



NORTHWEST PERSPECTIVE OF BUILDING MAIN ENTRY

ISSUED FOR DEVELOPMENT PERMIT

"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

TBD RICHMOND RISE S.W.
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)
 CALGARY, ALBERTA

ARCHITECTURAL

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- DP1.03 SITE PLAN + PROJECT/BYLAW INFORMATION
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LANDSCAPE

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CIVIL

- C.625-900-A CIVIL - SITE PLAN
- C.625-900-B CIVIL - SITE SERVICING PLAN



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OWNER



ARCHITECTURAL



STRUCTURAL



MECHANICAL



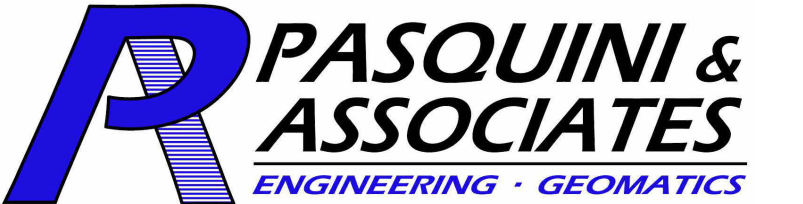
ELECTRICAL



LANDSCAPE



CIVIL



NO.	ISSUE/ REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

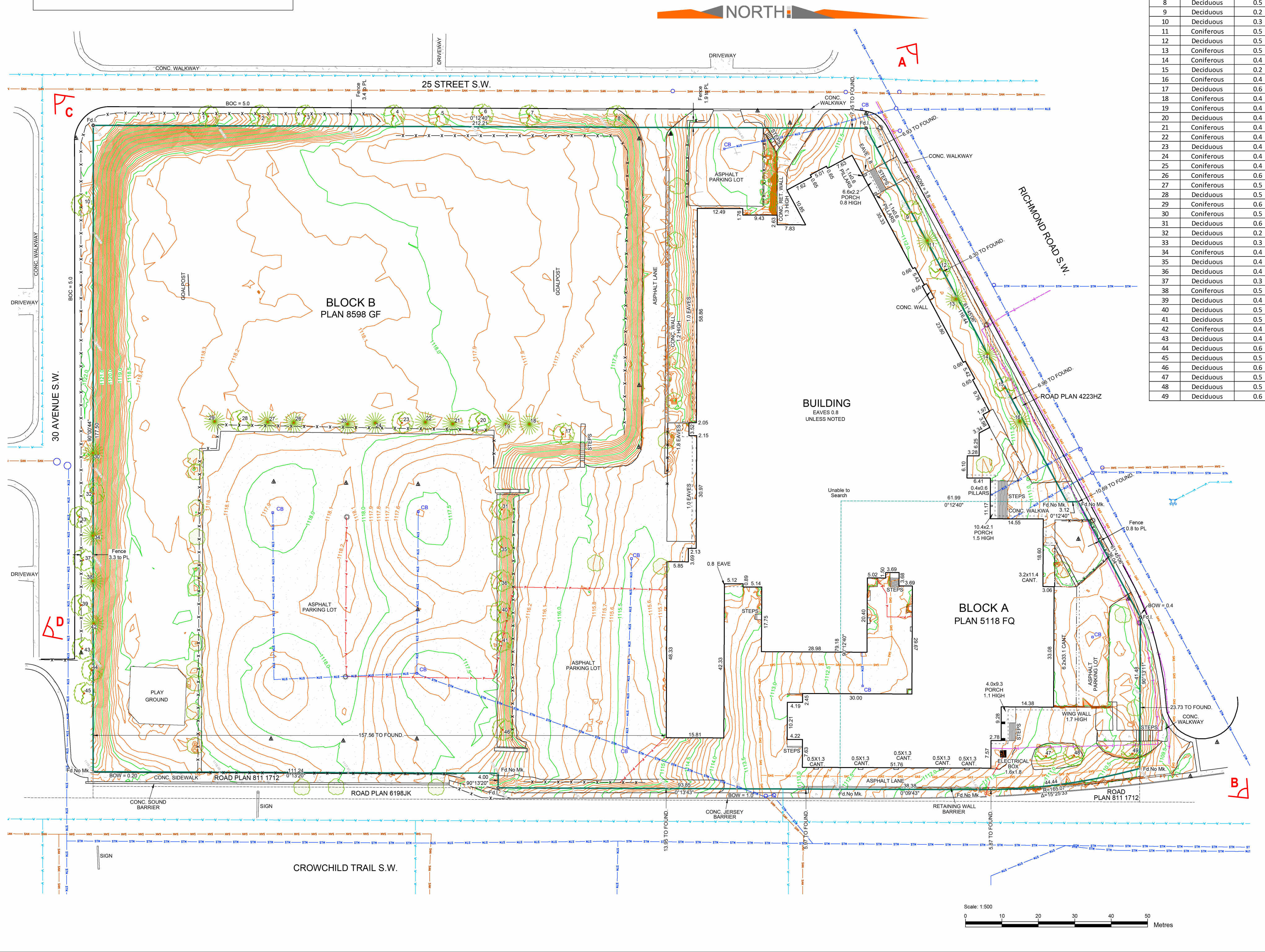
DRAWING NO.	REVISION NO.
DP0.00	1



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NOTE:
ALL INFORMATION OBTAINED FROM EXISTING SITE SURVEY PERFORMED BY "WATT CONSULTING GROUP" IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEY'S ACT. SURVEY COMPLETED ON JUNE 2022. THE LEGAL SURVEY DEPICTED ON THIS SHEET IS FOR REFERENCE ONLY. "ZEIDLER ARCHITECTURE" ASSUMES NO RESPONSIBILITY FOR THE ACCURACY & CONTENT OF THE SURVEY INFORMATION DEPICTED HEREIN.



TREE TABLE		
Tree No.	Type	Trunk Diameter (m)
1	Deciduous	0.4
2	Deciduous	0.2
3	Deciduous	0.4
4	Deciduous	0.5
5	Deciduous	0.5
6	Deciduous	0.3
7	Deciduous	0.3
8	Deciduous	0.5
9	Deciduous	0.2
10	Deciduous	0.3
11	Coniferous	0.5
12	Deciduous	0.5
13	Coniferous	0.5
14	Coniferous	0.4
15	Deciduous	0.2
16	Coniferous	0.4
17	Deciduous	0.6
18	Coniferous	0.4
19	Coniferous	0.4
20	Deciduous	0.4
21	Coniferous	0.4
22	Coniferous	0.4
23	Deciduous	0.4
24	Coniferous	0.4
25	Coniferous	0.4
26	Coniferous	0.6
27	Coniferous	0.5
28	Deciduous	0.5
29	Coniferous	0.6
30	Coniferous	0.5
31	Deciduous	0.6
32	Deciduous	0.2
33	Deciduous	0.3
34	Coniferous	0.4
35	Deciduous	0.4
36	Deciduous	0.4
37	Deciduous	0.3
38	Coniferous	0.5
39	Deciduous	0.4
40	Deciduous	0.5
41	Deciduous	0.5
42	Coniferous	0.4
43	Deciduous	0.4
44	Deciduous	0.6
45	Deciduous	0.5
46	Deciduous	0.6
47	Deciduous	0.5
48	Deciduous	0.5
49	Deciduous	0.6

Notes:
 - DISTANCES ARE IN METERS AND DECIMALS THEREOF.
 - COORDINATES ARE BASED ON CONTROL INFORMATION ESTABLISHED BY PREVIOUS WATT SURVEYS.
 - COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999728
 - PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM)
 - HORIZONTAL DATUM: NORTH AMERICAN DATUM 1983 (NAD83)
 - ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVD28) VIA HT2.0 GEOID MODEL
 - ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
 - ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.
 - BUILDING DIMENSIONS SHOWN ARE TO FOUNDATION.
 - PRIOR TO DIGGING, UNDERGROUND UTILITIES MUST BE LOCATED.
 - THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES AND CONCEALED STRUCTURES AND TO CONTACT THE VARIOUS OWNERS/OPERATORS/AUTHORITIES FOR ON-SITE INFORMATION AS TO THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES OR CONCEALED STRUCTURES.
 - THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE OWNERS/OPERATORS/AUTHORITIES OF ITS INTENTION TO CARRY OUT OPERATIONS IN THE AREA.
 - BLOCK PROFILE INFORMATION OBTAINED FROM CITY OF CALGARY CITYLINE DATA SITE VIA AUTOCAD FILES.
 - STORM, SEWER, AND WATER UTILITY LOCATION INFORMATION WAS OBTAINED FROM THE CITY OF CALGARY.

