



NORTHWEST PERSPECTIVE OF BUILDING MAIN ENTRY - ARTISTIC 3D VIEW

# ISSUED FOR DR-2 RESPONSE (DP2025-02420)

## "PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA



### Zeidler Architecture

300, 640 – 8 Avenue SW  
 Calgary, Alberta T2P 1G7  
 T 403 233 2525 | zeidler.com

OWNER



ARCHITECTURAL



STRUCTURAL



MECHANICAL



ELECTRICAL



LANDSCAPE



CIVIL



**AMENDED DRAWINGS**  
 DP No. Date Received  
 DP2025-02420 DEC 15 2025  
 THESE DRAWINGS REFER TO THE  
 ABOVE DEVELOPMENT PERMIT NO.

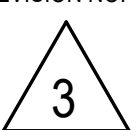
3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/ REVISION	DATE
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PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP0.00	3

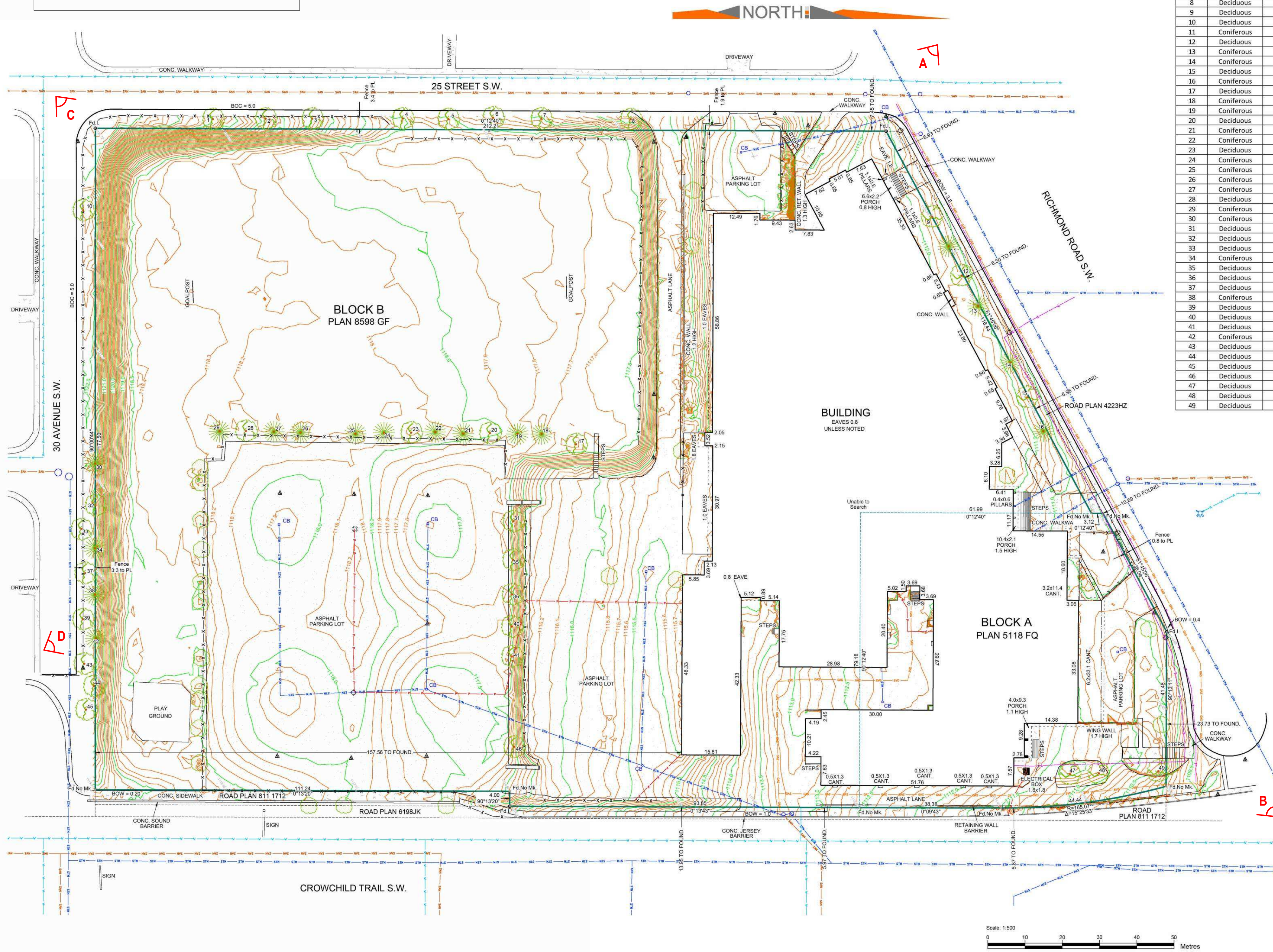
DP0.00



C:\Users\TLoewenhardt\OneDrive - Zeidler\Documents\AR\_223-115\_RICHMOND-PARCEL\_D\_R24\_Loewenhardt.rvt

12/15/2025 2:43:51 PM

**NOTE:**  
 ALL INFORMATION OBTAINED FROM EXISTING SITE SURVEY PERFORMED BY "WATT CONSULTING GROUP" IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEY ACT.  
 SURVEY COMPLETED ON JUNE 2022.  
 THE LEGAL SURVEY DEPICTED ON THIS SHEET IS FOR REFERENCE ONLY.  
 "ZEIDLER ARCHITECTURE" ASSUMES NO RESPONSIBILITY FOR THE ACCURACY & CONTENT OF THE SURVEY INFORMATION DEPICTED HEREIN.



**TREE TABLE**

Tree No.	Type	Trunk Diameter (m)
1	Deciduous	0.4
2	Deciduous	0.2
3	Deciduous	0.4
4	Deciduous	0.5
5	Deciduous	0.5
6	Deciduous	0.3
7	Deciduous	0.3
8	Deciduous	0.5
9	Deciduous	0.2
10	Deciduous	0.3
11	Coniferous	0.5
12	Deciduous	0.5
13	Coniferous	0.5
14	Coniferous	0.4
15	Deciduous	0.2
16	Coniferous	0.4
17	Deciduous	0.5
18	Coniferous	0.4
19	Coniferous	0.4
20	Deciduous	0.4
21	Coniferous	0.4
22	Coniferous	0.4
23	Deciduous	0.4
24	Coniferous	0.4
25	Coniferous	0.4
26	Coniferous	0.6
27	Coniferous	0.5
28	Deciduous	0.5
29	Coniferous	0.6
30	Coniferous	0.5
31	Deciduous	0.5
32	Deciduous	0.3
33	Deciduous	0.3
34	Coniferous	0.4
35	Deciduous	0.4
36	Deciduous	0.4
37	Deciduous	0.3
38	Coniferous	0.5
39	Deciduous	0.4
40	Deciduous	0.5
41	Deciduous	0.5
42	Coniferous	0.4
43	Deciduous	0.4
44	Deciduous	0.6
45	Deciduous	0.5
46	Deciduous	0.5
47	Deciduous	0.5
48	Deciduous	0.5
49	Deciduous	0.6

**Notes:**

- DISTANCES ARE IN METERS AND DECIMALS THEREOF.
- COORDINATES ARE BASED ON CONTROL INFORMATION ESTABLISHED BY PREVIOUS WATT SURVEYS.
- COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999728
- PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM)
- HORIZONTAL DATUM: NORTH AMERICA DATUM 1983 (NAD83)
- ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVD28) VIA HT2.0 GEOD MODEL
- ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
- ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.
- BUILDING DIMENSIONS SHOWN ARE TO FOUNDATION.
- PRIOR TO DIGGING, UNDERGROUND UTILITIES MUST BE LOCATED.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES AND CONCEALED STRUCTURES AND TO CONTACT THE VARIOUS OWNERS/OPERATORS/AUTHORITIES FOR ON-SITE INFORMATION AS TO THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES OR CONCEALED STRUCTURES.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE OWNERS/OPERATORS/AUTHORITIES OF ITS INTENTION TO CARRY OUT OPERATIONS IN THE AREA.
- BLOCK PROFILE INFORMATION OBTAINED FROM CITY OF CALGARY CITYWIDE DATA SITE VIA AUTOCAD FILES.
- STORM, SEWER, AND WATER UTILITY LOCATION INFORMATION WAS OBTAINED FROM THE CITY OF CALGARY.

**Legend:**

- MAJOR CONTOUR 0.5m INTERVAL
- MINOR CONTOUR 0.1m INTERVAL
- SPOT ELEVATION (5m GRID)
- FOUND STATUTORY IRON POST
- FOUND I BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- POWER POLE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- SIGN
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS PIPELINE - HIGH PRESSURE
- TELECOM BURIED LINE
- SANITARY LINE
- WATER MAIN
- STORM MAIN
- CATCH BASIN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES
- CONCRETE
- ASPHALT

Stamp: \_\_\_\_\_  
 Signature: \_\_\_\_\_

No.	Revision Description	By	Date	Appr
02	30 AVENUE SW DRIVEWAY LOCATIONS ADDED	J.B.	SEP 16, 2022	J.B.
01	UPDATED UTILITIES, TREE TABLE AND MINOR TEXT UPDATES	J.B.	JUL 28, 2022	J.B.
00	ISSUED TO CLIENT	J.B.	JUN 14, 2022	J.B.

Title: **TOPOGRAPHIC SITE SURVEY**

Job Description: **BLOCK A, PLAN 5118 FQ,  
 BLOCK B, PLAN 8598 GF**  
 2519 Richmond Road S.W.  
 Calgary, AB

Client: **Minto Communities**  
 402 11 Avenue S.E.  
 Calgary, AB T2G 0Y4

**WATT Consulting Group**  
 Watt Consulting Group Ltd.  
 #1300, 736 - 68th Avenue S.W.  
 Calgary, AB, T2P 3T7  
 T: 403.273.9001  
 F: 403.273.3440  
 www.wattconsultinggroup.com

Drawn: S.D. Field Surveyor(s): S.D., Z.W.  
 Draft Chk: J.B. Survey Date: JUN. 01-10, 2022  
 Approved: J.B. Date: JUN. 16, 2022 Sheet: \_\_\_\_\_ Total Sheets: \_\_\_\_\_  
 Scale: 1:500 File #: 2210668 01 02

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**AMENDED DRAWINGS**  
 DP No: DP2025-02420 Date Received: DEC 15 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

VIEW / LOCATION WHERE SITE PHOTO WAS TAKEN FROM

No.	ISSUE/REVISION	DATE
3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

**NOT FOR CONSTRUCTION**

PROJECT: **"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS: **TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA**

