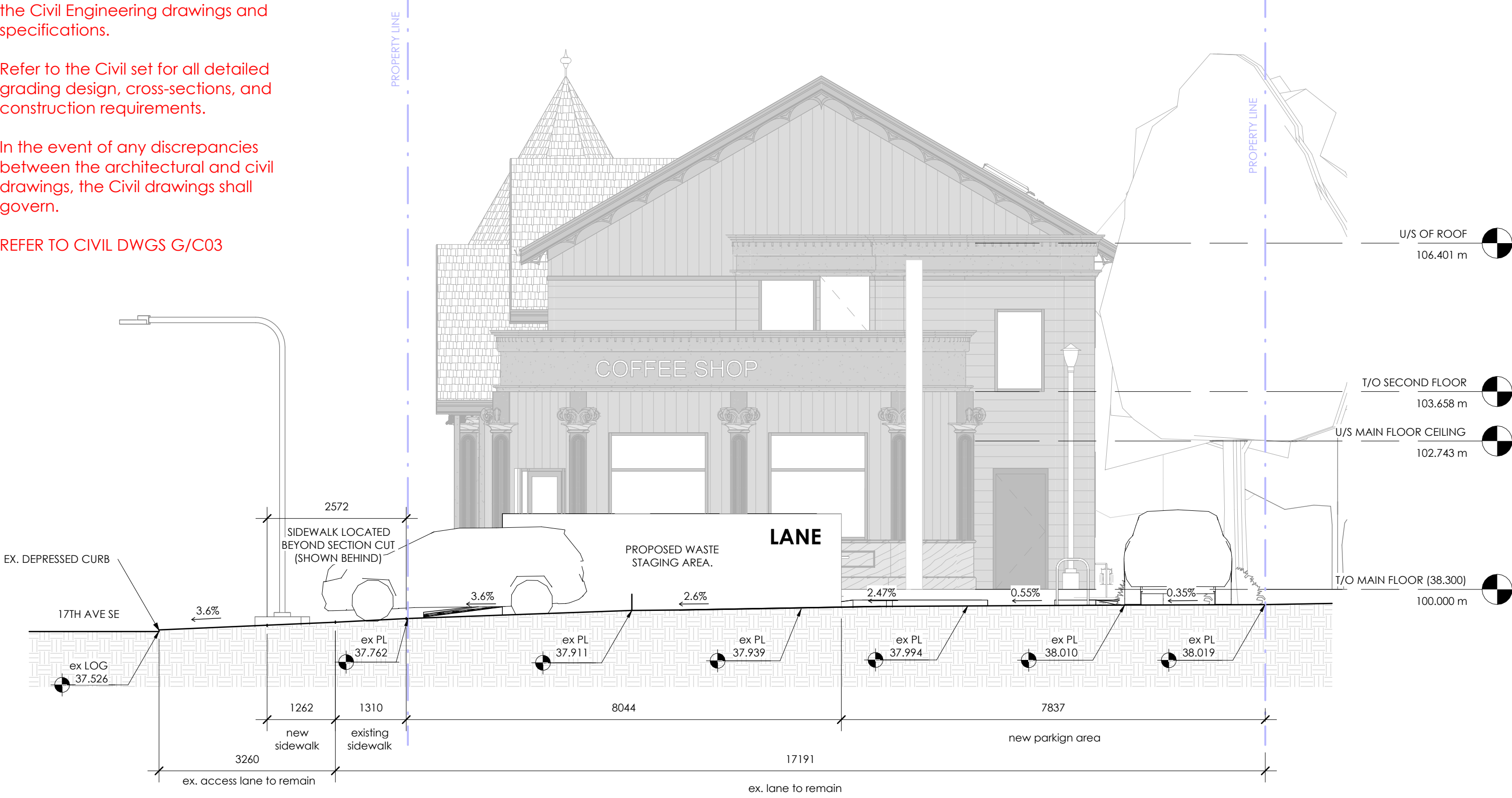
3 Cross Section #3 at 17th Avenue SE
DP1.4 1 : 70

All grading information, including elevations, slopes, dimensions, curb and sidewalk details (including BOW, FOW, and top of curb), shall be as per the Civil Engineering drawings and specifications.