Legend:

- MAJOR CONTOUR 0.5m INTERVAL
- MINOR CONTOUR 0.1m INTERVAL
- SPOT ELEVATION (5m GRID)
- FOUND STATUTORY IRON POST
- FOUND I BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- POWER POLE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- SIGN
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS PIPELINE - HIGH PRESSURE
- TELUS BURIED LINE
- SANITARY LINE
- WATER MAIN
- STORM MAIN
- CATCH BASIN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES
- CONCRETE
- ASPHALT

Stamp: _____
 Signature: _____

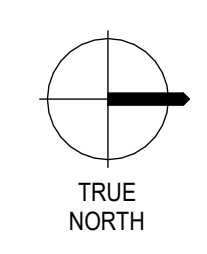
No.	Revision Description	By	Date	Appr
02	30 AVENUE SW DRIVEWAY LOCATIONS ADDED	J.B.	SEP. 16, 2022	J.B.
01	UPDATED UTILITIES, TREE TABLE AND MINOR TEXT UPDATES	J.B.	JUL. 28, 2022	J.B.
00	ISSUED TO CLIENT	J.B.	JUN. 14, 2022	J.B.

TOPOGRAPHIC SITE SURVEY
 Job Description: **BLOCK A, PLAN 5118 FQ, BLOCK B, PLAN 8598 GF**
 2519 Richmond Road S.W. Calgary, AB

Client: **Minto Communities**
 402 11 Avenue S.E. Calgary, AB T2G 0Y4

WATT Consulting Group
 Watt Consulting Group Ltd.
 #1300, 736 - 68th Avenue S.W. Calgary, AB, T2P 3T7
 T. 403.273.9001
 F. 403.273.3440
 www.wattconsultinggroup.com

Drawn: S.B. Field Surveyor(s): S.B., Z.W.
 Draft Chk: J.B. Survey Date: JUN. 01-10, 2022
 Approved: J.B. Date: JUN. 16, 2022 | Sheet: _____ Total Sheets: _____
 Scale: 1:500 File #: 2210668 01 02



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VIEW / LOCATION WHERE SITE PHOTO WAS TAKEN FROM

NO.	ISSUE / REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

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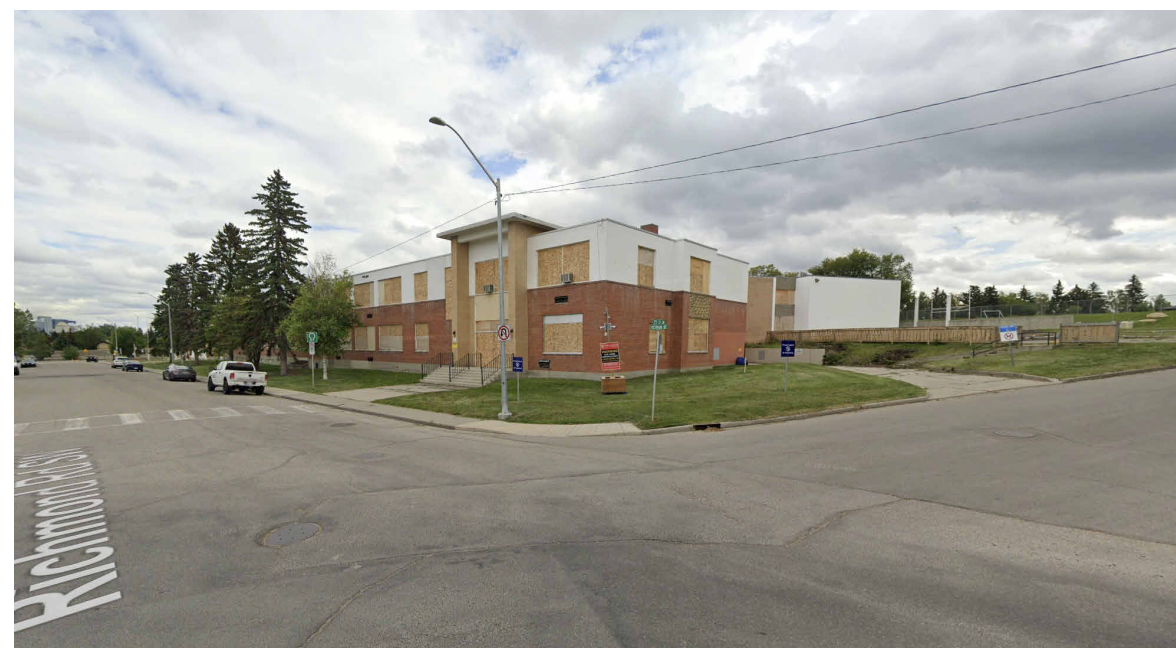
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 CALGARY, ALBERTA

SURVEY PLAN

PROJECT NO.	DRAWN	CHECKED
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DP1.01	1



A - SITE PHOTOGRAPH - NORTH WEST CORNER

B - SITE PHOTOGRAPH - NORTH EAST CORNER

C - SITE PHOTOGRAPH - SOUTH WEST CORNER

D - SITE PHOTOGRAPH - SOUTH EAST CORNER

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TITLE
SITE PLAN + PROJECT/BYLAW INFORMATION

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.03	1

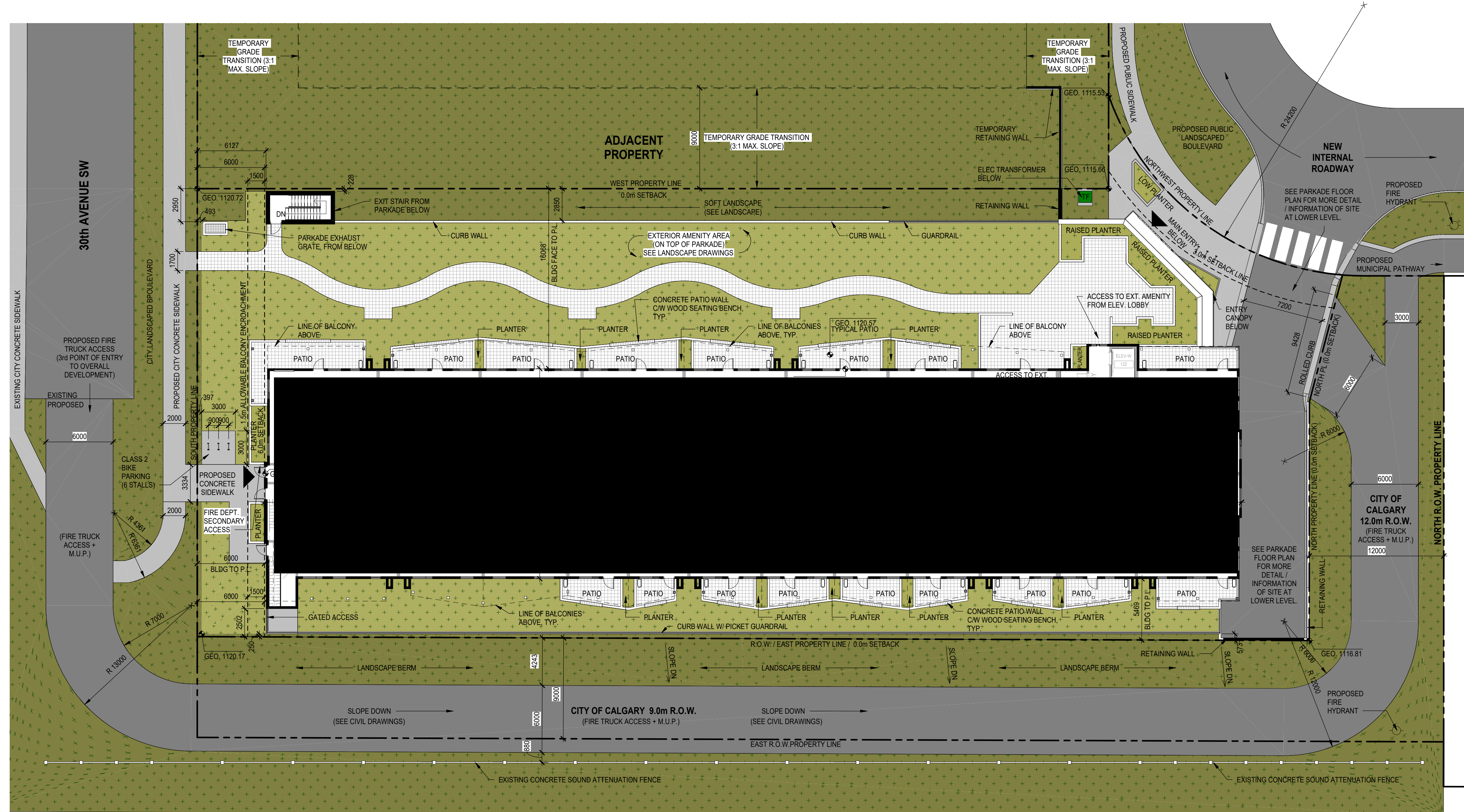
DP1.03

BYLAW ANALYSIS:

PROJECT INFORMATION	
OWNER:	MINTO COMMUNITIES
DP APPLICANT:	ZEIDLER ARCHITECTURE
MUNICIPAL ADDRESS:	2501 RICHMOND ROAD S.W., CALGARY, AB. T3E 4M1
LEGAL ADDRESS:	PLAN: 8598GF, BLOCK:B & PLAN 5118FQ, BLOCK:A
PARCEL AREA:	3963.441 m ² / 42662.123866 ft ² / 0.3963441 ha
LANDUSE BYLAW:	LUB 1P2007
ZONING (EXISTING):	R-CG
ZONING (PROPOSED):	PROPOSED DIRECT CONTROL DISTRICT "SITE 2" (BASED ON M-H2)
GENERAL DESCRIPTION:	6 STOREY - MULTI-FAMILY BUILDING WITH 1-LEVEL UNDERGROUND PARKING
PRINCIPAL USES / FLOOR:	RESIDENTIAL UNITS ON LEVELS 1-6 UNDERGROUND PARKING + BUILDING ENTRY LOBBY ON LEVEL P1

CLAUSE	REQUIREMENT	PROVIDED
FLOOR AREA RATIO (F.A.R.): (16)	MAXIMUM 4.0 F.A.R. (= 15,853.76m ²)	
DENSITY UNITS PER HECTARE (17)	MINIMUM DENSITY IS 150 UNIT PER HECTARE (1) MAXIMUM DENSITY IS 400 UNITS PER HECTARE (2)	
SETBACKS: (8)	8(1) NORTHWEST PL (ALONG INTERNAL ROADWAY) - SETBACK: 3.0m 8(5) NORTH PL (ALONG R.O.W. PARCEL) - SETBACK: 0.0m 8(3) SOUTH PL (ALONG 30th AVENUE S.W.) - SETBACK: 6.0m 8(5) WEST PL (ALONG ADJACENT PARCEL) - SETBACK: 0.0m 8(5)(b) EAST PL (ALONG R.O.W. PARCEL / CROWCHILD TRAIL S.W.) - SETBACK: 0.0m	NORTHWEST SETBACK - 3.0m (COMPLIANT) NORTH SETBACK - 0.0m (COMPLIANT) SOUTH SETBACK - 6.0m (COMPLIANT) WEST SETBACK - 0.0m (COMPLIANT) EAST SETBACK - 0.0m (COMPLIANT)
BUILDING HEIGHT (18)	(1) MAX. BUILDING HEIGHT: 25 m (2) MAX. BUILDING HEIGHT REDUCED TO 21.0 m MEASURED FROM GRADE WITHIN 15.0 METRES FROM A PROPERTY LINE SHARED WITH 30 AVENUE S.W.	NORTH ELEVATION = 23.76m SOUTH ELEVATION = 20.22m (30th AVE SW)

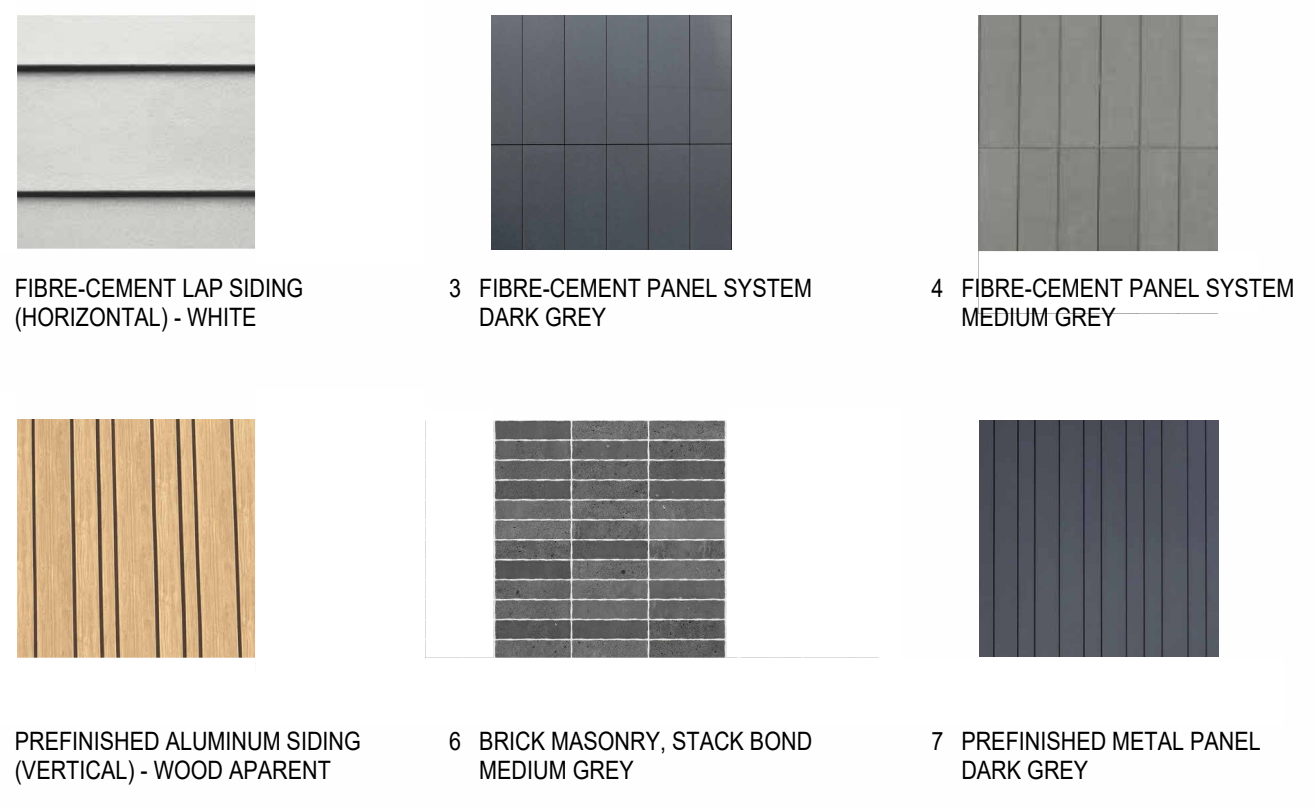
CLAUSE	REQUIREMENT	PROVIDED										
AMENITY SPACE: (1P2007-557)	THE REQUIRED MINIMUM AMENITY SPACE IS 5.0m ² PER UNIT.	AMENITY SPACE PROVIDED: <table border="1"> <tr> <th>AMENITY TYPE</th> <th>AREA</th> </tr> <tr> <td>COMMON INDOOR</td> <td>65.4 m²</td> </tr> <tr> <td>COMMON OUTDOOR</td> <td>816.1 m²</td> </tr> <tr> <td>PRIVATE</td> <td>569.0 m²</td> </tr> <tr> <td>TOTAL AMENITY</td> <td>1450.5 m²</td> </tr> </table>	AMENITY TYPE	AREA	COMMON INDOOR	65.4 m ²	COMMON OUTDOOR	816.1 m ²	PRIVATE	569.0 m ²	TOTAL AMENITY	1450.5 m²
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COMMON INDOOR	65.4 m ²											
COMMON OUTDOOR	816.1 m ²											
PRIVATE	569.0 m ²											
TOTAL AMENITY	1450.5 m²											
MOTOR VEHICLE PARKING REQUIREMENTS: (1P2007-558)	MULTI-RESIDENTIAL DEVELOPMENT 0.625 RESIDENT PARKING STALLS PER DWELLING UNIT = 0.625 STALLS X 119 UNITS = 75 RESIDENT STALLS REQ'D 25% T.O.D. REDUCTION = 56 RESIDENT STALLS REQUIRED TOTAL	VEHICULAR PARKING PROVIDED RESIDENT PARKING STALLS PROVIDED: 108 STALLS										
BICYCLE PARKING REQUIREMENTS: (1P2007-559)	CLASS I BICYCLE PARKING STALLS REQ'D: = 1.0 CLASS I BICYCLE STALLS PER UNIT = 1.0 STALL X 119 UNITS = 119 CLASS I STALLS REQUIRED CLASS II BICYCLE STALLS PER UNIT = 0.1 CLASS II BICYCLE STALLS PER UNIT = 0.1 STALL X 119 UNITS = 12 CLASS II STALLS REQUIRED	BICYCLE PARKING PROVIDED: CLASS I BICYCLE STALLS PROVIDED: 119 CLASS II BICYCLE STALLS PROVIDED: 12										



1 SITE PLAN
 DP1.03 SCALE: 1:200

NOTE
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MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



