



NORTHWEST PERSPECTIVE OF BUILDING MAIN ENTRY - ARTISTIC 3D VIEW

# ISSUED FOR DR-1 RESPONSE (DP2025-02420)

## "PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

TBD RICHMOND RISE S.W.

(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)

CALGARY, ALBERTA

### ARCHITECTURAL

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- DP1.02 LANDUSE OUTLINE PLAN (FOR REFERENCE)
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- DPE1.01 DP ELECTRICAL SITE PLAN - UPPER LEVEL
- DPE1.02 DP SITE LIGHTING PHOTOMETRIC PLAN - LOWER LEVEL
- DPE1.03 DP ELECTRICAL SITE DETAILS



### Zeidler Architecture

300, 640 – 8 Avenue SW  
 Calgary, Alberta T2P 1G7  
 T 403 233 2525 | zeidler.com

OWNER



ARCHITECTURAL



STRUCTURAL



MECHANICAL



ELECTRICAL



LANDSCAPE



CIVIL



2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11
NO.	ISSUE/ REVISION	DATE

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP0.00	2

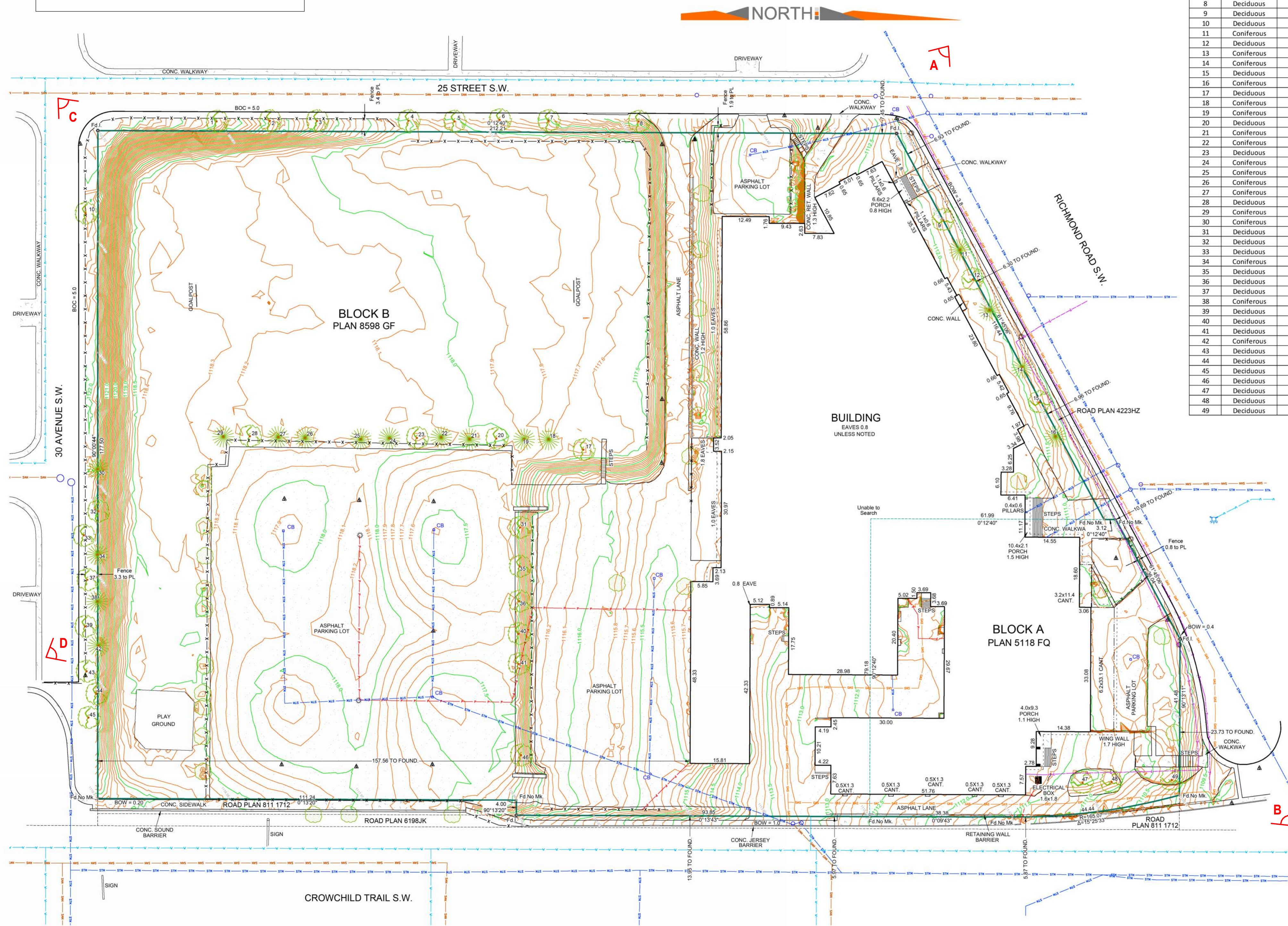
DP0.00



C:\Users\skkalene\Desktop\minto\_2501\_Richmond Road\_local\AR\_223-115\_RICHMOND-PARCEL D\_R24\_inga.rvt

9/12/2025 11:57:37 AM

**NOTE:**  
ALL INFORMATION OBTAINED FROM EXISTING SITE SURVEY PERFORMED BY "WATT CONSULTING GROUP" IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEY'S ACT.  
SURVEY COMPLETED ON JUNE 2022.  
THE LEGAL SURVEY DEPICTED ON THIS SHEET IS FOR REFERENCE ONLY.  
"ZEIDLER ARCHITECTURE" ASSUMES NO RESPONSIBILITY FOR THE ACCURACY & CONTENT OF THE SURVEY INFORMATION DEPICTED HEREIN.



Tree No.	Type	Trunk Diameter (m)
1	Deciduous	0.4
2	Deciduous	0.2
3	Deciduous	0.4
4	Deciduous	0.5
5	Deciduous	0.5
6	Deciduous	0.3
7	Deciduous	0.3
8	Deciduous	0.5
9	Deciduous	0.2
10	Deciduous	0.3
11	Coniferous	0.5
12	Deciduous	0.5
13	Coniferous	0.5
14	Coniferous	0.4
15	Deciduous	0.2
16	Coniferous	0.4
17	Deciduous	0.6
18	Coniferous	0.4
19	Coniferous	0.4
20	Deciduous	0.4
21	Coniferous	0.4
22	Coniferous	0.4
23	Deciduous	0.4
24	Coniferous	0.4
25	Coniferous	0.4
26	Coniferous	0.6
27	Coniferous	0.5
28	Deciduous	0.5
29	Coniferous	0.6
30	Coniferous	0.5
31	Deciduous	0.6
32	Deciduous	0.2
33	Deciduous	0.3
34	Coniferous	0.4
35	Deciduous	0.4
36	Deciduous	0.4
37	Deciduous	0.3
38	Coniferous	0.5
39	Deciduous	0.4
40	Deciduous	0.5
41	Deciduous	0.5
42	Coniferous	0.4
43	Deciduous	0.4
44	Deciduous	0.6
45	Deciduous	0.5
46	Deciduous	0.6
47	Deciduous	0.5
48	Deciduous	0.5
49	Deciduous	0.6

**Notes:**  
- DISTANCES ARE IN METERS AND DECIMALS THEREOF.  
- COORDINATES ARE BASED ON CONTROL INFORMATION ESTABLISHED BY PREVIOUS WATT SURVEYS.  
- COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999728  
- PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (UTM)  
- HORIZONTAL DATUM: NORTH AMERICA DATUM 1983 (NAD83)  
- ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CV28) VIA HT2.0 GEOID MODEL  
- ORTHOMETRIC REFERENCE MERIDIAN: 114° W.  
- ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.  
- BUILDING DIMENSIONS SHOWN ARE TO FOUNDATION.  
- PRIOR TO DIGGING, UNDERGROUND UTILITIES MUST BE LOCATED.  
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES AND CONCEALED STRUCTURES AND TO CONTACT THE VARIOUS OWNERS/OPERATORS/AUTHORITIES FOR ON-SITE INFORMATION AS TO THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES OR CONCEALED STRUCTURES.  
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE OWNERS/OPERATORS/AUTHORITIES OF ITS INTENTION TO CARRY OUT OPERATIONS IN THE AREA.  
- BLOCK PROFILE INFORMATION OBTAINED FROM CITY OF CALGARY CITYLINE DATA SITE VIA AUTOCAD FILES.  
- STORM, SEWER AND WATER UTILITY LOCATION INFORMATION WAS OBTAINED FROM THE CITY OF CALGARY.

**Legend:**

- MAJOR CONTOUR 0.5m INTERVAL
- MINOR CONTOUR 0.1m INTERVAL
- SPOT ELEVATION (5m GRID)
- FOUND STATUTORY IRON POST
- FOUND IRON BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- POWER POLE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- SIGN
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS PIPELINE - HIGH PRESSURE
- TELUS - BURIED LINE
- SANITARY LINE
- WATER MAIN
- STORM MAIN
- CATCH BASIN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES
- CONCRETE
- ASPHALT

Stamp: \_\_\_\_\_  
Signature: \_\_\_\_\_

No.	Revision Description	By	Date	Appr
02	30 AVENUE SW DRIVEWAY LOCATIONS ADDED	J.B.	SEP-16-2022	J.B.
01	UPDATED UTILITIES, TREE TABLE AND MINOR TEXT UPDATES	J.B.	AUG-28-2022	J.B.
00	ISSUED TO CLIENT	J.B.	AUG-14-2022	J.B.

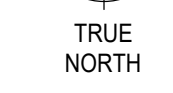
Title: **TOPOGRAPHIC SITE SURVEY**

Job Description: **BLOCK A, PLAN 5118 FQ,  
BLOCK B, PLAN 8598 GF**  
2519 Richmond Road S.W.  
Calgary, AB

Client: **Minto Communities**  
402 11 Avenue S.E.  
Calgary, AB T2G 0Y4

**WATT Consulting Group**  
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Drawn: S.B. Field Surveyor(s): S.D. / Z.W.  
Draft Chk: J.B. Survey Date: JUN. 01-10, 2022  
Approved: J.B. Date: JUN. 16, 2022 Sheet: \_\_\_\_\_ Total Sheets: \_\_\_\_\_  
Scale: 1:500 File #: 22/0688 01 02



