



IVORY PORT PLAZA
4025 108th. Avenue NE Calgary, AB

ISSUED FOR DEVELOPMENT PERMIT
25.04.19

		ARCHITECTURAL
DP0.0	COVER SHEET	
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DP5.1	SITE PLAN - VEHICLE TRACK	STRUCTURAL

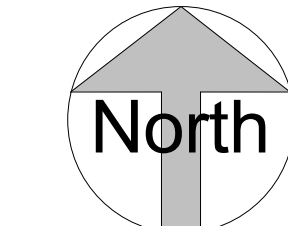
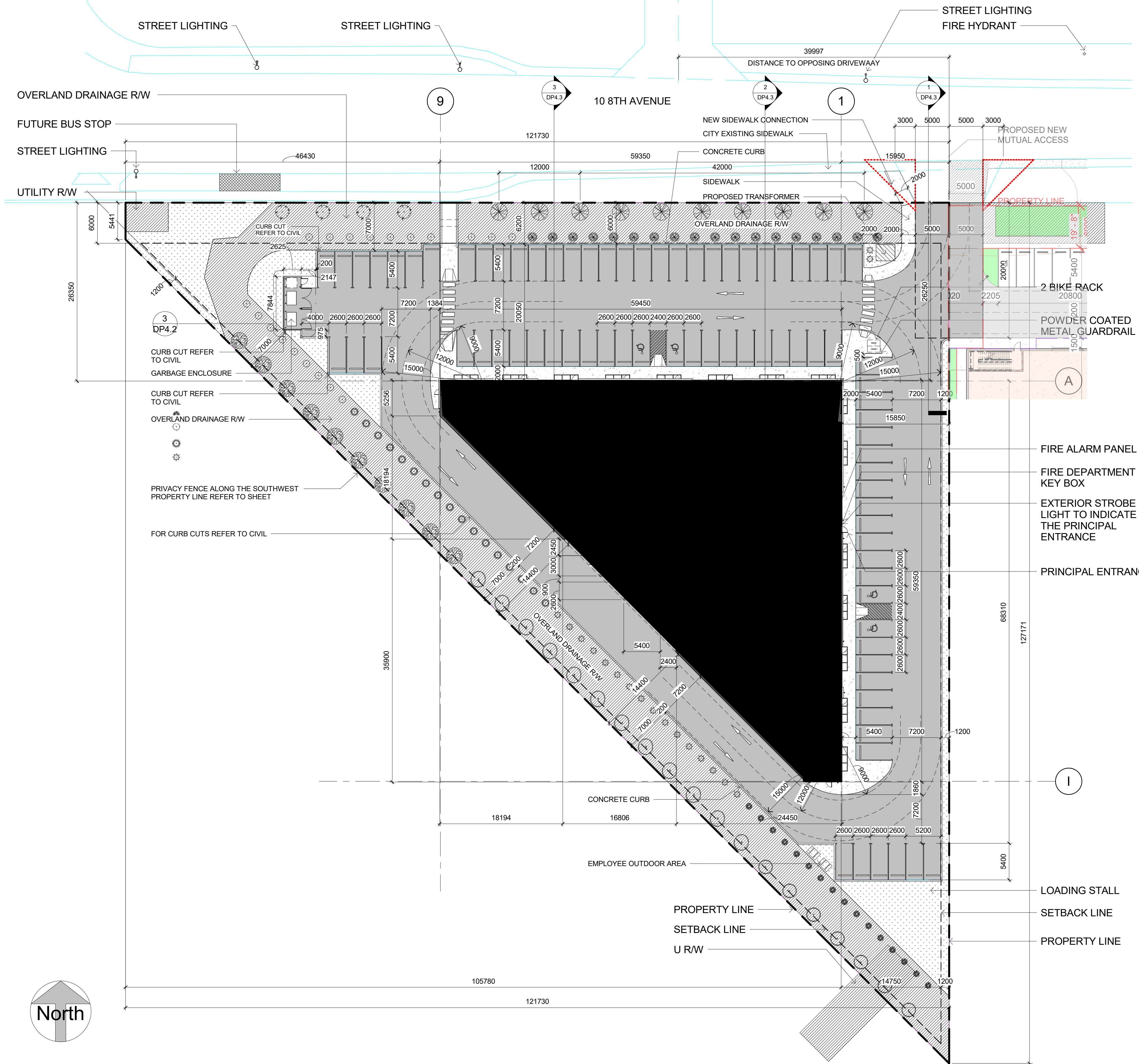
MECHANICAL

		ELECTRICAL
ES1	SITE PLAN- LIGHTING, POWER & AUXILIARY	
ES2	SITE PLAN- LIGHTING, POINT BY POINT	

		LANDSCAPE
DP.L1	LANDSCAPE LAYOUT	

		CIVIL
01	SITE SERVICING PLAN	
02	SITE GRADING PLAN	
03	OVERLAND DRAINAGE	
PLAN		





1 SITE PLAN
1 : 300

PROJECT STATISTICS

DEVELOPMENT DESCRIPTION

The development at 108 Avenue NE. is an industrial/ commercial building decided into tenants space for rent and provided with 103 parking stalls and served with a road around the building for ease of access and service.

