



NORTHWEST PERSPECTIVE OF BUILDING MAIN ENTRY

# ISSUED FOR DEVELOPMENT PERMIT

## "PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**ARCHITECTURAL**

- DP0.00 COVER SHEET
- DP1.01 SURVEY PLAN
- DP1.02 LANDUSE OUTLINE PLAN (FOR REFERENCE)
- DP1.03 SITE PLAN + PROJECT/BYLAW INFORMATION
- DP2.01 PARKADE FLOOR PLAN / LOWER SITE PLAN
- DP2.02 MAIN FLOOR PLAN
- DP2.03 FLOOR PLANS - LEVELS 2-5 TYPICAL + LEVEL 6
- DP2.04 ROOF PLAN
- DP3.01 BUILDING ELEVATIONS
- DP3.02 BUILDING ELEVATIONS
- DP3.03 ORTHOGRAPHIC VIEWS
- DP4.01 BUILDING SECTIONS
- DP4.02 BUILDING SECTIONS

**LANDSCAPE**

- DPL1.00 LANDSCAPE - BYLAW PLAN
- DPL1.10 LANDSCAPE - PARKADE LEVEL SITE PLAN
- DPL1.20 LANDSCAPE - MAIN FLOOR SITE PLAN
- DPL2.10 LANDSCAPE - RENDER - MAIN ENTRANCE
- DPL2.20 LANDSCAPE - RENDER - SOUTH ENTRANCE

**CIVIL**

- C.625-900-A CIVIL - SITE PLAN
- C.625-900-B CIVIL - SITE SERVICING PLAN



**Zeidler Architecture**

300, 640 – 8 Avenue SW  
 Calgary, Alberta T2P 1G7  
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OWNER