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VIEW / LOCATION WHERE SITE PHOTO WAS TAKEN FROM

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

**NOT FOR CONSTRUCTION**

**"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG**

PROJECT ADDRESS  
TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

**SURVEY PLAN**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.01	2

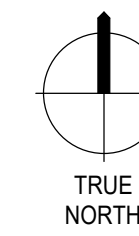


A - SITE PHOTOGRAPH - NORTH WEST CORNER

B - SITE PHOTOGRAPH - NORTH EAST CORNER

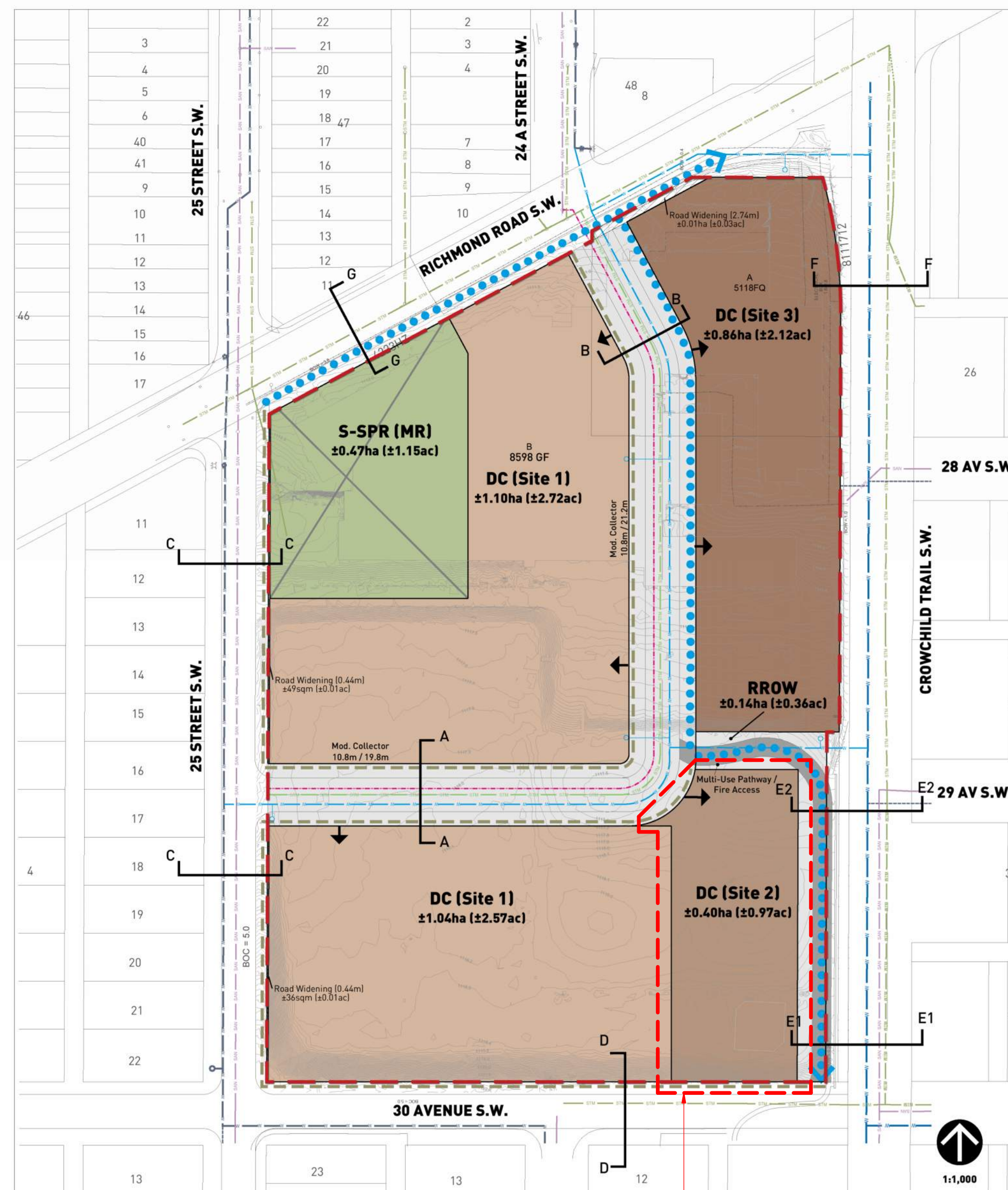
C - SITE PHOTOGRAPH - SOUTH WEST CORNER

D - SITE PHOTOGRAPH - SOUTH EAST CORNER

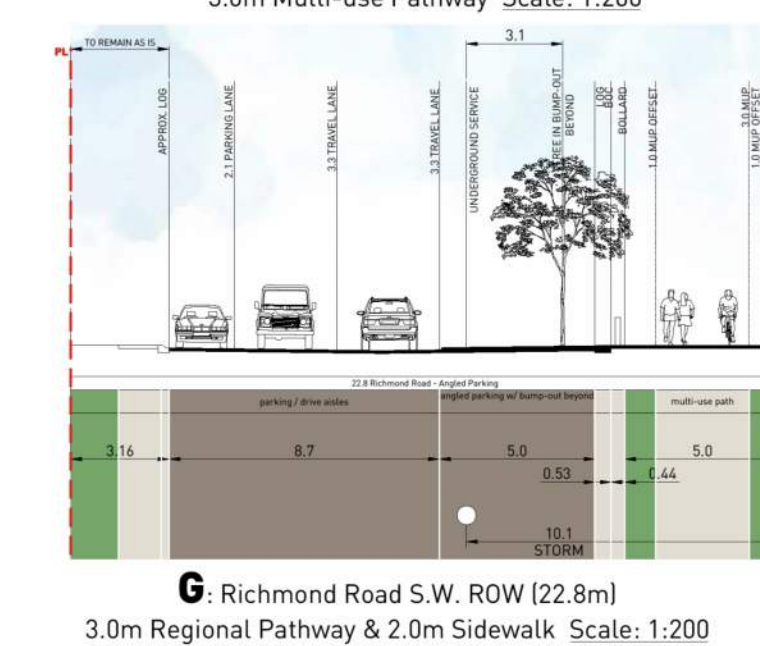
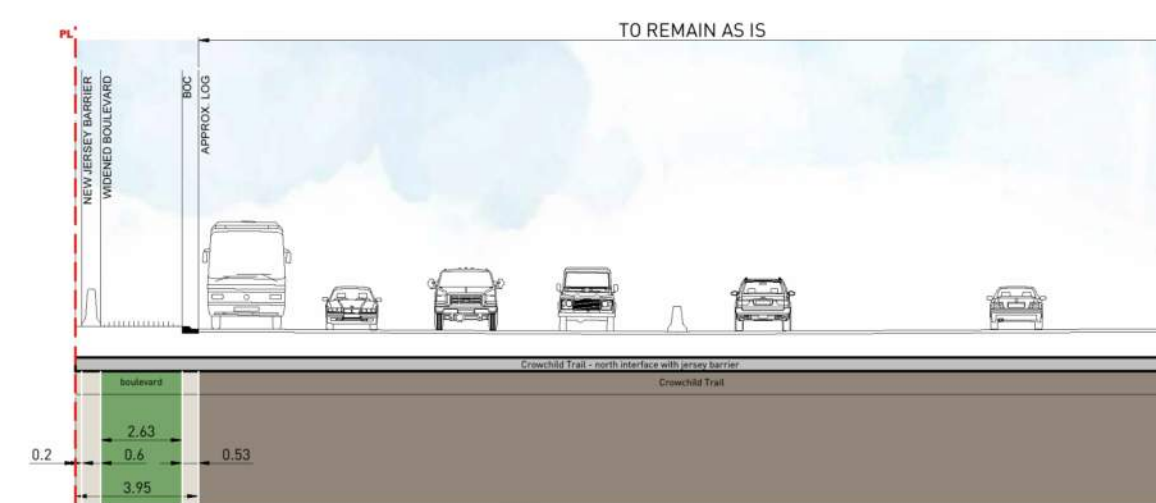
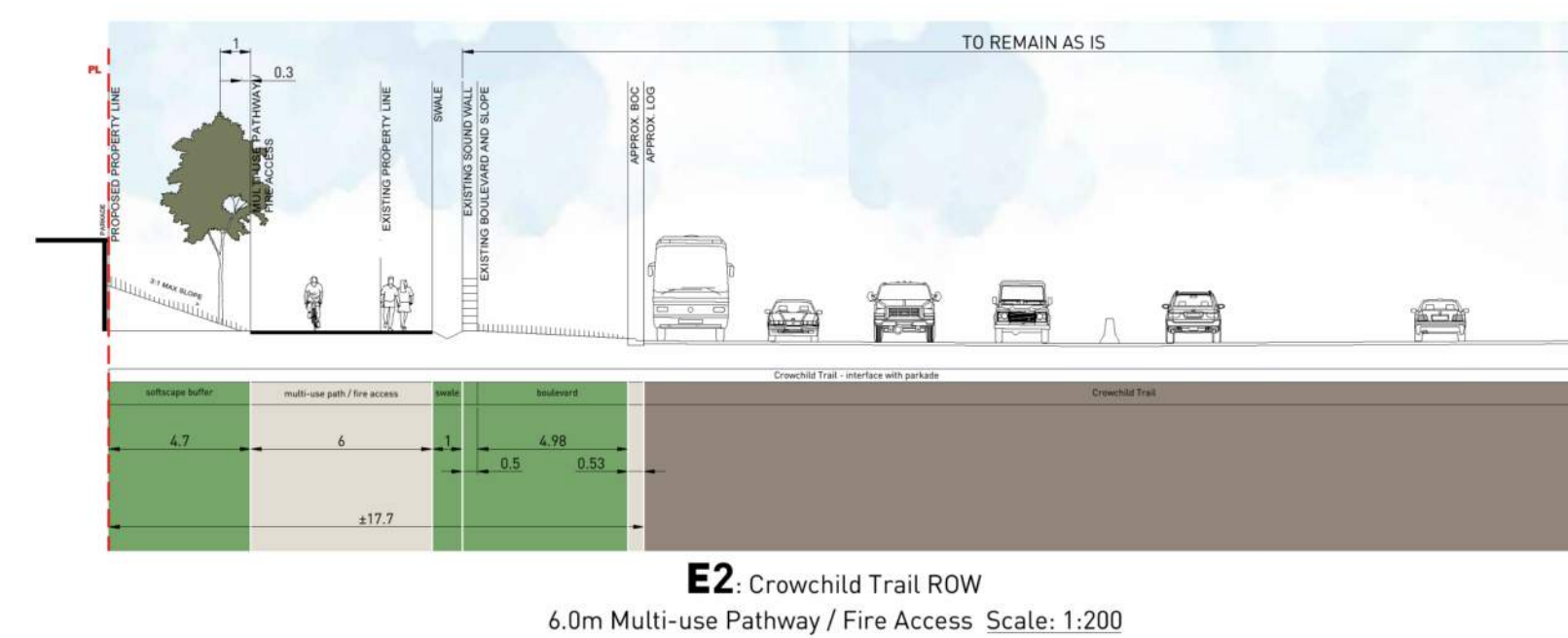
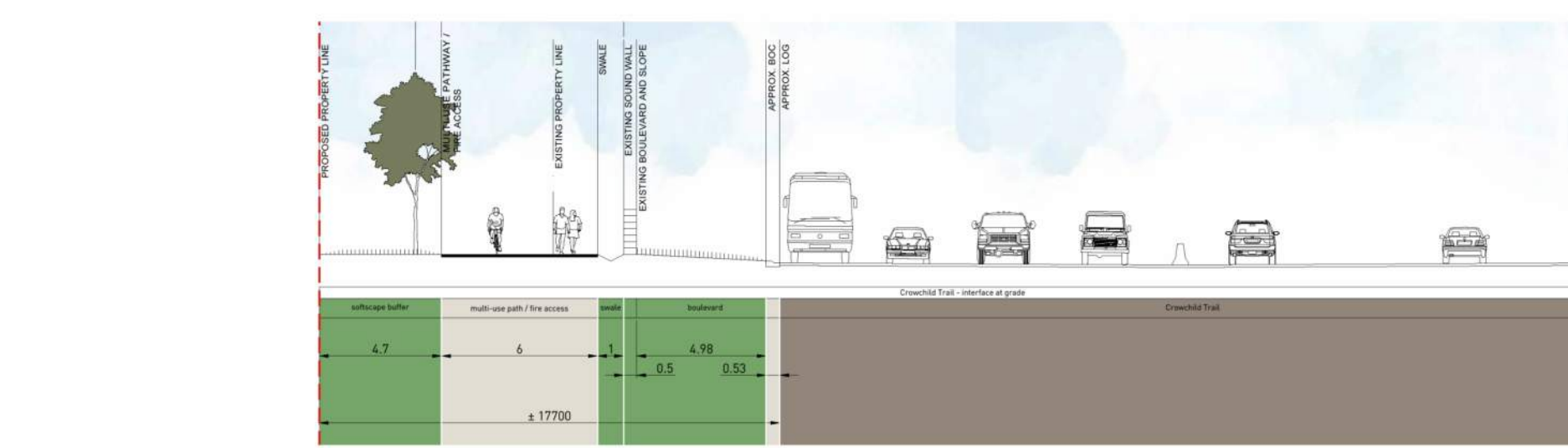
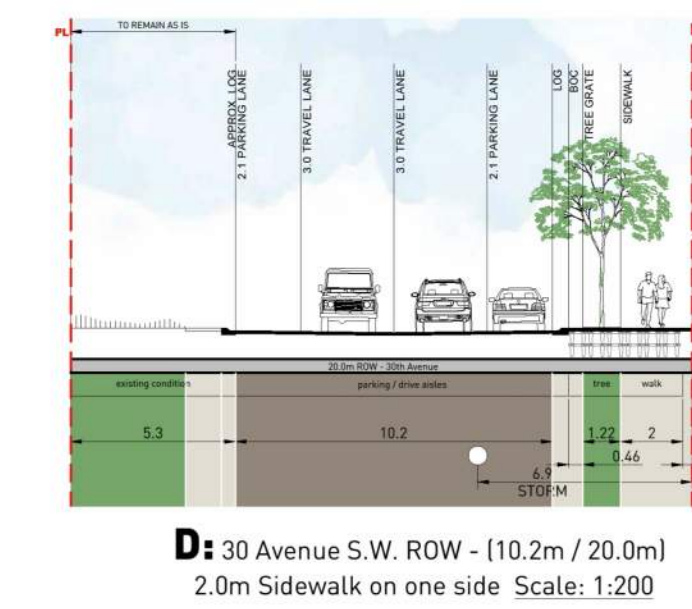
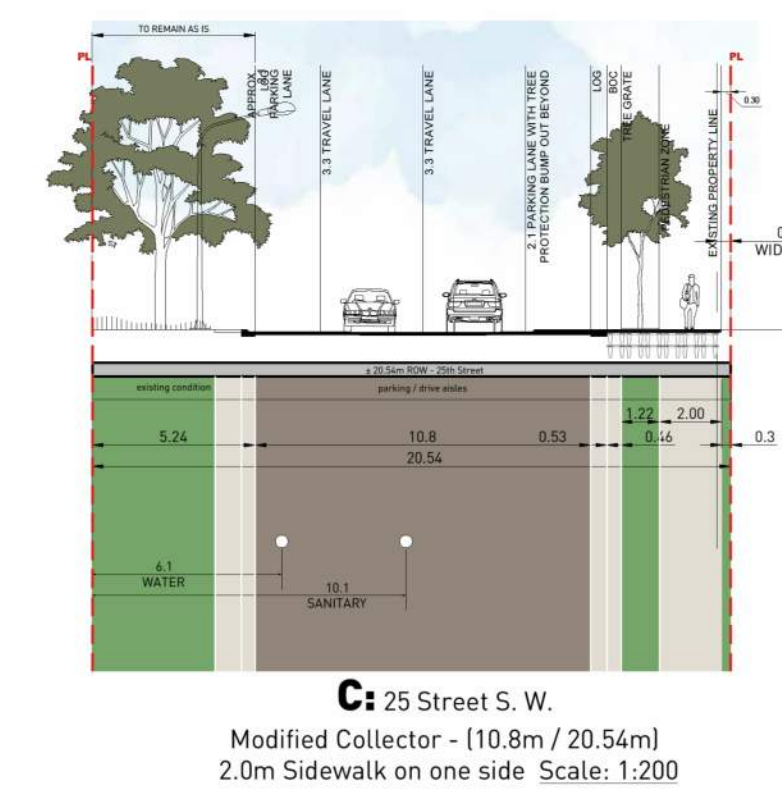
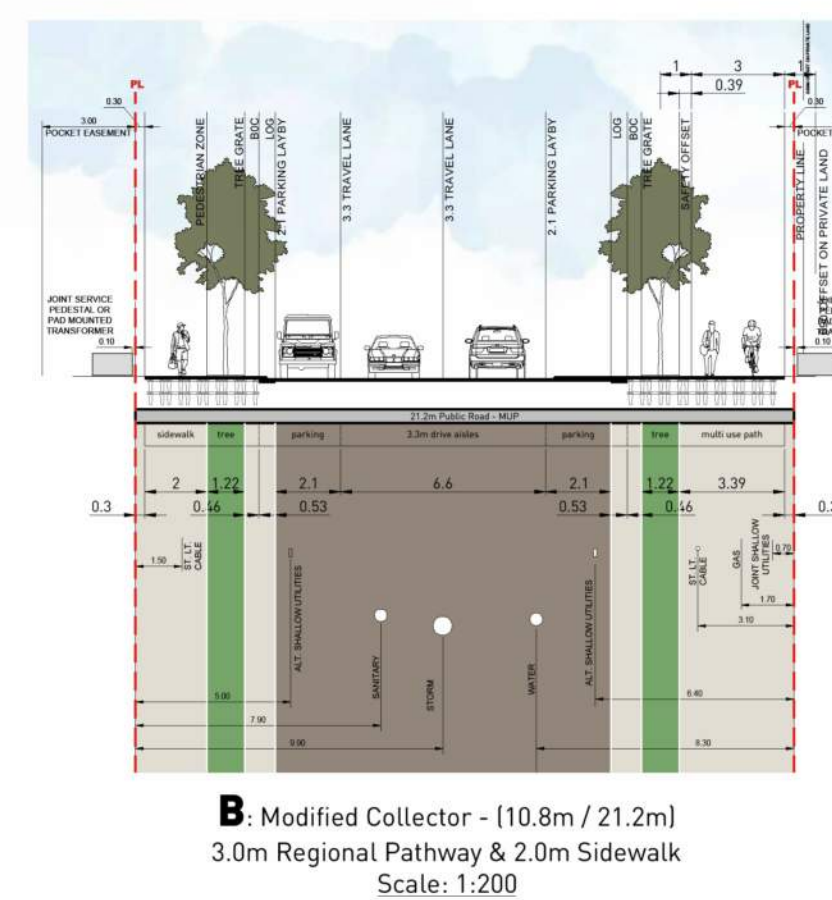
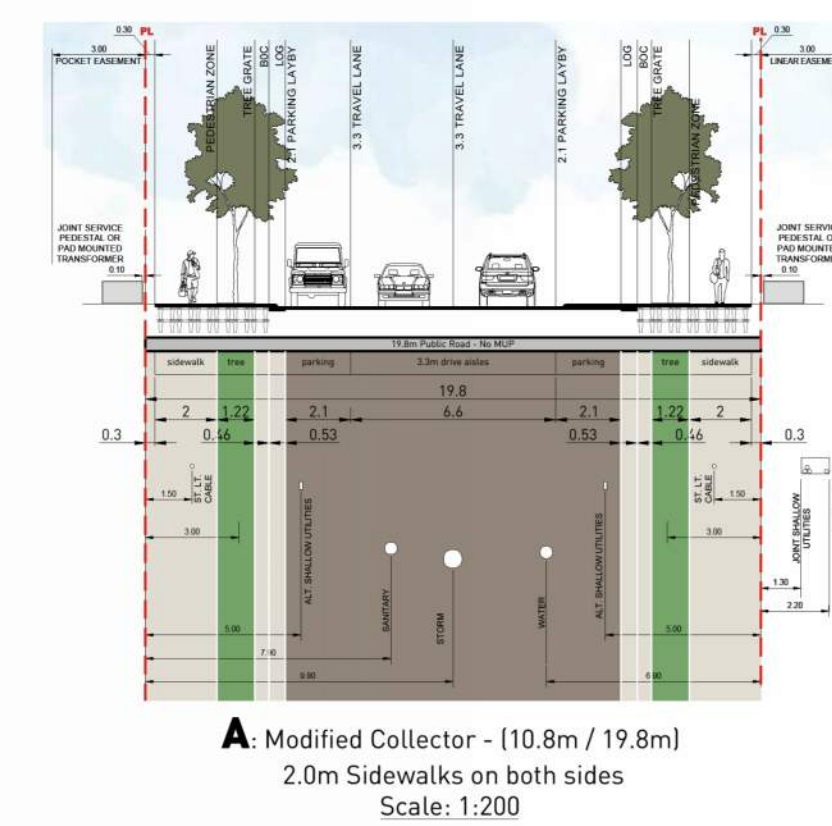