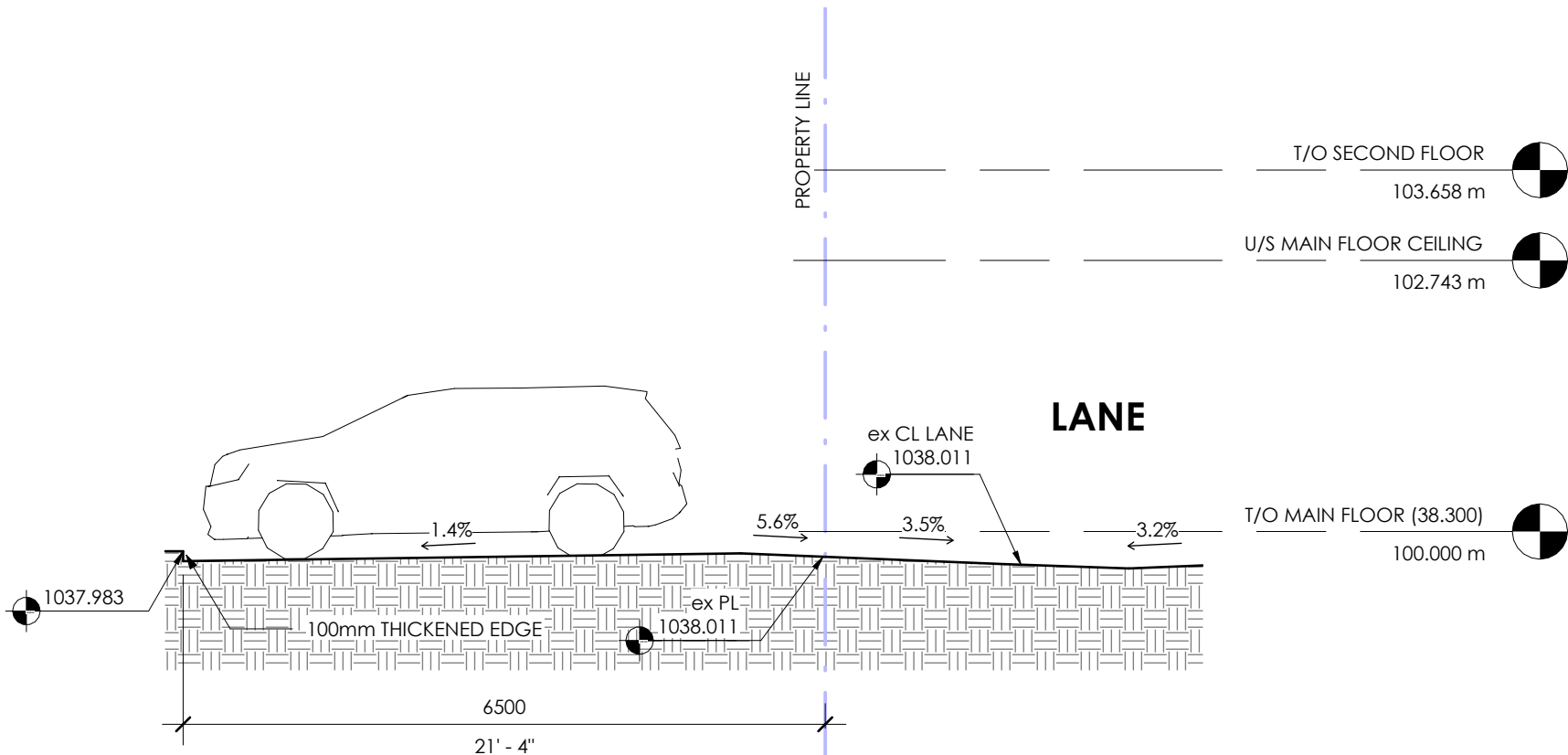
Refer to the Civil set for all detailed grading design, cross-sections, and construction requirements.

In the event of any discrepancies between the architectural and civil drawings, the Civil drawings shall govern.