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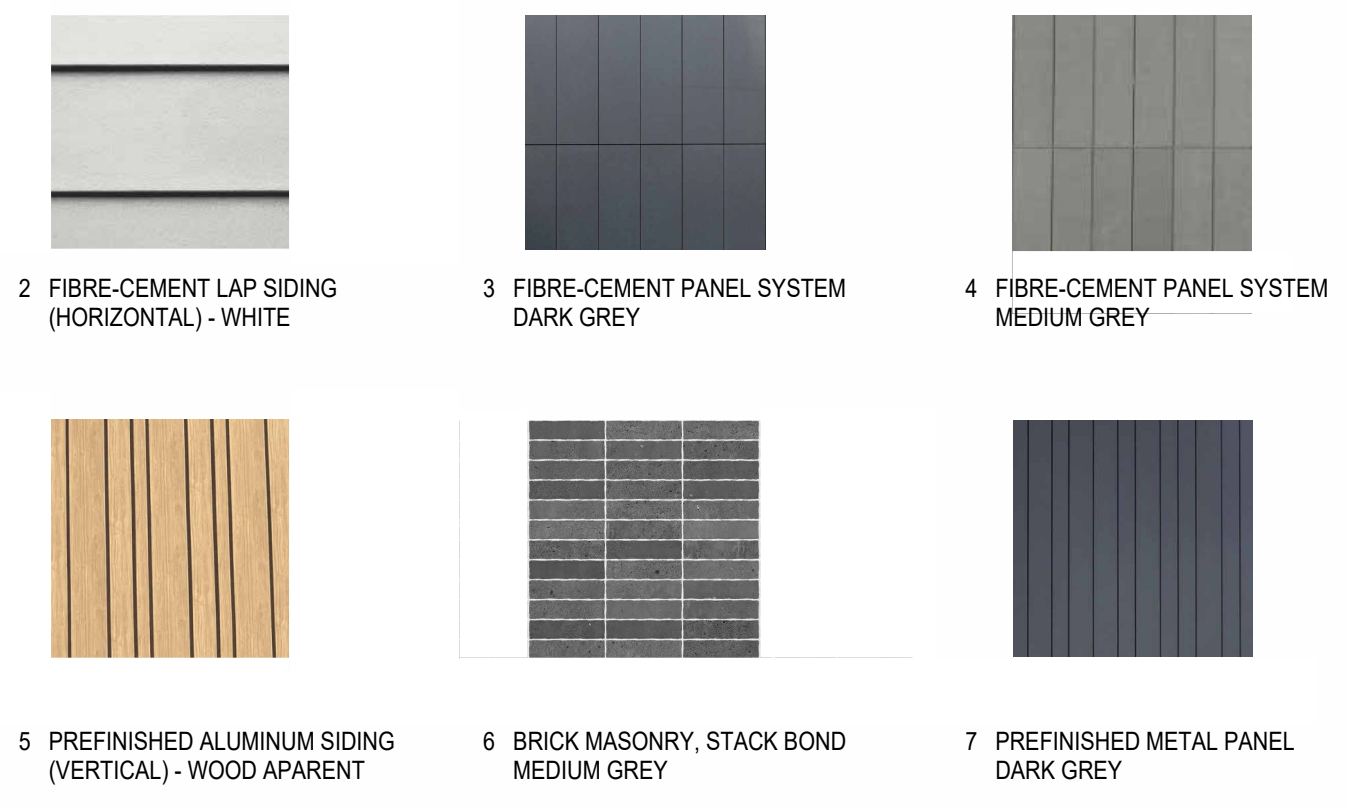
BUILDING ELEVATIONS

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DRAWING NO.	REVISION NO.	

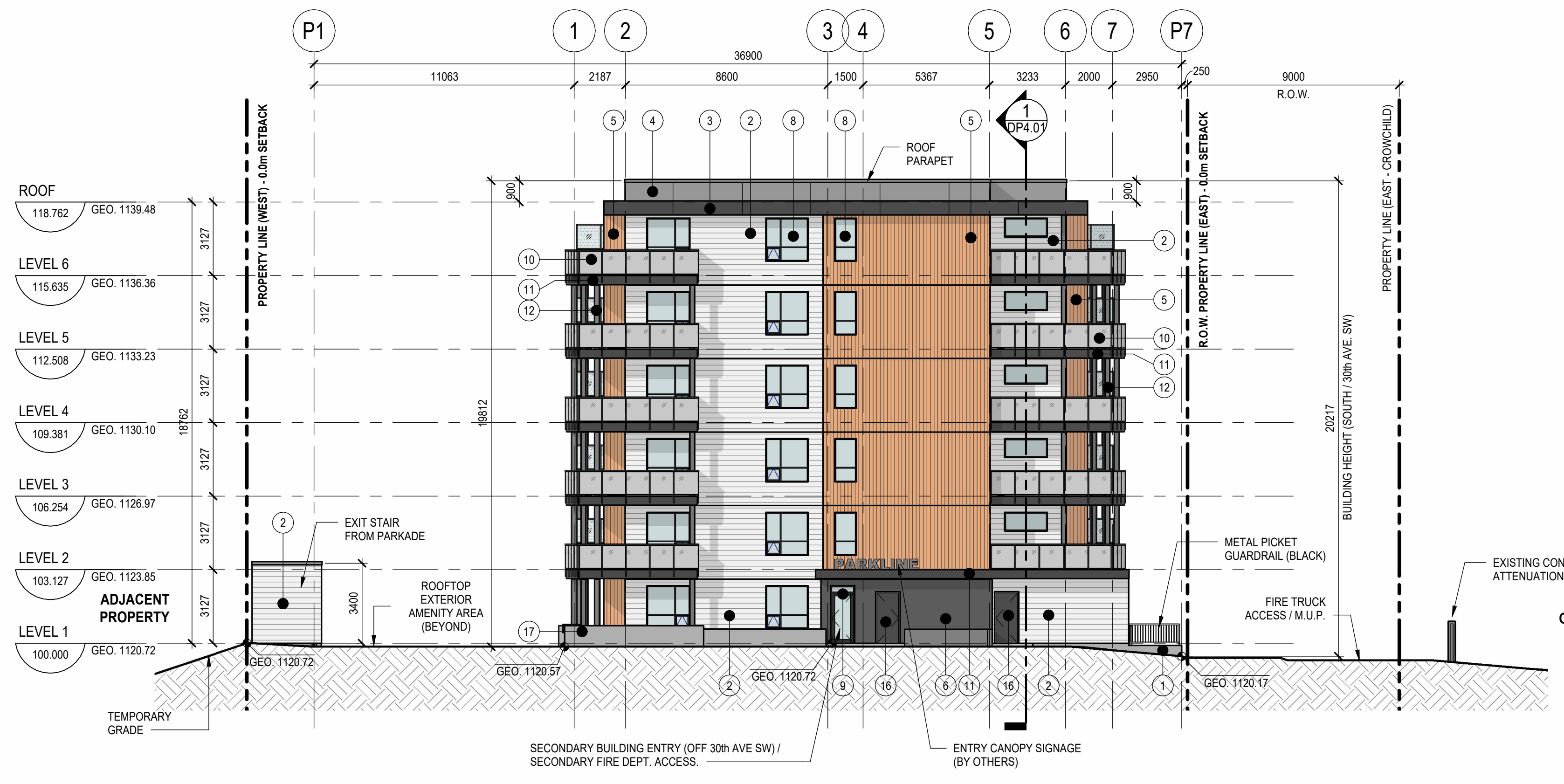
DP3.01

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MATERIAL LEGEND	
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1 SOUTH
 DP3.02
 SCALE: 1 : 150