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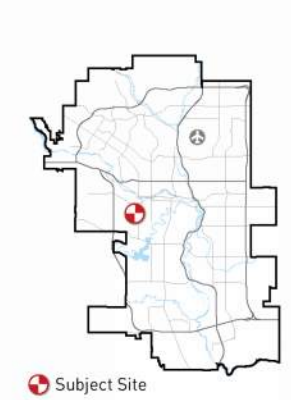
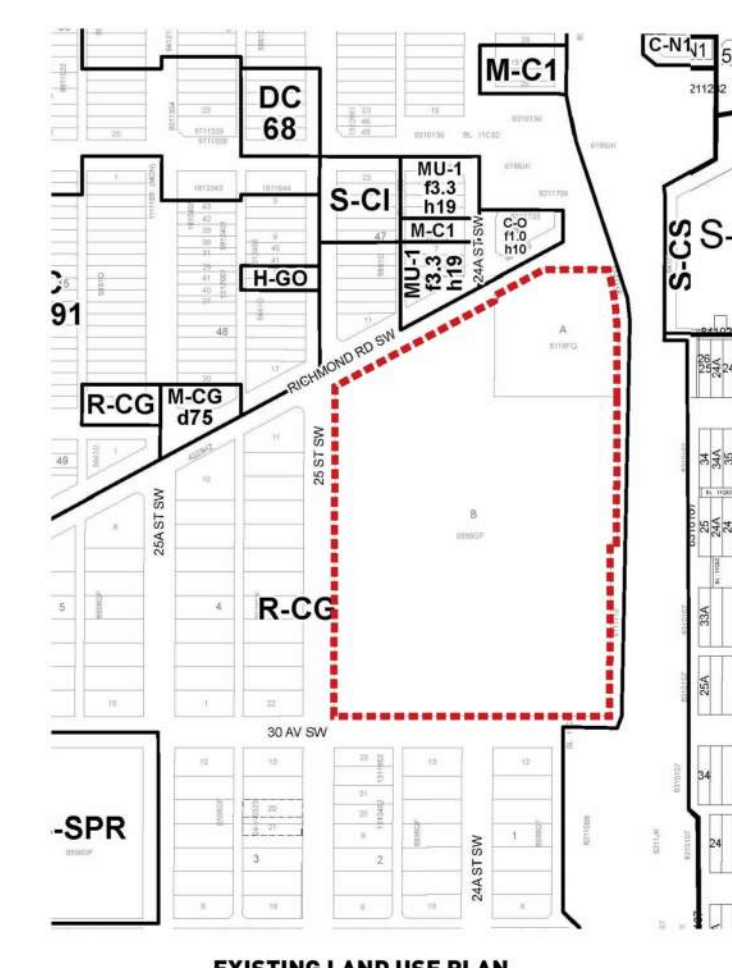
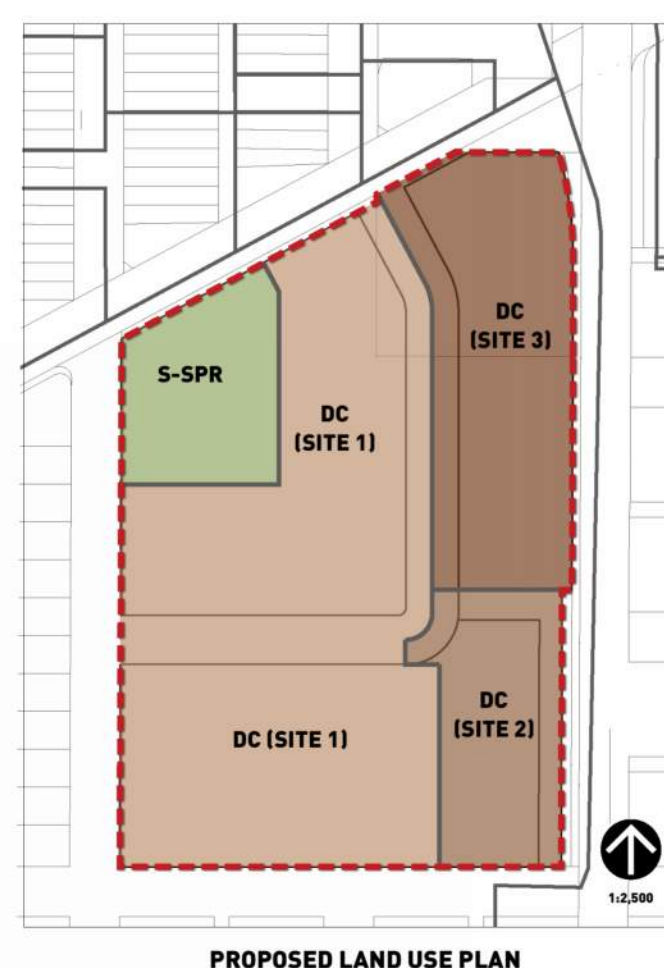


SUBJECT PARCEL FOR THIS DP APPLICATION



OUTLINE PLAN STATISTICS table with columns: Land Use, Units per acre legal, Hectares (SI), Acres (SI), No. of Units, % of GDA. Rows include DC Site 1, DC Site 2, DC Site 3, S-SPR MR, and Roadway & Lanes.

LAND USE STATISTICS table with columns: FROM, TO, ha (SI), ac (SI), AREA. Rows include R-CG, S-SPR, and Total.



Legend and key for the site plan, including symbols for Outline & Land Use Redesignation Boundary, Access, Deep Services - Existing, Deep Services - Proposed, and various site types.

REVISION table with columns: REVISION, DATE, REVISION, DATE. Lists several revision entries with dates from 2023 to 2024.

TEAM: B&A Studios, 400, 215 - 4<sup>th</sup> Ave SW, Calgary, Alberta, T2P 1K3. PROJECT NUMBER: 2022-056. DRAWN BY: eskzyzyk. START DATE: May 2024. CURRENT DATE: January 30, 2025.

LEGAL DESCRIPTION: Block A, Plan 5118 FQ & Block B, Plan 8598 GF. MUNICIPAL ADDRESS: 2501 RICHMOND. 2519 Richmond Road S.W.

PROJECT NAME: 2501 RICHMOND. SHEET TITLE: OUTLINE PLAN AND LAND USE REDESIGNATION.



LANDUSE REDESIGNATION OUTLINE PLAN DATED 2025-01-30 FOR REFERENCE ONLY, PREPARED BY B&A PLANNING

NOT FOR CONSTRUCTION

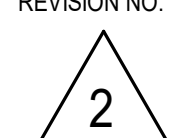
PROJECT "PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

PROJECT ADDRESS: TBD RICHMOND RISE S.W. (CURRENT ADDRESS: 2519 RICHMOND RD S.W.) CALGARY, ALBERTA

LANDUSE OUTLINE PLAN (FOR REFERENCE)

Table with columns: PROJECT NO., DRAWN, CHECKED, 223-115, AZO / SB, JGB / TL, DRAWING NO., REVISION NO.

DP1.02



NOTE

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2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG

PROJECT ADDRESS

TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

TITLE

SITE PLAN +  
PROJECT/BYLAW  
INFORMATION

PROJECT NO.	DRAWN	CHECKED
233-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.03	2

DP1.03

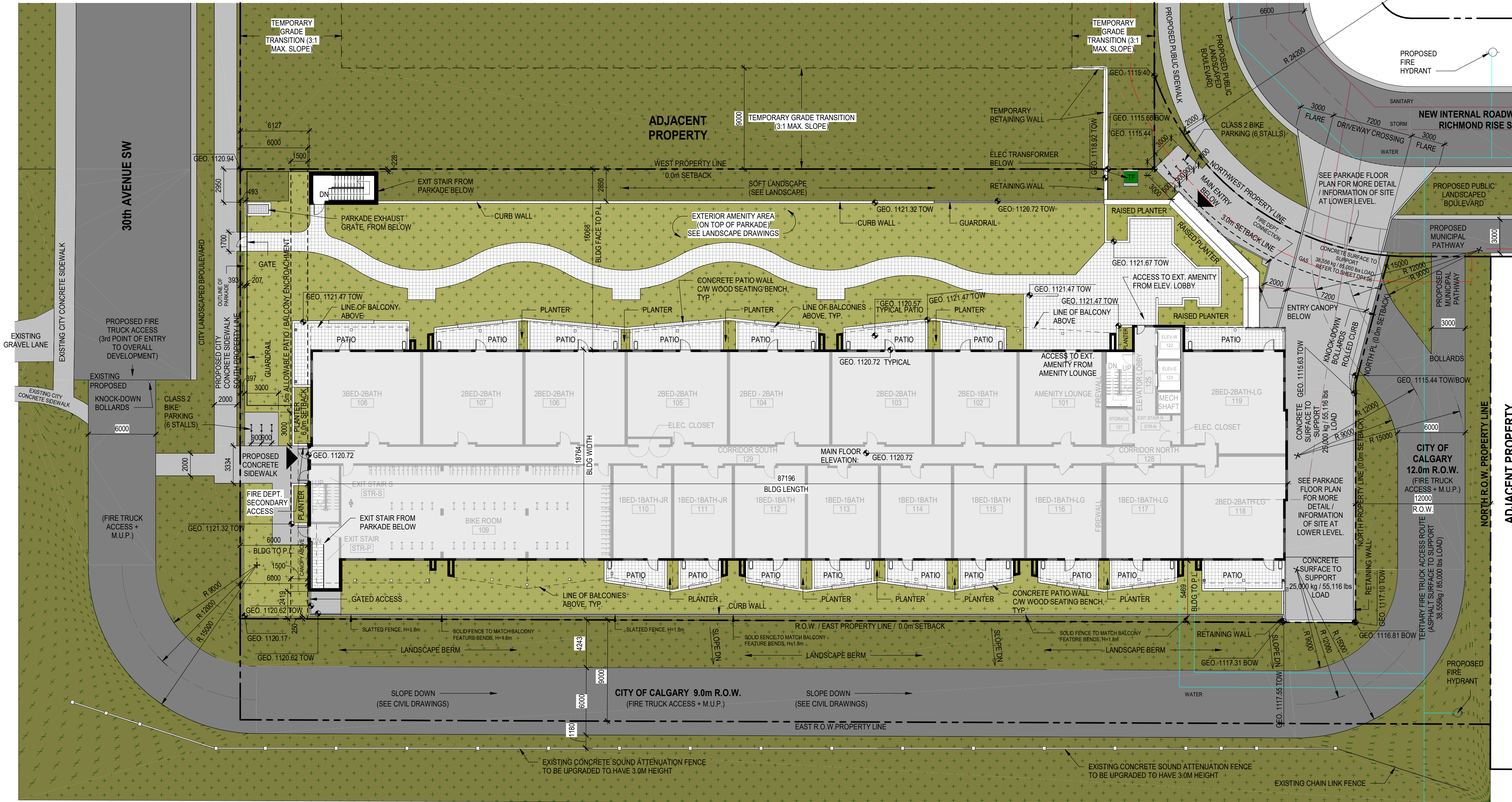
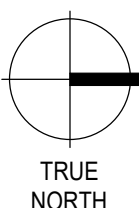
2

BYLAW ANALYSIS:

CLAUSE	REQUIREMENT	PROVIDED	
		LEVEL	GROSS FLOOR AREA
FLOOR AREA RATIO (F.A.R.): (16)	MAXIMUM 4.0 F.A.R. (= 15,853.76m <sup>2</sup> )	P1	221.2 m <sup>2</sup> 2,381 ft <sup>2</sup>
DENSITY UNITS PER HECTARE (17)	MINIMUM DENSITY IS 150 UNIT PER HECTARE (1) MAXIMUM DENSITY IS 400 UNITS PER HECTARE (2)	LEVEL 1	1,642.2 m <sup>2</sup> 17,676 ft <sup>2</sup>
		LEVEL 2	1,625.8 m <sup>2</sup> 17,500 ft <sup>2</sup>
		LEVEL 3	1,625.8 m <sup>2</sup> 17,500 ft <sup>2</sup>
		LEVEL 4	1,625.8 m <sup>2</sup> 17,500 ft <sup>2</sup>
		LEVEL 5	1,625.8 m <sup>2</sup> 17,500 ft <sup>2</sup>
		LEVEL 6	1,457.0 m <sup>2</sup> 15,683 ft <sup>2</sup>
		GRAND TOTAL	9,823.6 m <sup>2</sup> 105,741 ft <sup>2</sup>
SETBACKS: (8)	8(1) NORTHWEST PL (ALONG INTERNAL ROADWAY) - SETBACK: 3.0m 8(5) NORTH PL (ALONG R.O.W. PARCEL) - SETBACK: 0.0m 8(3) SOUTH PL (ALONG 30th AVENUE S.W.) - SETBACK: 6.0m 8(5) WEST PL (ALONG ADJACENT PARCEL) - SETBACK: 0.0m 8(5)(b) EAST PL (ALONG R.O.W. PARCEL / CROWCHILD TRAIL S.W.) - SETBACK: 0.0m		
BUILDING HEIGHT (18)	(1) MAX. BUILDING HEIGHT: 25 m (2) MAX. BUILDING HEIGHT REDUCED TO 21.0 m MEASURED FROM GRADE WITHIN 15.0 METRES FROM A PROPERTY LINE SHARED WITH 30 AVENUE S.W.		

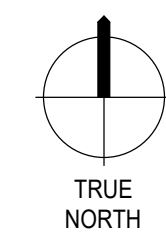
CLAUSE	REQUIREMENT	PROVIDED	
		UNIT COUNT	REQUIRED AREA
AMENITY SPACE: (1P2007-557)	THE REQUIRED MINIMUM AMENITY SPACE IS 5.0m <sup>2</sup> PER UNIT.	119	595.0 m <sup>2</sup>
MOTOR VEHICLE PARKING REQUIREMENTS: (1P2007-558)	MULTI-RESIDENTIAL DEVELOPMENT 0.625 RESIDENT PARKING STALLS PER DWELLING UNIT = 0.625 STALLS x 119 UNITS = 75 RESIDENT STALLS REQ'D 25% T.O.D. REDUCTION = 56 RESIDENT STALLS REQUIRED TOTAL		
BICYCLE PARKING REQUIREMENTS: (1P2007-559)	CLASS I BICYCLE PARKING STALLS REQ'D: = 1.0 CLASS I BICYCLE STALLS PER UNIT = 1.0 STALL X 119 UNITS = 119 CLASS I STALLS REQUIRED  CLASS II BICYCLE STALLS PER UNIT = 0.1 CLASS II BICYCLE STALLS PER UNIT = 0.1 STALL X 119 UNITS = 12 CLASS II STALLS REQUIRED		

PROJECT INFORMATION	
<b>OWNER:</b>	MINTO COMMUNITIES
<b>DP APPLICANT:</b>	ZEIDLER ARCHITECTURE
<b>MUNICIPAL ADDRESS:</b>	2501 RICHMOND ROAD S.W., CALGARY, AB. T3E 4M1
<b>LEGAL ADDRESS:</b>	PLAN: 8598GF, BLOCK B & PLAN 5118FO, BLOCK A 3963.441 m <sup>2</sup> / 42662.123866 ft <sup>2</sup> / 0.3963441 ha
<b>PARCEL AREA:</b>	LUB 1P2007
<b>LANDUSE BYLAW:</b>	R-CG
<b>ZONING (EXISTING):</b>	PROPOSED DIRECT CONTROL DISTRICT 'SITE 2' (BASED ON M-H2)
<b>ZONING (PROPOSED):</b>	6 STOREY - MULTI-FAMILY BUILDING WITH 1-LEVEL UNDERGROUND PARKING
<b>GENERAL DESCRIPTION:</b>	RESIDENTIAL UNITS ON LEVELS 1-6 UNDERGROUND PARKING + BUILDING ENTRY LOBBY ON LEVEL P1
<b>PRINCIPAL USES / FLOOR:</b>	