TITLE: **SURVEY PLAN**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL
DRAWING NO.	REVISION NO.	
DP1.01	3	



A - SITE PHOTOGRAPH - NORTH WEST CORNER

B - SITE PHOTOGRAPH - NORTH EAST CORNER

C - SITE PHOTOGRAPH - SOUTH WEST CORNER

D - SITE PHOTOGRAPH - SOUTH EAST CORNER

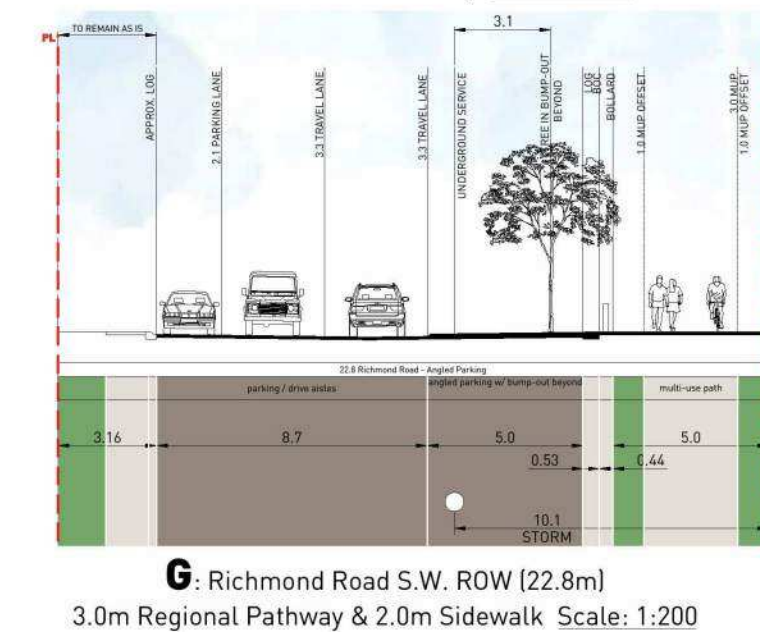
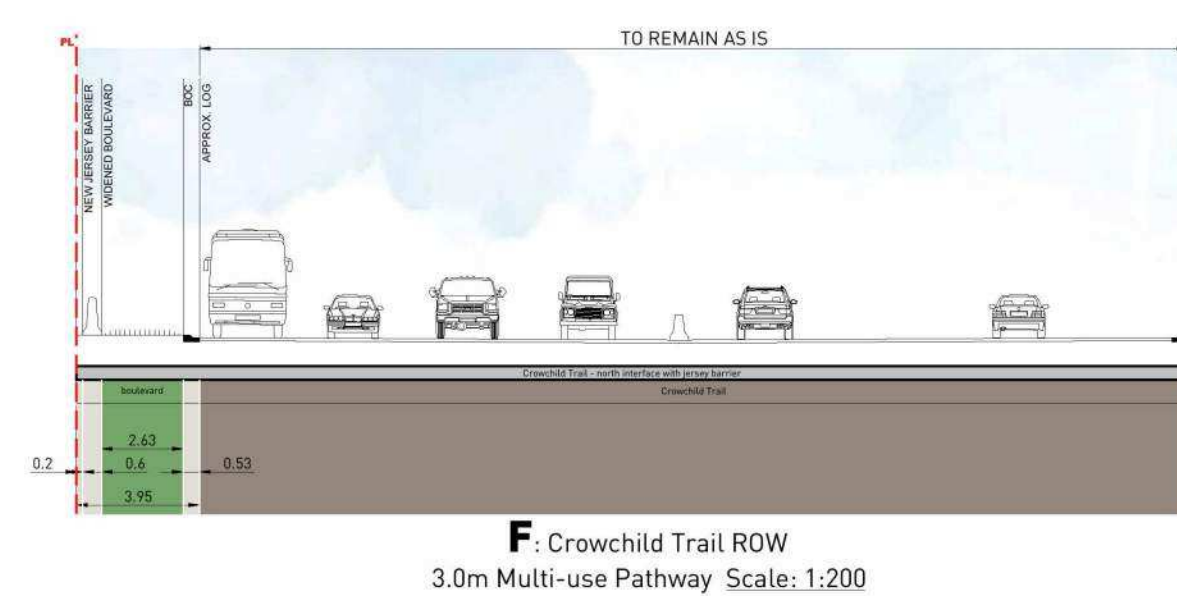
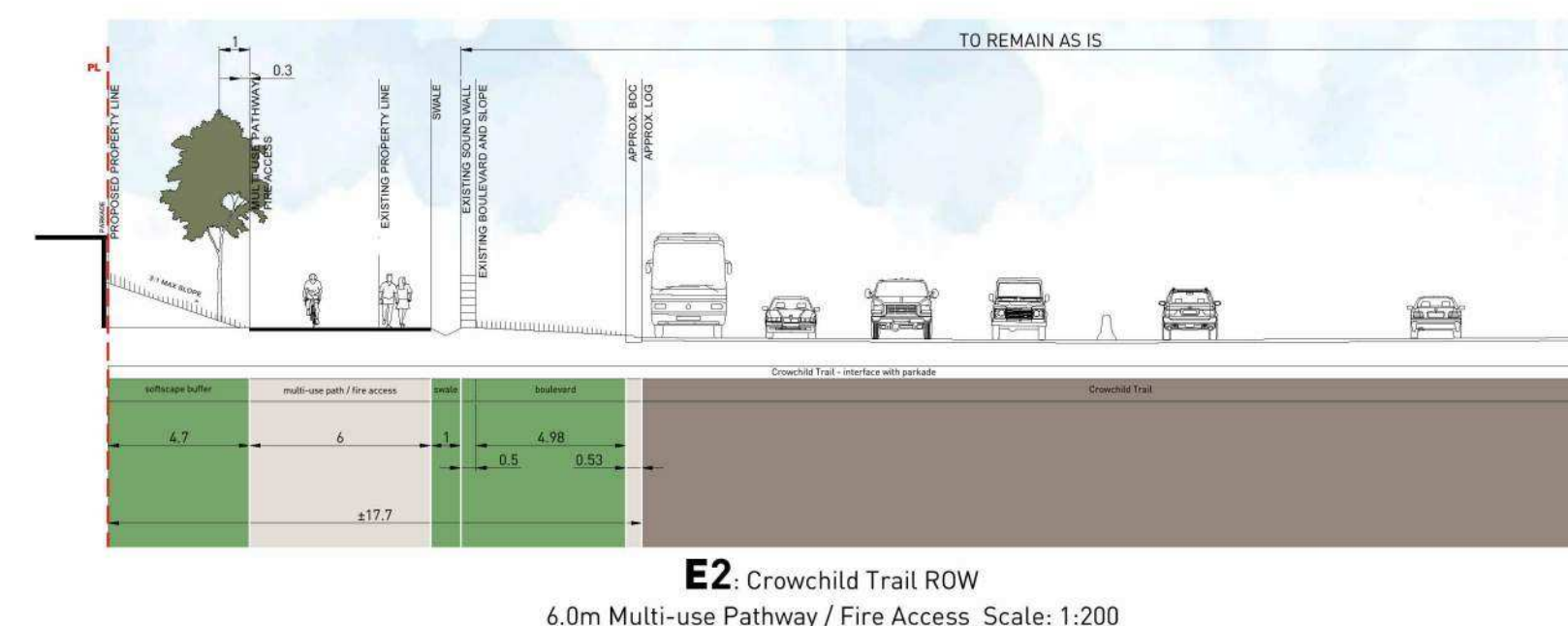
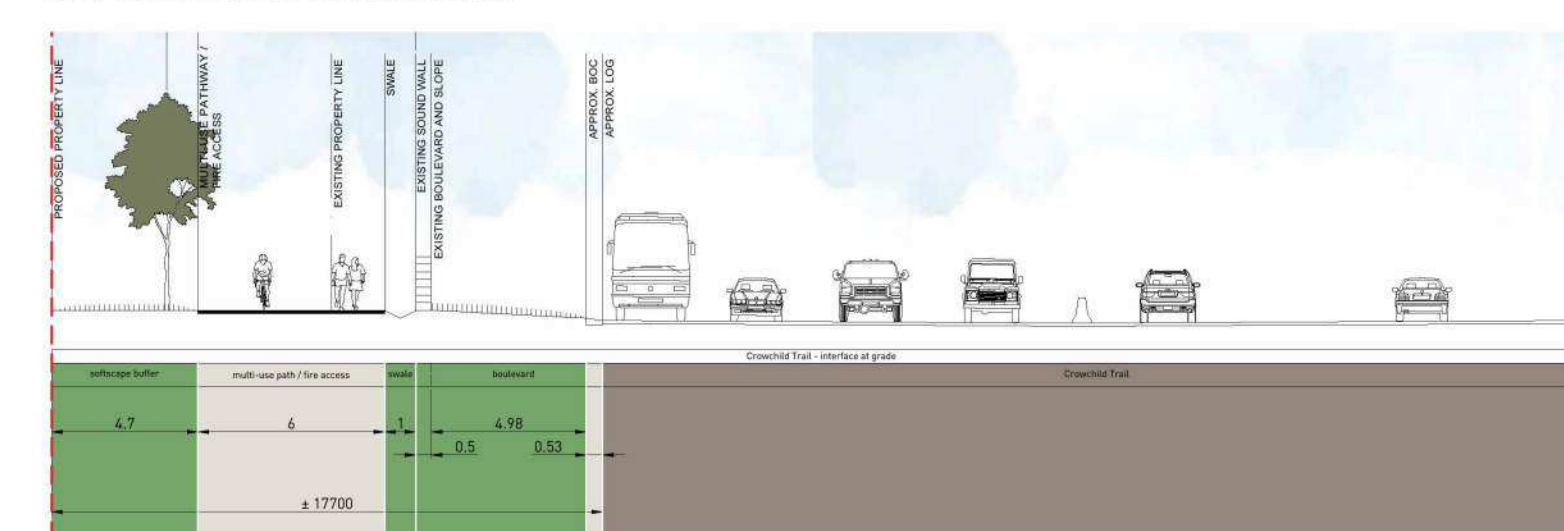
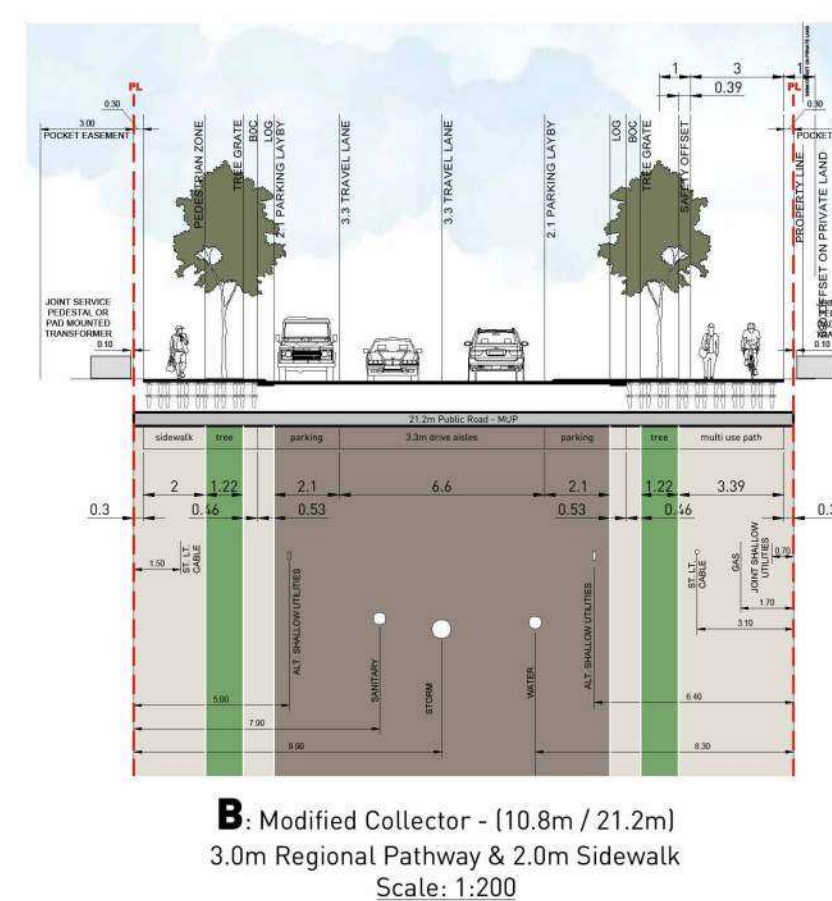
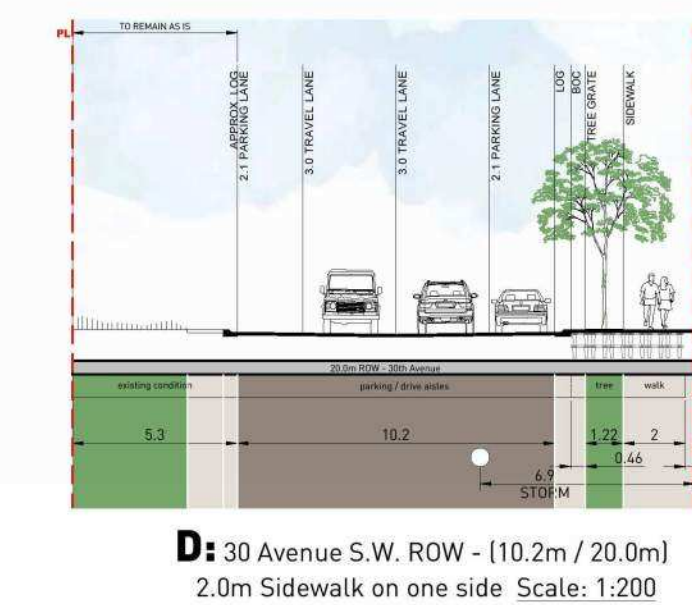
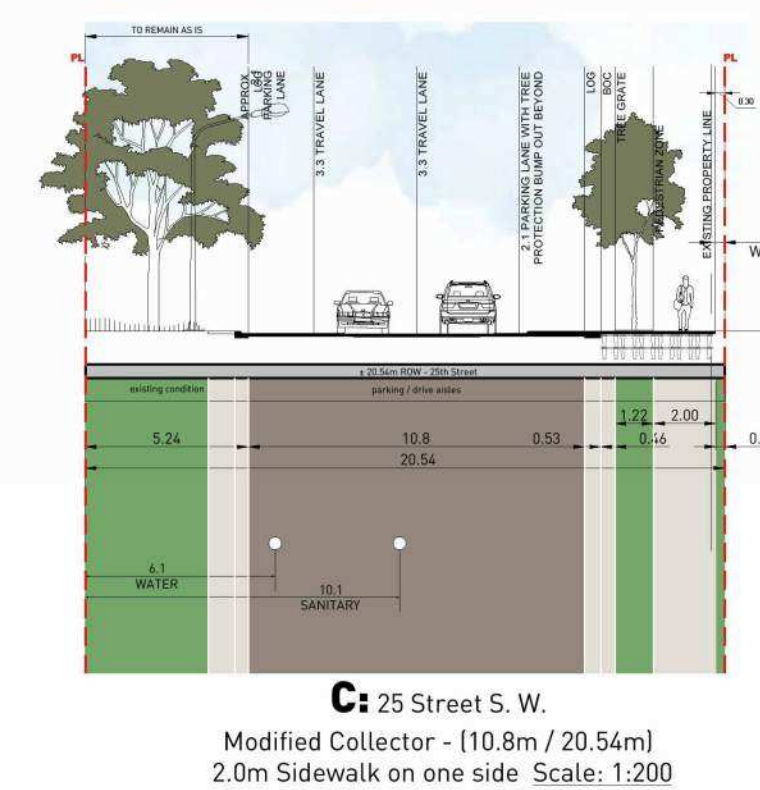
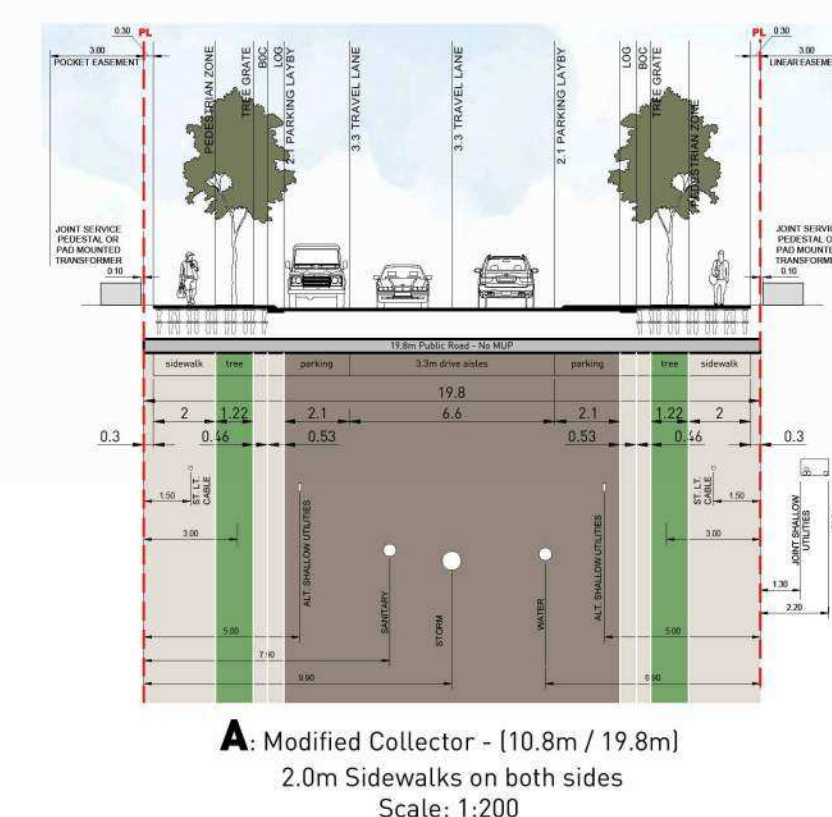
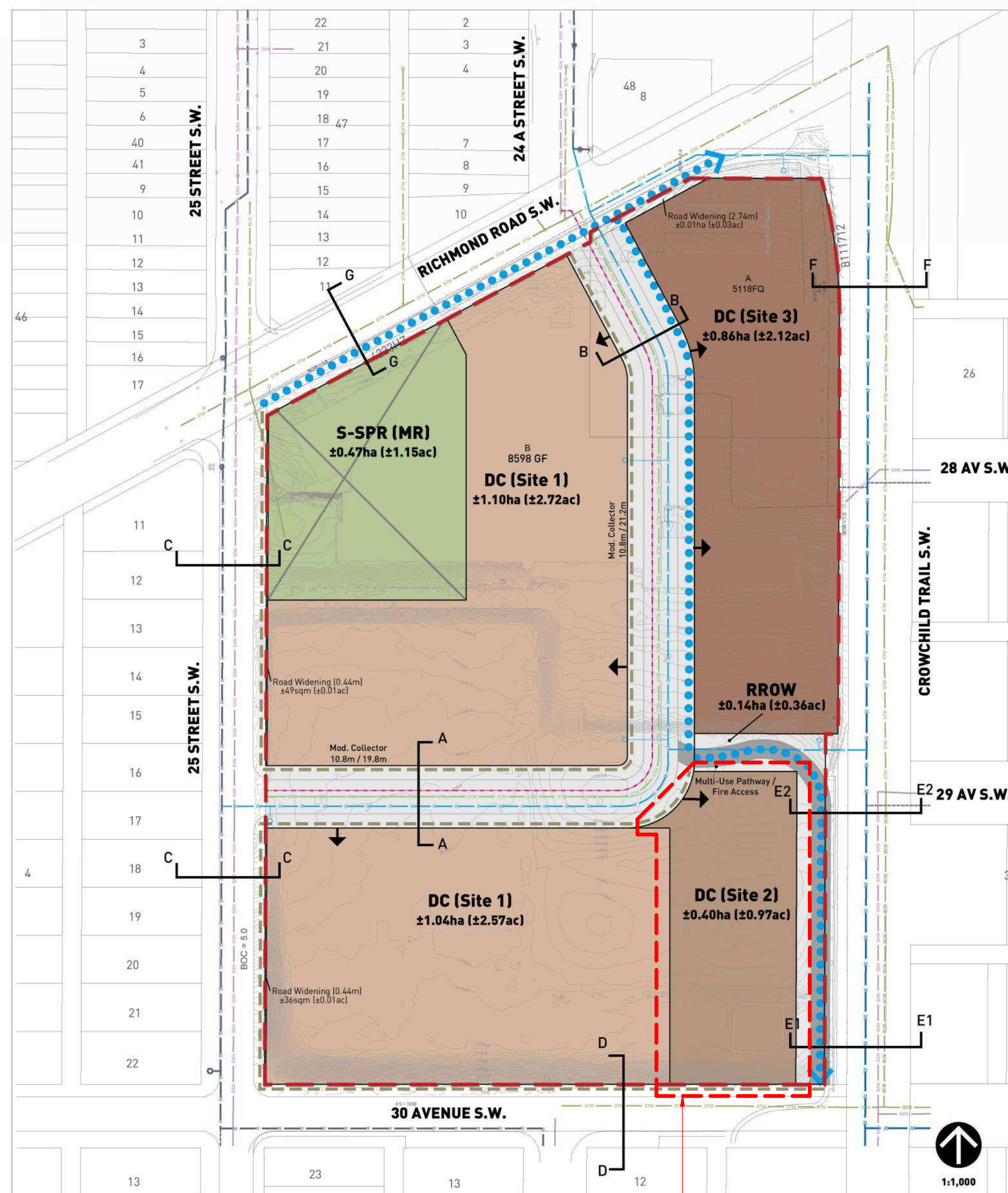