2 EAST
 DP3.02
 SCALE: 1 : 150

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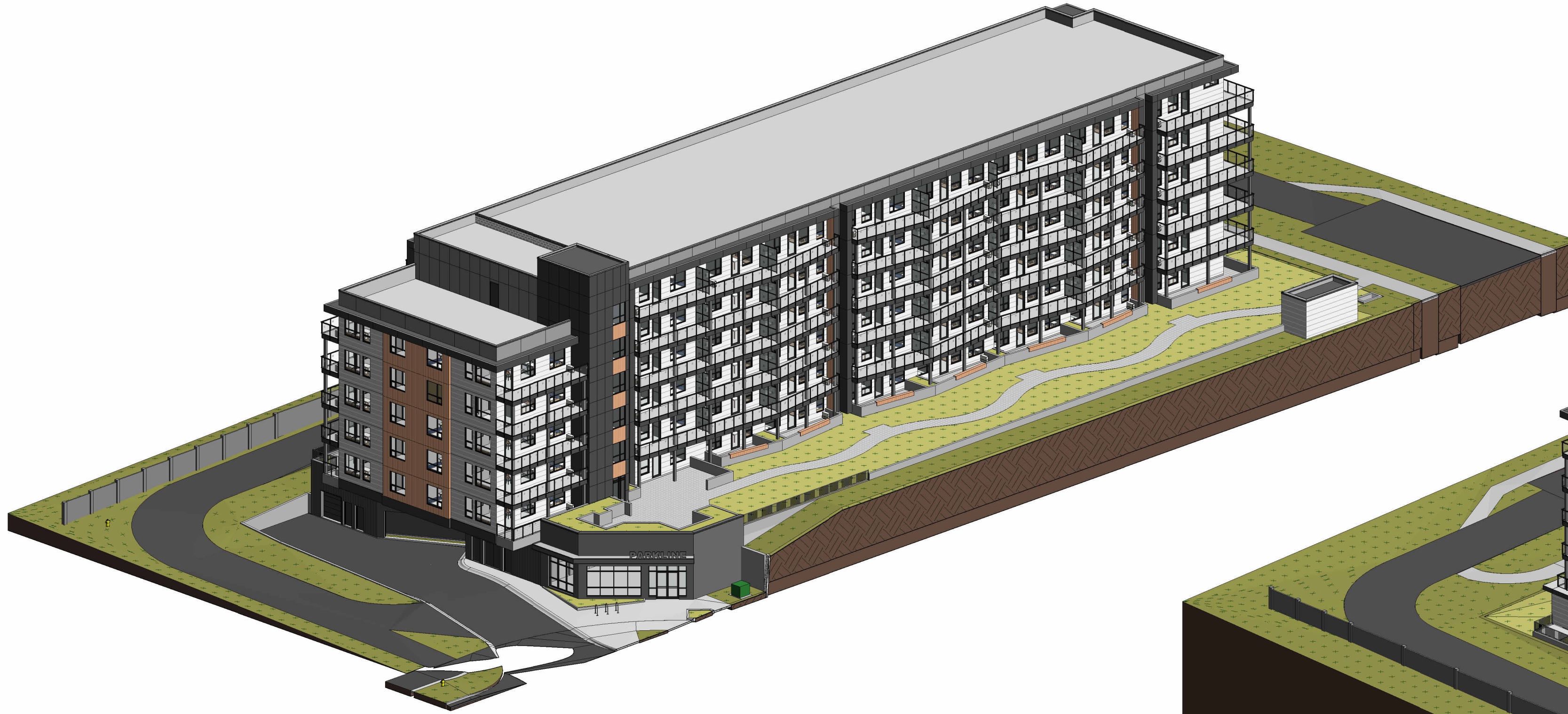
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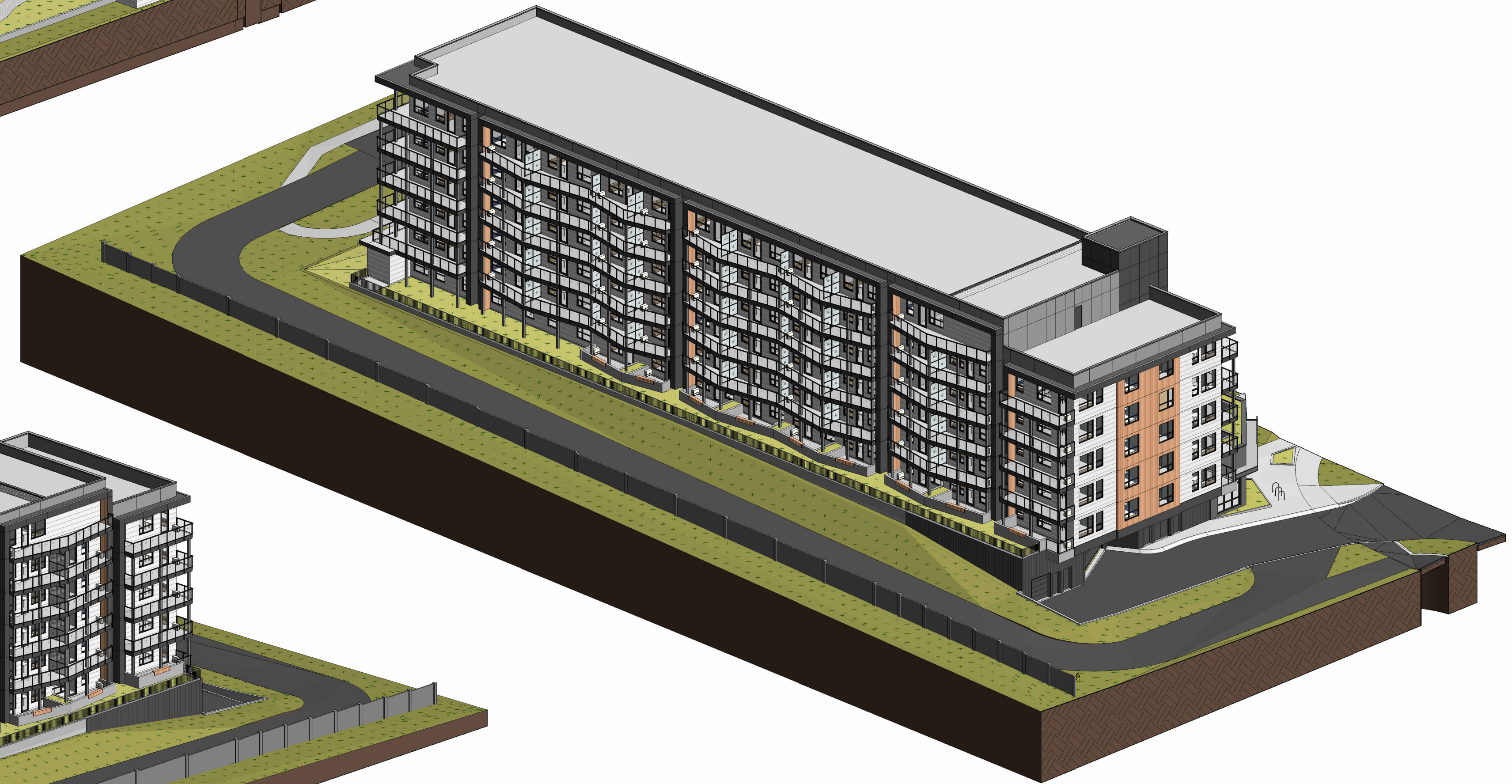
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NOTE