ARCHITECTURAL



STRUCTURAL



MECHANICAL



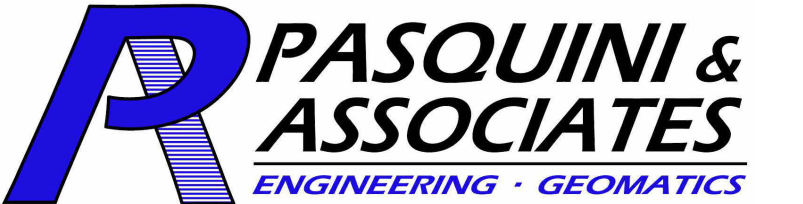
ELECTRICAL



LANDSCAPE



CIVIL



NO.	ISSUE/ REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

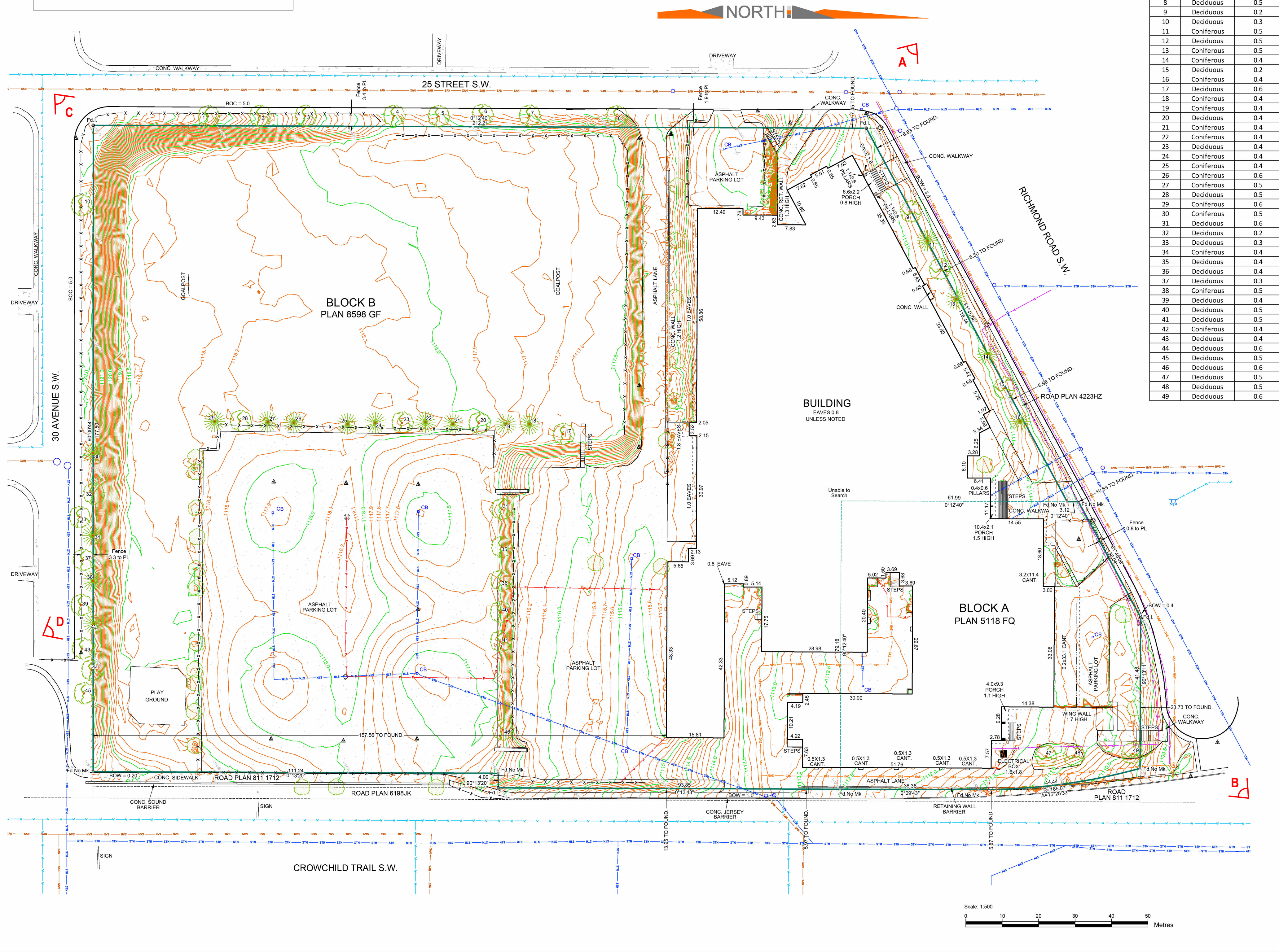
DRAWING NO.	REVISION NO.
DP0.00	1



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**NOTE:**  
 ALL INFORMATION OBTAINED FROM EXISTING SITE SURVEY PERFORMED BY "WATT CONSULTING GROUP" IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEY ACT.  
 SURVEY COMPLETED ON JUNE 2022.  
 THE LEGAL SURVEY DEPICTED ON THIS SHEET IS FOR REFERENCE ONLY.  
 "ZEIDLER ARCHITECTURE" ASSUMES NO RESPONSIBILITY FOR THE ACCURACY & CONTENT OF THE SURVEY INFORMATION DEPICTED HEREIN.



Tree No.	Type	Trunk Diameter (m)
1	Deciduous	0.4
2	Deciduous	0.2
3	Deciduous	0.4
4	Deciduous	0.5
5	Deciduous	0.5
6	Deciduous	0.3
7	Deciduous	0.3
8	Deciduous	0.5
9	Deciduous	0.2
10	Deciduous	0.3
11	Coniferous	0.5
12	Deciduous	0.5
13	Coniferous	0.5
14	Coniferous	0.4
15	Deciduous	0.2
16	Coniferous	0.4
17	Deciduous	0.6
18	Coniferous	0.4
19	Coniferous	0.4
20	Deciduous	0.4
21	Coniferous	0.4
22	Coniferous	0.4
23	Deciduous	0.4
24	Coniferous	0.4
25	Coniferous	0.4
26	Coniferous	0.6
27	Coniferous	0.5
28	Deciduous	0.5
29	Coniferous	0.6
30	Coniferous	0.5
31	Deciduous	0.6
32	Deciduous	0.2
33	Deciduous	0.3
34	Coniferous	0.4
35	Deciduous	0.4
36	Deciduous	0.4
37	Deciduous	0.3
38	Coniferous	0.5
39	Deciduous	0.4
40	Deciduous	0.5
41	Deciduous	0.5
42	Coniferous	0.4
43	Deciduous	0.4
44	Deciduous	0.6
45	Deciduous	0.5
46	Deciduous	0.6
47	Deciduous	0.5
48	Deciduous	0.5
49	Deciduous	0.6

**Notes:**  
 - DISTANCES ARE IN METERS AND DECIMALS THEREOF.  
 - COORDINATES ARE BASED ON CONTROL INFORMATION ESTABLISHED BY PREVIOUS WATT SURVEYS.  
 - COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999728  
 - PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM)  
 - HORIZONTAL DATUM: NORTH AMERICAN DATUM 1983 (NAD83)  
 - ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVD28) VIA HT2.0 GEOID MODEL  
 - ORTHOMETRIC REFERENCE MERIDIAN: 114° W.  
 - ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.  
 - BUILDING DIMENSIONS SHOWN ARE TO FOUNDATION.  
 - PRIOR TO DIGGING, UNDERGROUND UTILITIES MUST BE LOCATED.  
 - THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES AND CONCEALED STRUCTURES AND TO CONTACT THE VARIOUS OWNERS/OPERATORS/AUTHORITIES FOR ON-SITE INFORMATION AS TO THE ACTUAL LOCATIONS OF ALL EXISTING UTILITIES OR CONCEALED STRUCTURES.  
 - THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE OWNERS/OPERATORS/AUTHORITIES OF ITS INTENTION TO CARRY OUT OPERATIONS IN THE AREA.  
 - BLOCK PROFILE INFORMATION OBTAINED FROM CITY OF CALGARY CITYLINE DATA SITE VIA AUTOCAD FILES.  
 - STORM, SEWER, AND WATER UTILITY LOCATION INFORMATION WAS OBTAINED FROM THE CITY OF CALGARY.