NOTE

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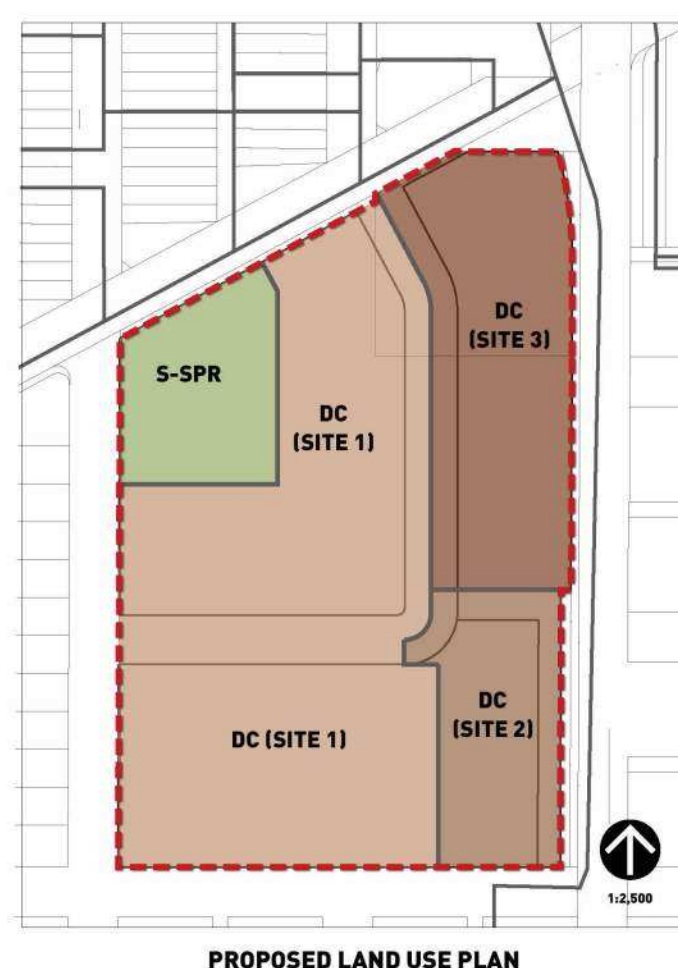


OUTLINE PLAN STATISTICS

Category	Units	Area (ha)	% of GDA
Total Area		4.45	11.49
Gross Developable Area (GDA)		4.45	11.49
Land Use	Units per acre (approx)	Area (ha)	% of GDA
DC (Site 1) Direct Control Site 1	115 units	2.14	5.29
DC (Site 2) Direct Control Site 2	107 units	0.40	0.97
DC (Site 3) Direct Control Site 3	233 units	0.96	2.12
S-SPR (MR)	184 units	0.47	1.15
RROW	184 units	0.47	1.15

LAND USE STATISTICS

FROM	TO	ha (a)	ac (a)
R-CG	DC (SITE 1)	2.56	6.33
R-CG	DC (SITE 2)	0.57	1.41
R-CG	DC (SITE 3)	1.05	2.58
R-CG	S-SPR	0.47	1.17
Total		4.65	11.49



Legend for symbols and services:

- Outline & Land Use Redesignation Boundary
- Access: Contour Interval 0.1m, Separate Sidewalk 2m, DC Site 1 Direct Control Site 1, DC Site 2 Direct Control Site 2, DC Site 3 Direct Control Site 3, Local Pathway, Existing Land Use
- Deep Services - Existing: Stormwater Servicing, Sanitary Servicing, Water Servicing 150 PVC / Hydrant, Water Servicing 400 PVC / Hydrant
- Deep Services - Proposed: Stormwater Servicing, Sanitary Servicing, Water Servicing 250 PVC / Hydrant

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REVISION

REVISION	DATE	REVISION	DATE
Land Use Submission	15/Nov/2023		
Outline Plan Submission	05/May/2024		
Respond to DR Comments	15/Oct/2024		
Respond to City Comments	30/Jan/2025		

TEAM  
B&A Studios  
400, 215 - 9<sup>th</sup> Ave SW  
Calgary, Alberta, T2P 1K3  
tstudios.ca | 1-403-281-4733

PRE-APP NUMBER: ---  
LDC: ---  
PROJECT NUMBER: 2022-056  
DRAWN BY: eskzyzyk  
START DATE: May 2024  
CURRENT DATE: January 30, 2025

LEGAL DESCRIPTION  
Block A, Plan 5118 FQ & Block B, Plan 8598 GF  
MUNICIPAL ADDRESS  
2511 Richmond Road S.W.

PROJECT NAME  
2501 RICHMOND

SHEET TITLE  
OUTLINE PLAN AND LAND USE REDESIGNATION



LANDUSE REDESIGNATION OUTLINE PLAN  
LANDUSE REDESIGNATION OUTLINE PLAN DATED 2025-01-30  
FOR REFERENCE ONLY, PREPARED BY B&A PLANNING

NOT FOR CONSTRUCTION

PROJECT  
"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG

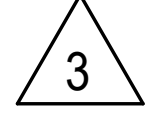
PROJECT ADDRESS  
TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

TITLE  
LANDUSE OUTLINE  
PLAN (FOR  
REFERENCE)

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.02	3

DP1.02



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NOT FOR CONSTRUCTION

PROJECT  
**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

TITLE  
**SITE PLAN + PROJECT/BYLAW INFORMATION**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

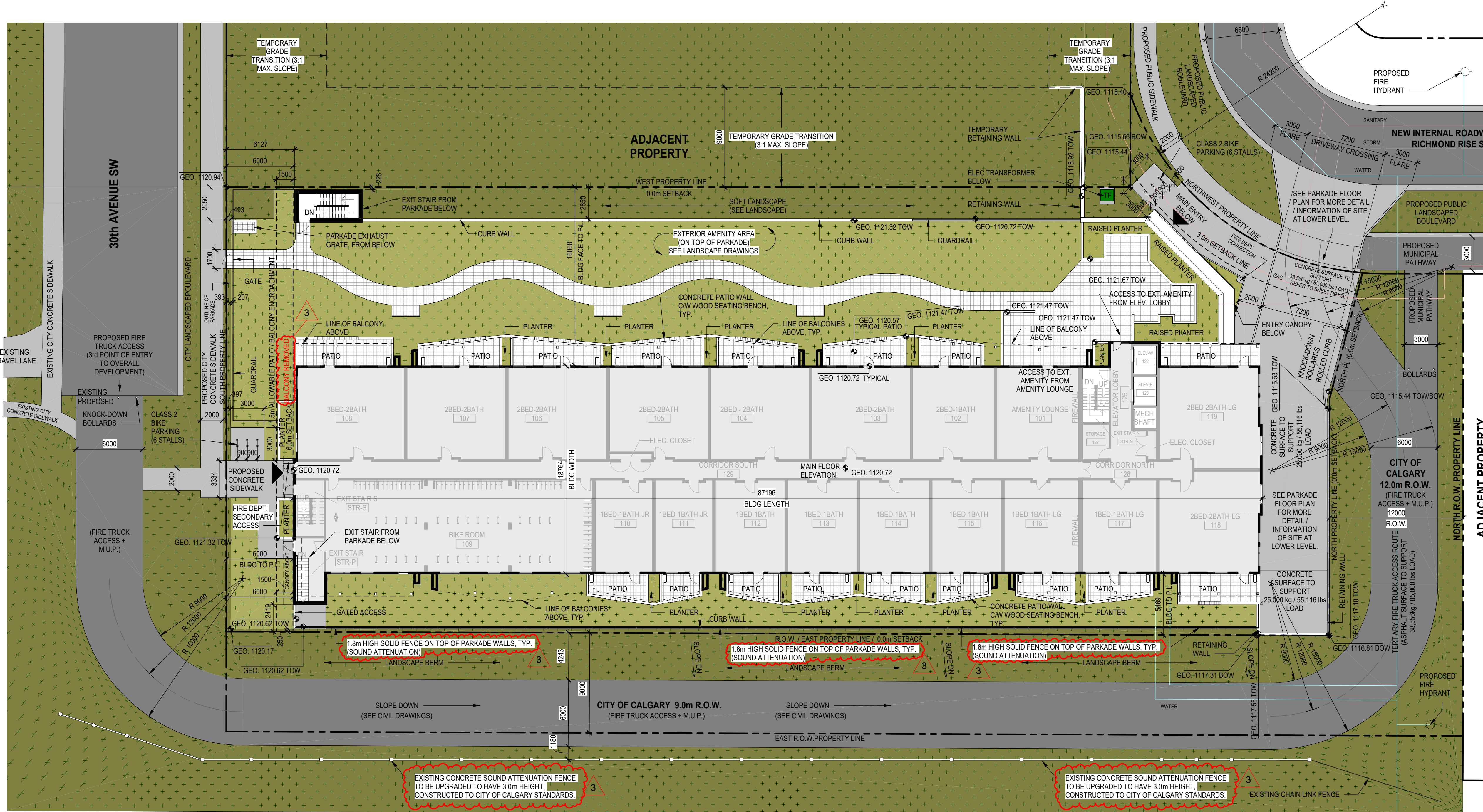
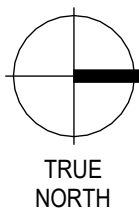
DRAWING NO.	REVISION NO.
DP1.03	3

**BYLAW ANALYSIS:**

PROJECT INFORMATION	
<b>OWNER:</b>	MINTO COMMUNITIES
<b>DP APPLICANT:</b>	ZEIDLER ARCHITECTURE
<b>MUNICIPAL ADDRESS:</b>	2501 RICHMOND ROAD S.W., CALGARY, AB. T3E 4M1
<b>LEGAL ADDRESS:</b>	PLAN: 8598GF, BLOCK B & PLAN 5118FQ, BLOCK A
<b>PARCEL AREA:</b>	3963.441 m <sup>2</sup> / 42662.123866 ft <sup>2</sup> / 0.3963441 ha
<b>LANDUSE BYLAW:</b>	LUB 1P2007
<b>ZONING (EXISTING):</b>	R-CG
<b>ZONING (PROPOSED):</b>	PROPOSED DIRECT CONTROL DISTRICT "SITE 2" (BASED ON M-H2)
<b>GENERAL DESCRIPTION:</b>	6 STOREY - MULTI-FAMILY BUILDING WITH 1-LEVEL UNDERGROUND PARKING
<b>PRINCIPAL USES / FLOOR:</b>	RESIDENTIAL UNITS ON LEVELS 1-6 UNDERGROUND PARKING + BUILDING ENTRY LOBBY ON LEVEL P1