MUNICIPAL ADDRESS

4025 108 Ave., NE, Calgary, AB

LEGAL ADDRESS

Lot 12, Block 2, Plan 221 0553

LAND USE ZONING

I-G

LAND USE REGULATION

SETBACK FROM	ALLOWED	PROPOSED
Front	6.0M	6.0M
Rear	-	-
East Side	1.2M	1.2M
Southwest Side	1.2M	13.6M
Maximum Height	No Limit	7.4M
F.A.R.	1	1
G.F.A.	8070 SQ.M.	1,970 SQ.M.
Proposed Site Coverage		24.4%

PARKING		
Total No. Provided Parking Stalls		83 Stalls
B.F. Parking Stalls		4 Stalls
Bicycle Parking		4 (Class 1)

AMENITY SPACE		
Employee Outdoor Area	10.0M Min.	11.5M

WASTE AND RECYCLING

- GARBAGE ENCLOSURE SIZE 8.5MX3M
 - WASTE AND RECYCLING TO BE PRIVATE PICKUP
 - ALL PORTIONS OF WASTE AND RECYCLING COLLECTION ROUTE TO BE HEAVY DUTY ASPHALT STRUCTURALLY CAPABLE OF SUPPORTING MINIMUM OF 25,000KG.
 - 7M CLEAR HEIGHT PROVIDED AT STANDING COLLECTION AREA
 - 2.875MX7.625M (TOTAL OF 6M3 DIVIDED IN 2 PINS)
- 1967M2/1000M2= 1.967M
EACH 1000M2 PRODUCE 3M3
1.967X3= 5.901M3 ~ 6.0M3
2 BINS OF 3.1M3 PROVIDED
1.5X2.0M AREA PROVIDED WITHIN THE ENCLOSURE FOR RESTAURANT GREASE WASTE DISPOSAL

PARKING NOTES

- ALL PARKING STALLS ARE 2.6MX5.4M UNLESS OTHERWISE INDICATED
- ALL PARKING STALLS HAVE MINIMUM VERTICAL CLEARANCE OF 2.1M
- ALL SURFACE PARKING AREAS AND DRIVE AISLES ARE ASPHALT
- WHEEL STOPS TO CITY OF CALGARY STANDARD

SITE NOTES

- REFER TO SITE GRADING PLAN FOR GEODETIC DATUM POINTS/ CONTOURS
- REFER TO SITE SERVICING PLAN FOR EXISTING AND PROPOSED UNDERGROUND UTILITY AND SERVICES CONNECTIONS
- ALL ELEMENTS IN PLAN PROPOSED UNLESS OTHERWISE NOTED
- FIRE ACCESS ROUTE DESIGNED TO SUPPORT A 38,556 KG/85,000 LBS LOAD
- "NO PARKING SIGN" TO BE INSTALLED ON BOTH SIDES OF THE FIRE ACCESS ROUTE
- FIRE ACCESS ROUTE IS DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psi) OVER A 24"X24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE.

SITE LEGEND

PROPERTY LINE	---
SETBACK LINE	- - - - -
BUILDING FOOTPRINT	■
OVERLAND DRAINAGE R/W	▨
CONCRETE PATHWAY AND CURBS	□
ASPHALT SURFACE	▩
EMPLOYEE OUTDOOR TABLE	▤
EMPLOYEE OUTDOOR TABLE	▥
BIKE RACK- CLASS 2	⌈ ⌋
BOLLARD	•
FIRE HYDRANT	⊕
STREET LIGHT	⊙

BA Architect

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Rev	Description	Date
1	ISSUED FOR DP	25.04.19
2	ISSUED FOR DTR COMMENTS	25.09.19
3	ISSUED FOR DTR 2 COMMENTS	25.11.14
4	ISSUED FOR DTR 3 COMMENTS	26.02.08

SEAL

CLIENT
Ivory Homes Builds Inc.