**Legend:**

- MAJOR CONTOUR 0.5m INTERVAL
- MINOR CONTOUR 0.1m INTERVAL
- SPOT ELEVATION (5m GRID)
- FOUND STATUTORY IRON POST
- FOUND I BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- AREA
- POWER POLE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- SIGN
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS PIPELINE - HIGH PRESSURE
- TELUS BURIED LINE
- SANITARY LINE
- WATER MAIN
- STORM MAIN
- CATCH BASIN
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES
- CONCRETE
- ASPHALT

Stamp: \_\_\_\_\_  
 Signature: \_\_\_\_\_

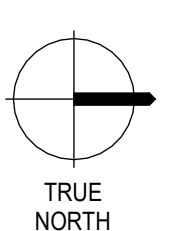
No.	Revision Description	By	Date	Appr
02	30 AVENUE SW DRIVEWAY LOCATIONS ADDED	J.B.	SEP. 16, 2022	J.B.
01	UPDATED UTILITIES, TREE TABLE AND MINOR TEXT UPDATES	J.B.	JUL. 28, 2022	J.B.
00	ISSUED TO CLIENT	J.B.	JUN. 14, 2022	J.B.

**TOPOGRAPHIC SITE SURVEY**  
 Job Description: **BLOCK A, PLAN 5118 FQ, BLOCK B, PLAN 8598 GF**  
 2519 Richmond Road S.W. Calgary, AB

Client: **Minto Communities**  
 402 11 Avenue S.E. Calgary, AB T2G 0Y4

Watt Consulting Group Ltd.  
 #1300, 736 - 8th Avenue S.W. Calgary, AB, T2P 3T7  
 T. 403.273.9001 F. 403.273.3440 www.wattconsultinggroup.com

Drawn: S.B.	Field Surveyor(s): S.B., Z.W.
Draft Chk: J.B.	Survey Date: JUN. 01-10, 2022
Approved: J.B.	Date: JUN. 16, 2022   Sheet: _____   Total Sheets: _____
Scale: 1:500	File #: 2210668   01   02



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VIEW / LOCATION WHERE SITE PHOTO WAS TAKEN FROM

1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11
NO.	ISSUE/REVISION	DATE

**NOT FOR CONSTRUCTION**

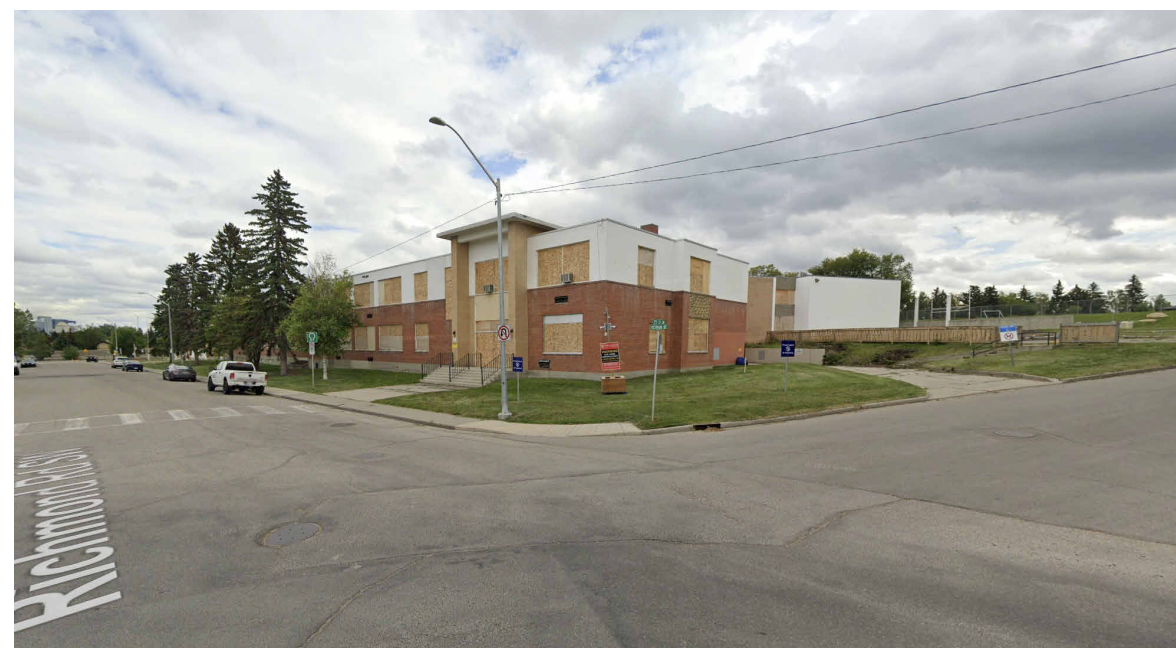
**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**SURVEY PLAN**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.01	1