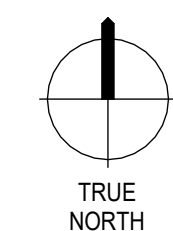
CLAUSE	REQUIREMENT	PROVIDED	
		LEVEL	GROSS FLOOR AREA
FLOOR AREA RATIO (F.A.R.): (16)	MAXIMUM 4.0 F.A.R. (= 15,853.76m <sup>2</sup> )	P1	221.2 m <sup>2</sup> / 2,381 ft <sup>2</sup>
DENSITY UNITS PER HECTARE (17)	MINIMUM DENSITY IS 150 UNIT PER HECTARE (1) MAXIMUM DENSITY IS 400 UNITS PER HECTARE (2)	LEVEL 1	1,642.2 m <sup>2</sup> / 17,676 ft <sup>2</sup>
		LEVEL 2	1,625.8 m <sup>2</sup> / 17,500 ft <sup>2</sup>
		LEVEL 3	1,625.8 m <sup>2</sup> / 17,500 ft <sup>2</sup>
		LEVEL 4	1,625.8 m <sup>2</sup> / 17,500 ft <sup>2</sup>
		LEVEL 5	1,625.8 m <sup>2</sup> / 17,500 ft <sup>2</sup>
		LEVEL 6	1,457.0 m <sup>2</sup> / 15,683 ft <sup>2</sup>
		GRAND TOTAL	9,823.6 m <sup>2</sup> / 105,741 ft <sup>2</sup>
SETBACKS: (8)	8(1) NORTHWEST PL (ALONG INTERNAL ROADWAY) - SETBACK: 3.0m 8(5) NORTH PL (ALONG R.O.W. PARCEL) - SETBACK: 0.0m 8(3) SOUTH PL (ALONG 30th AVENUE S.W. - SETBACK: 6.0m 8(5) WEST PL (ALONG ADJACENT PARCEL) - SETBACK: 0.0m 8(5)(6) EAST PL (ALONG R.O.W. PARCEL / CROWCHILD TRAIL S.W.) - SETBACK: 0.0m	NORTHWEST SETBACK - 3.0m (COMPLIANT) NORTH SETBACK - 0.0m (COMPLIANT) SOUTH SETBACK - 6.0m (COMPLIANT) WEST SETBACK - 0.0m (COMPLIANT) EAST SETBACK - 0.0m (COMPLIANT)	
BUILDING HEIGHT (18)	(1) MAX. BUILDING HEIGHT: 25 m (2) MAX. BUILDING HEIGHT REDUCED TO 21.0 m MEASURED FROM GRADE WITHIN 15.0 METRES FROM A PROPERTY LINE SHARED WITH 30 AVENUE S.W.	NORTH ELEVATION = 23.76m SOUTH ELEVATION = 20.22m (30th AVE SW)	

CLAUSE	REQUIREMENT	PROVIDED	
		UNIT COUNT	REQUIRED AREA
AMENITY SPACE: (1P2007-557)	THE REQUIRED MINIMUM AMENITY SPACE IS 5.0m <sup>2</sup> PER UNIT.	119	595.0 m <sup>2</sup>
MOTOR VEHICLE PARKING REQUIREMENTS: (1P2007-558)	MULTI-RESIDENTIAL DEVELOPMENT 0.625 RESIDENT PARKING STALLS PER DWELLING UNIT = 0.625 STALLS x 119 UNITS = 75 RESIDENT STALLS REQ'D 25% T.O.D. REDUCTION = 56 RESIDENT STALLS REQUIRED TOTAL		
BICYCLE PARKING REQUIREMENTS: (1P2007-559)	CLASS I BICYCLE PARKING STALLS REQ'D: = 1.0 CLASS I BICYCLE STALLS PER UNIT = 1.0 STALL X 119 UNITS = 119 CLASS I STALLS REQUIRED  CLASS II BICYCLE STALLS PER UNIT = 0.1 CLASS II BICYCLE STALLS PER UNIT = 0.1 STALL X 119 UNITS = 12 CLASS II STALLS REQUIRED		



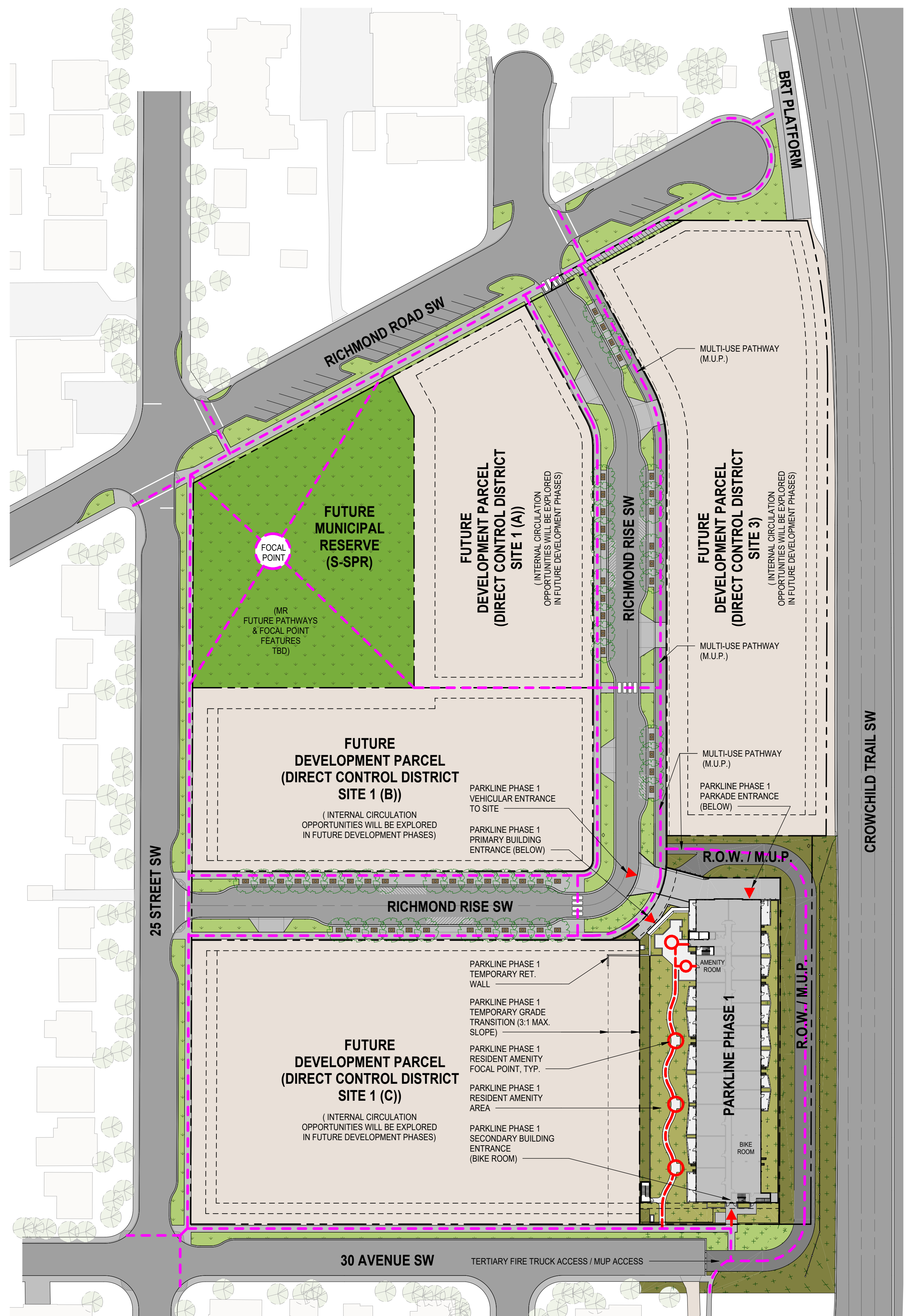
1 SITE PLAN  
 DP1.03 SCALE: 1:200

C:\Users\TLoewenhardt\OneDrive - Zeidler\Documents\AR\_223-115\_RICHMOND-PARCEL\_D\_R24\_loewenhardt.rvt 12/19/2025 2:44:15 PM



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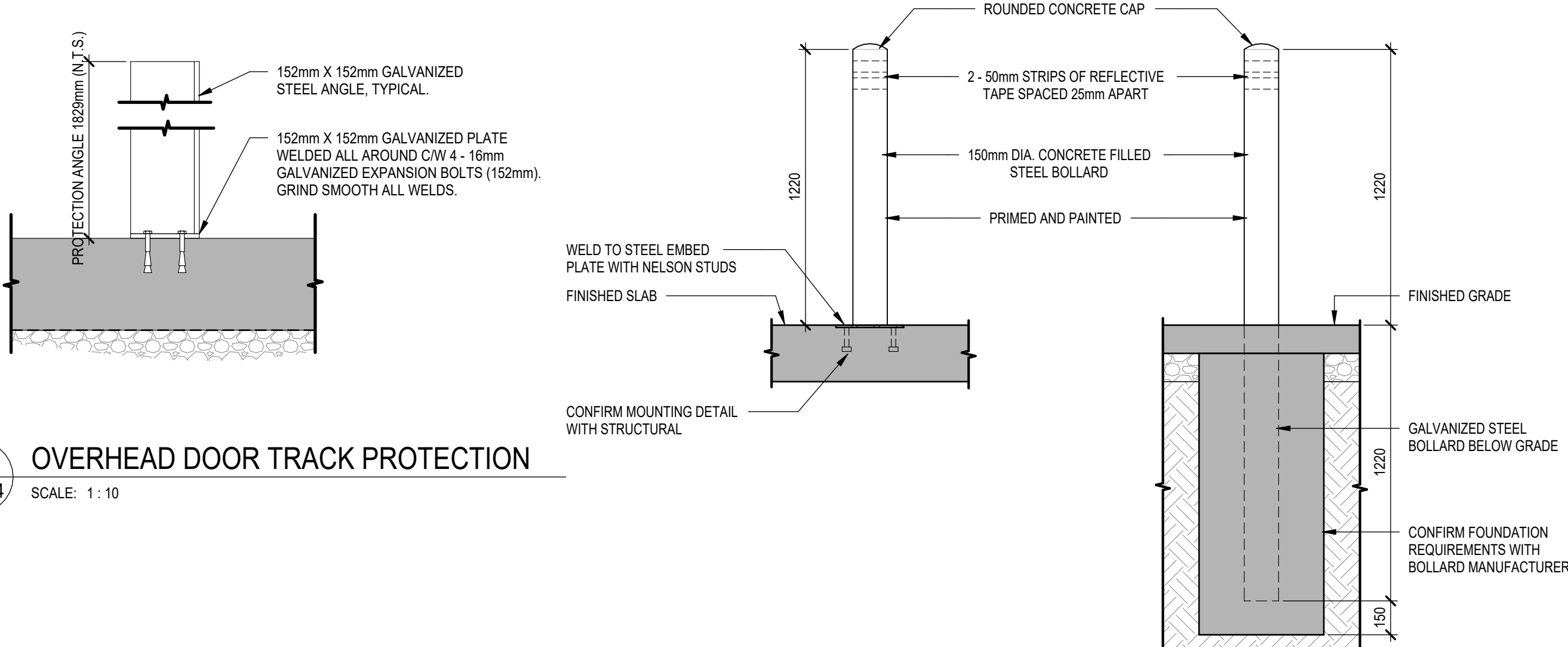
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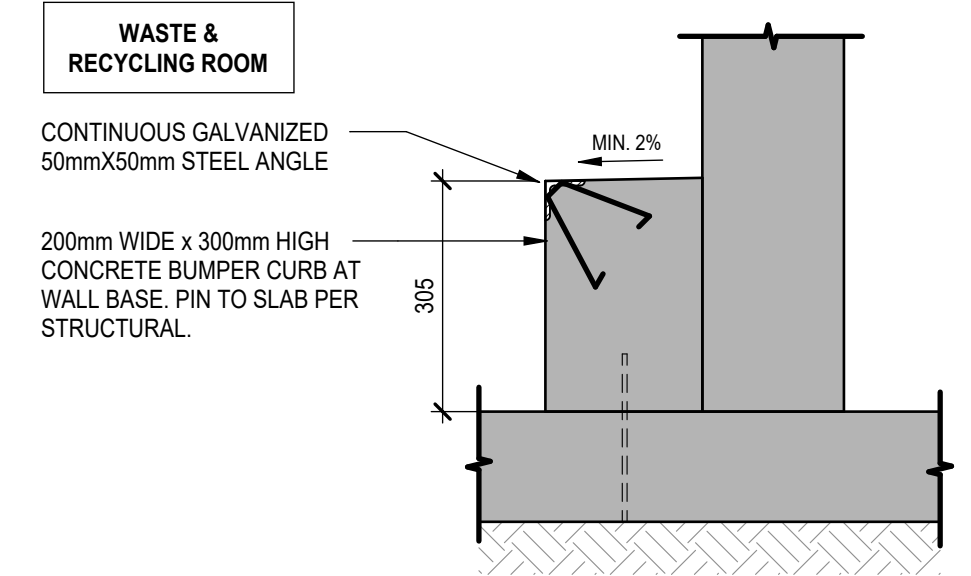
**PEDESTRIAN PLAN LEGEND**

- OVERALL PARKLINE PUBLIC PEDESTRIAN NETWORK
- PARKLINE PHASE 1 PRIVATE PEDESTRIAN NETWORK
- PARKLINE PHASE 1 PARCEL / BUILDING ACCESS POINTS
- PARKLINE PHASE 1 PRIVATE AMENITY FOCAL POINT
- OVERALL PARKLINE PUBLIC AMENITY FOCAL POINT

