

COVEN HOUSE

NEW PROPOSED BUILDING
1650 15th Street SE,
Calgary, Alberta T2G 3L9

DTR Responses #1 (r1) - 2025-10-10

Consultants:

Architectural & Interior Design

T.i. Studios Architecture Inc.

#201, 1902 11th Street SE
Calgary, AB T2G 3G2
Contact: Daniel Jimenez
Contact Info: djimenez@tistudios.ca

Drawings:

Architectural DP

- DP0.1 Cover
- DP0.2 PROJECT INFORMATION & GENERAL NOTES
- DP0.3a BUILDING CODE SUMMARY, EGRESS & FIRE SEPARATION PLANS
- DP0.3b BUILDING CODE SPATIAL SEPARATION AND LIMITING DISTANCE CALCULATIONS
- DP1.1 SITE PLAN
- DP1.2 SITE DETAILS
- DP1.3 SITE DETAILS
- DP2.1 PROPOSED BASEMENT PLAN
- DP2.2 PROPOSED MAIN FLOOR PLAN
- DP2.3 PROPOSED SECOND FLOOR PLAN
- DP2.4 ROOF PLANS
- DP4.1 EXTERIOR ELEVATIONS
- DP4.2 EXTERIOR ELEVATIONS
- DP5.1 BUILDING SECTIONS
- DP10.1 3D VIEW
- DP10.2 3D VIEW
- DP10.3 3D VIEW

Civil

- C01 SITE SERVICING PLAN
- C02 SITE GRADING PLAN
- C03 CROSS SECTIONS

Civil/Geotech Engineer

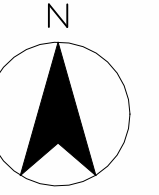
Watt Consulting Group

1300 – 736 6th Ave SW
Calgary AB T2P 3T7
Contact: Zachary Bridger
Contact Info: zbridger@wattconsultinggroup.com



1
DP0.1
PERSPECTIVE VIEW

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CLIENT / OWNER
COVEN BODY ARTS c/o DEE MAE

DEVELOPMENT PERMIT #: DP2025-02440

BUILDING PERMIT #:

PRIME CONSULTANT

T.I. STUDIOS ARCHITECTURE inc.
201 - 1902 11 St SE, Calgary, AB, T2G 3G2
(403)-806-0556 info@tistudios.ca

PROJECT NAME AND ADDRESS

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LEGAL ADDRESS: 5596L: A: 1 & 2