REFER TO CIVIL DWGS G/C03



4 Cross Section #4 at Lane
DP1.4 1 : 70



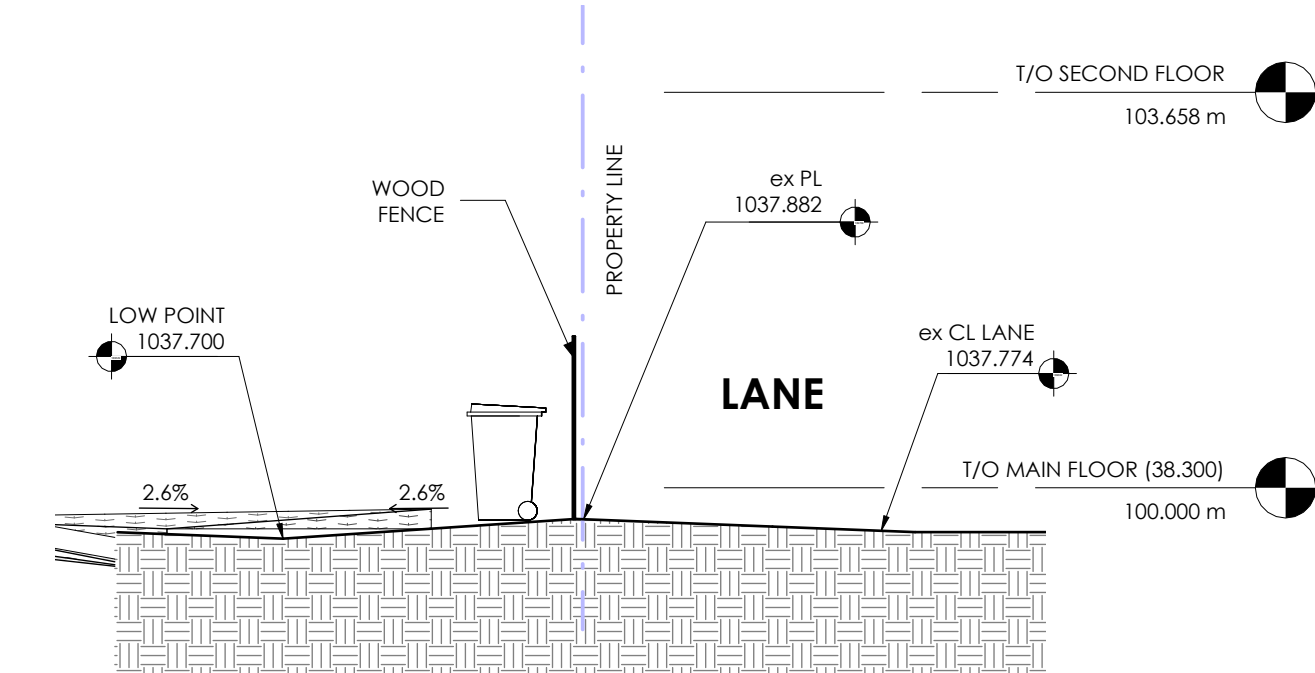
5 Cross Section #5 at Lane
DP1.4 1 : 70

All grading information, including elevations, slopes, dimensions, curb and sidewalk details (including BOW, FOW, and top of curb), shall be as per the Civil Engineering drawings and specifications.

Refer to the Civil set for all detailed grading design, cross-sections, and construction requirements.

In the event of any discrepancies between the architectural and civil drawings, the Civil drawings shall govern.

REFER TO CIVIL DWGS E/C03



6 Cross Section #6 at Lane
DP1.4 1 : 70

All grading information, including elevations, slopes, dimensions, curb and sidewalk details (including BOW, FOW, and top of curb), shall be as per the Civil Engineering drawings and specifications.

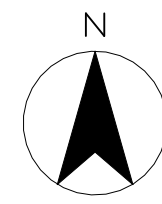
Refer to the Civil set for all detailed grading design, cross-sections, and construction requirements.

In the event of any discrepancies between the architectural and civil drawings, the Civil drawings shall govern.

REFER TO CIVIL DWGS F/C03

AMENDED DRAWINGS
DP No DP2025-02440 Date Received APR 27 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



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CONSULTANT SEAL

ISSUED	DATE
B DP Initial Responses	2025-06-06
D DTR Responses #1	2025-09-29
E DTR Responses #1 (r1)	2025-10-10
F Issued for Internal Coordination	2025-11-27
G Draft Issued for DTR#2 - AHJ Meeting	2025-11-28
H Issued for DTR#2 Responses	2025-12-03
I Issued for DTR#3 Responses	2026-02-03
J Issued for DTR#3 Responses R1	2026-04-06

CLIENT / OWNER

COVEN BODY ARTS c/o
DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

TI STUDIOS
ARCHITECTURE inc

201 - 1902 11 St SE, Calgary, AB T2G 3G2
(403) 806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L A: 1 & 2