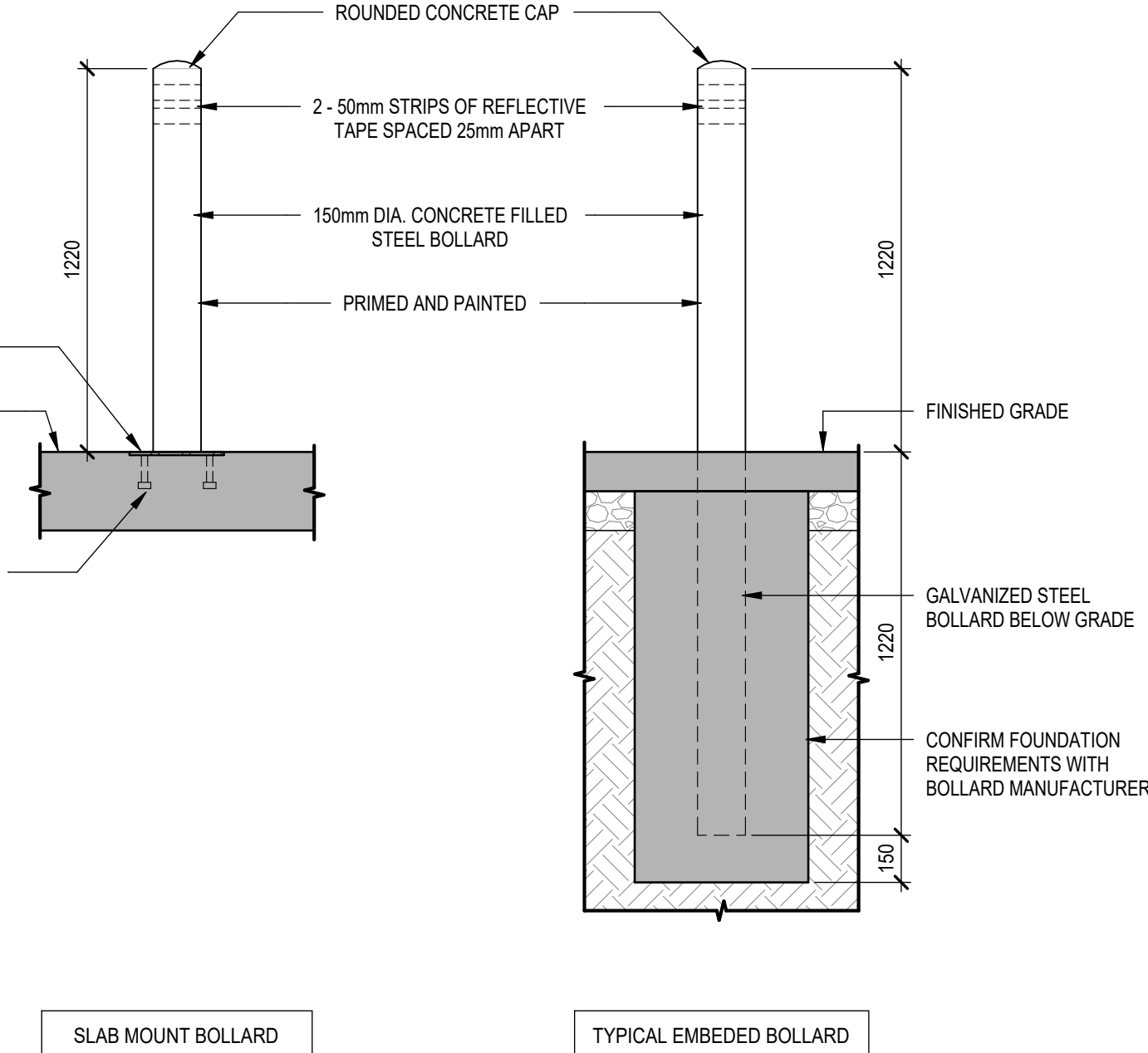
**1 OVERALL PARKLINE SITE PLAN - PEDESTRIAN**  
DP1.04 SCALE: 1:750



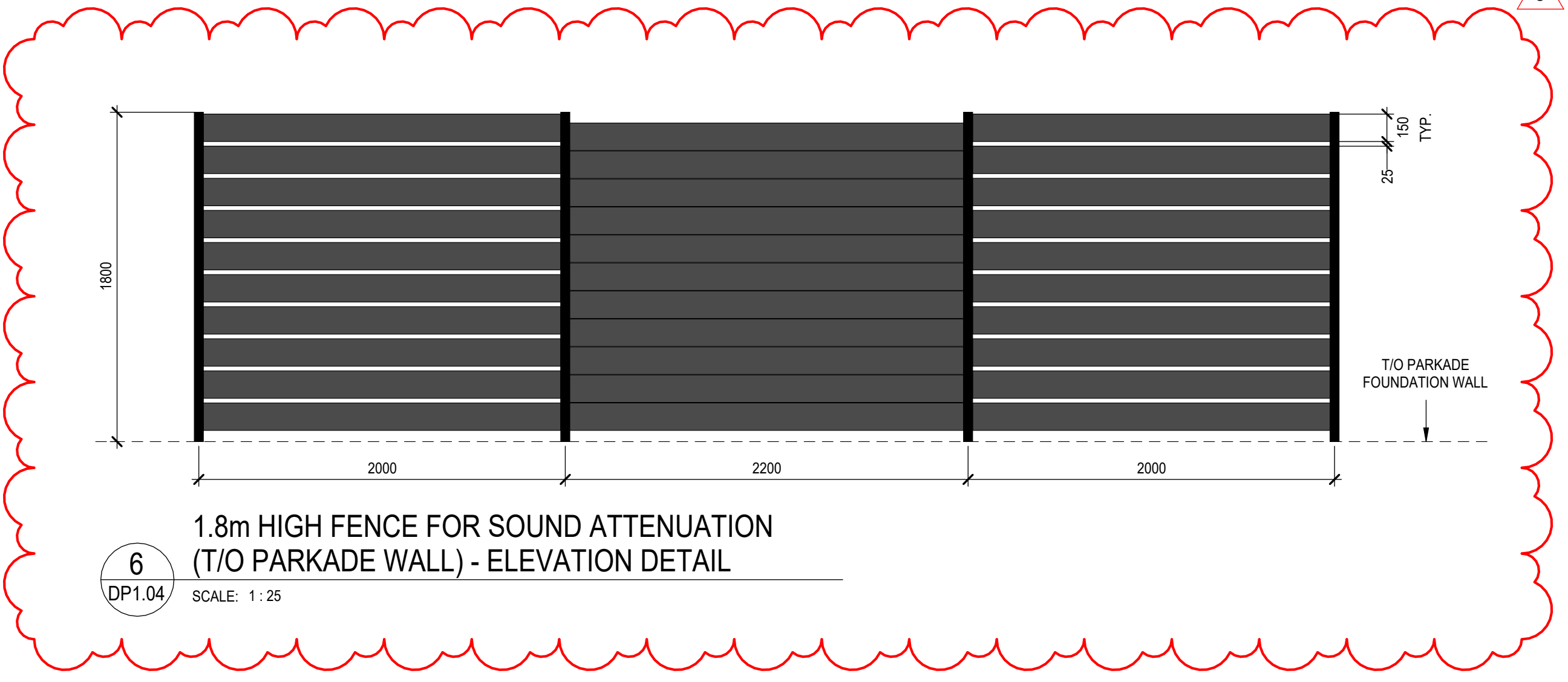
**3 OVERHEAD DOOR TRACK PROTECTION**  
DP1.04 SCALE: 1:10



**5 WALL PROTECTION DETAIL**  
DP1.04 SCALE: 1:10



**4 TYPICAL BOLLARDS**  
DP1.04 SCALE: 1:20



**6 1.8m HIGH FENCE FOR SOUND ATTENUATION (T/O PARKADE WALL) - ELEVATION DETAIL**  
DP1.04 SCALE: 1:25

NO.	ISSUE/REVISION	DATE
3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NOT FOR CONSTRUCTION

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

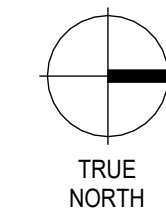
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(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

**OVERALL SITE PLAN - PEDESTRIAN, ENLARGED PLANS & DETAILS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.04	3

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12/15/2025 2:44:21 PM



NOTE

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**AMENDED DRAWINGS**  
DP No      Date Received  
DP2025-02420      DEC 15 2025  
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/ REVISION	DATE
-----	-----------------	------

NOT FOR CONSTRUCTION

PROJECT

**"PARKLINE" PHASE 1  
- MULTI-FAMILY BLDG**

PROJECT ADDRESS

TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

TITLE

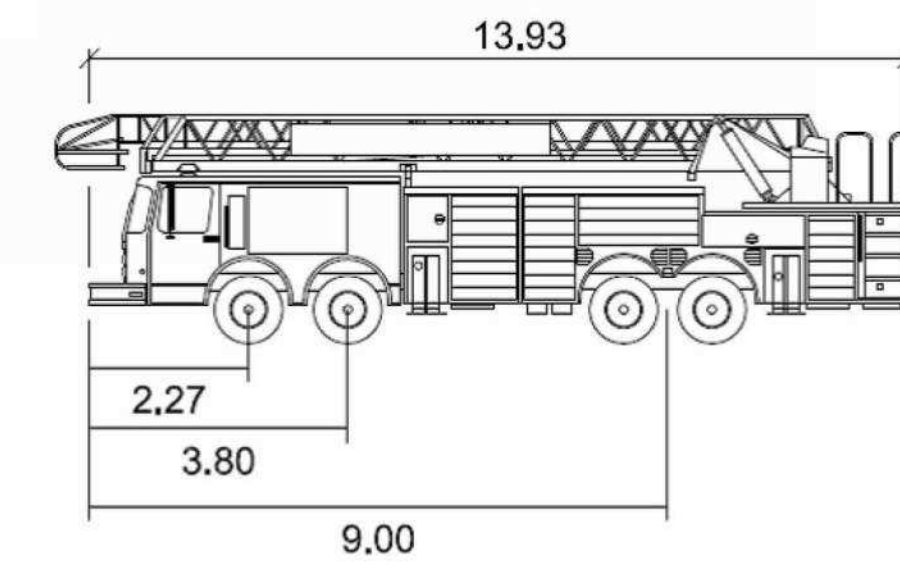
**VEHICLE ACCESS PLAN**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.05	3

**DP1.05**

**3**



CFD\_Bronto\_Skylift

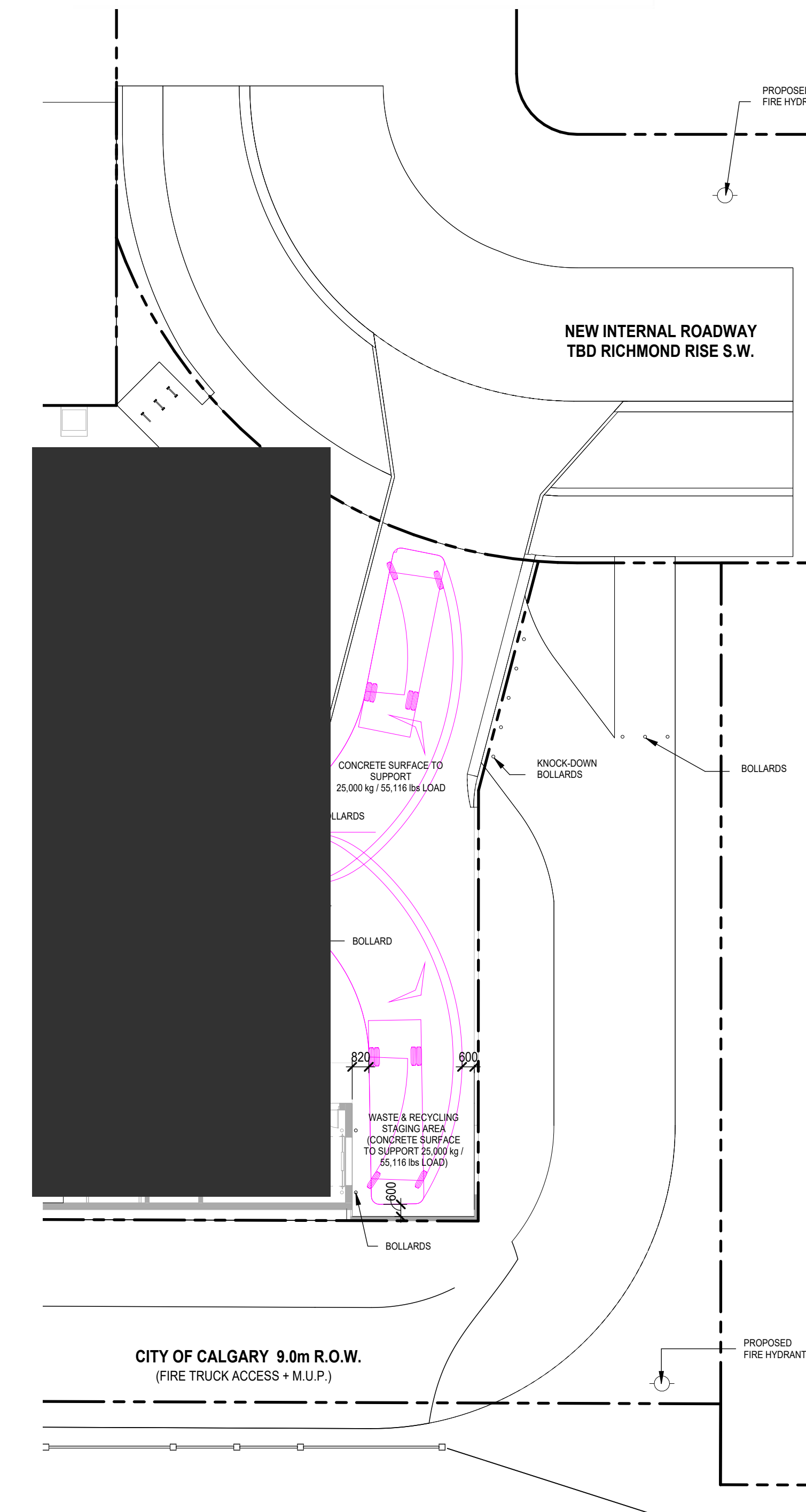
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Lock to Lock Time	: 6.0
Steering Angle	: 47.5
Turning Radius	: 10.18