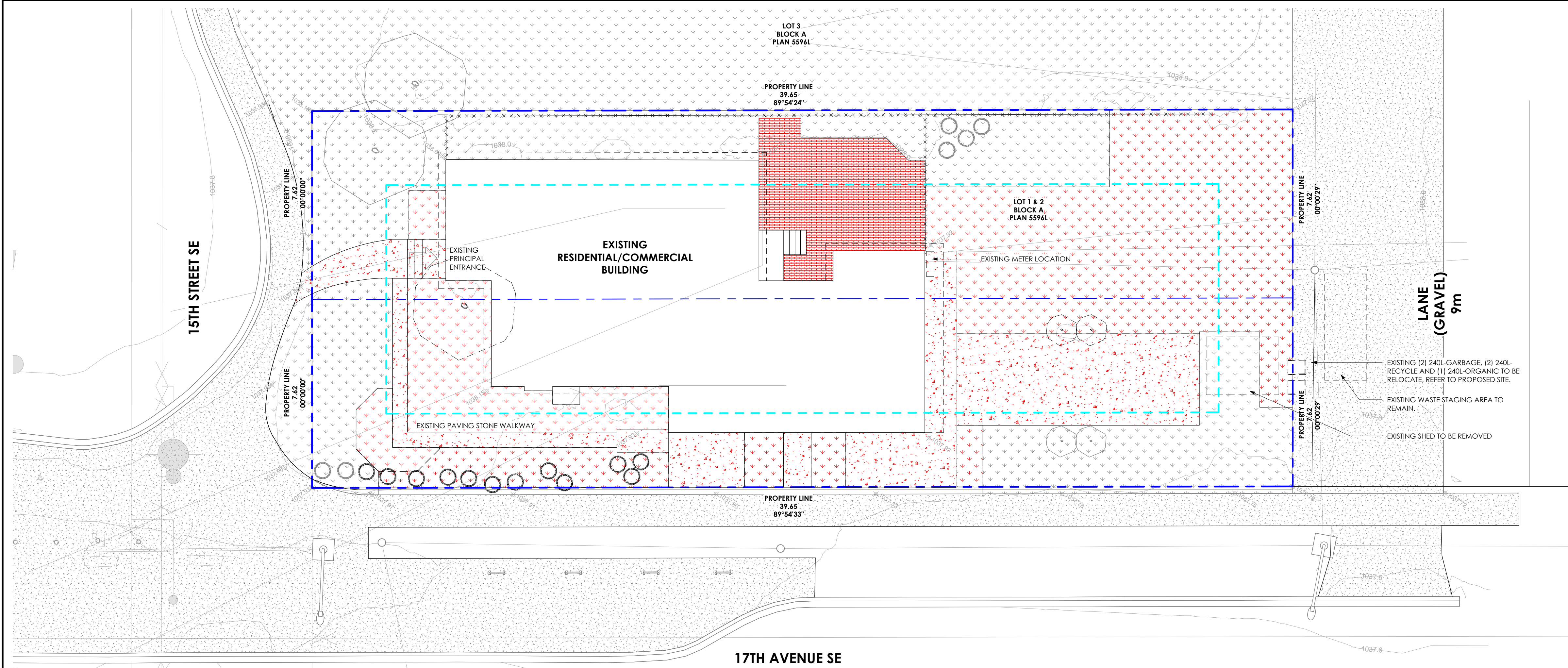
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Cover

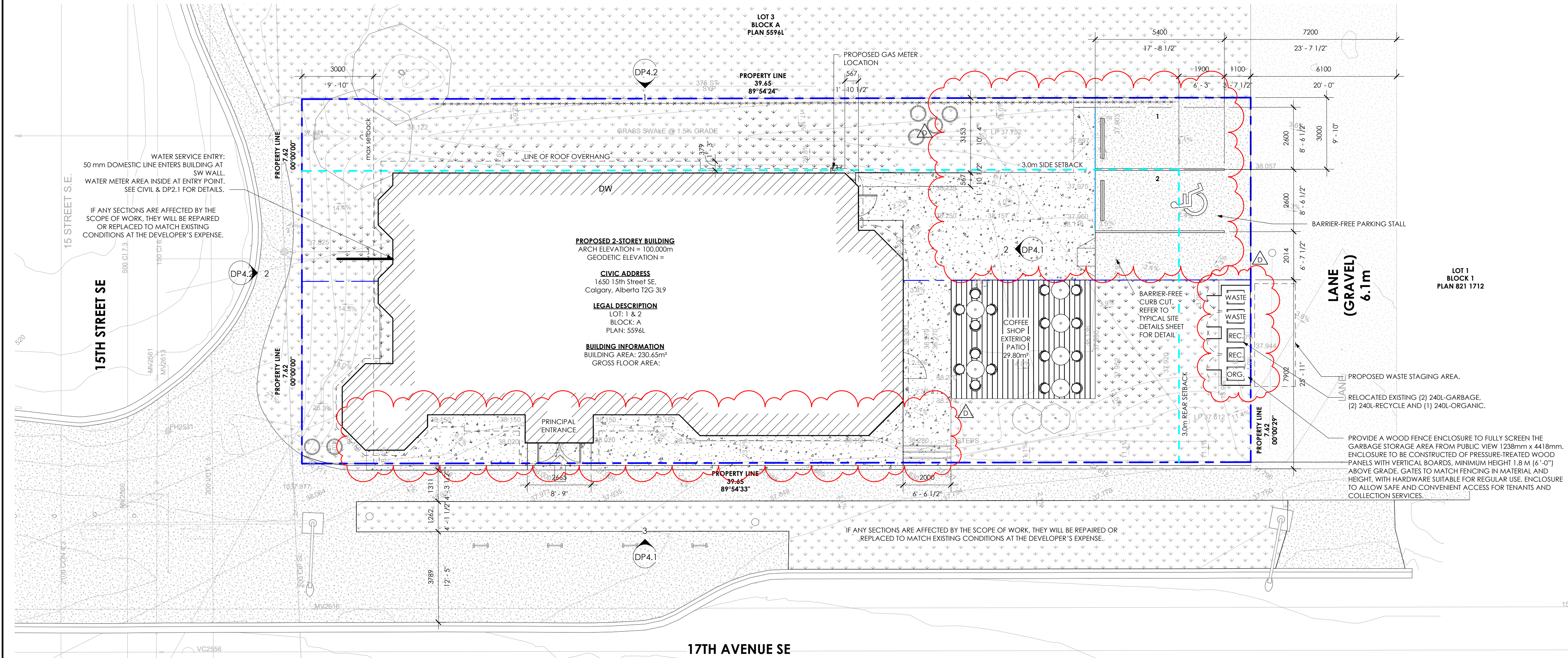
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DP0.1