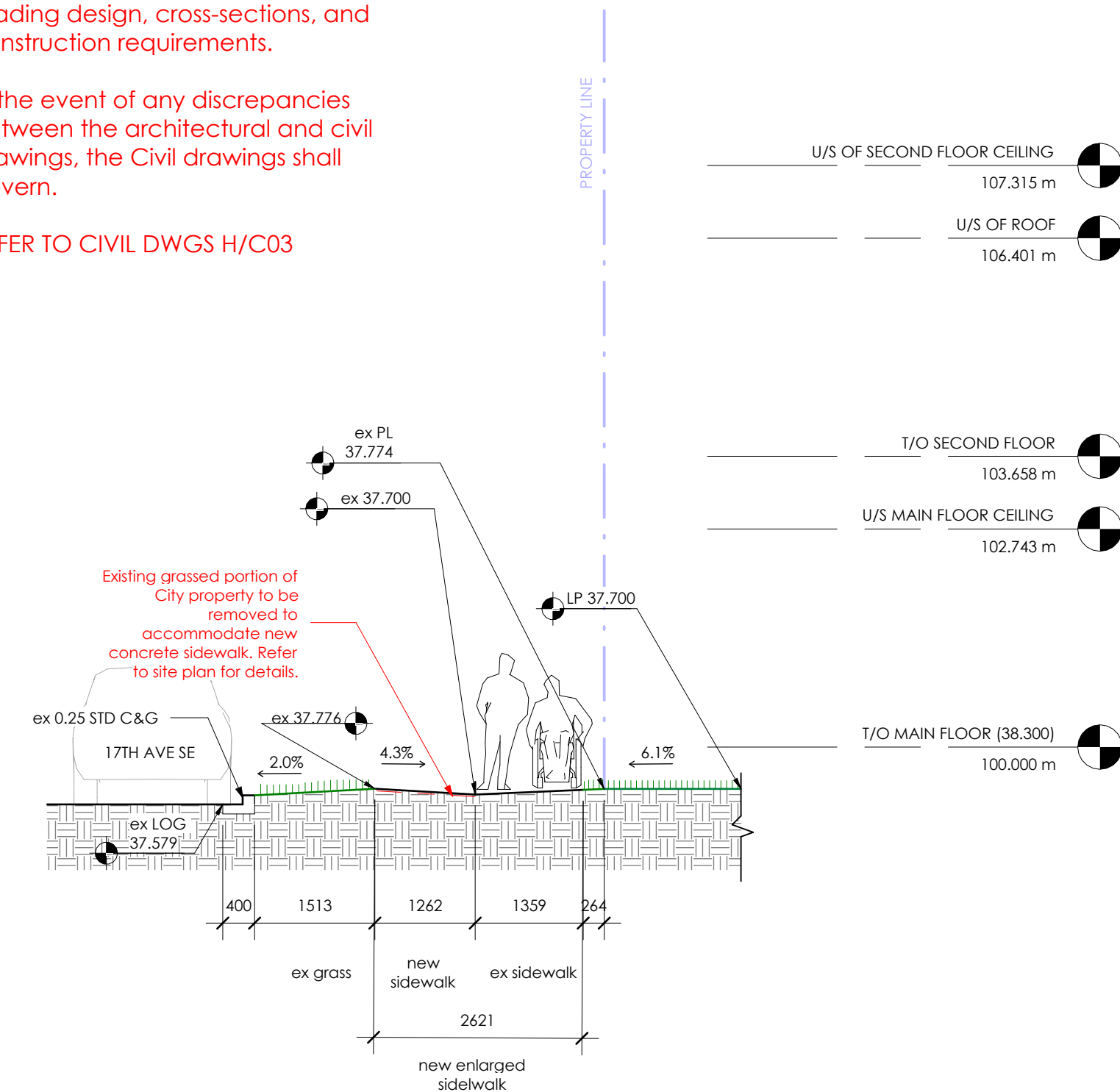
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SITE CROSS SECTIONS

SCALE:	1 : 70	DATE:	4/6/2026 1:51:53 PM
DRAWN BY:	DF/DJ	CHECKED BY:	DJ/MH
PRINT ON:	Arch D	PROJECT No.	24.317
DWG No.			