A - SITE PHOTOGRAPH - NORTH WEST CORNER

B - SITE PHOTOGRAPH - NORTH EAST CORNER

C - SITE PHOTOGRAPH - SOUTH WEST CORNER

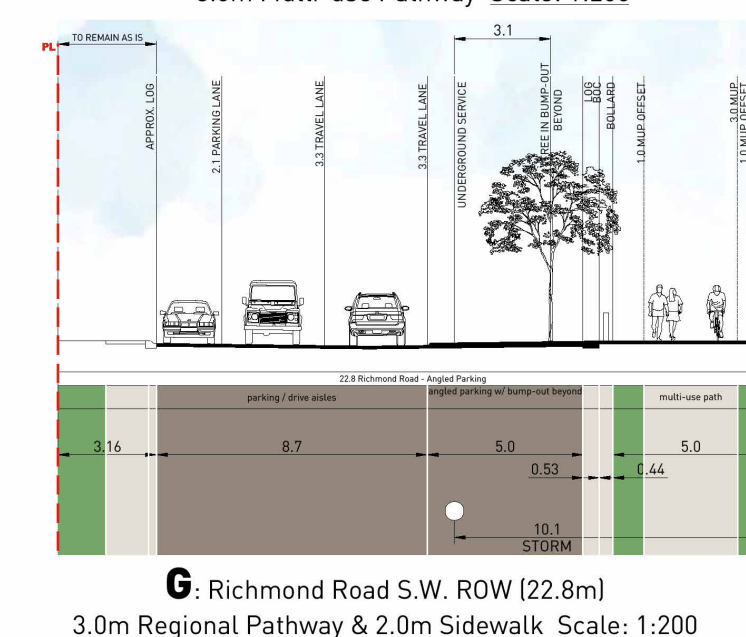