AMENDED DRAWINGS
DP No Date Received
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1
DP1.1
EXIST./DEMO SITE PLAN
1 : 100



2
DP1.1
PROPOSED SITE PLAN
1 : 100

SITE LEGEND

EXISTING SOD
GC TO MAINTAIN SOD WHERE POSSIBLE

EXISTING CONCRETE
REFER TO EXIST./DEMO SITE PLAN FOR DEMO LOCATIONS

PROPOSED HYDROSEED
NO IRRIGATION SYSTEM PROPOSED FOR LANDSCAPING

PROPOSED GRAVEL

PROPOSED CONCRETE SIDEWALK

PROPOSED COMPOSITE PATIO
(OUTDOOR CAFE FOR COFFEE SHOP)

ALL EXISTING GROUND MATERIAL HATCHES TO BE DEMOLISHED ARE SHOWN IN RED.

PROPERTY LINE

SETBACK LINE

FENCE LINE

DEMOLITION ITEM

ROOF OVERHANG

LAND USE BY-LAW REVIEW

MUNICIPAL ADDRESS
1650 15th Street SE,
Calgary, Alberta T2G 3L9

LEGAL DESCRIPTION
5596L; A: 1 & 2

EXISTING / PREVIOUS LAND USE DESIGNATION
DIRECT CONTROL (DC123D2009)

The Commercial — Neighbourhood 1 District is intended to be characterized by:
a. small scale commercial developments;
b. buildings that are close to each other, the street and the public sidewalk;
c. storefront commercial buildings oriented towards the street;
d. lanes for motor vehicle access to parking areas and buildings;
e. buildings that are in keeping with the scale of nearby residential areas;
f. development that has limited use sizes and types; and
g. opportunities for residential uses to occur on the upper floors of buildings that contain commercial uses.

APPLICABLE CODES & BYLAWS
• CALGARY LAND USE BY-LAW 1P-2007

REQUIRED PARKING CALCULATIONS
EXISTING STALLS ON SITE: 2 STALLS
STALLS REQUIRED:
GROUP C - RESTAURANT, FOOD SERVICE ONLY [2.85/100m² PUBLIC AREA]
50.62 m²/100.0 m² * 2.85 STALLS = **14 STALLS**
GROUP B - RETAIL & CONSUMER SERVICE [4.1/100.0m² GFA]
392.05m²/100.0m² * 4 STALLS = **15 STALLS**

NOTE: CALCULATIONS ABOVE ARE BASED ON TABLE 121.1, CM-1 ZONING HAS NO MINIMUM REQUIRED MOTOR VEHICLE PARKING STALL REQUIREMENTS. CALCULATION SHOWN FOR REFERENCE ONLY.

STALLS PROVIDED: 2 STALLS ARE PROPOSED, ADDITIONAL STREET PARKING ALONG 17TH AVENUE IS AVAILABLE FOR CUSTOMERS.