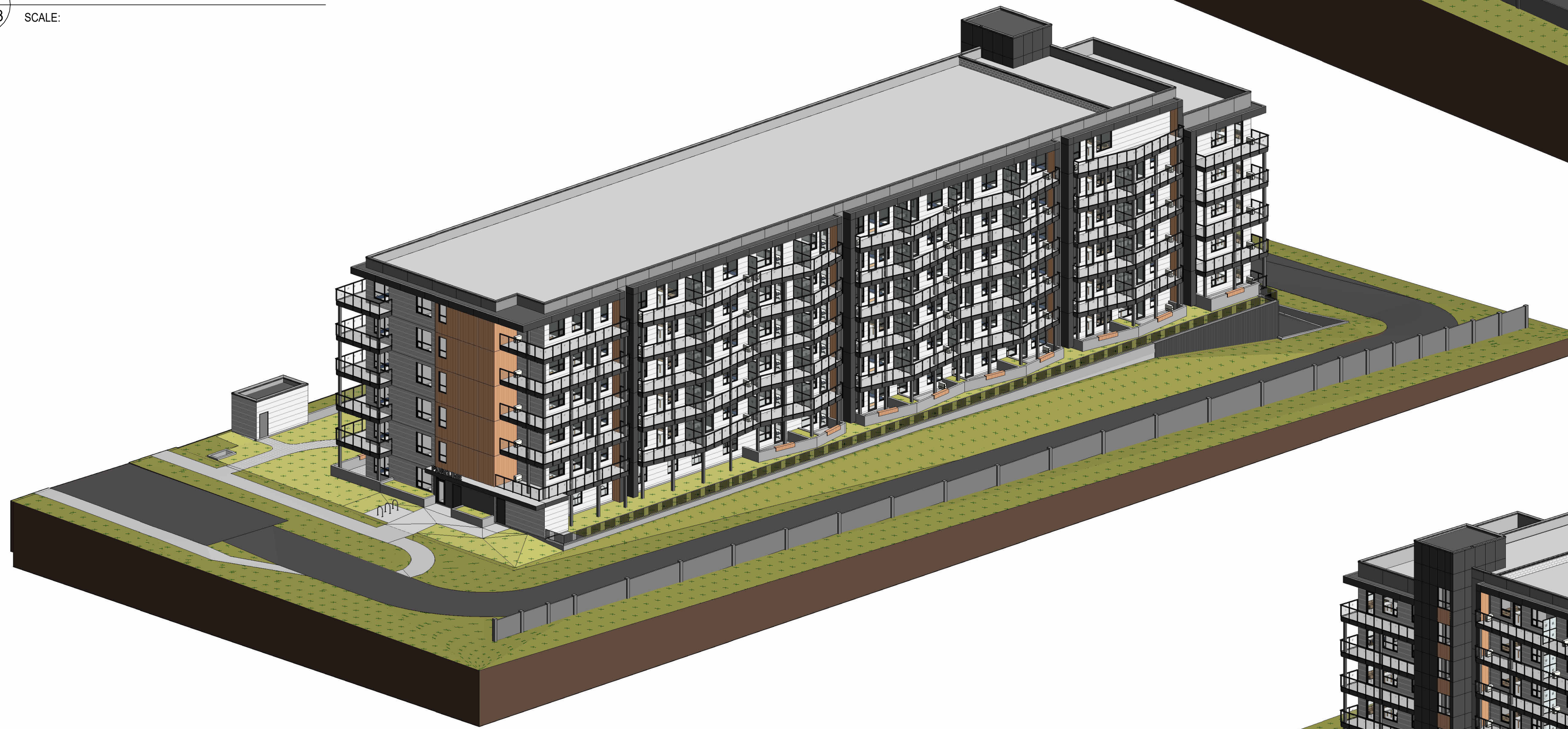
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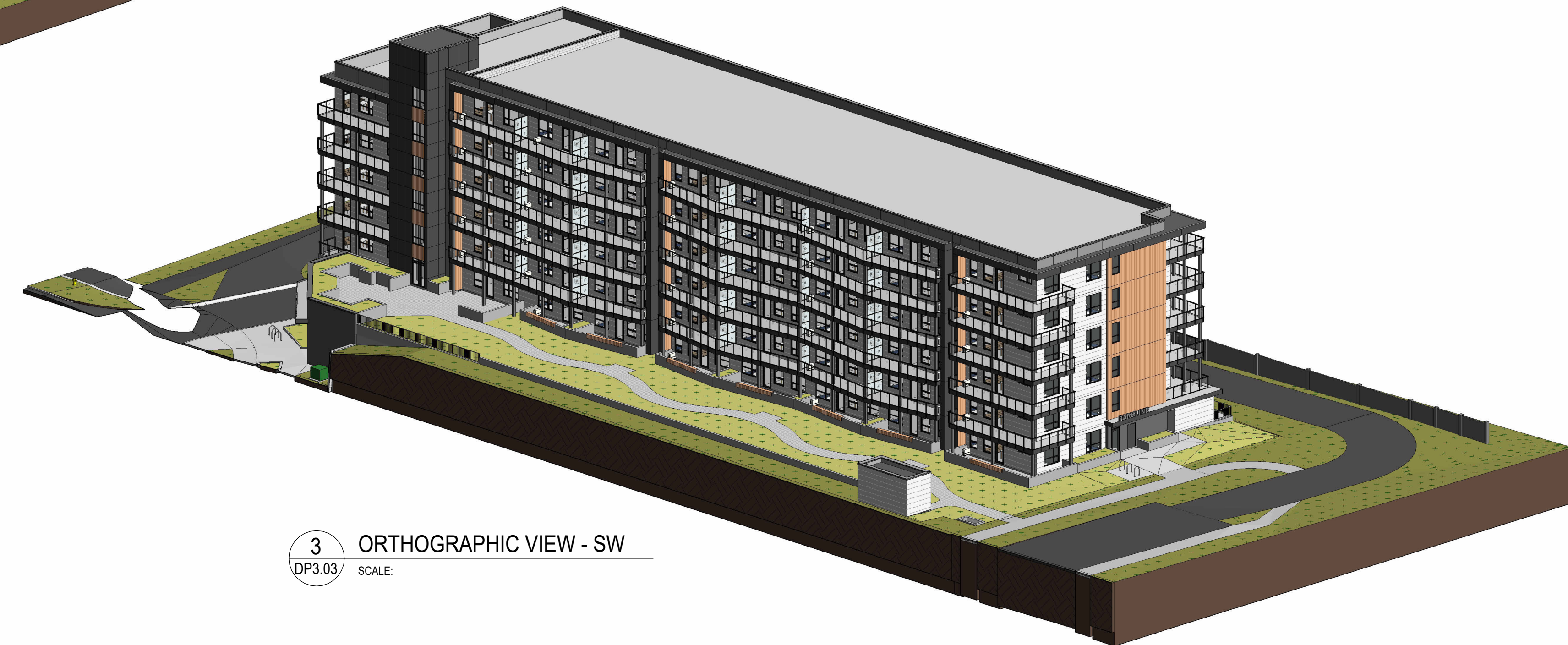
1 ORTHOGRAPHIC VIEW - NW
 DP3.03 SCALE:



2 ORTHOGRAPHIC VIEW - NE
 DP3.03 SCALE:



4 ORTHOGRAPHIC VIEW - SE
 DP3.03 SCALE:



3 ORTHOGRAPHIC VIEW - SW
 DP3.03 SCALE:

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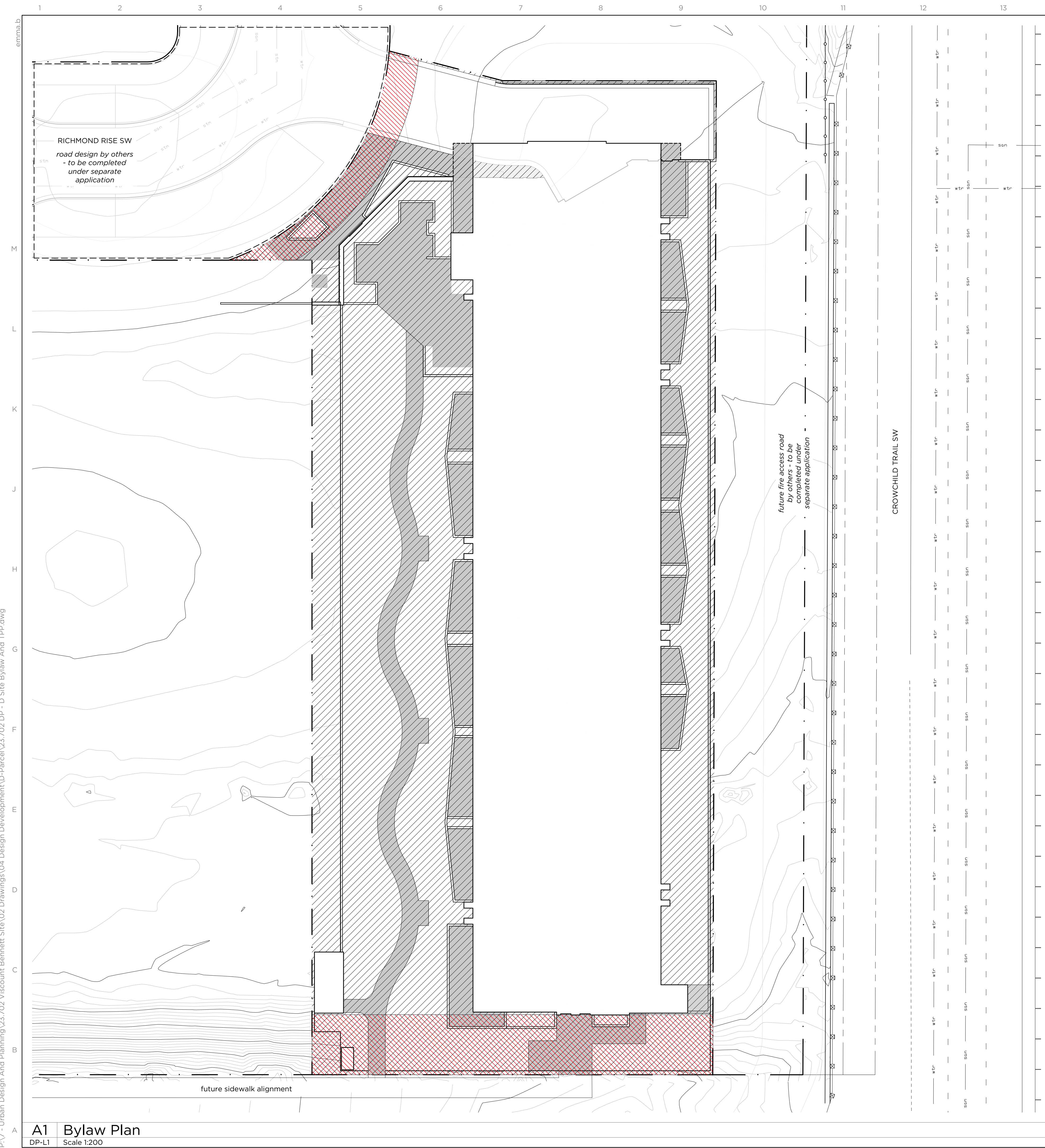
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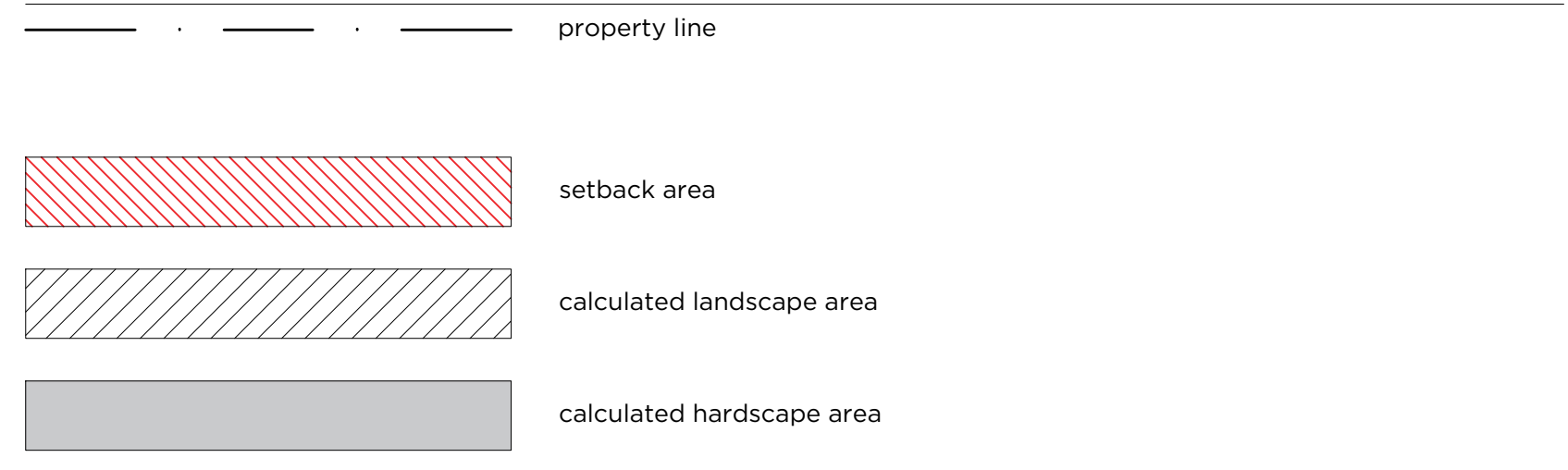
TITLE
**ORTHOGRAPHIC
 VIEWS**