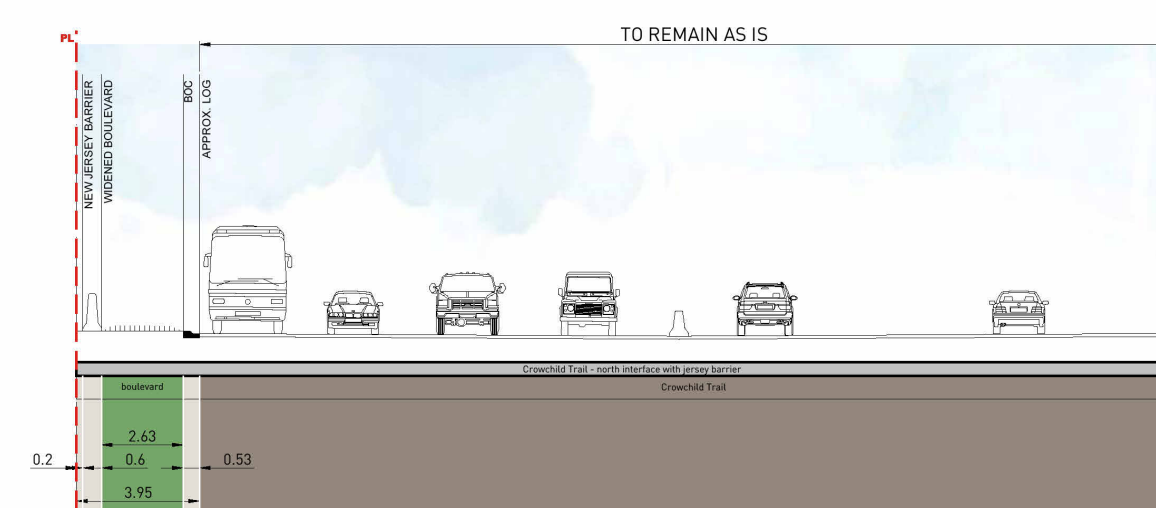
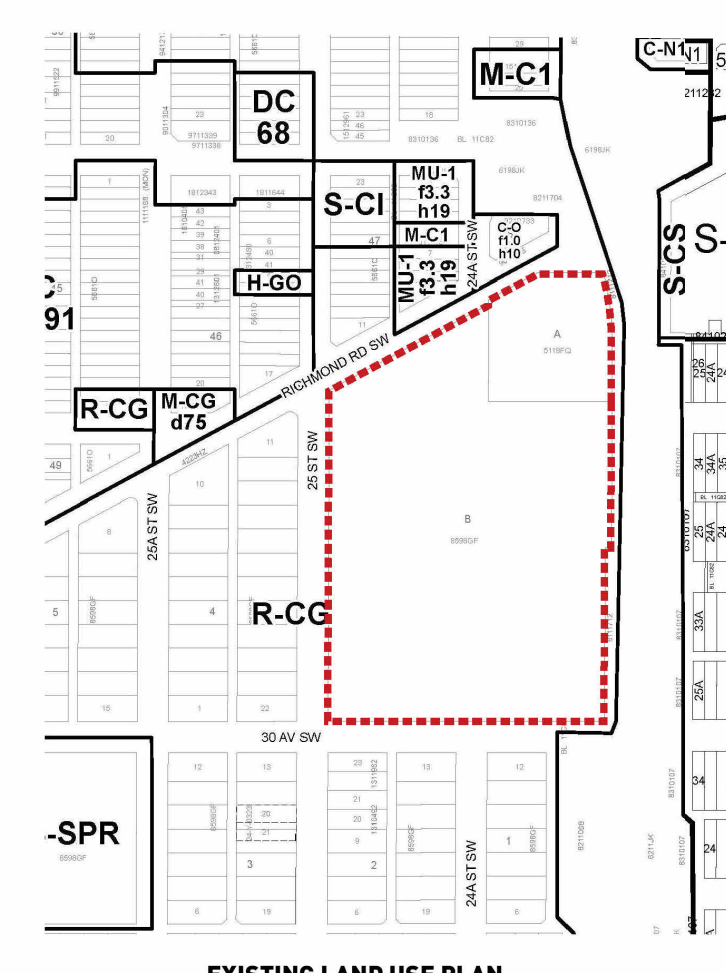
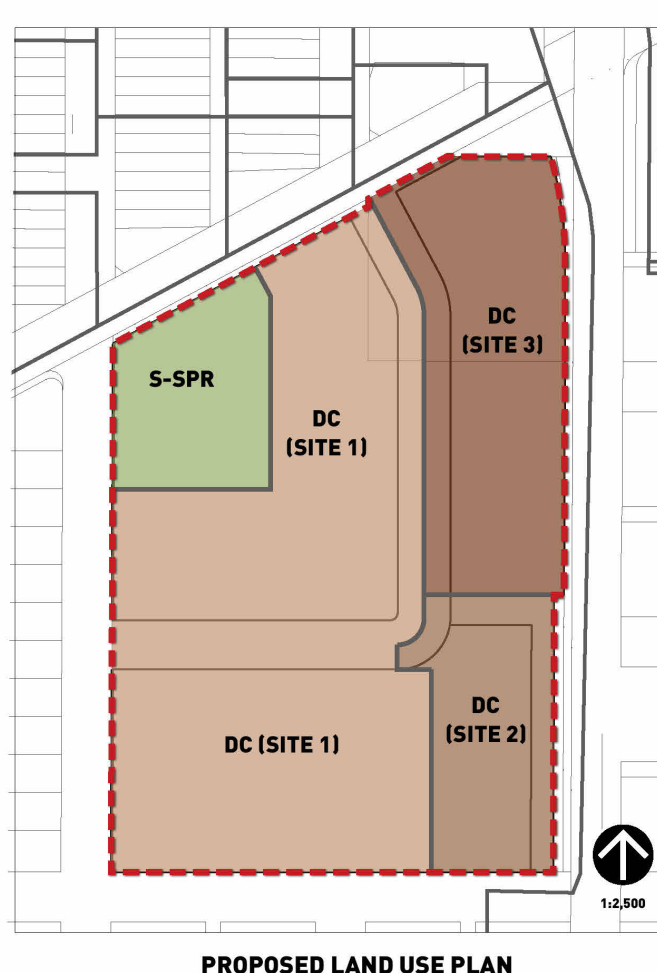