1 SITE PLAN  
DP1.03 SCALE: 1:200

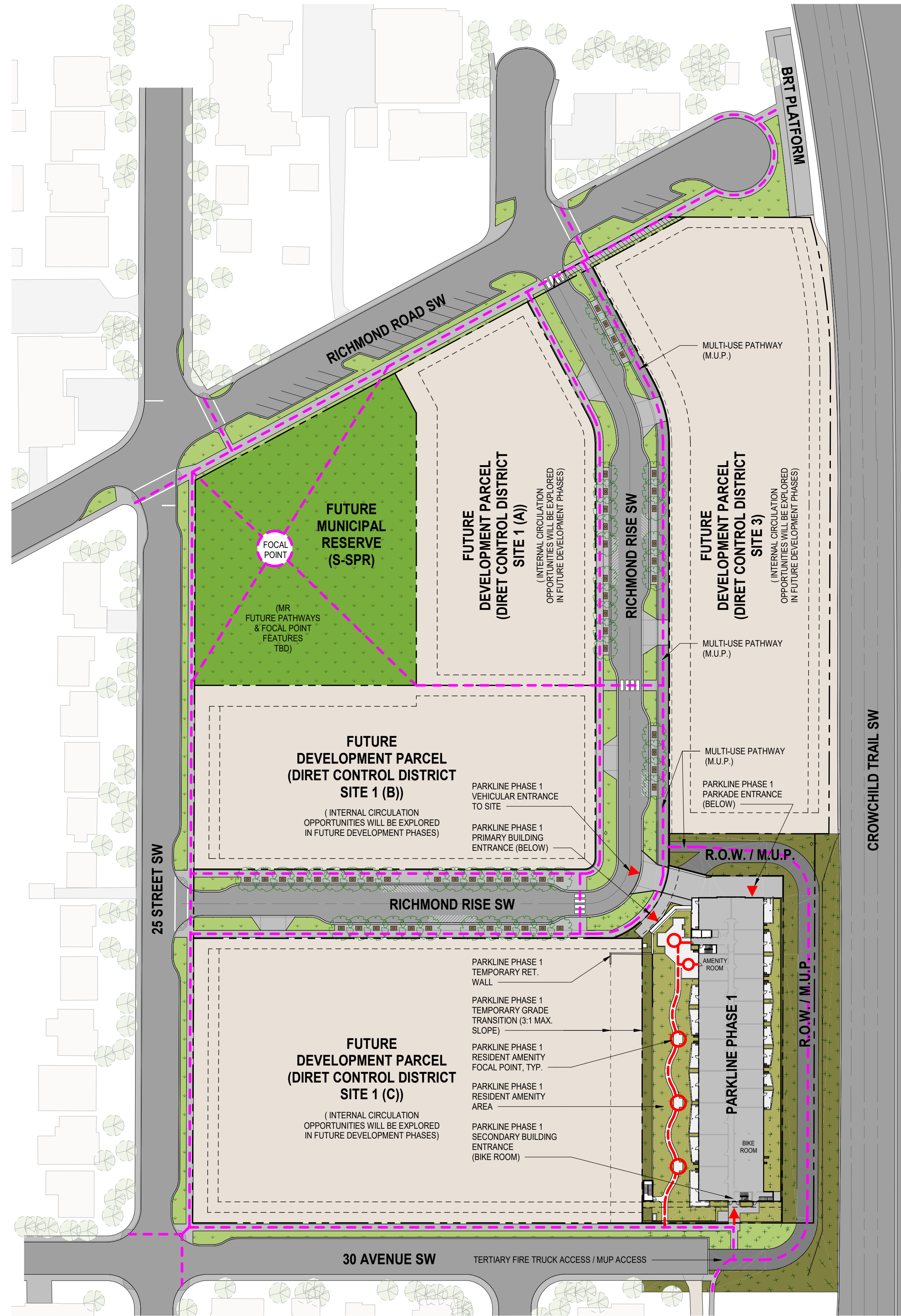
CROWCHILD TRAIL



**NOTE**

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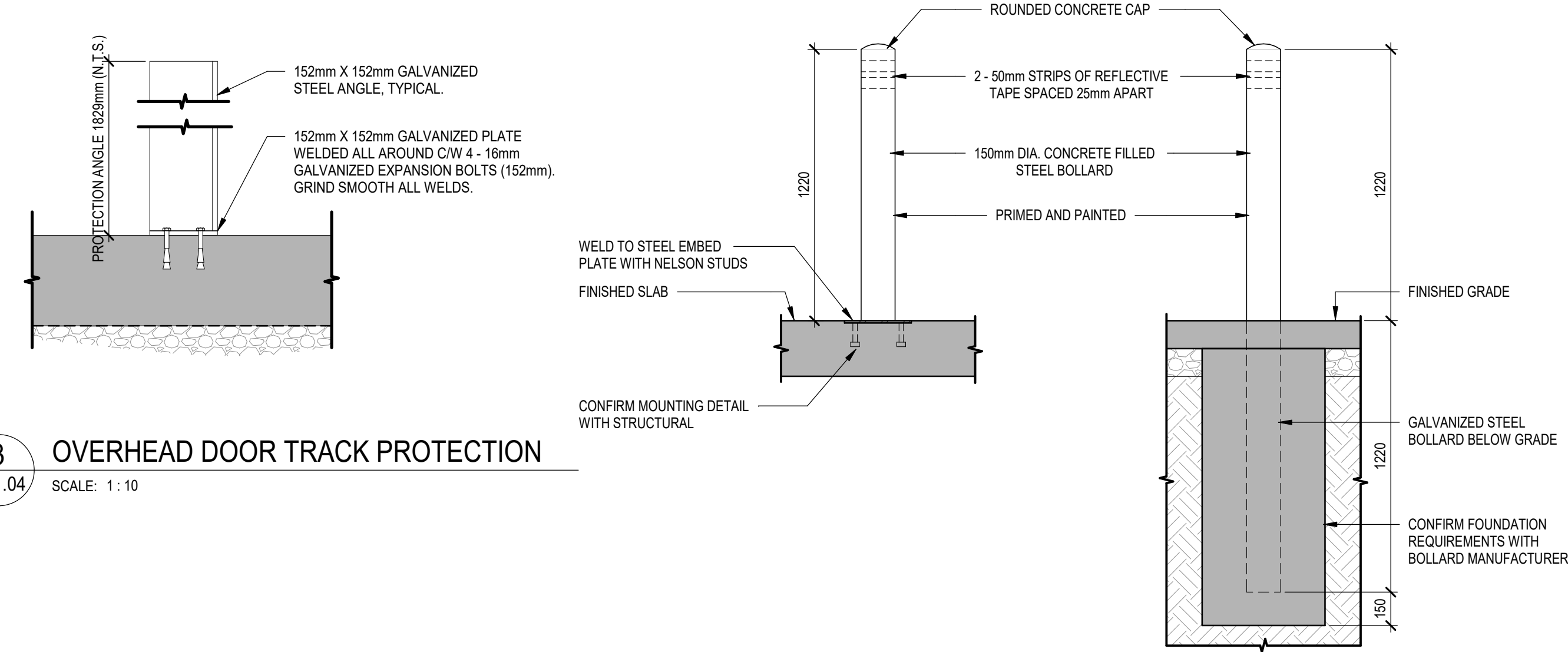
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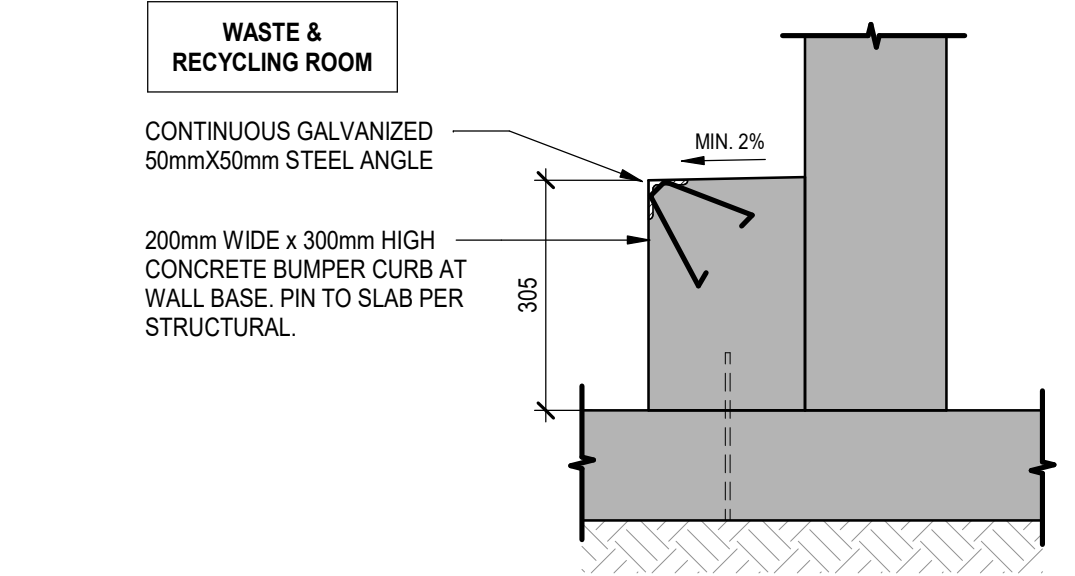
**PEDESTRIAN PLAN LEGEND**

- OVERALL PARKLINE PUBLIC PEDESTRIAN NETWORK
- PARKLINE PHASE 1 PRIVATE PEDESTRIAN NETWORK
- PARKLINE PHASE 1 PARCEL / BUILDING ACCESS POINTS
- PARKLINE PHASE 1 PRIVATE AMENITY FOCAL POINT
- OVERALL PARKLINE PUBLIC AMENITY FOCAL POINT

**1** OVERALL PARKLINE SITE PLAN - PEDESTRIAN  
DP1.04 SCALE: 1 : 750



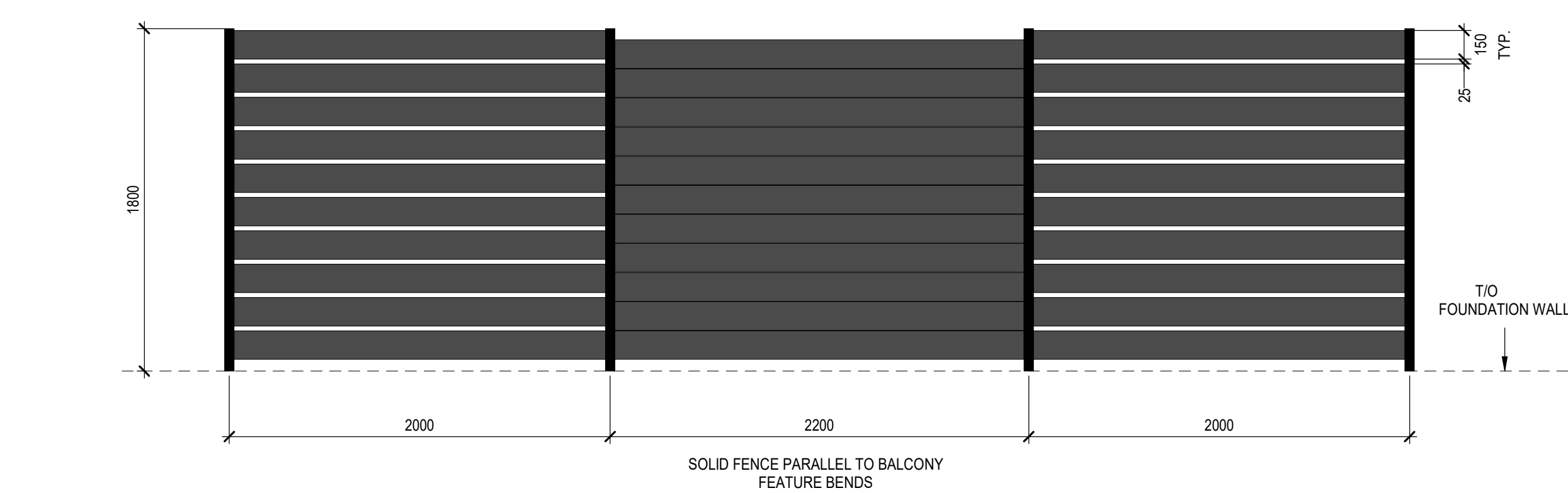
**3** OVERHEAD DOOR TRACK PROTECTION  
DP1.04 SCALE: 1 : 10



**5** WALL PROTECTION DETAIL  
DP1.04 SCALE: 1 : 10



**4** TYPICAL BOLLARDS  
DP1.04 SCALE: 1 : 20



**6** SLATTED FENCE - ELEVATION DETAIL  
DP1.04 SCALE: 1 : 25

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NOT FOR CONSTRUCTION

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

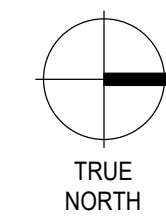
PROJECT ADDRESS  
TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