BARRIER-FREE CALCULATIONS
3.8.2.5, NBC-AE 2019: TABLE 3.8.2.5, NUMBER OF PARKING STALLS REQUIRED, B-F DESIGNATION

NUMBER OF PARKING STALLS REQUIRED	B-F DESIGNATION
11-25	1
26-50	2
51-100	3
FOR EACH ADDITIONAL INCREMENT OF 100 OR PART THEREOF	+1

BARRIER-FREE STALLS EXISTING: 0 STALLS
BARRIER-FREE STALLS REQUIRED: 1 STALL

LOADING STALLS
EXISTING STALLS ON SITE: 0 STALL
STALLS REQUIRED: 1 STALL
1.0 STALLS / 9300.00 m² GFA
A. LOADING STALL MUST HAVE:
a. A MINIMUM WIDTH OF 3.1m
b. A MINIMUM DEPTH OF 9.2m
c. A MINIMUM HEIGHT OF 4.3m

BICYCLE STALLS
DEPENDANT ON USE
2.0 STALLS - CLASS 2 FOR DEVELOPMENTS OF 20 UNITS OR LESS
1 STALL

EXISTING BIKE PARKING IS AVAILABLE ALONG 17TH AVENUE. IF AN ON-SITE PARKING IS REQUIRED PLEASE NOTIFY T.I. STUDIOS.

LANDSCAPING AREAS
NORTH EAST LANDSCAPING:
1.0 TREE / 30.0 m²
1.0 TREE (146.58m²) / 30.0m² 4.8 = **5.0 TREES**
SOUTH/WEST LANDSCAPING:
1.0 TREE / 35.0 m²
1.0 TREE (45.27m²) / 35.0m² 1.2 = **1.0 TREES**
2.0 SHRUBS / 35.0m²
2.0 SHRUBS (45.27m²) / 35.0m² 2.4 = **3.0 SHRUBS**

TREES REQUIRED: 6
SHRUBS REQUIRED: 3

TREES PROVIDED: 3
SHRUBS PROVIDED: 6

OUTDOOR CAFE/PATIO
PROPOSED AREA ON SITE: 36.72m²

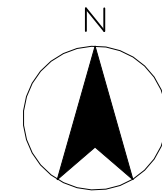
NOTE: CAFE ONLY, NO ALCOHOL TO BE SERVED ON EXTERIOR PATIO LOCATION.

PROJECTIONS INTO SIDE SETBACK AREA
PORTIONS OF A BUILDING GREATER THAN OR EQUAL TO 2.4 METRES ABOVE GRADE MAY PROJECT A MAXIMUM OF 0.6 METRES INTO ANY SIDE SETBACK AREA.

NOTE: PROPOSED SIDE SETBACK PROJECTION IS LESS THAN 0.6m.

AMENDED DRAWINGS
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DRAWING TITLE

SITE PLAN

SCALE: 1 : 100 DATE: 10/10/2025 11:14:10 AM

DRAWN BY: DF CHECKED BY: DJ

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DWG No.