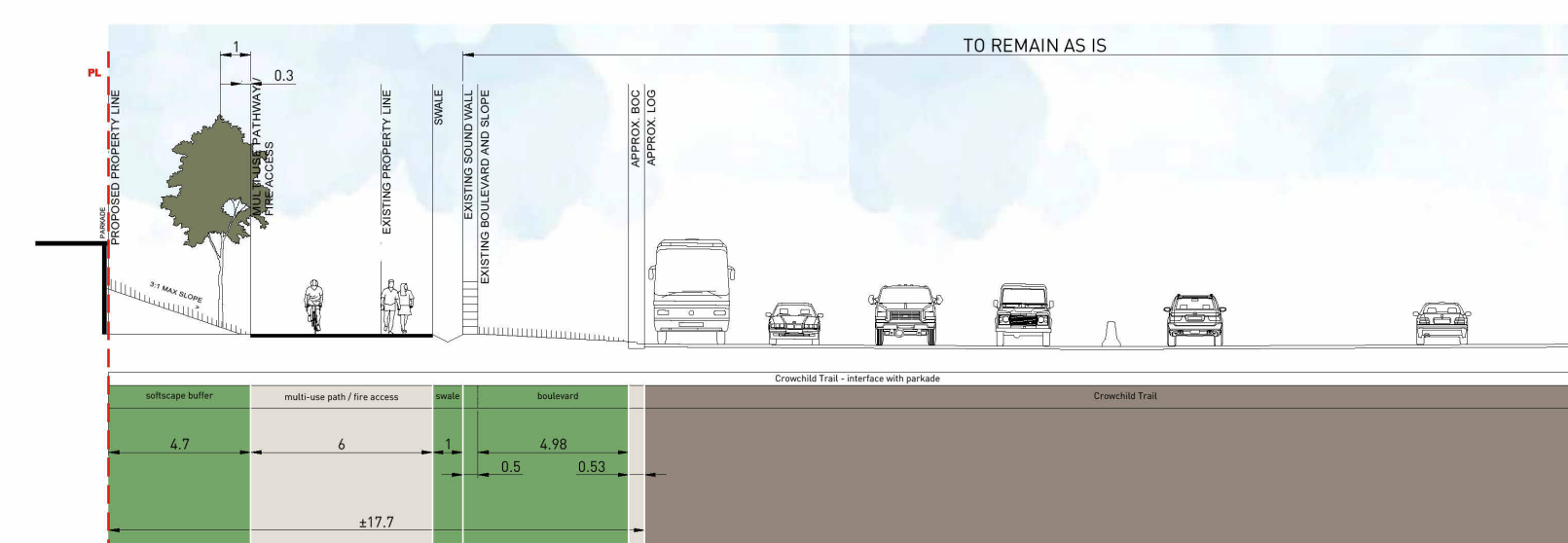
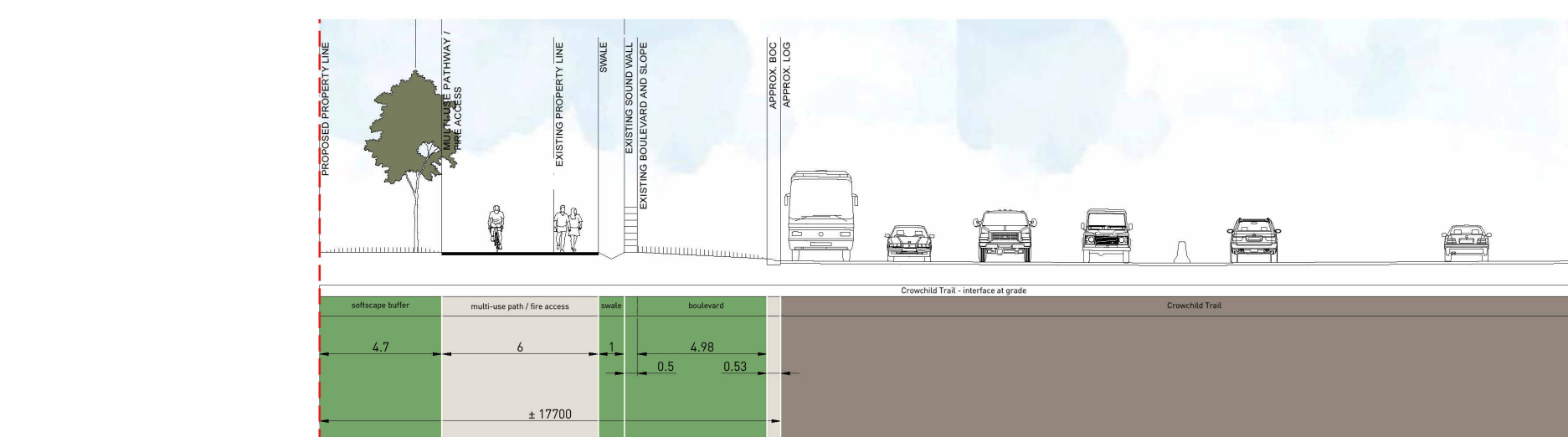
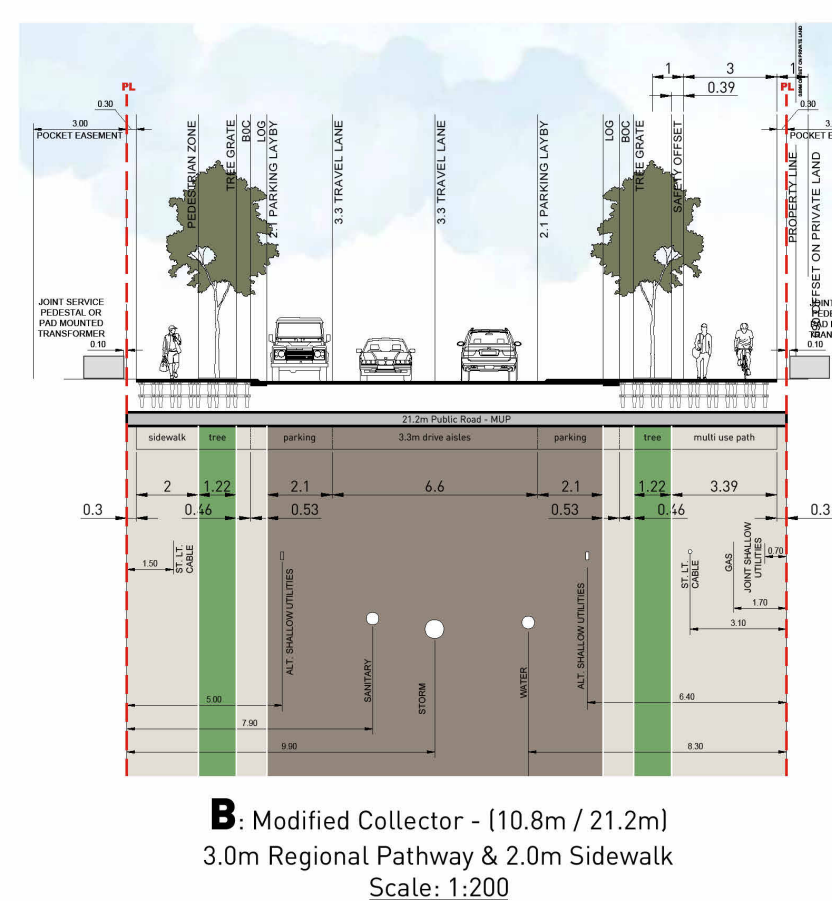
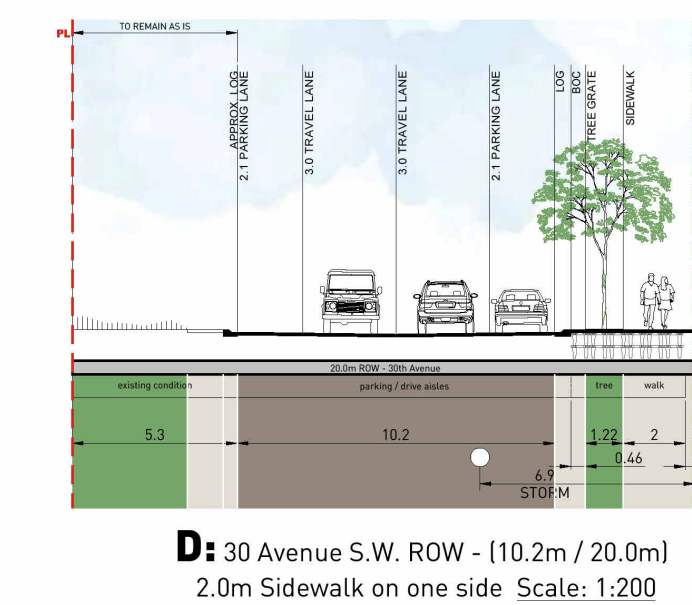