**OVERALL SITE PLAN - PEDESTRIAN, ENLARGED PLANS & DETAILS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.04	2

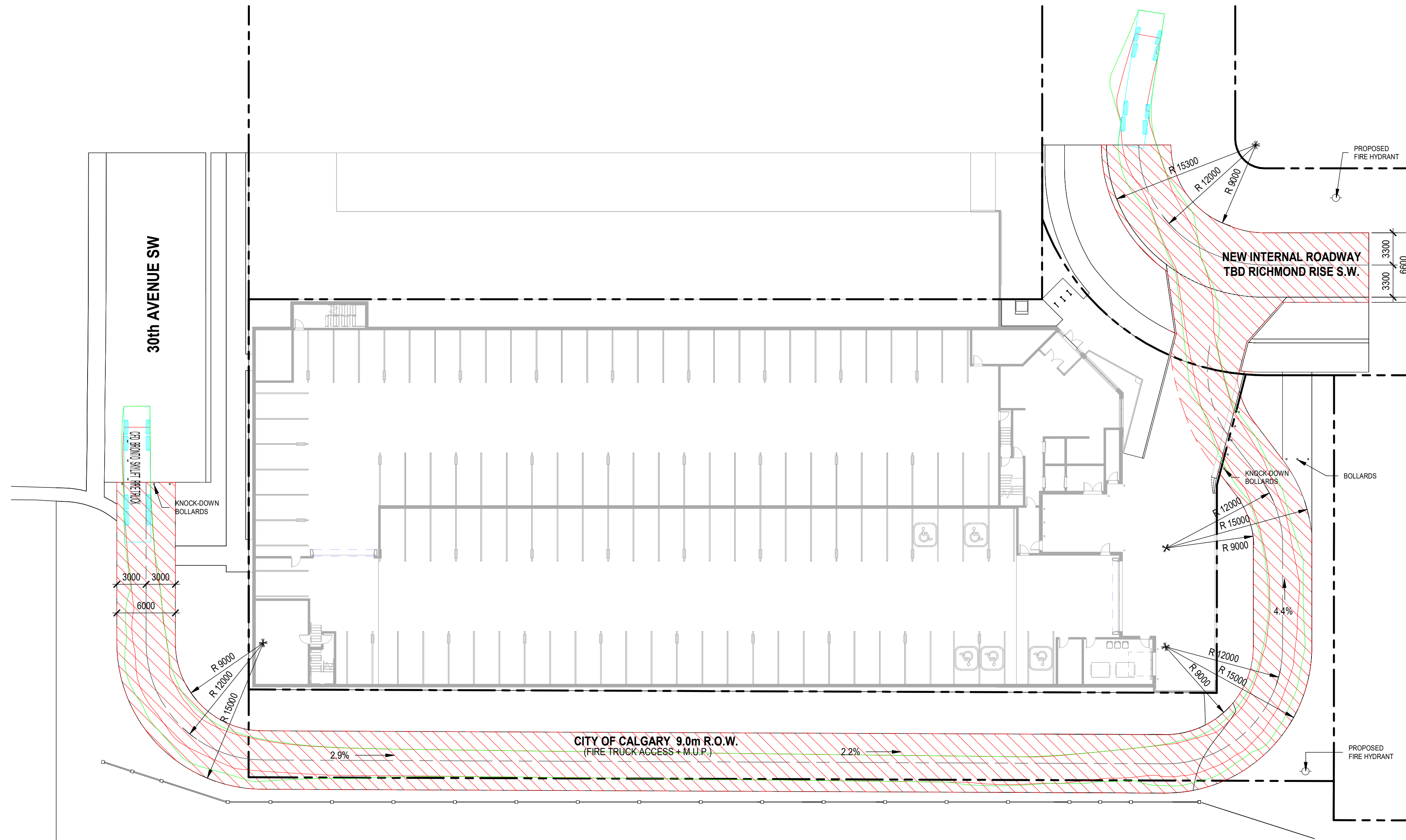
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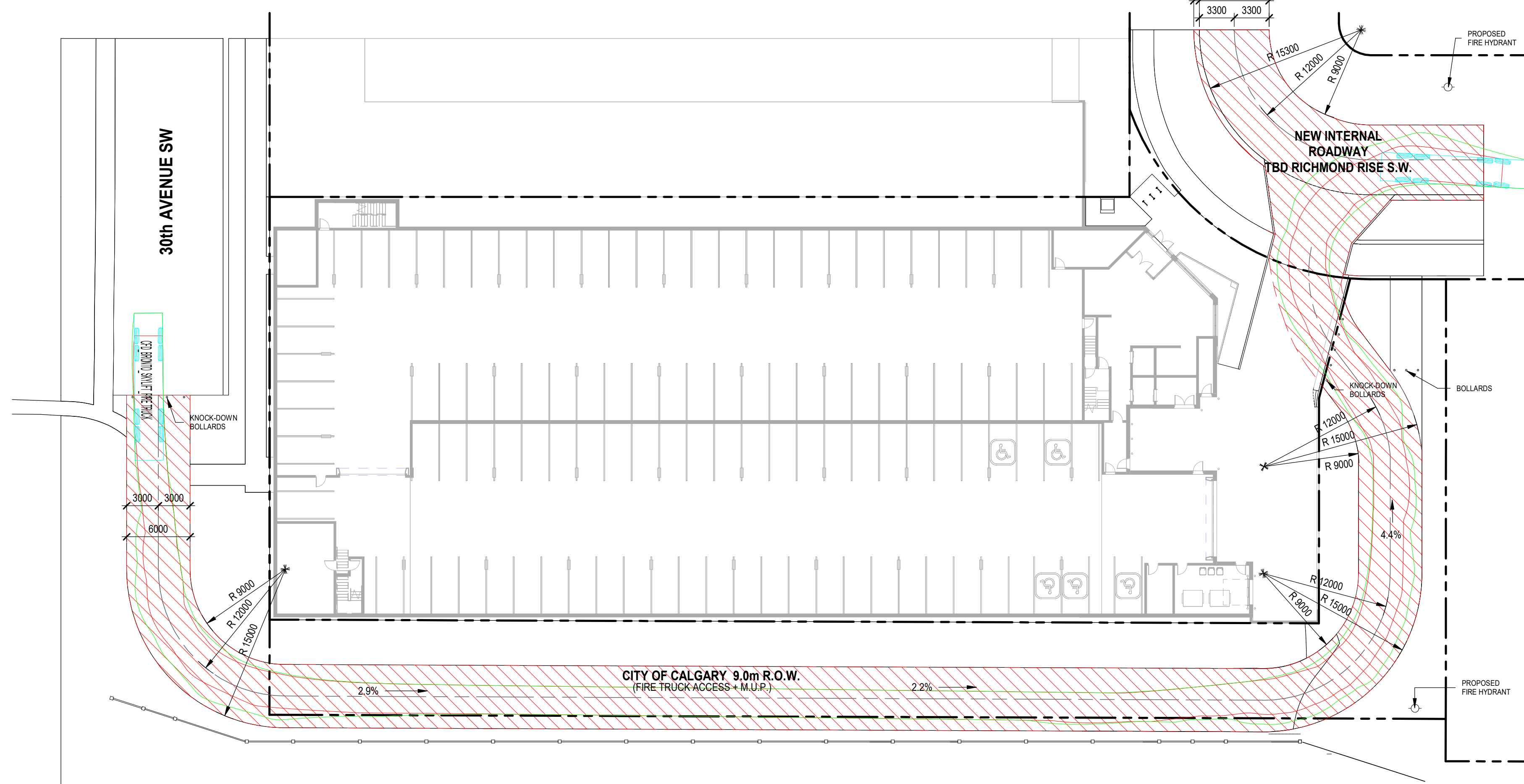
NOTE

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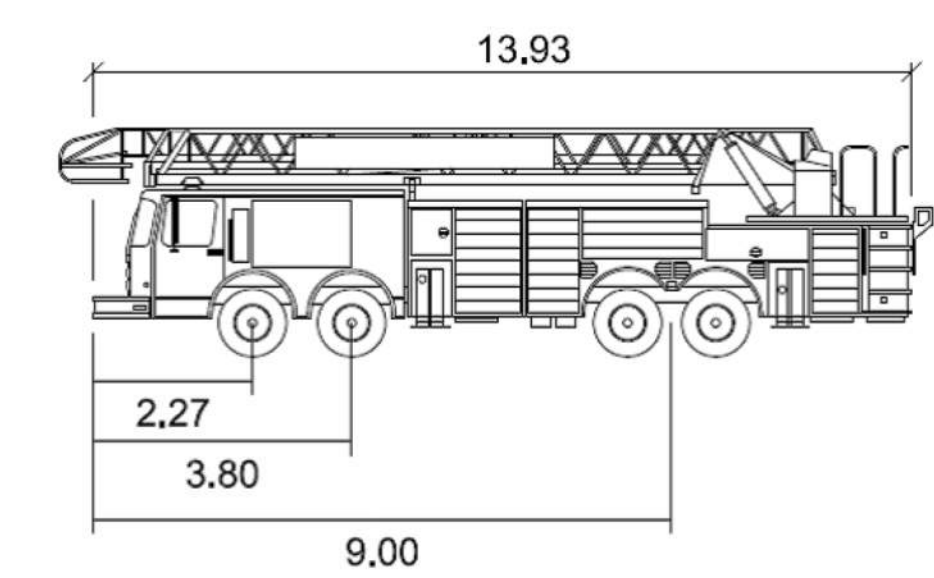
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



1 FIRE TRUCK ACCESS PLAN\_1  
DP1.05 SCALE: 1 : 300



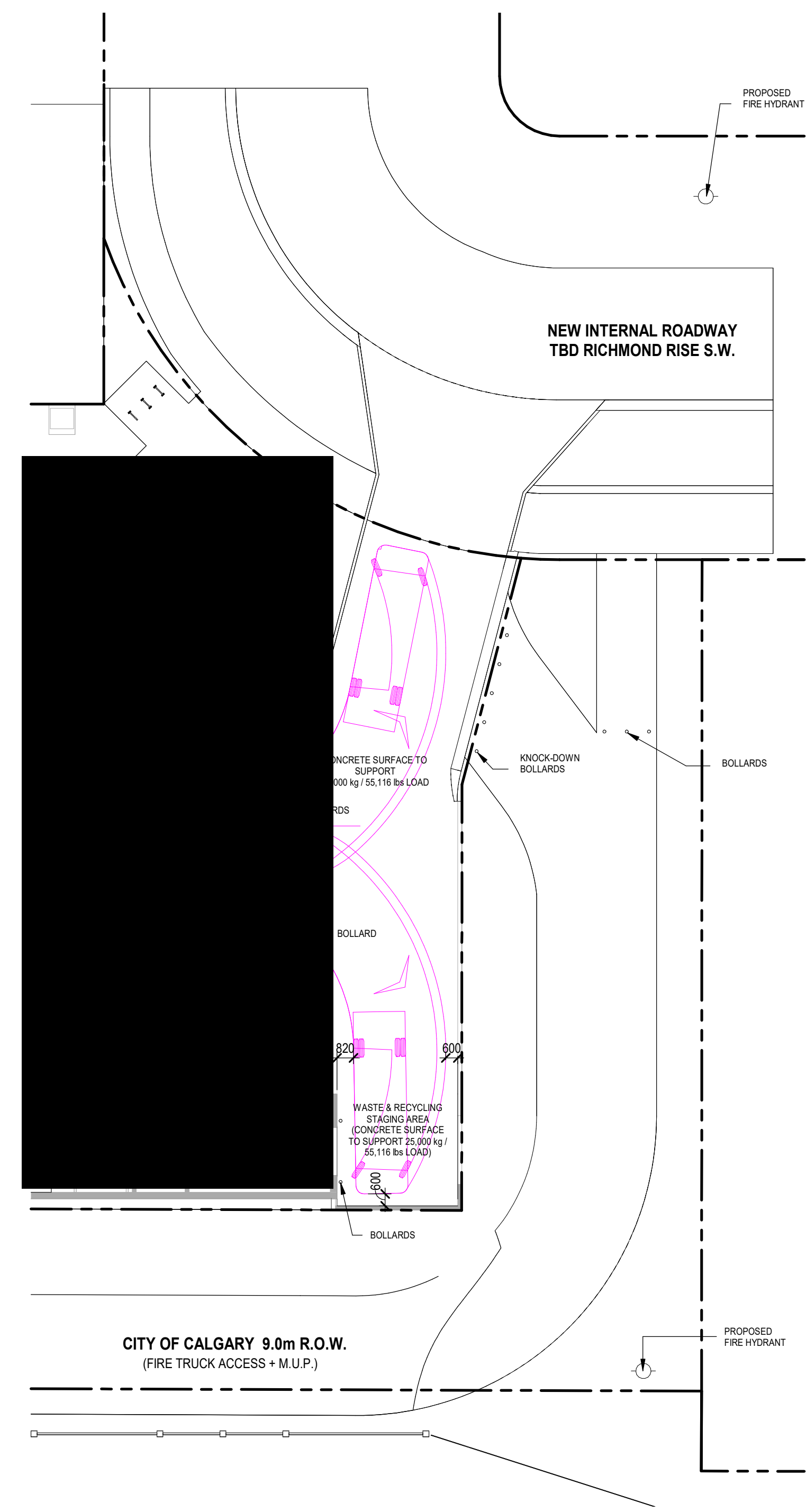
2 FIRE TRUCK ACCESS PLAN\_2  
DP1.05 SCALE: 1 : 300



CFD_Bronto_Skylift	units
Width	: 2.57
Track	: 2.57
Lock to Lock Time	: 6.0
Steering Angle	: 47.5
Turning Radius	: 10.18

NOTE:

HATCHED AREA INDICATES FIRE ACCESS ROUTE DESIGNED TO SUPPORT 38,556KG/85,000LBS LOAD



3 SU9 VEHICLE TRACKING PLAN  
DP1.05 SCALE: 1 : 200

NO.	ISSUE/ REVISION	DATE
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NOT FOR CONSTRUCTION

PROJECT  
"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG

PROJECT ADDRESS  
TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

TITLE  
VEHICLE ACCESS  
PLAN

PROJECT NO.	DRAWN	CHECKED
233-115	AZO / SB	JGB / TL

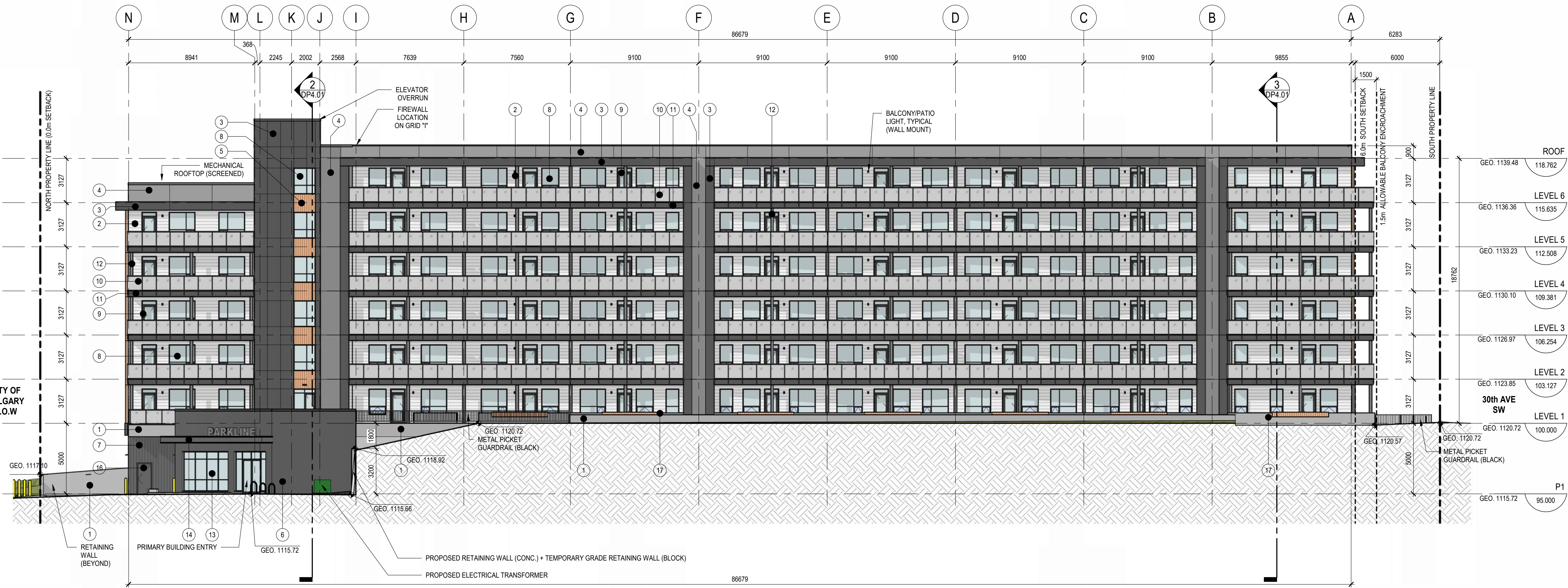
DRAWING NO.	REVISION NO.
DP1.05	2

C:\Users\skikali\Desktop\minto\_2501\_Richmond Road\_local\AR\_223-115\_RICHMOND-PARCEL\_D\_R24\_lrga.rvt  
9/12/2025 11:58:04 AM

**NOTE**

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MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINIUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/REVISION	DATE
-----	----------------	------

**NOT FOR CONSTRUCTION**

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**BUILDING ELEVATIONS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP3.01	2