NOTE:



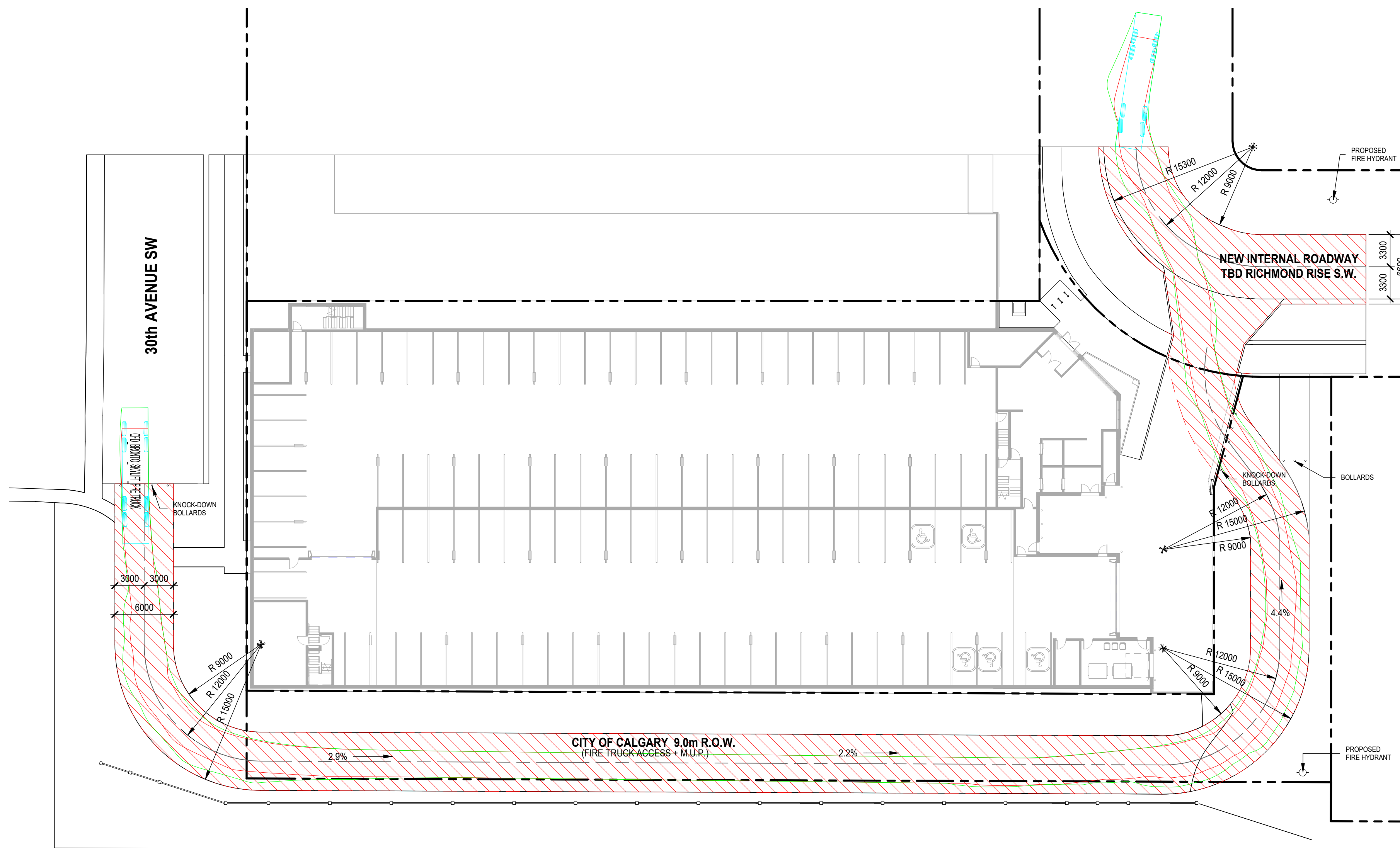
HATCHED AREA INDICATES FIRE ACCESS ROUTE DESIGNED TO SUPPORT 38,556KG/85,000LBS LOAD

NOTE: MINIMUM 4.3m VERTICAL CLEARANCE IS PROVIDED FOR ALL VEHICLE ACCESS IN TURN-AROUND AREAS.



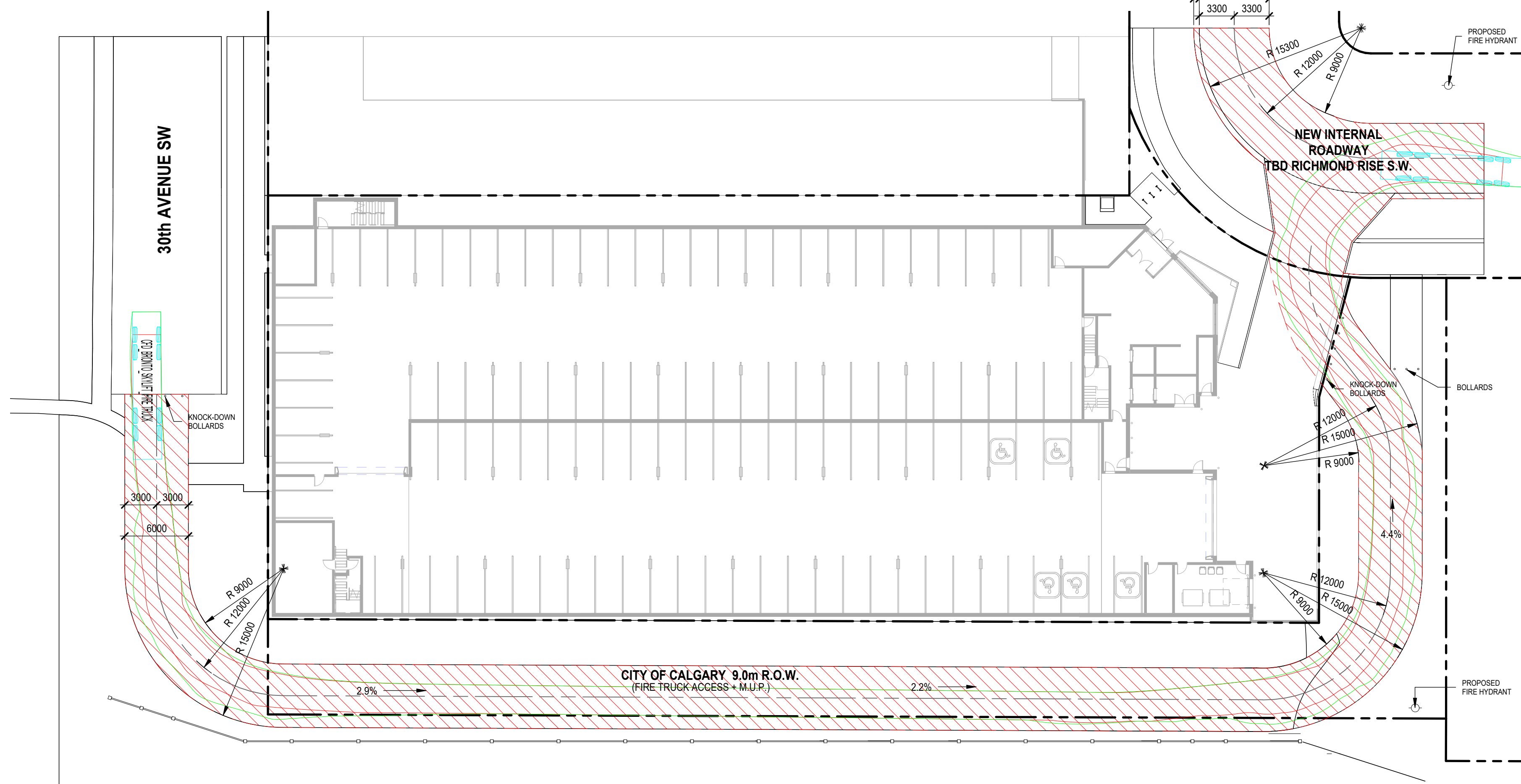
**3** SU9 VEHICLE TRACKING PLAN

DP1.05 SCALE: 1:200



**1** FIRE TRUCK ACCESS PLAN\_1

DP1.05 SCALE: 1:300



**2** FIRE TRUCK ACCESS PLAN\_2

DP1.05 SCALE: 1:300

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**AMENDED DRAWINGS**  
 DP No. DP2025-02420 Date Received DEC 15 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINUM SIDING - VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



NO.	ISSUE/ REVISION	DATE
3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

**NOT FOR CONSTRUCTION**

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBO RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**BUILDING ELEVATIONS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO. REVISION NO.

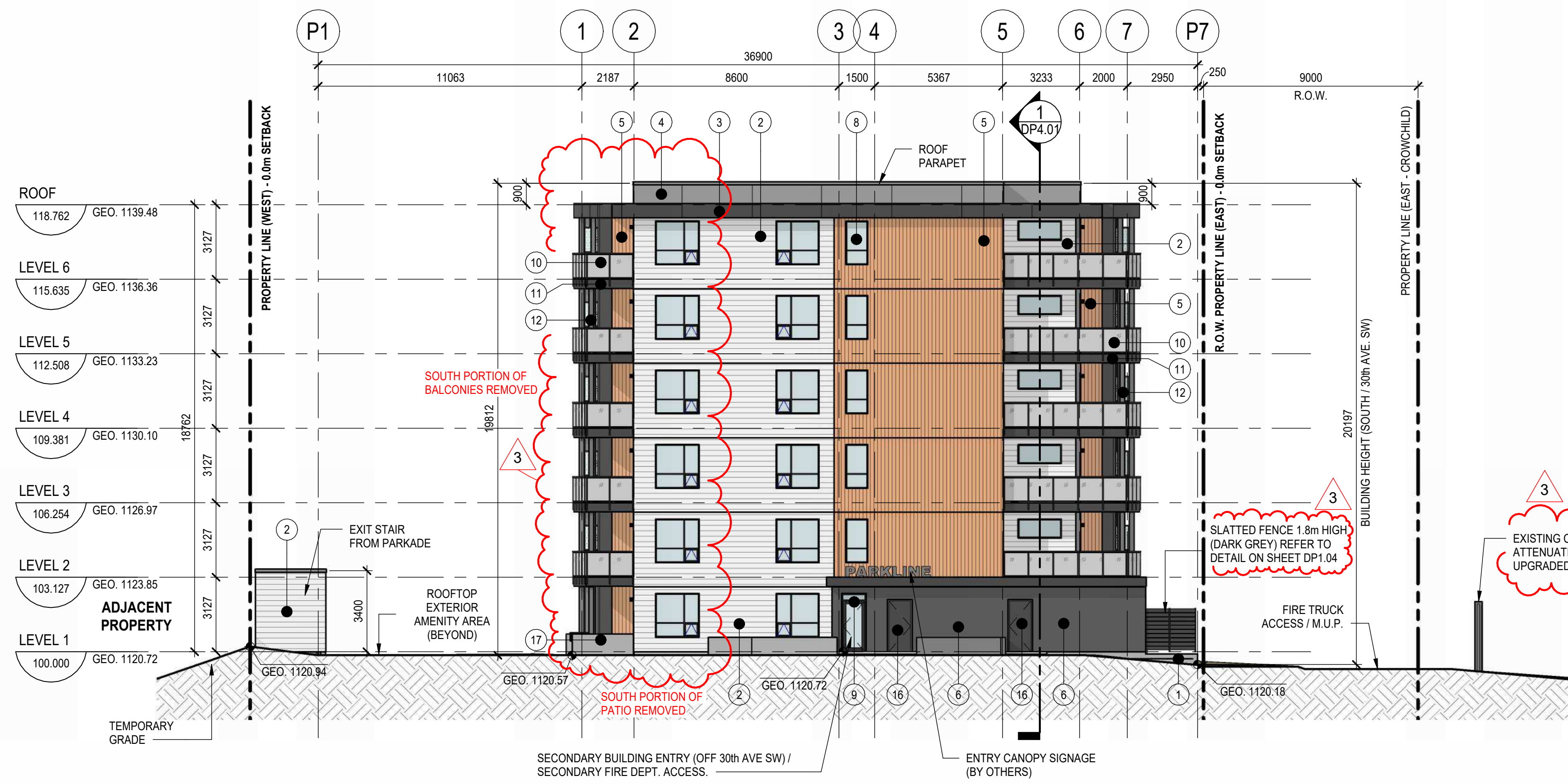
**DP3.01** 3

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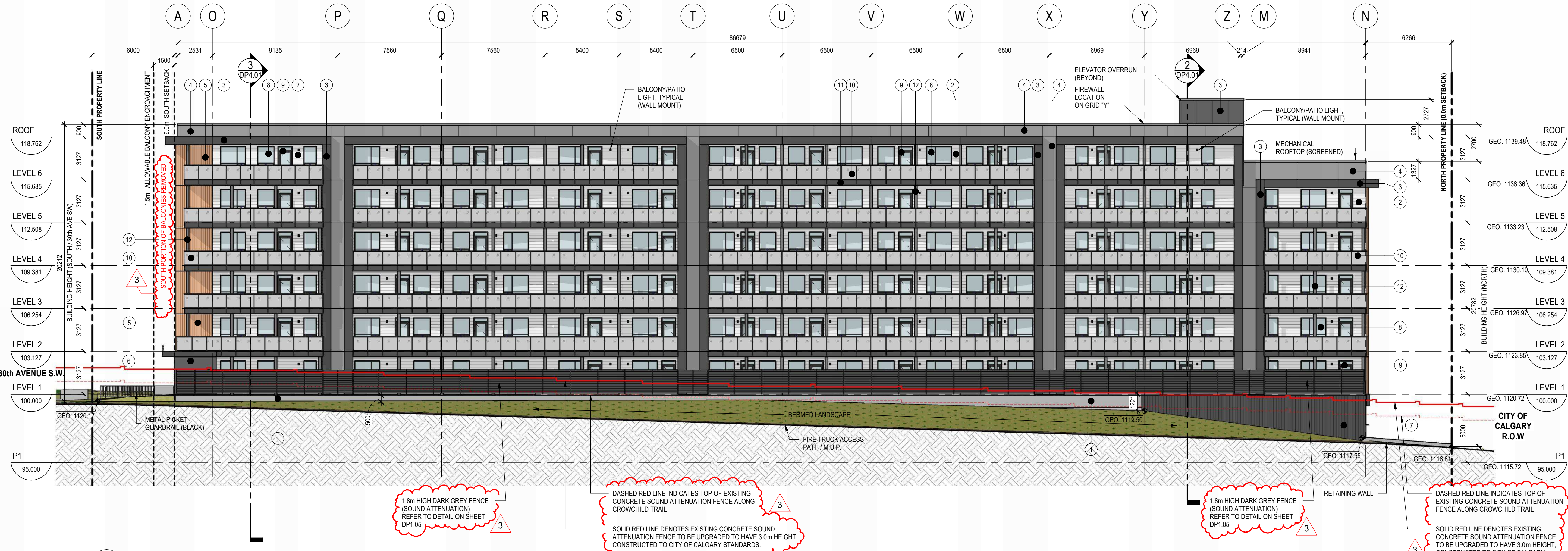
NOTE  
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**AMENDED DRAWINGS**  
 DP No. Date Received  
 DP2025-02420 DEC 15 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