DP1.4

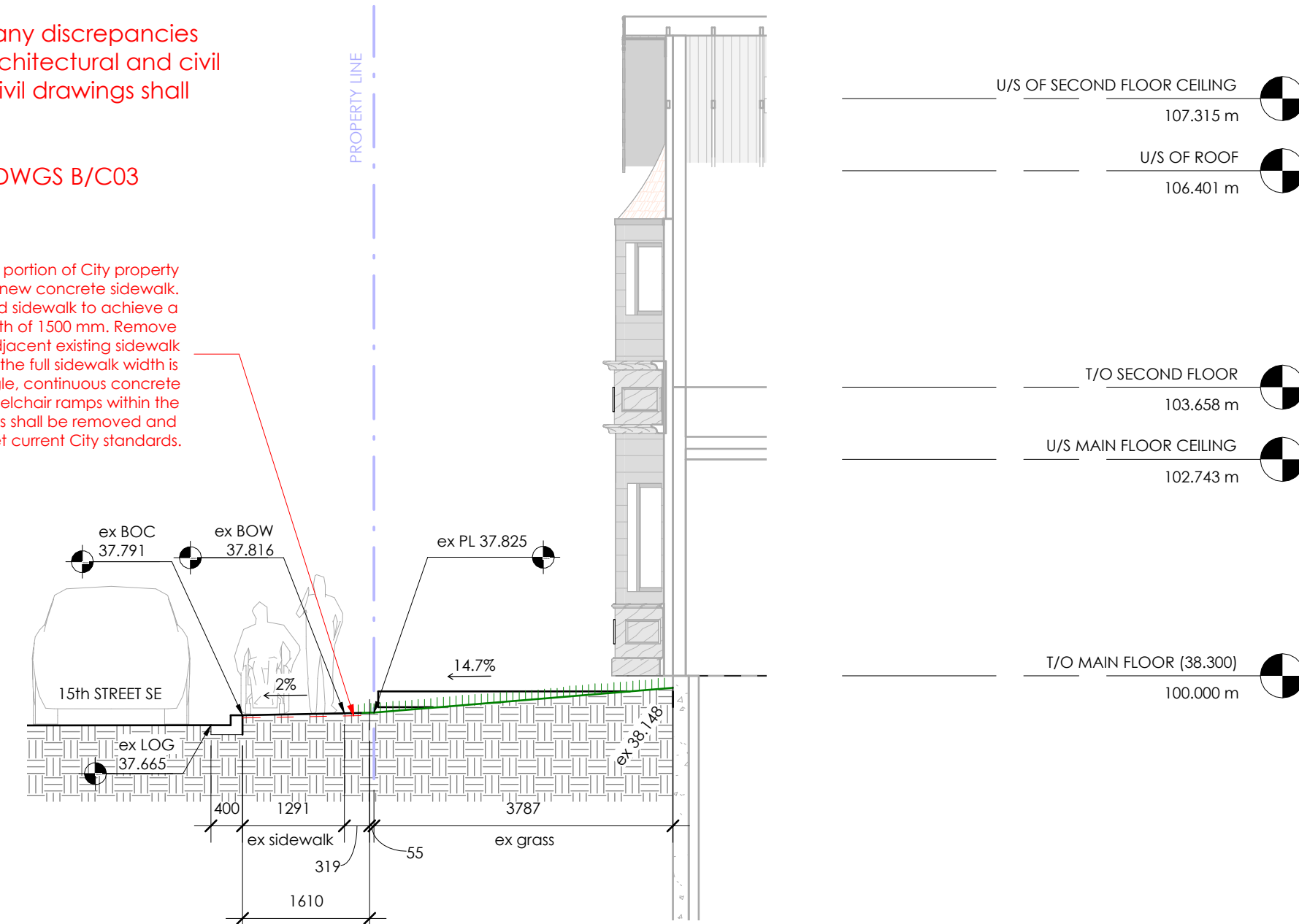
REFER TO CIVIL DWGS H/C03



1 Cross Section #7 at 17th Avenue SE
DP1.5 1:70

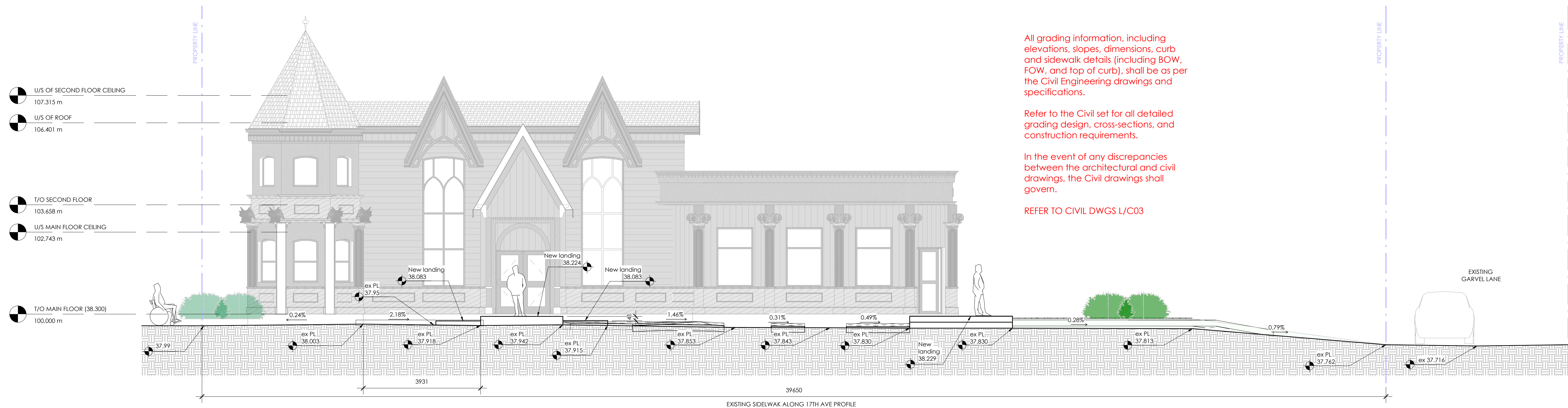
REFER TO CIVIL DWGS B/C03

Remove existing grassed portion of City property to accommodate new concrete sidewalk. Provide an enlarged sidewalk to achieve a consistent minimum width of 1500 mm. Remove and reconstruct the adjacent existing sidewalk as required so the full sidewalk width is constructed as a single, continuous concrete pour. Any existing wheelchair ramps within the sidewalk widening limits shall be removed and reconstructed to meet current City standards.



3 Cross Section #9 at 15th Street SE
DP1.5 1:70

REFER TO CIVIL DWGS L/C03



2 Cross Section #8 along 17th Avenue SE
DPI.5 1:70

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

CONSULTANT SEAL

ISSUED	DATE
B DP Initial Responses	2025-06-06
D DTR Responses #1	2025-09-29
E DTR Responses #1 (r1)	2025-10-10
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I Issued for DTR#3 Responses	2026-02-03
J Issued for DTR#3 Responses R1	2026-04-06

CLIENT / OWNER

COVEN BODY ARTS c/o
DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT



TI STUDIOS
ARCHITECTURE inc

201 - 1902 11 St SE, Calgary, AB, T2G 3G2

(403)-806-0556 info@istudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A; 1 & 2