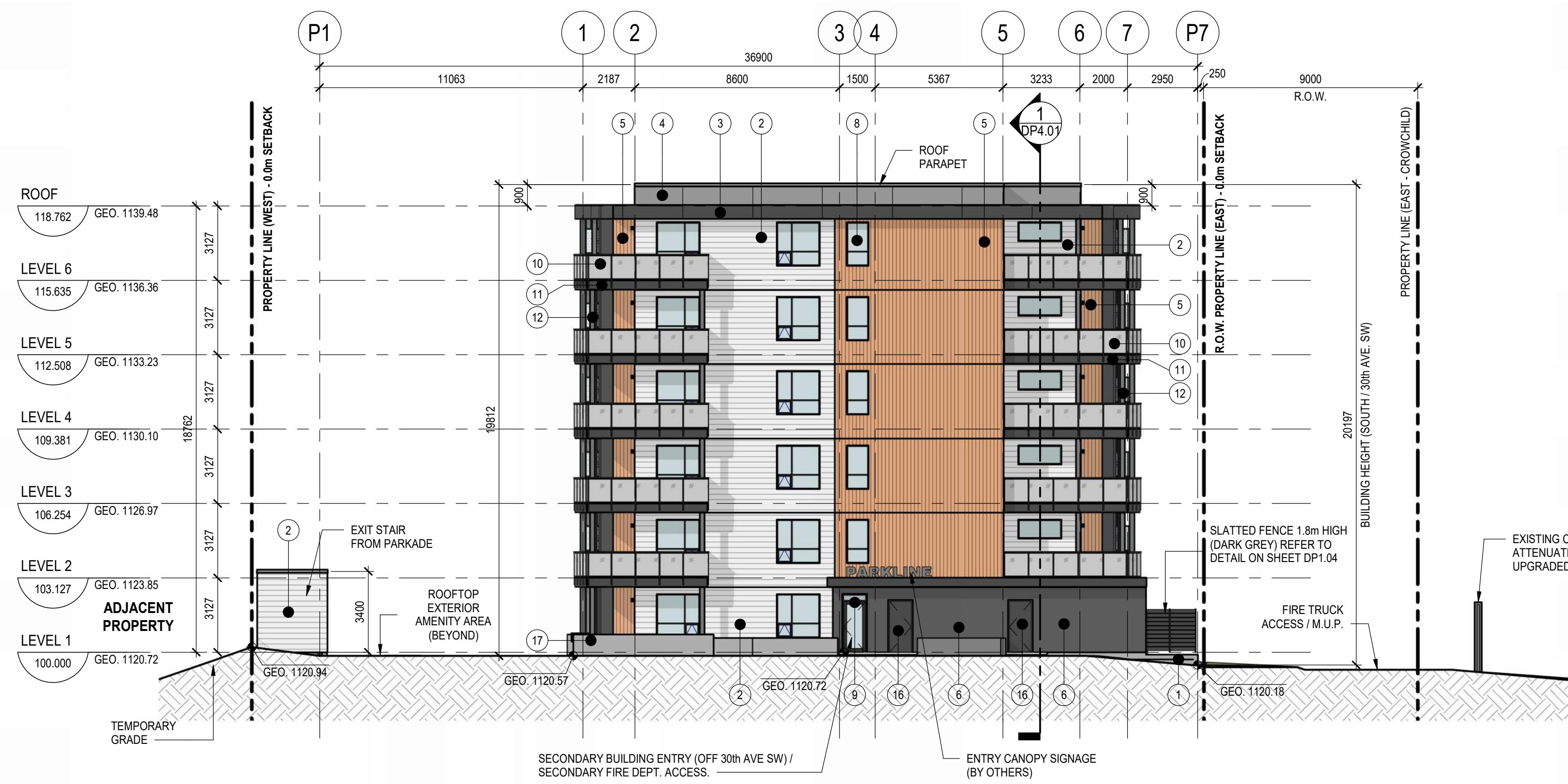
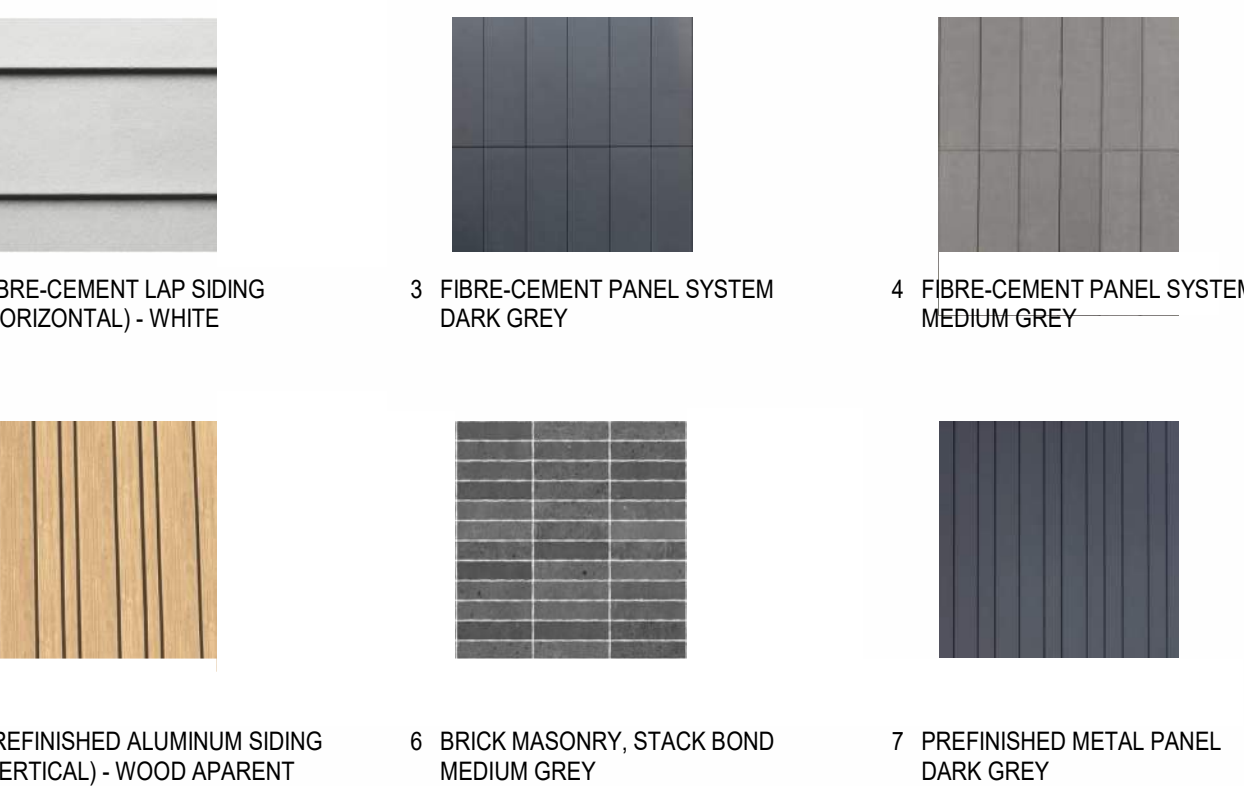
**DP3.01**

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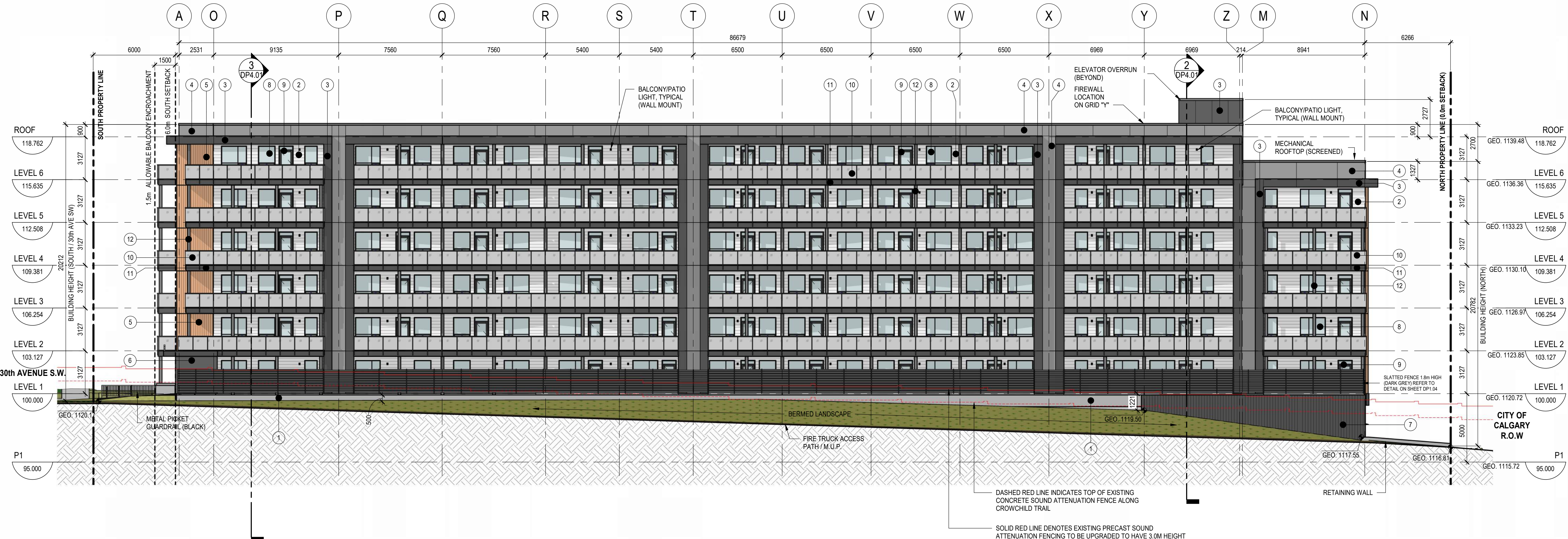
NOTE

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MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINIUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINIUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



**1 SOUTH**  
 DP3.02 SCALE: 1:150



**2 EAST**  
 DP3.02 SCALE: 1:150

NO.	ISSUE/REVISION	DATE
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NOT FOR CONSTRUCTION

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**BUILDING ELEVATIONS**

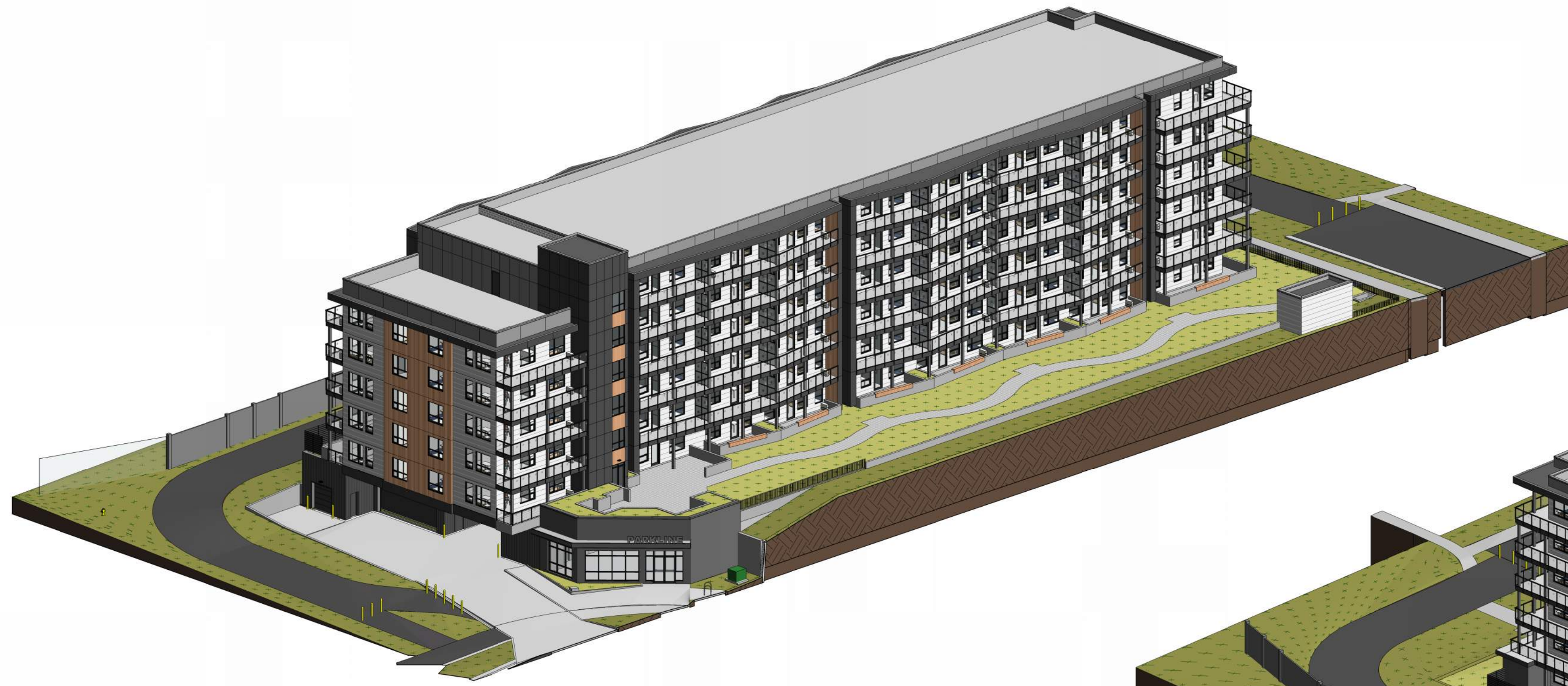
PROJECT NO.	DRAWN	CHECKED
233-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP3.02	2

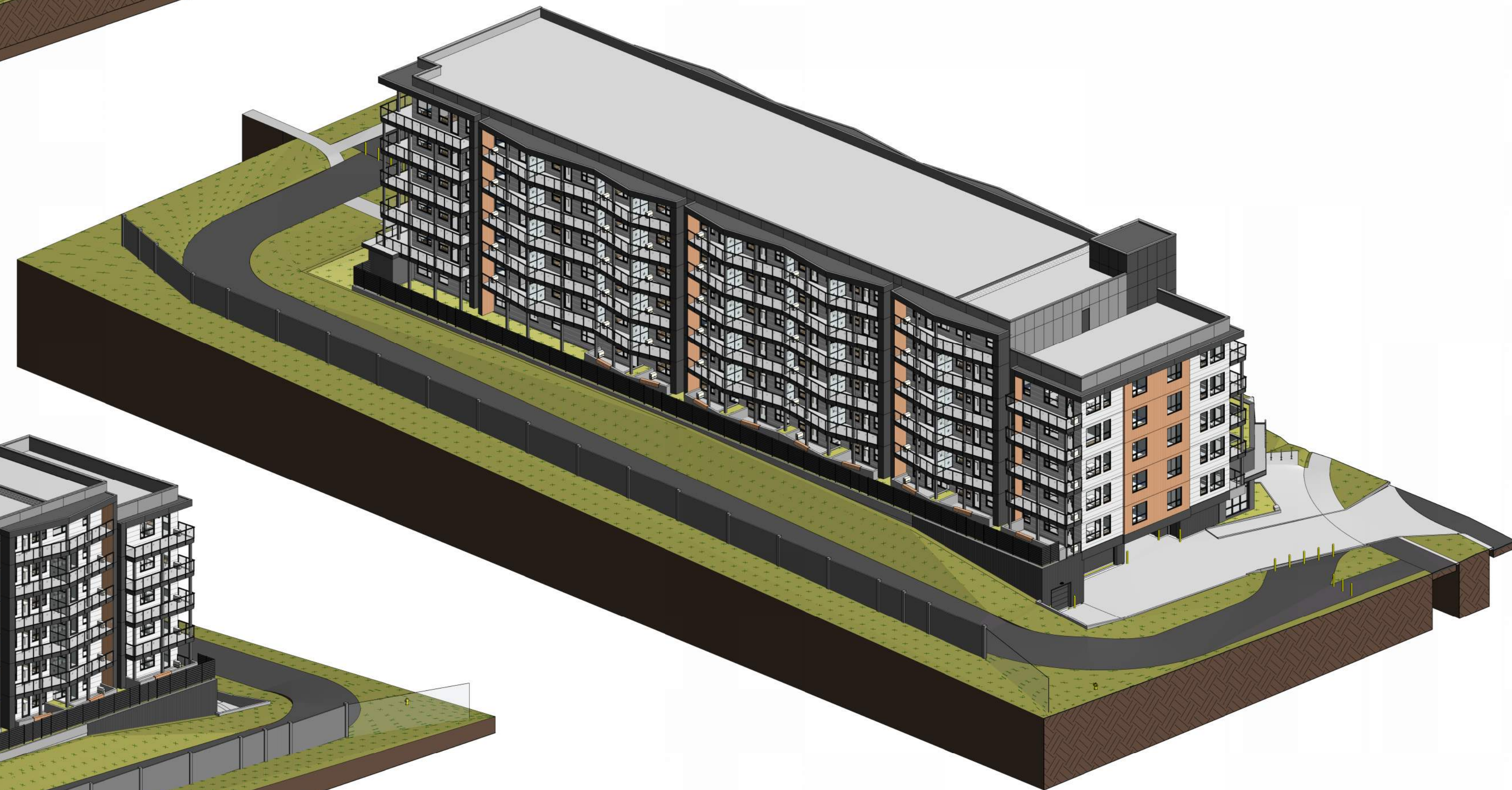
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NOTE