**1 SOUTH**  
 DP3.02  
 SCALE: 1 : 150



**2 EAST**  
 DP3.02  
 SCALE: 1 : 150

NO.	ISSUE/ REVISION	DATE
3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NOT FOR CONSTRUCTION

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**BUILDING ELEVATIONS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL
DRAWING NO.	REVISION NO.	
DP3.02	3	

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NOTE

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**AMENDED DRAWINGS**  
 DP No      Date Received  
 DP2025-02420      DEC 15 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

3	ISSUED FOR DR-2 RESPONSE	2025-12-15
2	ISSUED FOR DR-1 RESPONSE	2025-09-12
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

NO.	ISSUE/ REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

**"PARKLINE" PHASE 1  
 - MULTI-FAMILY BLDG**

PROJECT ADDRESS

TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

TITLE

**ORTHOGRAPHIC  
 VIEWS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

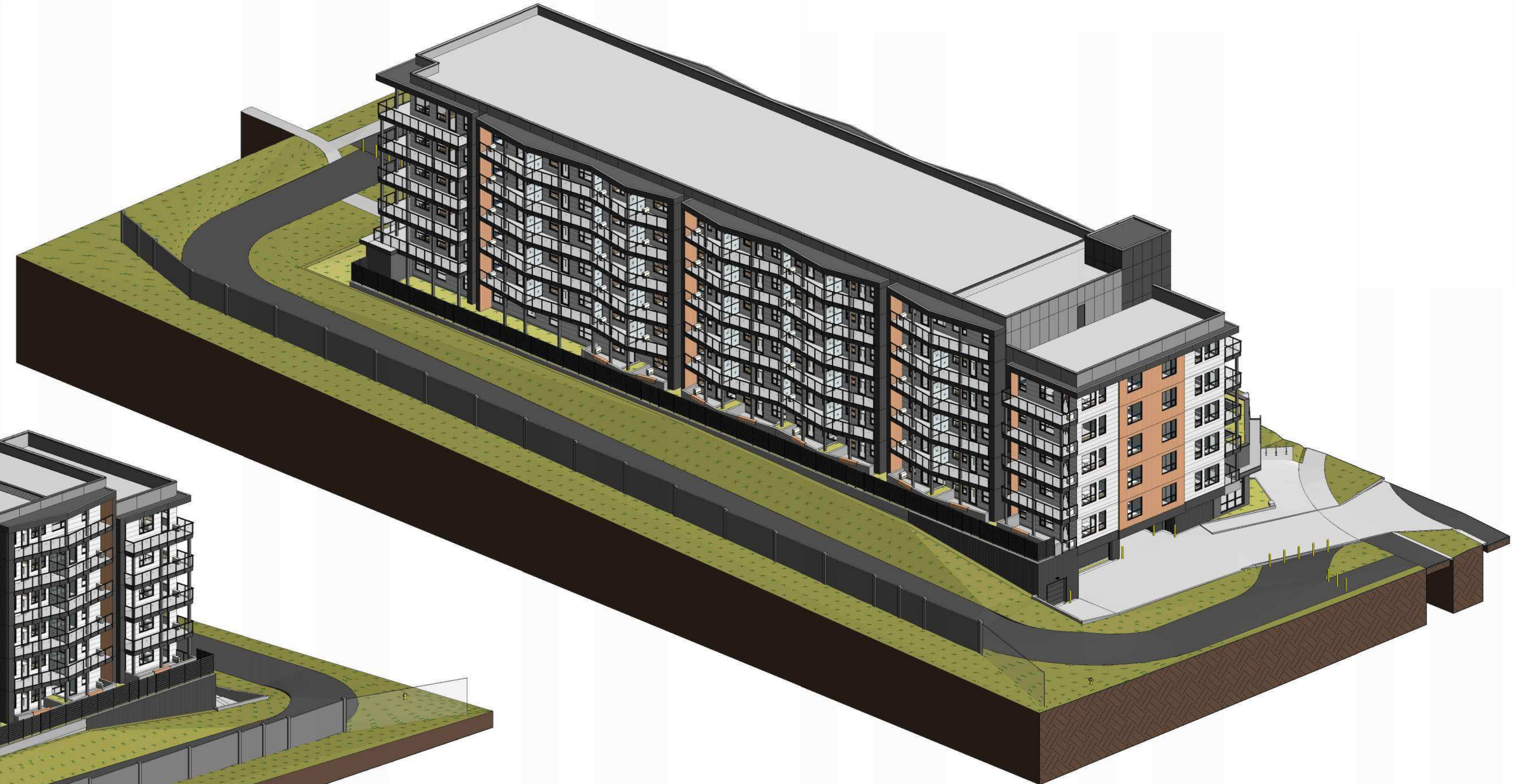
DRAWING NO.	REVISION NO.
DP3.03	3

**DP3.03**

3



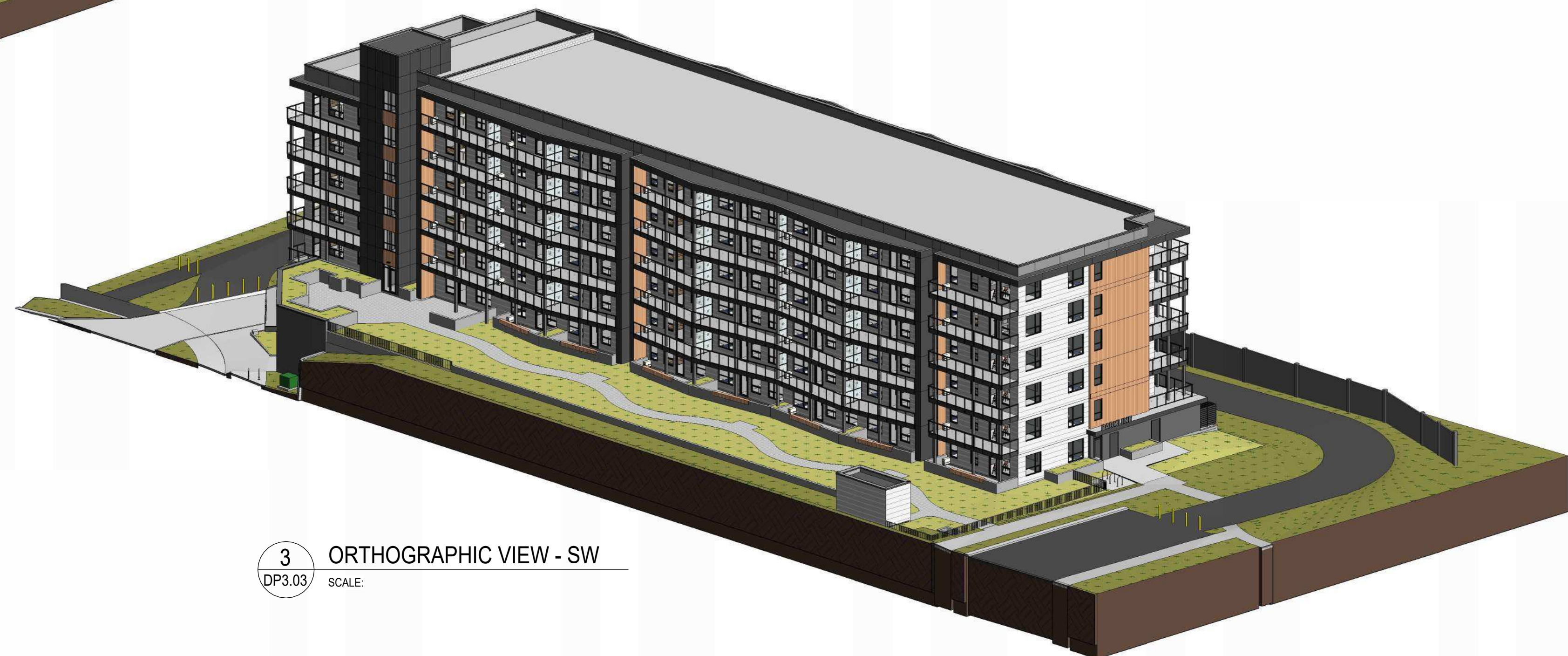
**1** ORTHOGRAPHIC VIEW - NW NEW  
 DP3.03 SCALE:



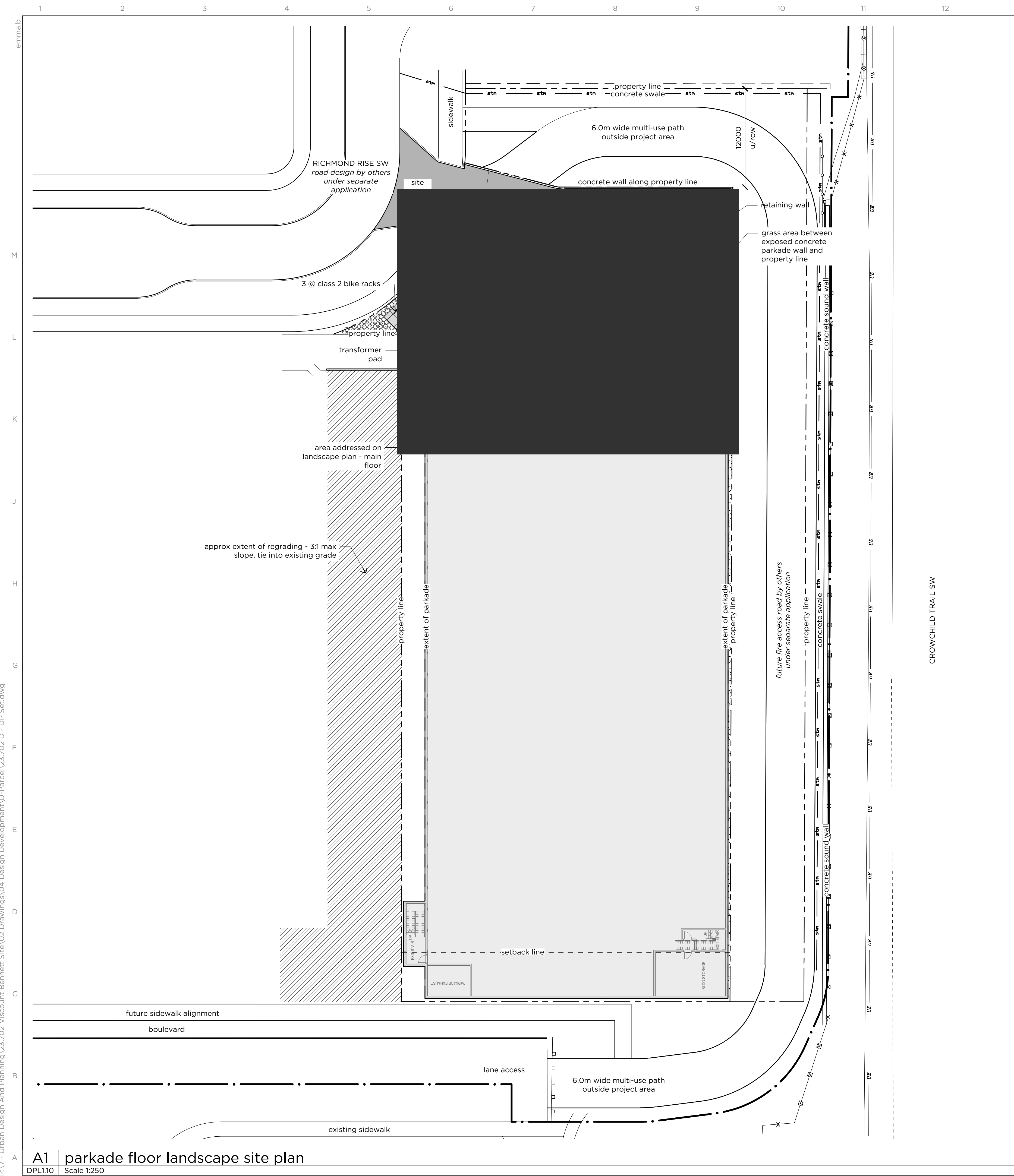
**2** ORTHOGRAPHIC VIEW - NE  
 DP3.03 SCALE:



**4** ORTHOGRAPHIC VIEW - SE  
 DP3.03 SCALE:



**3** ORTHOGRAPHIC VIEW - SW  
 DP3.03 SCALE:



### Linetype Legend

	property line
--	---------------

### Landscape Legend

symbol	description
	75mm mulch over minimum of 600mm depth topsoil for shrubs, 300mm in all other cases
	native drought tolerant sod over 300mm min topsoil
	manicured native drought tolerant sod over 300mm min topsoil
	concrete amenity surface - finish tbd
	10mm rundlestone fines