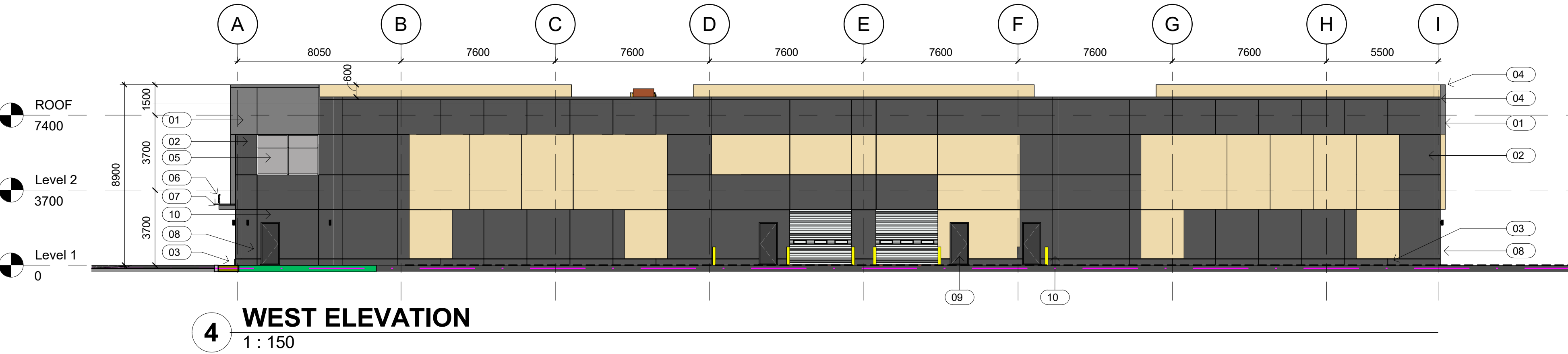
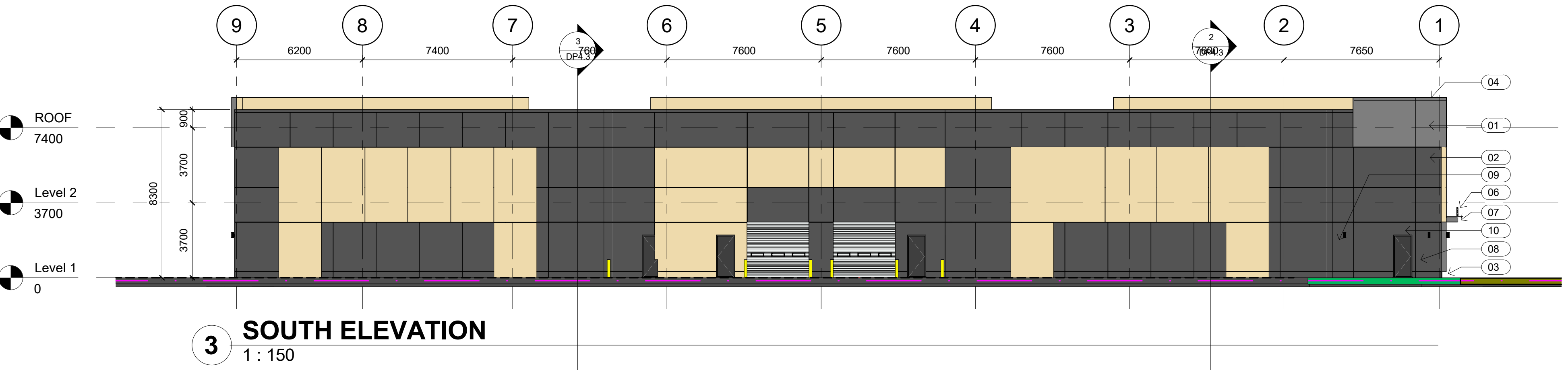
PROJECT
Ivory Port Plaza

TITLE
SITE PLAN

DRAWN BY AS	CHECKED BY BA	DATE 11/08/25
SCALE As indicated	PROJECT NUMBER 35	REV 4
DRAWING NUMBER DP1.1		

ELEVATION LEGEND

01. EIFS - BEIGE COLOR
02. EIFS - CHARCOAL COLOR
03. STONE VENEER
04. METAL FLASHING COLOR TO MATCH ADJACENT
05. IGU CLEAR GLASS
06. SIGNAGE
07. METAL CANOPY W/ LAMINATED GLAZING
08. BOLLARD
09. METAL DOOR
10. OVERHEAD DOOR



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DRAWN BY AS	CHECKED BY BA	DATE 11/04/25
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DRAWING NUMBER DP4.1		