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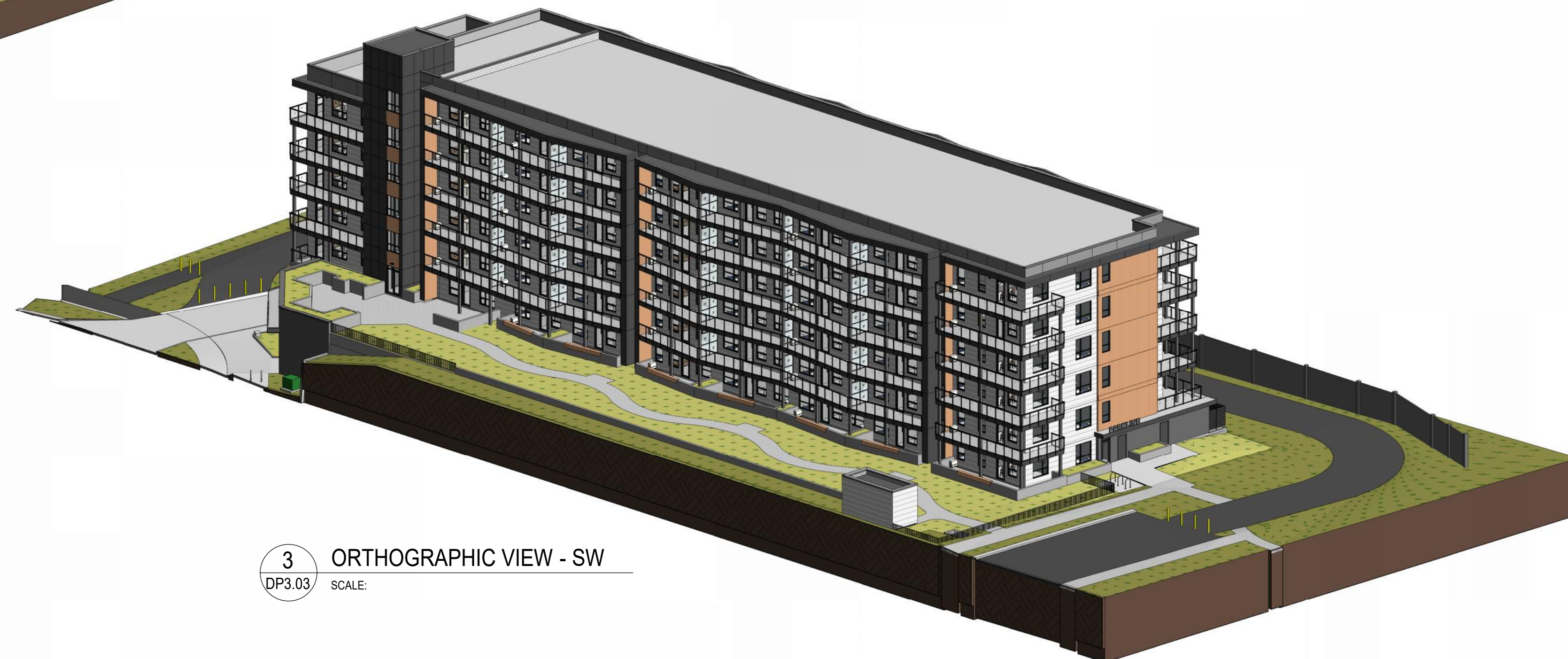
1 ORTHOGRAPHIC VIEW - NW  
 DP3.03 SCALE:



2 ORTHOGRAPHIC VIEW - NE  
 DP3.03 SCALE:



4 ORTHOGRAPHIC VIEW - SE  
 DP3.03 SCALE:



3 ORTHOGRAPHIC VIEW - SW  
 DP3.03 SCALE:

2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT  
**"PARKLINE" PHASE 1  
 - MULTI-FAMILY BLDG**

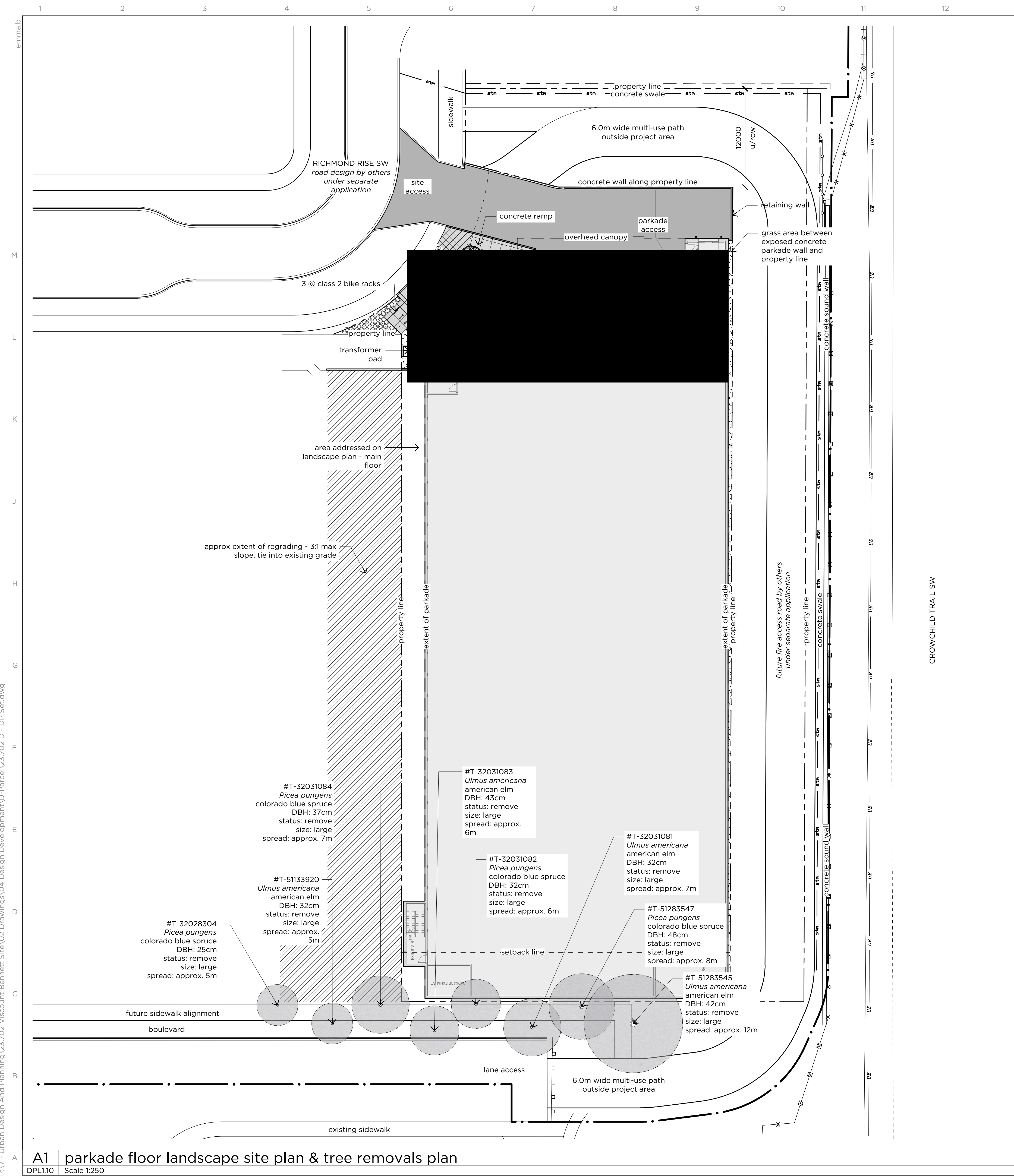
PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

TITLE  
**ORTHOGRAPHIC  
 VIEWS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL
DRAWING NO.	REVISION NO.	

**DP3.03**

2



### Linetype Legend

	property line
--	---------------

### Landscape Legend

symbol	description
	75mm mulch over minimum of 600mm depth topsoil for shrubs, 300mm in all other cases
	native drought tolerant sod over 300mm min topsoil
	manicured native drought tolerant sod over 300mm min topsoil
	concrete amenity surface - finish tbd
	10mm rundlestone fines

### Proposed Plant List for Trees

number	symbol	description
46		deciduous trees - 50mm-75mm caliper (50% of provided trees to be 75mm)
34		<ul style="list-style-type: none"> <li>pink spire flowering crabapple <i>Malus 'pink spires'</i> drought tolerant</li> <li>trembling aspen <i>Populus tremuloides</i> drought tolerant</li> <li>sweetheart mayday <i>Prunus padus 'sweetheart'</i> drought tolerant</li> <li>red rocket red maple <i>Acer rubrum 'red rocket'</i> drought tolerant</li> <li>guardian columnar aspen <i>Populus 'jefguard'</i> drought tolerant</li> </ul>
12		coniferous trees - 2m-3m height (50% of provided trees to be 3m) <ul style="list-style-type: none"> <li>ponderosa pine <i>Pinus ponderosa</i> drought tolerant</li> <li>scotch pine <i>Pinus sylvestris</i> drought tolerant</li> <li>mountain pine <i>Pinus uncinata</i> drought tolerant</li> <li>hoopsii blue spruce <i>Picea pungens 'hoopsii'</i> drought tolerant</li> </ul>

### Proposed Plant List for Shrubs

number	symbol	description
149		<ul style="list-style-type: none"> <li>sunsation japanese barberry <i>Berberis thunbergii 'sunsation'</i> drought tolerant</li> <li>mops mugo pine <i>Pinus mugo 'Mops'</i> drought tolerant</li> <li>alpine carpet juniper <i>Juniperus communis 'alpine carpet'</i> drought tolerant</li> <li>western snowberry <i>Symphoricarpos occidentalis</i> drought tolerant</li> <li>morden blush rose <i>Rosa 'morden blush'</i> drought tolerant</li> <li>northern gold forsythia <i>Forsythia 'northern gold'</i> drought tolerant</li> <li>russian sage <i>Perovskia atriplicifolia</i> drought tolerant</li> <li>compact winged burning bush <i>Euonymus alatus 'compactus'</i> drought tolerant</li> </ul>

### Proposed Plant List for Grasses

number	symbol	description
126		<ul style="list-style-type: none"> <li>avalanche reed grass <i>Calamagrostis x acutiflora 'avalanche'</i></li> </ul>

### General Notes

- contractor is responsible for locating utilities and protecting same from damage during construction, contact Alberta One call at 1-800-242-3447, commencement of work indicates completion of utility locates.
- all drawings are property of landscape architect, site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
- if discrepancies exist between drawings, the largest scale shall be taken as correct, final interpretation belongs to the landscape architect, contractor to coordinate and attend all inspections and approvals required by the owner, all drawings are metric unless otherwise noted.
- all layouts shall be approved on site by landscape architect prior to construction, contractor to notify owner's representative minimum 72 hours prior.
- contractor shall refer to related disciplines as indicated on plan's where applicable.
- all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o. disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
- refer to civil engineering drawings for grading information.

### Irrigation Note

- All soft surfaced landscaped areas must be irrigated by an underground irrigation system.



issue / revision	date	no.
issued for development permit	25/03/17	1
issued for DTRI response	25/09/12	2

project  
**Vicount Bennett Parcel D**

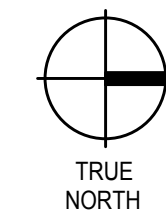
drawn <b>EB</b>	checked <b>EB</b>	approved <b>JS</b>
--------------------	----------------------	-----------------------

project # <b>23.702</b>	date <b>2025/09/12</b>
----------------------------	---------------------------

drawing  
**Parkade Level Site Plan - Landscape**

	sheet <b>DPL1.10</b>
--	-------------------------





NOTE

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LUMINAIRE SCHEDULE										
LIGHT TYPE	DESCRIPTION	MANUFACTURER	WATTAGE	LAMP	COLOUR TEMP	LUMENS	DIMMING	VOLTAGE	MOUNTING	REMARKS
300	4INCH SOFFIT LIGHT	LITELINE - LUNA 35 PRO CAT.#: RA35P-S-C-RR-W2-C-XX-NC-2	9W	LED	4000K	720LM	N/A	120V	RECESSED	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
301	6INCH SOFFIT LIGHT	LITELINE - LUNA 56 PRO CAT.#: RA56-20-C-W90-XX-SS-NC-2	20W	LED	4000K	1510LM	N/A	120V	RECESSED	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
302	EXTERIOR WALL PACK	BEACON - GEOPAK SERIES 1: CAT.#: TRP1-24L-20W-4K7-2-120-XX-PC	20W	LED	4000K	249LM	N/A	120V	WALL	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
303	SHORT BOLLARD	ARCHITECTURAL AREA LIGHTING - K86-LED BOLLARD CAT.#: K86-LED-Y2-1040-BPC-120-27V-XX	14W	LED	4000K	1040LM	N/A	120V	FLOOR	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
304	BENCH LIGHT	LUMENTRUS - LUXLINE ACCENT 120H CAT.#: CL120H-K40-IR65-F13-WSE-00-XX C/W SURFACE MOUNT CHANNEL CAT.#: MC120H	4.3W/FT	LED	4000K	104LM/FT	N/A	120V	BENCH	XX = CONFIRM LENGTHS REQUIRED PRIOR TO ORDERING. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL PARTS REQUIRED FOR A COMPLETE SYSTEM.
305	TRELLIS STRING LIGHT	TIVOLI - LITESPHERE 2.0: CAT.#: LSL2-B-18-S-30-C-12 C/W POWER LEAD GUIDE CAT.#: LSL2-KEP-B-10 C/W JUMPER CAT.#: LSL2-JUMPER-B-10	0.06W/FT	LED	3000K	4LM/FT	N/A	12VDC	STRING	ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL PARTS REQUIRED FOR A COMPLETE SYSTEM.
306	BALCONY WALL SCONCE	EUROFASE - NANTON: CAT.#: 4924D-015	10W	LED	3000K	133LM	N/A	120V	WALL	

NOTES:

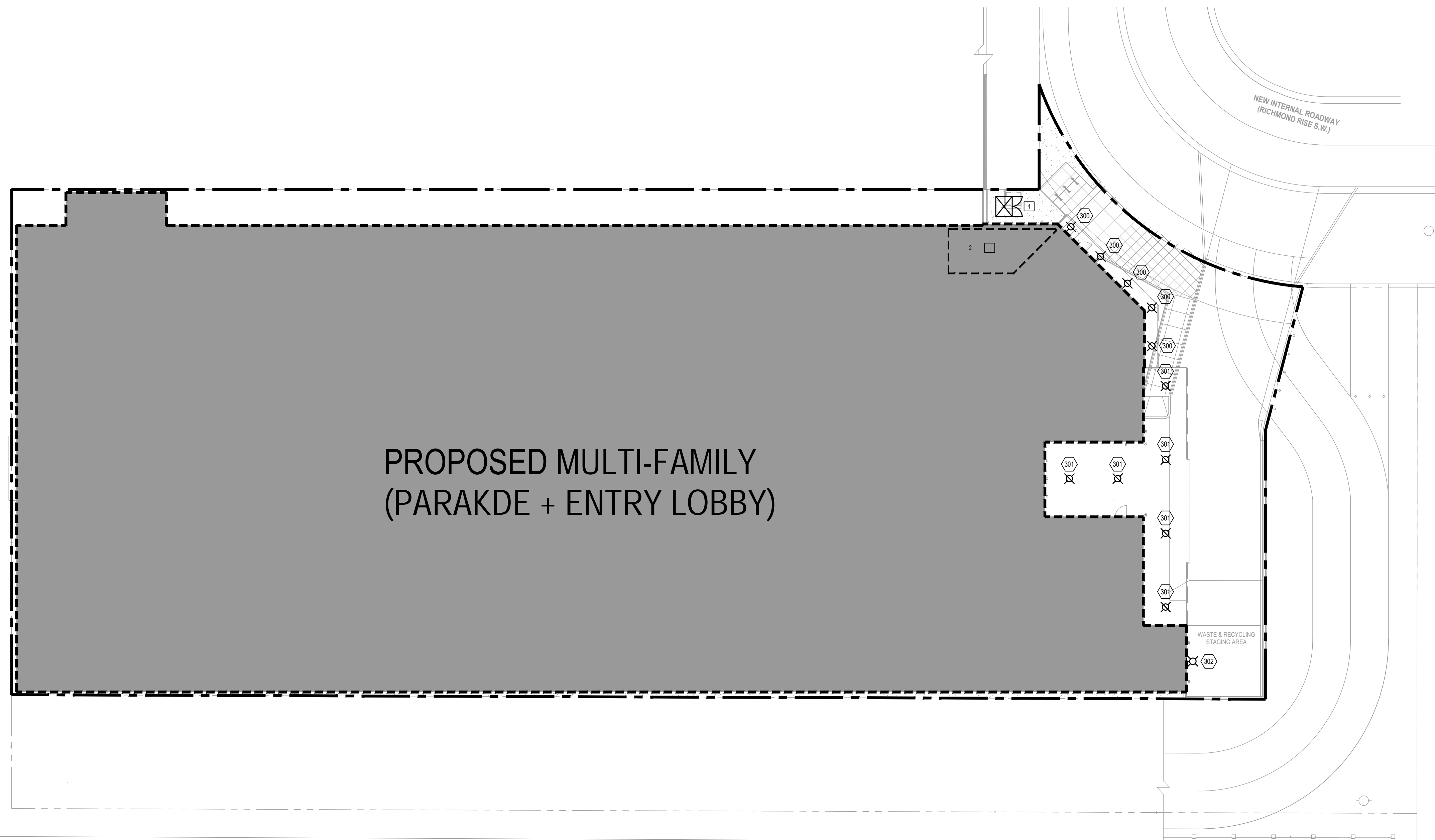
DEVELOPMENT PERMIT LEGEND OF SYMBOLS			
LIGHTING			
	RECESSED / SEMI RECESSED STEP LIGHT		SURFACE MOUNTED LUMINAIRE
	POLE MOUNTED LUMINAIRE		RECESSED DOWNLIGHT
	LIGHTING BOLLARD		WALL MOUNTED LUMINAIRE
	LIGHT TAPE		LIGHTING LUMINAIRE TYPE TAG
POWER & SYSTEMS			
	WALL MOUNTED FIRE ALARM STROBE		SITE TRANSFORMER

ELECTRICAL DRAWING LIST	
SHEET NUMBER	SHEET NAME
DPE1.00	DP ELECTRICAL SITE PLAN - LOWER LEVEL
DPE1.01	DP ELECTRICAL SITE PLAN - UPPER LEVEL
DPE1.02	DP SITE LIGHTING PHOTOMETRIC PLAN - LOWER LEVEL
DPE1.03	DP ELECTRICAL SITE DETAILS



- GENERAL NOTES:**
- A) EXTERIOR SITE LIGHTING CONTROLLED BY CENTRAL PEC LIGHTING CONTROL SYSTEM.
  - B) COORDINATE INSTALLATION OF ALL UNDERGROUND FEEDER(S) TO MAINTAIN A MINIMUM CLEARANCE OF 300mm FROM GAS LINES THAT RUN BESIDE FEEDERS AND 300mm FROM GAS LINES THAT CROSS UNDERGROUND FEEDERS. ALSO MAINTAIN 3000mm FROM SANITARY, STORM AND WATER LINES THAT RUN PARALLEL TO UNDERGROUND FEEDERS.
  - C) ALL UNDERGROUND CONDUITS TO BE RIGID PVC SCHEDULE 40 AND TO BE INSTALLED UTILIZING SWEEPING BENDS.
  - D) COORDINATE UTILITY REQUIREMENTS WITH ENMAX, TELUS AND ROGERS.
  - E) UPSIZE CONDUCTORS AND CONDUIT ACCORDINGLY DUE TO VOLTAGE DROP.
  - F) ALL LIGHT FIXTURES SHALL BE FULL CUT OFF AND MEET ALL LOCAL STANDARDS TO ELIMINATE THE POTENTIAL OF LIGHT TRESPASS ON TO NEIGHBOURING ROADWAYS AND RESIDENTIAL AREAS. SEE LUMINAIRE SCHEDULE.

- REFERRAL NOTES:**
- 1 PROPOSED UTILITY TRANSFORMER SUPPLIED BY ENMAX AND INSTALLED BY CONTRACTOR.
  - 2 APPROXIMATE LOCATION OF ELECTRICAL ROOM.



1 DP ELECTRICAL SITE PLAN - LOWER LEVEL  
SCALE: 1:200

NO.	ISSUE/REVISION	DATE
1	ISSUED FOR DR1 RESPONSE	2025-09-12

NOT FOR CONSTRUCTION

PROJECT  
**"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG**

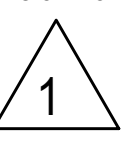
PROJECT ADDRESS  
TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

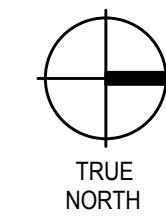
TITLE  
**DP ELECTRICAL SITE  
PLAN - LOWER LEVEL**

PROJECT NO.	DRAWN	CHECKED
24414	TB	JT

DRAWING NO.	REVISION NO.
DPE1.00	1

**DPE1.00**





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LUMINAIRE SCHEDULE										
LIGHT TYPE	DESCRIPTION	MANUFACTURER	WATTAGE	LAMP	COLOUR TEMP	LUMENS	DIMMING	VOLTAGE	MOUNTING	REMARKS
300	4INCH SOFFIT LIGHT	LITELINE - LUNA 55 PRO CAT.#: RA35P-9-C-RR-W-2-C-XX-NC-2	9W	LED	4000K	720LM	N/A	120V	RECESSED	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
301	6INCH SOFFIT LIGHT	LITELINE - LUNA 55 PRO CAT.#: RA55-20-C-W90-XX-SS-NC-2	20W	LED	4000K	1510LM	N/A	120V	RECESSED	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
302	EXTERIOR WALL PACK	BEACON - GEOPAK SERIES 1 CAT.#: TRP1-24L-20W-4K7-2-120-XX-PC	20W	LED	4000K	2481LM	N/A	120V	WALL	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
303	SHORT BOLLARD	ARCHITECTURAL AREA LIGHTING - KB6-LED BOLLARD CAT.#: KB6-LED-Y2-1040-8PC-120-27V-XX	14W	LED	4000K	1040LM	N/A	120V	FLOOR	XX = CONFIRM FINISH COLOR PRIOR TO ORDERING.
304	BENCH LIGHT	LUMENTRUISS - LUXLINE ACCENT 1220H CAT.#: CL1220H440-PS5-FIG-WSE-00-XX C/W SURFACE MOUNT CHANNEL CAT.#: MC1220H	4.3WFT	LED	4000K	104LM/FT	N/A	120V	BENCH	XX = CONFIRM LENGTHS REQUIRED PRIOR TO ORDERING. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL PARTS REQUIRED FOR A COMPLETE SYSTEM.
305	TRELLIS STRING LIGHT	TIVOLI - LITESPHERE2 0 CAT.#: LSL2-B-18-S-30-D-12 C/W POWER LEAD GUIDE CAT.#: LSL2-KEP-B-10 C/W JUMPER CAT.#: LSL2-JUMPER-B-10	0.06W/FT	LED	3000K	4LM/FT	N/A	12VDC	STRING	ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL PARTS REQUIRED FOR A COMPLETE SYSTEM.
306	BALCONY WALL SCONCE	EUROFACE - NANITON CAT.#: 45240-015	10W	LED	3000K	133LM	N/A	120V	WALL	

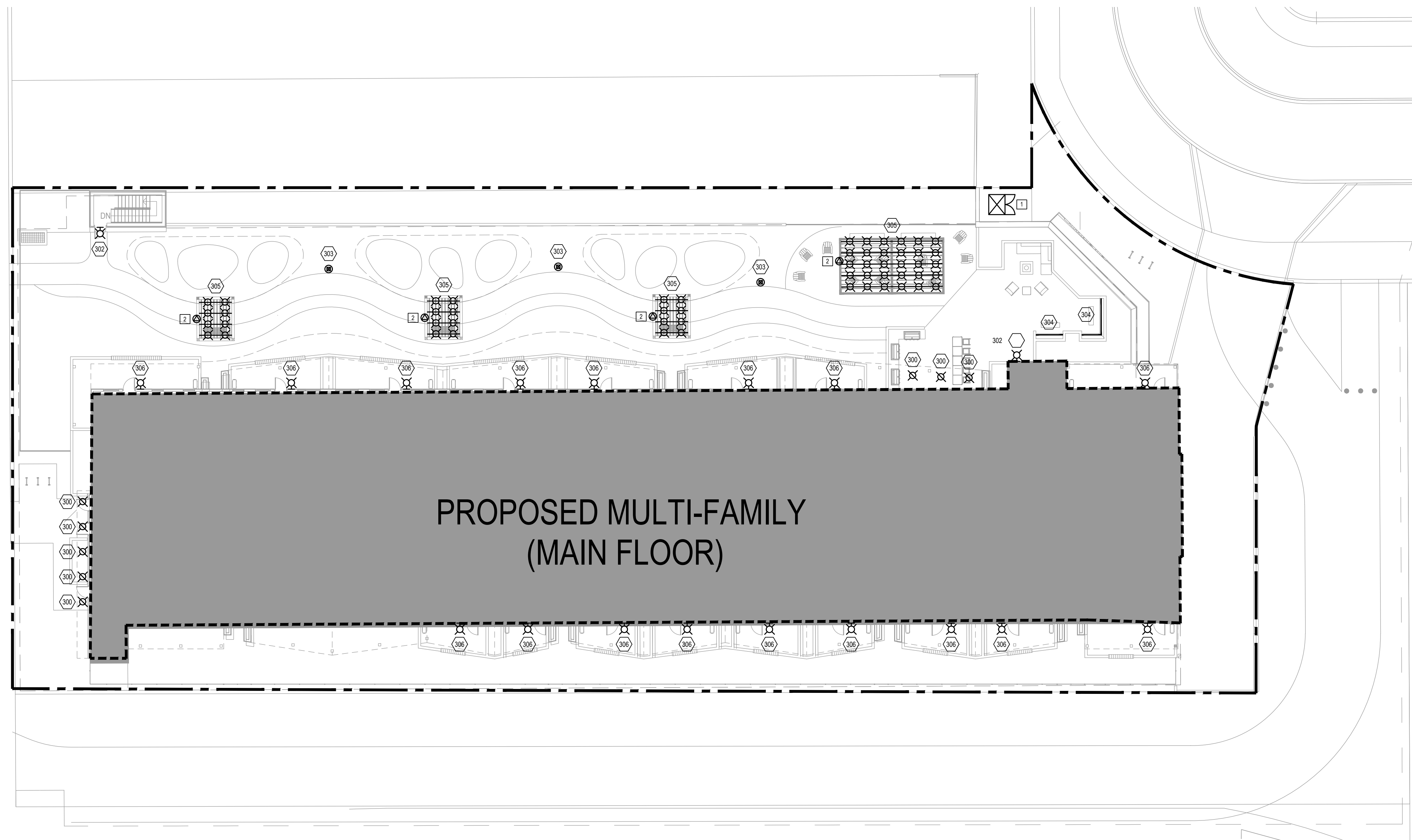
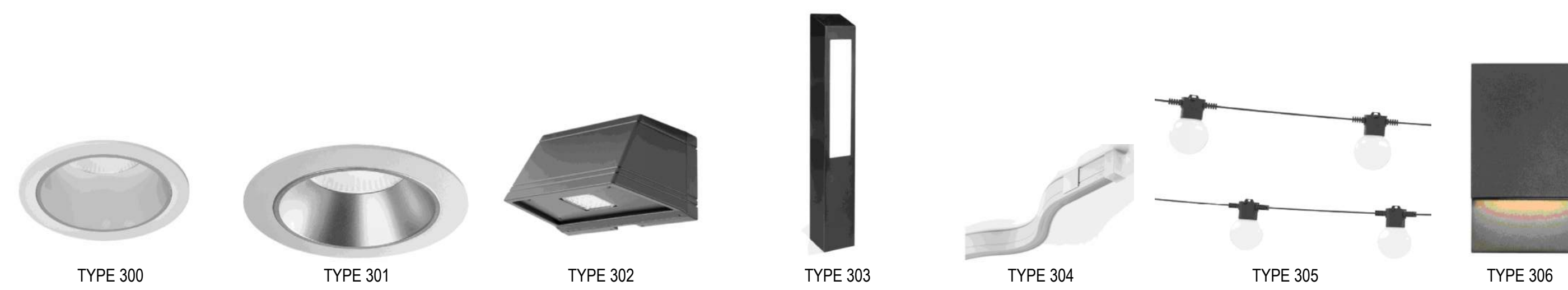
NOTES:

**GENERAL NOTES:**

- A) EXTERIOR SITE LIGHTING CONTROLLED BY CENTRAL PEC LIGHTING CONTROL SYSTEM.
- B) COORDINATE INSTALLATION OF ALL UNDERGROUND FEEDER(S) TO MAINTAIN A MINIMUM CLEARANCE OF 300mm FROM GAS LINES THAT RUN BESIDE FEEDERS AND 300mm FROM GAS LINES THAT CROSS UNDERGROUND FEEDERS. ALSO MAINTAIN 300mm FROM SANITARY, STORM AND WATER LINES THAT RUN PARALLEL TO UNDERGROUND FEEDERS.
- C) ALL UNDERGROUND CONDUITS TO BE RIGID PVC SCHEDULE 40 AND TO BE INSTALLED UTILIZING SWEEPING BENDS.
- D) COORDINATE UTILITY REQUIREMENTS WITH ENMAX, TELUS AND ROGERS.
- E) UPSIZE CONDUCTORS AND CONDUIT ACCORDINGLY DUE TO VOLTAGE DROP.
- F) ALL LIGHT FIXTURES SHALL BE FULL CUT OFF AND MEET ALL LOCAL STANDARDS TO ELIMINATE THE POTENTIAL OF LIGHT TRESPASS ON TO NEIGHBOURING ROADWAYS AND RESIDENTIAL AREAS. SEE LUMINAIRE SCHEDULE.

**REFERRAL NOTES:**

- 1 PROPOSED UTILITY TRANSFORMER SUPPLIED BY ENMAX AND INSTALLED BY CONTRACTOR.
- 2 ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL 120V POWER IN 1 x 27mm PVC CONDUIT TO TRELLIS FOR TYPE 305 STRING LIGHT.



**PROPOSED MULTI-FAMILY  
(MAIN FLOOR)**

1	ISSUED FOR DR1 RESPONSE	2025-09-12
NO.	ISSUE/REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT

**"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG**

PROJECT ADDRESS

TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

TITLE

**DP ELECTRICAL SITE  
PLAN - UPPER LEVEL**

PROJECT NO.	DRAWN	CHECKED
24414	TB	JT

DRAWING NO.	REVISION NO.
DPE1.01	1