### Proposed Plant List for Trees

number	symbol	description
46		deciduous trees - 32 @ 75mm, 2 @ 50mm
34		<ul style="list-style-type: none"> <li>pink spire flowering crabapple <i>Malus 'pink spires'</i></li> <li>trembling aspen <i>Populus tremuloides</i></li> <li>sweetheart mayday <i>Prunus padus 'sweetheart'</i></li> <li>red rocket red maple <i>Acer rubrum 'red rocket'</i></li> <li>guardian columnar aspen <i>Populus 'jefguard'</i></li> </ul>
12		<ul style="list-style-type: none"> <li>ponderosa pine <i>Pinus ponderosa</i></li> <li>scotch pine <i>Pinus sylvestris</i></li> <li>mountain pine <i>Pinus uncinata</i></li> <li>hoopsii blue spruce <i>Picea pungens 'hoopsii'</i></li> </ul>

### Proposed Plant List for Shrubs

number	symbol	description
149		<ul style="list-style-type: none"> <li>sunsation japanese barberry <i>Berberis thunbergii 'sunsation'</i></li> <li>mops mugo pine <i>Pinus mugo 'Mops'</i></li> <li>alpine carpet juniper <i>Juniperus communis 'alpine carpet'</i></li> <li>western snowberry <i>Symphoricarpos occidentalis</i></li> <li>morden blush rose <i>Rosa 'morden blush'</i></li> <li>northern gold forsythia <i>Forsythia 'northern gold'</i></li> <li>russian sage <i>Perovskia atriplicifolia</i></li> <li>compact winged burning bush <i>Euonymus alatus 'compactus'</i></li> </ul>

### Proposed Plant List for Grasses

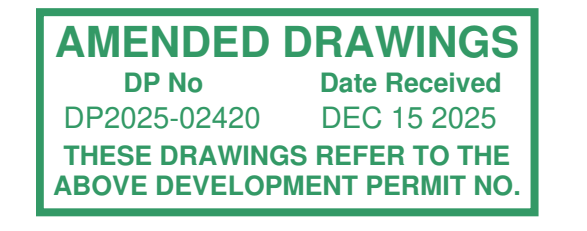
number	symbol	description
126		<ul style="list-style-type: none"> <li>avalanche reed grass <i>Calamagrostis x acutiflora 'avalanche'</i></li> </ul>

### General Notes

- contractor is responsible for locating utilities and protecting same from damage during construction, contact Alberta One call at 1-800-242-3447, commencement of work indicates completion of utility locates.
- all drawings are property of landscape architect, site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
- if discrepancies exist between drawings, the largest scale shall be taken as correct, final interpretation belongs to the landscape architect, contractor to coordinate and attend all inspections and approvals required by the owner, all drawings are metric unless otherwise noted.
- all layouts shall be approved on site by landscape architect prior to construction, contractor to notify owner's representative minimum 72 hours prior.
- contractor shall refer to related disciplines as indicated on plan's where applicable.
- all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o. disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
- refer to civil engineering drawings for grading information.

### Irrigation Note

- All soft surfaced landscaped areas must be irrigated by an underground irrigation system.



issue / revision	date	no.
issued for development permit	25/03/17	1
issued for DTR1 response	25/09/12	2
issued for DTR2 response	25/12/02	3

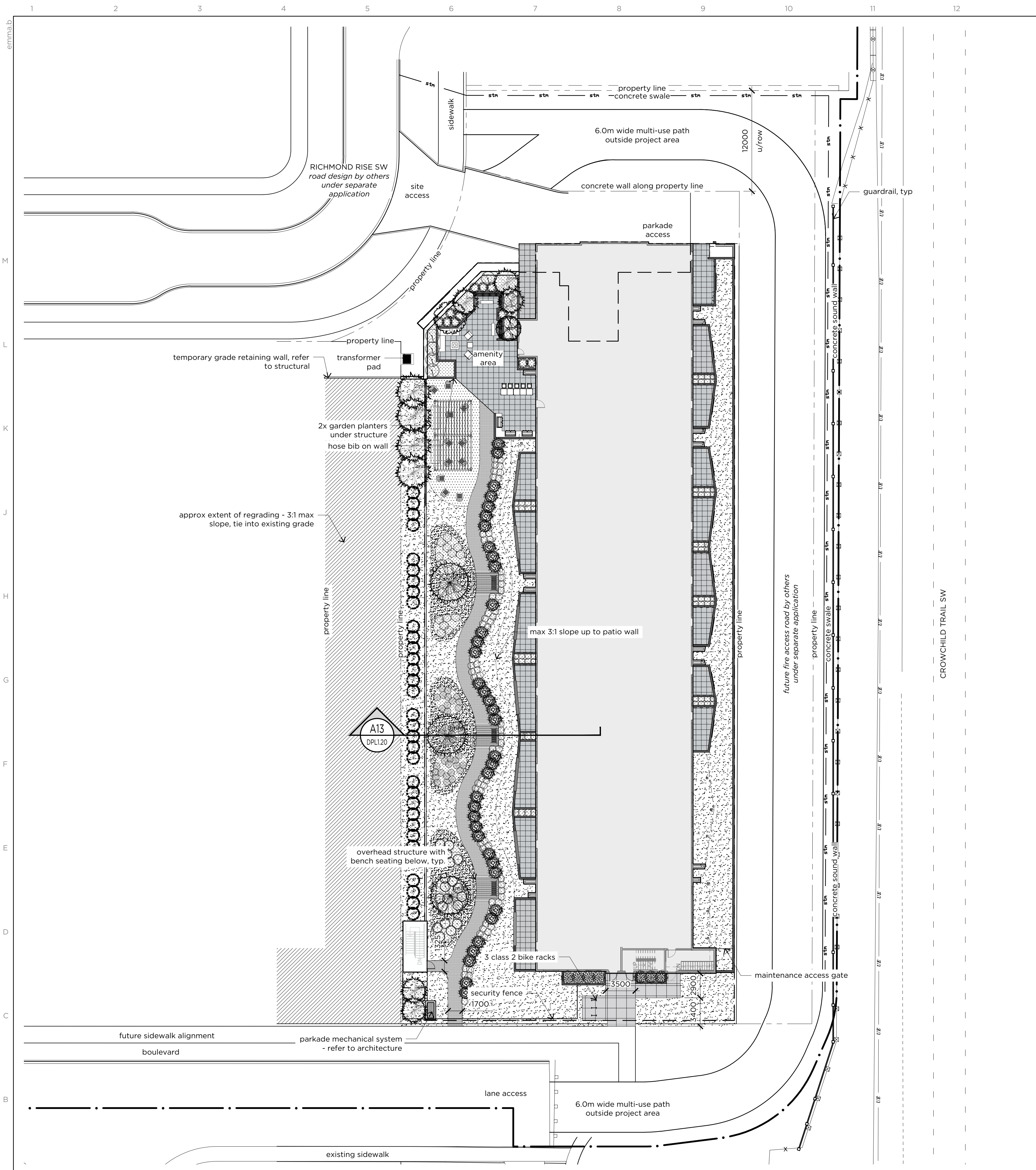
project  
**Vicount Bennett Parcel D**

drawn <b>EB</b>	checked <b>EB</b>	approved <b>JS</b>
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project # <b>23.702</b>	date <b>2025/12/02</b>
----------------------------	---------------------------

drawing  
**Parkade Level Site Plan - Landscape**

	sheet <b>DPL1.10</b>
--	-------------------------



**A1** main floor landscape site plan  
DPL1.20 Scale 1:250

### Linetype Legend

symbol	description
	property line

### Landscape Legend

symbol	description
	75mm mulch over minimum of 600mm depth topsoil for shrubs, 300mm in all other cases
	native drought tolerant sod over 300mm min topsoil
	manicured native drought tolerant sod over 300mm min topsoil
	concrete amenity surface - finish tbd
	10mm rundlestone fines

### Proposed Plant List for Trees

number	symbol	description
46		deciduous trees - 32 @ 75mm, 2 @ 50mm
34		<ul style="list-style-type: none"> <li>pink spire flowering crabapple</li> <li>trembling aspen</li> <li>sweetheart mayday</li> <li>red rocket red maple</li> <li>guardian columnar aspen</li> </ul>
		<ul style="list-style-type: none"> <li><i>Malus 'pink spires'</i></li> <li><i>Populus tremuloides</i></li> <li><i>Prunus padus 'red rocket'</i></li> <li><i>Acer rubrum 'red rocket'</i></li> <li><i>Populus 'jefguard'</i></li> </ul>
		drought tolerant
12		coniferous trees - 7 @ 3m height, 5 @ 2m height
		<ul style="list-style-type: none"> <li>ponderosa pine</li> <li>scotch pine</li> <li>mountain pine</li> <li>hoopsii blue spruce</li> </ul>
		<ul style="list-style-type: none"> <li><i>Pinus ponderosa</i></li> <li><i>Pinus sylvestris</i></li> <li><i>Pinus uncinata</i></li> <li><i>Picea pungens 'hoopsii'</i></li> </ul>
		drought tolerant

### Proposed Plant List for Shrubs

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		<ul style="list-style-type: none"> <li><i>Berberis thunbergii 'sunsation'</i></li> <li><i>Pinus mugo 'Mops'</i></li> <li><i>Juniperus communis 'alpine carpet'</i></li> <li><i>Symphoricarpos occidentalis</i></li> <li><i>Rosa 'morden blush'</i></li> <li><i>Forsythia 'northern gold'</i></li> <li><i>Perovskia atriplicifolia</i></li> <li><i>Euonymus alatus 'compactus'</i></li> </ul>
		drought tolerant

### Proposed Plant List for Grasses

number	symbol	description
126		<ul style="list-style-type: none"> <li>avalanche reed grass</li> </ul>
		<i>Calamagrostis x acutiflora 'avalanche'</i>

### General Notes

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- if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner. all drawings are metric unless otherwise noted.
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**AMENDED DRAWINGS**  
 DP No: DP2025-02420 Date Received: DEC 15 2025  
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issue / revision	date	no.
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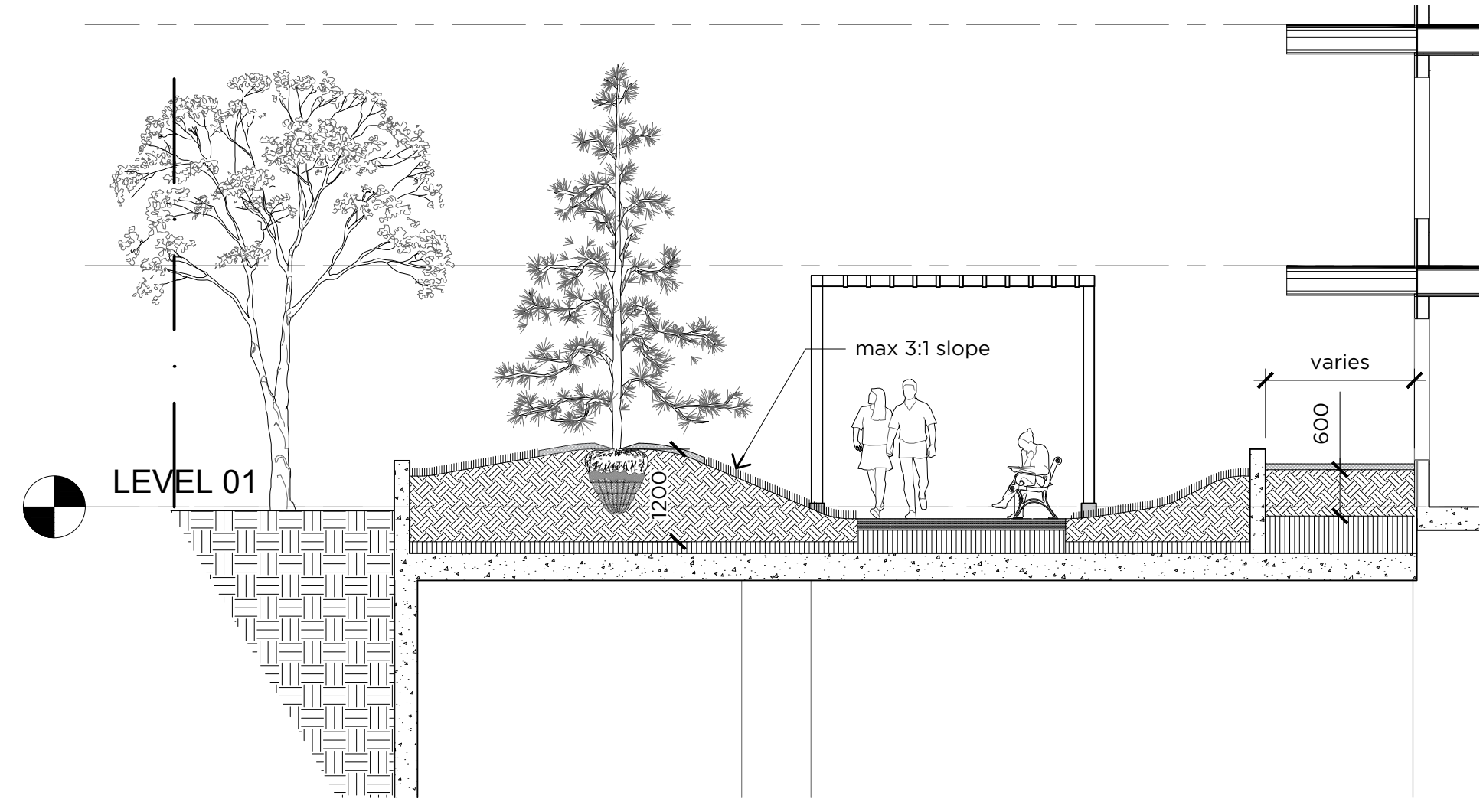
project  
**Vicount Bennett Parcel D**

drawn EB	checked EB	approved JS
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project # 23.702	date 2025/12/02
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drawing  
**Main Floor Level Site Plan - Landscape**

	sheet DPL1.20
--	------------------



**A13** Planting Section Over Parkade  
DPL1.20 Scale 1:75