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223-115	AZO / SB	JGB / TL

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DP3.03	1



Bylaw Legend



Landscape Bylaw Calculations - City of Calgary Land-Use Bylaw 1P2007 (Zone MH-2)

regulation	standard	required	provided
specific rules for landscaped areas - 551	(2) a minimum of 40.0 percent of the area of a parcel must be a landscaped area.	minimum landscaped area (3,965m ² x 0.40) = 1,586m ²	landscaped area = 2,070.6m ²
	(3) the maximum hard surfaced landscaped area is: (a) 50.0 percent of the required landscaped area for a parcel containing a street-oriented multi-residential building.	maximum hard surfaced landscaped area allowed (1,586m ² x 0.50) = 793m ²	total hard surfaced landscaped area = 630m ²
planting requirements - 552	(2) a minimum of 1.0 trees and 2.0 shrubs must be planted for every 45.0 square metres of landscaped area provided.	minimum shrubs (1,586m ² /45m ²) x 2 = 72	total shrubs = 161
		minimum trees (1,586m ² /45m ²) = 36	total trees = 42
	(3) a minimum of 25.0 percent of all trees provided must be coniferous.	coniferous trees (42 x 0.25) = 11	coniferous trees = 11
	(4) deciduous trees must have a minimum calliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum calliper of 75 millimetres at the time of planting.	50mm caliper deciduous trees (31 x 0.50) = 15	50mm caliper deciduous trees = 15
		75mm caliper deciduous trees (31 x 0.50) = 16	75mm caliper deciduous trees = 16
(5) coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must have a minimum height of 3.0 metres at the time of planting.	2m height coniferous trees required (11 x 0.50) = 5	2m height coniferous trees = 5	
	3m height coniferous trees (11 x 0.50) = 6	3m height coniferous trees = 6	

General Notes

1. site plan prepared using information provided by Zeidler Architecture Inc. 2025-02-24
2. contractor is responsible for locating utilities and protecting same from damage during construction, contact Alberta One call at 1-800-242-3447, commencement of work indicates completion of utility locates.
3. all drawings are property of landscape architect. site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
4. if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner.
5. all drawings are metric unless otherwise noted.
6. all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
7. contractor shall refer to related disciplines as indicated on plan's where applicable.
8. all soft landscaped areas are to be sloped to ensure positive drainage away from structures, u.n.o. disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
9. refer to civil engineering drawings for grading information.

Irrigation Note

1. All soft surfaced landscaped areas must be irrigated by a low water irrigation system.



issue / revision	date	no.
issued for development permit	25/03/17	1

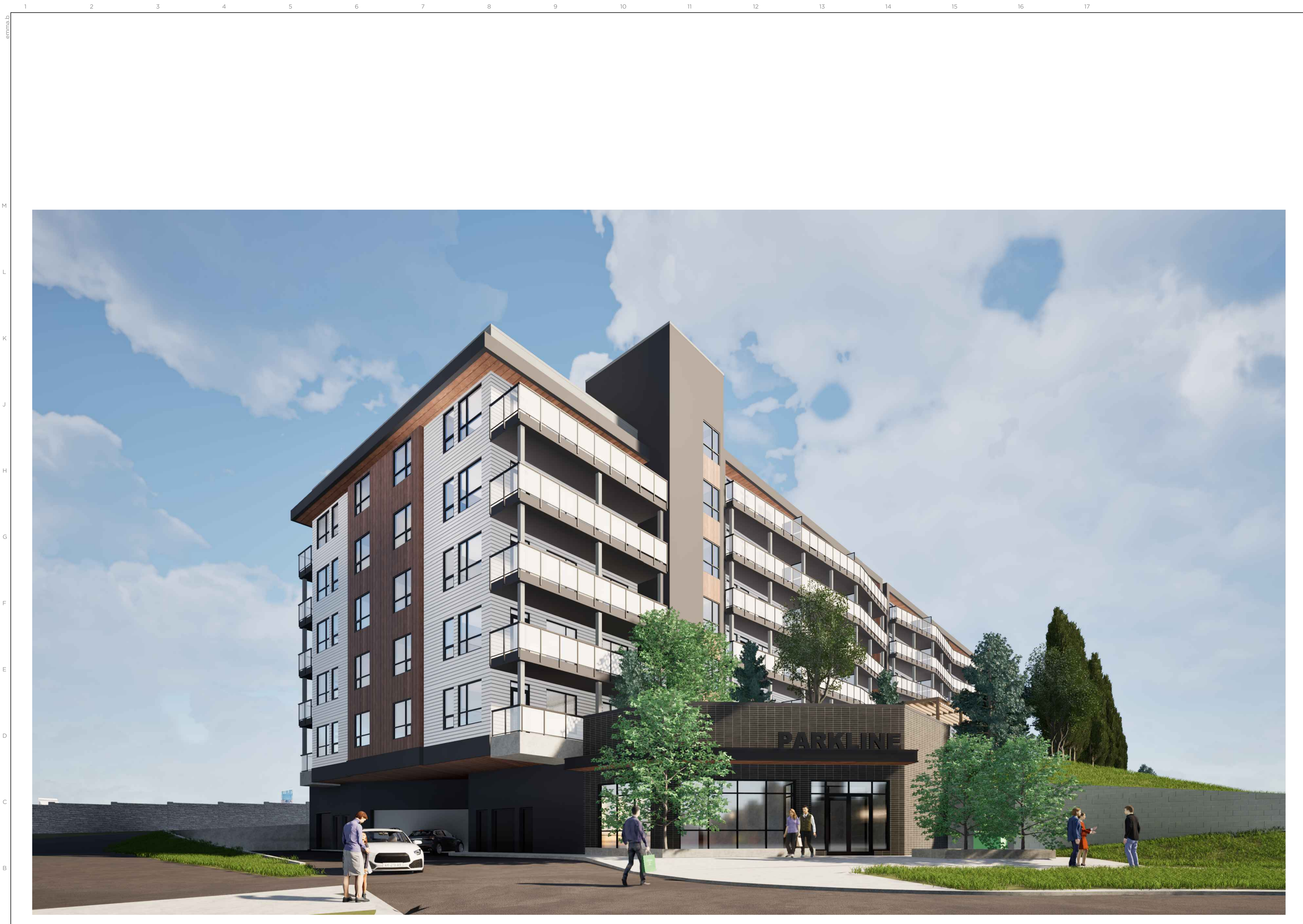
project
Parkline Phase 1 Multi-Family Building

drawn: EB checked: EB approved: JS

project #: 23.702 date: 2025/03/17

drawing
Bylaw Plan

sheet
DPL1.00



A1 Perspective Render
DPL2.20 NTS



issue / revision	date	no.
issued for development permit	25/03/17	1

project
**Parkline
 Phase 1 Multi-Family
 Building**

drawn EB	checked EB	approved JS
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project # 23.702	date 2025/03/17
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drawing
Render - Main Entrance

	sheet DPL2.10
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A1 Perspective Render
DPL2.10 NTS