DP1.1



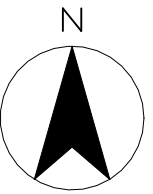
3 SOUTH EXTERIOR ELEVATION
DP4.1 1 : 50

EXTERIOR ELEVATION KEYNOTES	
40	STUCCO COLOUR: BLACK FINISH: TBD
41	STUCCO COLOUR: DARK GREY FINISH: TBD
42	HORIZONTAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: HORIZONTAL
43	VERTICAL METAL CLADDING MANUFACTURER: WESTFORM SPECIFICATION: PROBOARD 4" OR 6" COLOUR: TBD FINISH: SMOOTH INSTALL PATTERN: VERTICAL
44	ASPHALT SHINGLES MANUFACTURER: TBD COLOUR: TBD
45	METAL SCALLOPED SHINGLES MANUFACTURER: TBD COLOUR: TBD
46	TRANSITION TRIM MANUFACTURER: WESTFORM COLOUR: MATCH METAL CLADDING NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
47	PREFINISHED METAL PARAPET CAP & TRIM COLOUR: TBD
48	GOthic DECORATIVE ELEMENT
49	PREFINISHED METAL TURRET CAP COLOUR: TBD
50	THERMALLY BROKEN ALUMINIUM DOOR & FRAME
51	BARRIER-FREE PUSH BUTTON
52	EXTERIOR SIGNAGE NOTE: SIGNAGE NOT INCLUDED WITHIN SCOPE OF WORK, SHOWN FOR REFERENCE ONLY. SIGNAGE TO BE SUPPLIED, DESIGNED AND INSTALLED BY SIGNAGE CONSULTANT.
53	SKYLIGHT
54	GLAZING
55	PREFINISHED METAL FASCIA COLOUR: TBD PROFILE: CUSTOM
56	PREFINISHED METAL GUTTER COLOUR: TBD
57	CUSTOM STONE GOthic MOULDINGS, BASE AND CORNICE MANUFACTURER: STONETILE PROFILE: TBD COLOUR: TBD NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

EXTERIOR ELEVATION LEGEND	
	PROPOSED DARK STUCCO COLOUR: TBD
	PROPOSED LIGHT STUCCO COLOUR: TBD
	PROPOSED HORIZONTAL METAL SIDING COLOUR: BLACK
	PROPOSED VERTICAL METAL SIDING COLOUR: BLACK
	PROPOSED DARK SHINGLE COLOUR: BLACK
	PROPOSED COPPER SCALLOPED SHINGLE COLOUR: COPPER

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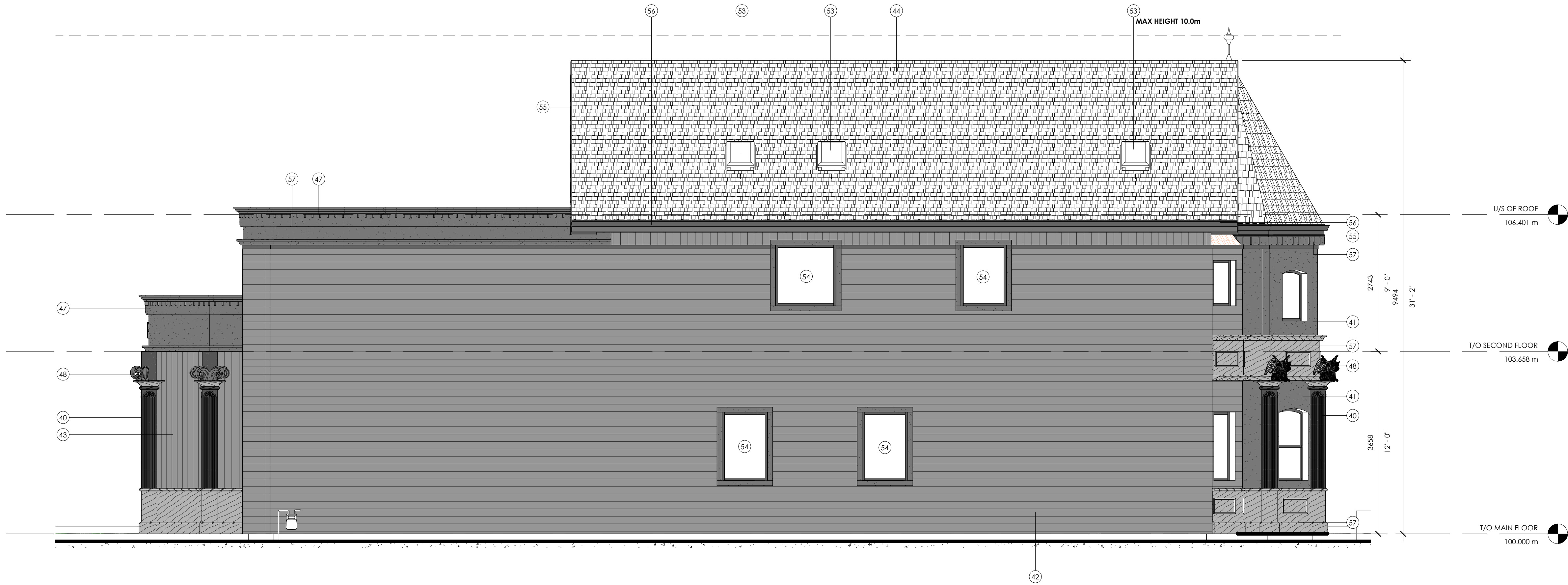
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EXTERIOR ELEVATIONS