DRAWING TITLE

SITE CROSS SECTIONS

SCALE:	1 : 70	DATE:	4/6/2026 1:52:00 PM
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DP1.5

ARCHD 24'x36" (610 x 914mm) 4/6/2026 1:52:15 PM



3 SOUTH EXTERIOR ELEVATION
DP4.1 1 : 50

EXTERIOR ELEVATION KEYNOTES	
40	STUCCO COLOUR: BLACK FINISH: TBD
41	STUCCO COLOUR: DARK GREY FINISH: TBD
42	HORIZONTAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: HORIZONTAL
43	VERTICAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: VERTICAL
44	ASPHALT SHINGLES MANUFACTURER: TBD COLOUR: TBD
45	METAL SCALLOPED SHINGLES MANUFACTURER: TBD COLOUR: TBD
46	TRANSITION TRIM MANUFACTURER: WESTFORM COLOUR: MATCH METAL CLADDING NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
47	PREFINISHED METAL PARAPET CAP & TRIM COLOUR: TBD
48	GOthic DECORATIVE ELEMENT
49	PREFINISHED METAL TURRET CAP COLOUR: TBD
50	THERMALLY BROKEN ALUMINUM DOOR & FRAME
51	BARRIER-FREE PUSH BUTTON
52	EXTERIOR SIGNAGE NOTE: SIGNAGE NOT INCLUDED WITHIN SCOPE OF WORK, SHOWN FOR REFERENCE ONLY. SIGNAGE TO BE SUPPLIED, DESIGNED AND INSTALLED BY SIGNAGE CONSULTANT.
53	SKYLIGHT
54	GLAZING
55	PREFINISHED METAL FASCIA COLOUR: TBD PROFILE: CUSTOM
56	PREFINISHED METAL GUTTER COLOUR: TBD
57	CUSTOM STONE GOthic MOULDINGS, BASE AND CORNICE MANUFACTURER: STONETILE PROFILE: TBD COLOUR: TBD NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