issue / revision	date	no.
issued for development permit	25/03/17	1

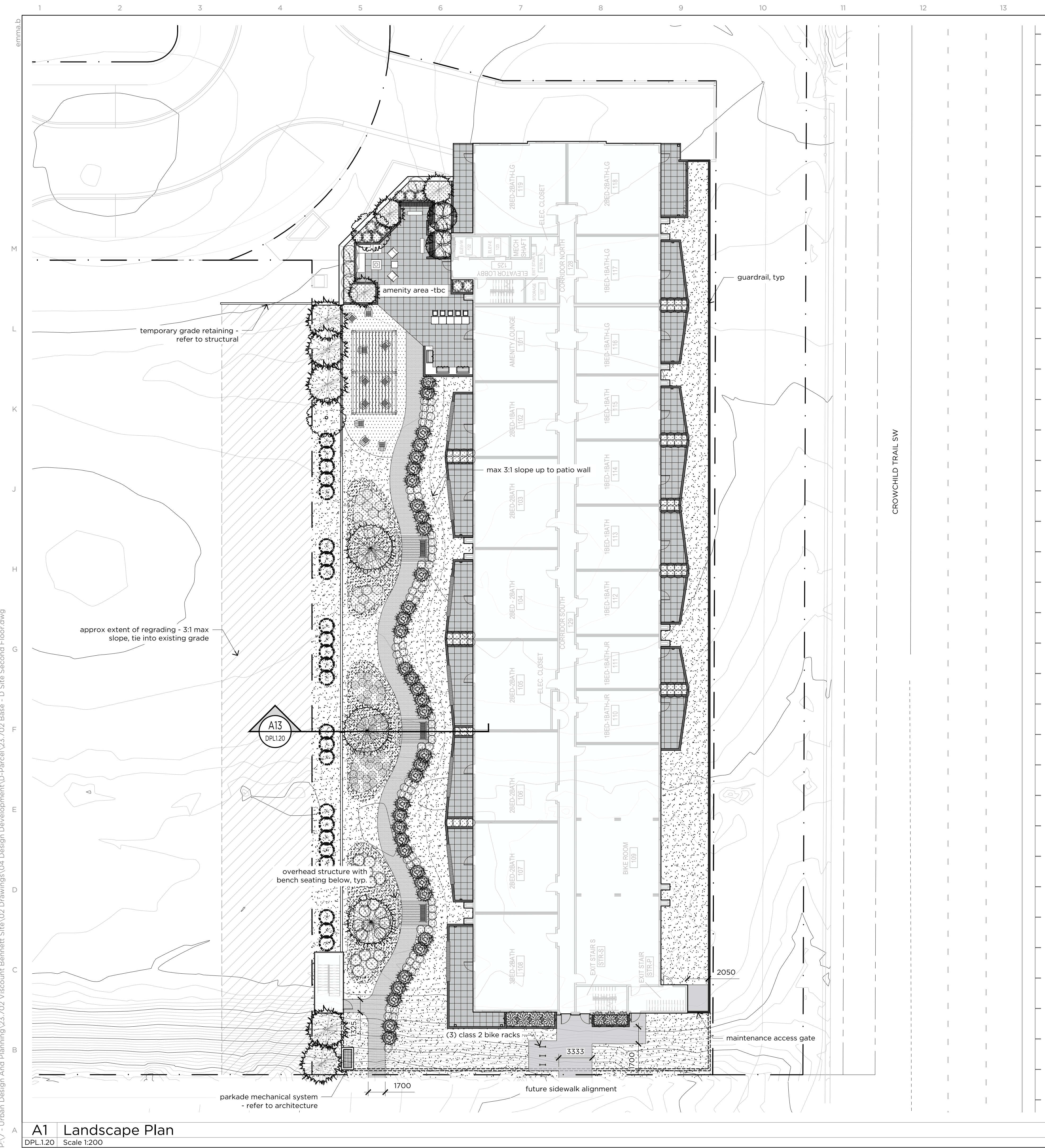
project
**Parkline
Phase 1 Multi-Family
Building**

drawn EB	checked EB	approved JS
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project # 23.702	date 2025/03/17
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drawing
Render - South Entrance

	sheet DPL2.20
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Linetype Legend

	property line
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Landscape Legend

	75mm mulch over 1200mm min depth topsoil
	native grass sod over 300mm min topsoil
	manicured native grass sod over 300mm min topsoil
	concrete amenity surface - finish tbd
	10mm rundlestone fines

Proposed Plant List for Trees

number	symbol	description
39		
28		deciduous trees - 50mm-75mm caliper (50% of provided trees to be 75mm) <ul style="list-style-type: none"> pink spire flowering crabapple trembling aspen sweetheart mayday red rocket red maple guardian columnar aspen
11		coniferous trees - 2m-3m height (50% of provided trees to be 3m) <ul style="list-style-type: none"> ponderosa pine scotch pine mountain pine hoopsii blue spruce

Proposed Plant List for Shrubs

number	symbol	description
149		<ul style="list-style-type: none"> sunsation japanese barberry mops mugho pine alpine carpet juniper western snowberry morden blush rose northern gold forsythia russian sage compact winged burning bush

Proposed Plant List for Grasses

number	symbol	description
126		<ul style="list-style-type: none"> avalanche reed grass

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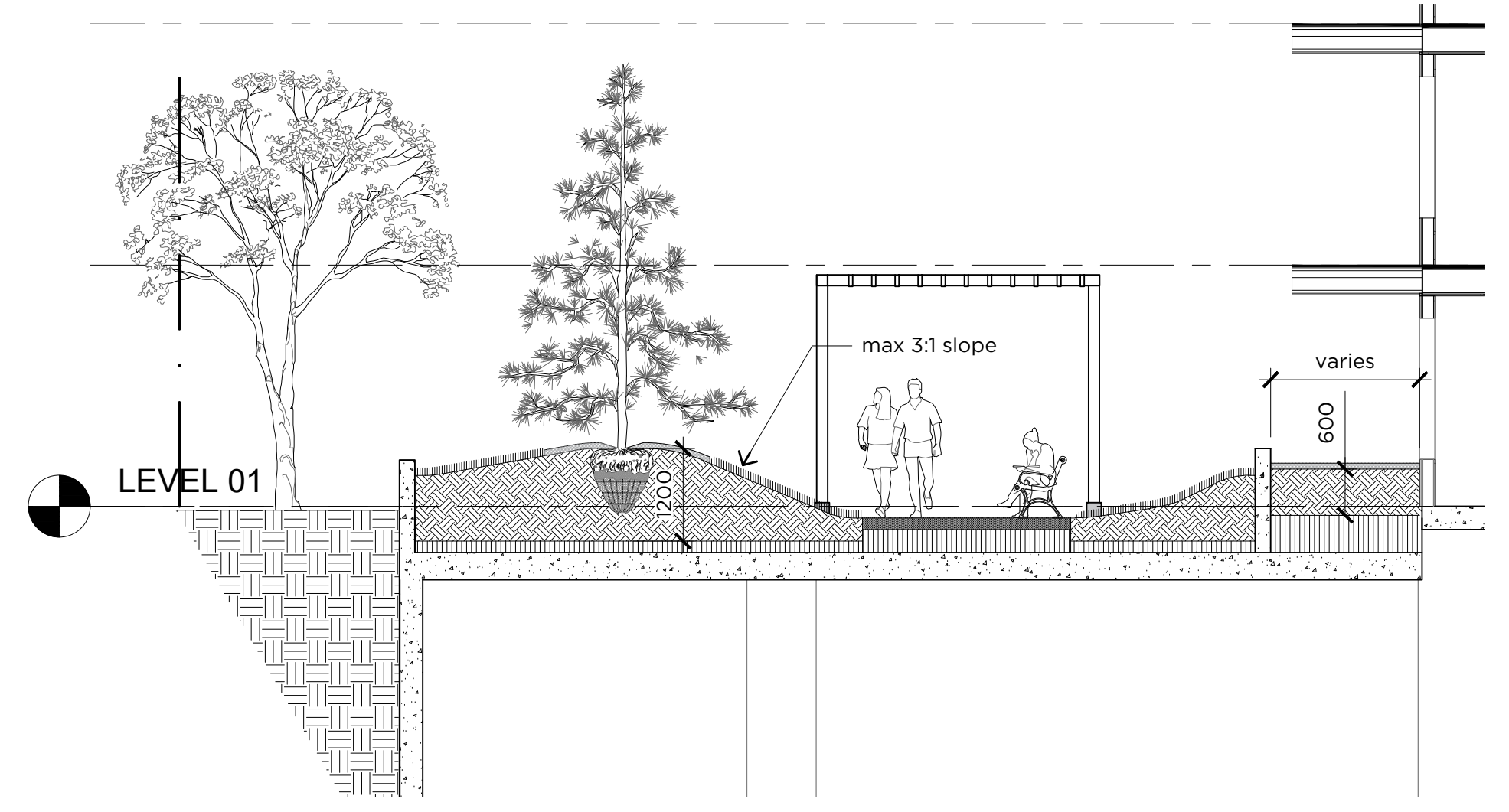
project
Parkline Phase 1 Multi-Family Building

drawn **EB** checked **EB** approved **JS**

project # **23.702** date **2025/03/17**

drawing
Main Floor Site Plan

sheet
DPL1.20



A13 Planting Section Over Parkade
 DPL1.20 Scale 1:75

A1 Landscape Plan
 DPL1.20 Scale 1:200

P:\7 - Urban Design And Planning\23.702 Viscount Bennett Site\02 Drawings\04 Design Development\Parcel\23.702 Base - D Site Second Floor.dwg