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DP4.1

ARCHD 24-536" (610 x 914mm) 10/10/2025 11:15:02 AM



1 NORTH EXTERIOR ELEVATION
DP4.2 1 : 50



2 WEST EXTERIOR ELEVATION
DP4.2 1 : 50

EXTERIOR ELEVATION KEYNOTES

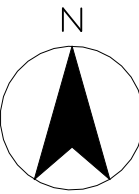
- 40 STUCCO
COLOUR: **BLACK**
FINISH: **TBD**
- 41 STUCCO
COLOUR: **DARK GREY**
FINISH: **TBD**
- 42 HORIZONTAL METAL CLADDING
MANUFACTURER: **WESTFORM**
SPECIFICATION: **PROBOARD 4" OR 6"**
COLOUR: **TBD**
FINISH: **SMOOTH**
INSTALL PATTERN: **HORIZONTAL**
- 43 VERTICAL METAL CLADDING
MANUFACTURER: **WESTFORM**
SPECIFICATION: **PROBOARD 4" OR 6"**
COLOUR: **TBD**
FINISH: **SMOOTH**
INSTALL PATTERN: **VERTICAL**
- 44 ASPHALT SHINGLES
MANUFACTURER: **TBD**
COLOUR: **TBD**
- 45 METAL SCALLOPED SHINGLES
MANUFACTURER: **TBD**
COLOUR: **TBD**
- 46 TRANSITION TRIM
MANUFACTURER: **WESTFORM**
COLOUR: **MATCH METAL CLADDING**
NOTE: ALTERNATIVE ACCEPTED FOR ALL TRIM AND TRANSITION CLADDING. GC TO CONFIRM WITH DESIGNER PRIOR TO INSTALLATION.
- 47 PREFINISHED METAL PARAPET CAP & TRIM
COLOUR: **TBD**
- 48 GOTHIC DECORATIVE ELEMENT
- 49 PREFINISHED METAL TURRET CAP
COLOUR: **TBD**
- 50 THERMALLY BROKEN ALUMINIUM DOOR & FRAME
- 51 BARRIER-FREE PUSH BUTTON
- 52 EXTERIOR SIGNAGE
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- 53 SKYLIGHT
- 54 GLAZING
- 55 PREFINISHED METAL FASCIA
COLOUR: **TBD**
PROFILE: **CUSTOM**
- 56 PREFINISHED METAL GUTTER
COLOUR: **TBD**
- 57 CUSTOM STONE GOTHIC MOULDINGS, BASE AND CORNICE
MANUFACTURER: **STONETILE**
PROFILE: **TBD**
COLOUR: **TBD**
NOTE: ALTERNATIVE IS ACCEPTABLE THIS LOCATION. GC TO DISCUSS WITH DESIGNER FOR FINAL LOOK CONFIRMATION. FOAM AND STUCCO MOULDING IS AN ACCEPTABLE ALTERNATIVE.

EXTERIOR ELEVATION LEGEND



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EXTERIOR ELEVATIONS

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DP4.2



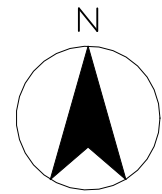
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DP10.1

SOUTH-WEST EXTERIOR VIEW

ARCHD 24x36" (610 x 914mm) 10/10/2025 11:15:09 AM

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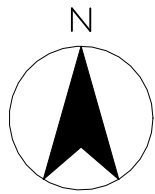
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3D VIEW

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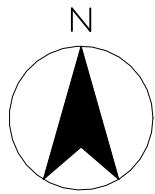
DP10.3



1 SOUTH EXTERIOR VIEW
DP10.3

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DP10.2



1 SOUTH-EAST EXTERIOR VIEW
DP10.2

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