EXTERIOR ELEVATION LEGEND	
	PROPOSED DARK STUCCO COLOUR: TBD
	PROPOSED LIGHT STUCCO COLOUR: TBD
	PROPOSED HORIZONTAL METAL SIDING COLOUR: BLACK
	PROPOSED VERTICAL METAL SIDING COLOUR: BLACK
	PROPOSED DARK SHINGLE COLOUR: BLACK
	PROPOSED COPPER SCALLOPED SHINGLE COLOUR: COPPER

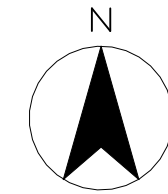


2 EAST EXTERIOR ELEVATION
DP4.1 1 : 50

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2025-02440 Date Received APR 27 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

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CONSULTANT SEAL

ISSUED	DATE
A Development Permit	2025-04-17
B DP Initial Responses	2025-06-06
D DTR Responses #1	2025-09-29
E DTR Responses #1 (r1)	2025-10-10
F Issued for Internal Coordination	2025-11-27
G Draft Issued for DTR#2 - AHJ Meeting	2025-11-28
H Issued for DTR#2 Responses	2025-12-03
I Issued for DTR#3 Responses	2026-02-03
J Issued for DTR#3 Responses R1	2026-04-06

CLIENT / OWNER

COVEN BODY ARTS c/o
DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

TI STUDIOS
ARCHITECTURE inc

201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

COVEN HOUSE

1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL ADDRESS: 5596L; A: 1 & 2

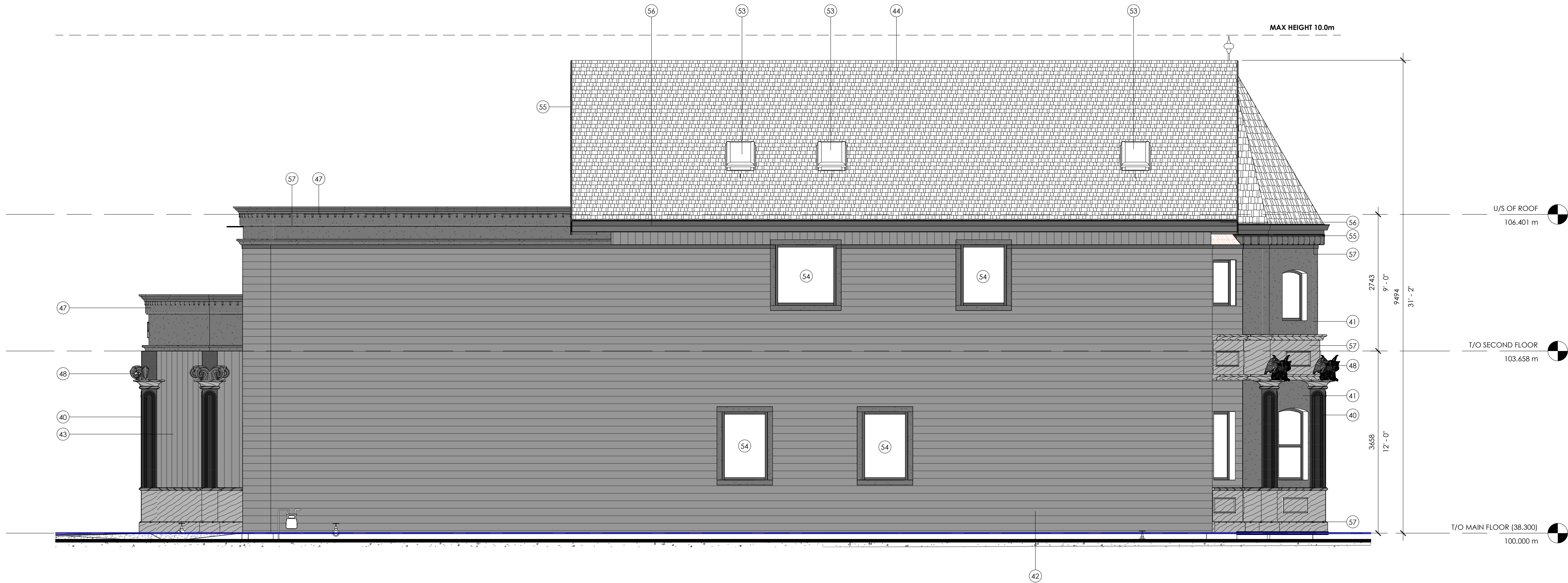
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EXTERIOR ELEVATIONS

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DP4.1

ARCHD 24536" (610 x 914mm) 4/6/2026 1:52:22 PM



1 NORTH EXTERIOR ELEVATION
DP4.2 1 : 50



2 WEST EXTERIOR ELEVATION
DP4.2 1 : 50

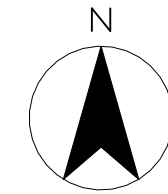
EXTERIOR ELEVATION KEYNOTES

- 40 STUCCO
COLOUR: **BLACK**
FINISH: **TBD**
- 41 STUCCO
COLOUR: **DARK GREY**
FINISH: **TBD**
- 42 HORIZONTAL METAL CLADDING
MANUFACTURER: **WESTFORM**
SPECIFICATION: **PROBOARD 4" OR 6"**
COLOUR: **TBD**
FINISH: **SMOOTH**
INSTALL PATTERN: **HORIZONTAL**
- 43 VERTICAL METAL CLADDING
MANUFACTURER: **WESTFORM**
SPECIFICATION: **PROBOARD 4" OR 6"**
COLOUR: **TBD**
FINISH: **SMOOTH**
INSTALL PATTERN: **VERTICAL**
- 44 ASPHALT SHINGLES
MANUFACTURER: **TBD**
COLOUR: **TBD**
- 45 METAL SCALLOPED SHINGLES
MANUFACTURER: **TBD**
COLOUR: **TBD**
- 46 TRANSITION TRIM
MANUFACTURER: **WESTFORM**
COLOUR: **MATCH METAL CLADDING**
NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
- 47 PREFINISHED METAL PARAPET CAP & TRIM
COLOUR: **TBD**
- 48 GOTHIC DECORATIVE ELEMENT
- 49 PREFINISHED METAL TURRET CAP
COLOUR: **TBD**
- 50 THERMALLY BROKEN ALUMINIUM DOOR & FRAME
- 51 BARRIER-FREE PUSH BUTTON
- 52 EXTERIOR SIGNAGE
NOTE: SIGNAGE NOT INCLUDED WITHIN SCOPE OF WORK, SHOWN FOR REFERENCE ONLY. SIGNAGE TO BE SUPPLIED, DESIGNED AND INSTALLED BY SIGNAGE CONSULTANT.
- 53 SKYLIGHT
- 54 GLAZING
- 55 PREFINISHED METAL FASCIA
COLOUR: **TBD**
PROFILE: **CUSTOM**
- 56 PREFINISHED METAL GUTTER
COLOUR: **TBD**
- 57 CUSTOM STONE GOTHIC MOULDINGS, BASE AND CORNICE
MANUFACTURER: **STONETILE**
PROFILE: **TBD**
COLOUR: **TBD**
NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

EXTERIOR ELEVATION LEGEND



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J Issued for DTR#3 Responses R1	2026-04-06

CLIENT / OWNER

COVEN BODY ARTS c/o DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

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EXTERIOR ELEVATIONS

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DRAWING TITLE

3D VIEW

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DP10.1



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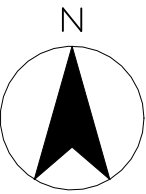
SOUTH-WEST EXTERIOR VIEW

1
DP10.1

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CLIENT / OWNER

**COVEN BODY ARTS c/o
DEE MAE**

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DP10.2



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1 SOUTH-EAST EXTERIOR VIEW
DP10.2

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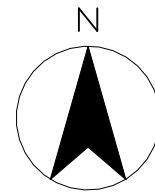
1 SOUTH EXTERIOR VIEW
DP10.3

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DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

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DP10.3