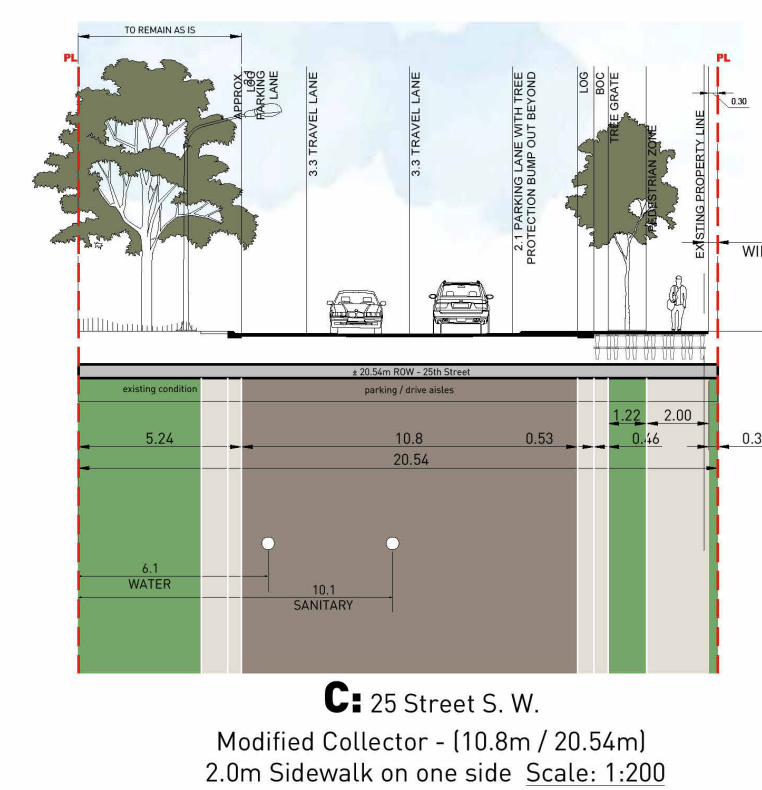
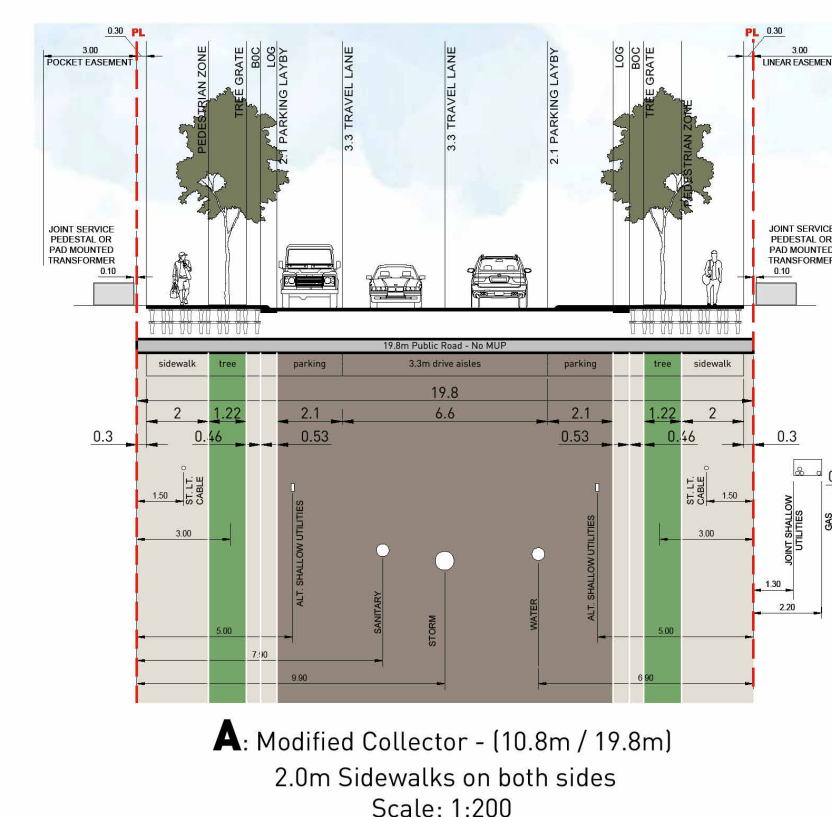
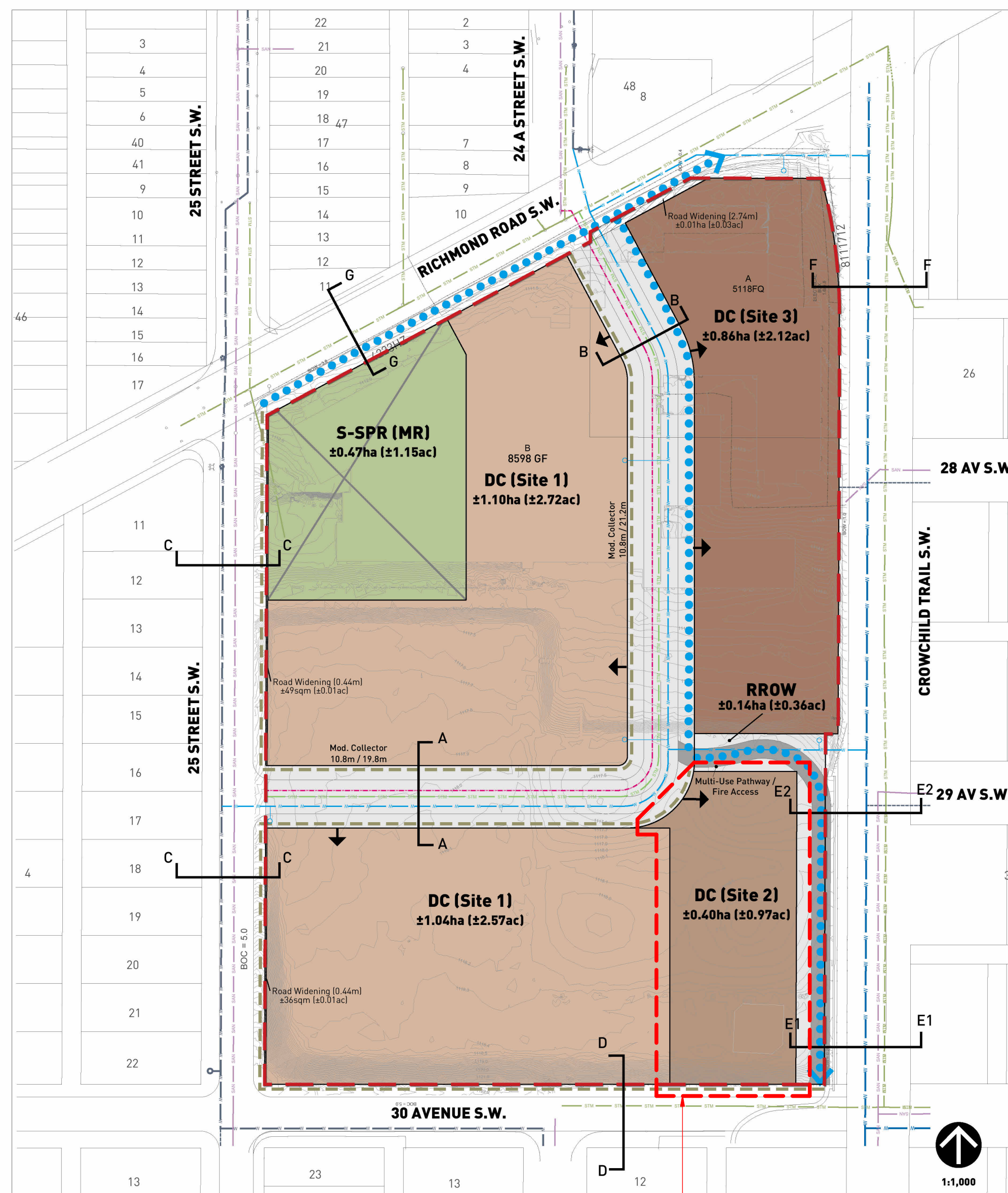
D - SITE PHOTOGRAPH - SOUTH EAST CORNER



NOTE

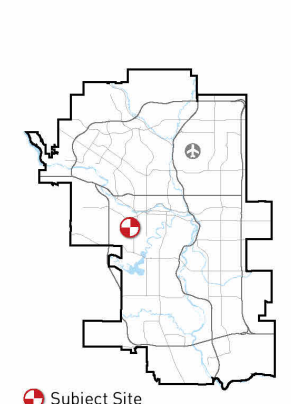
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OUTLINE PLAN STATISTICS			
	Metres (SI)	Acres (SI)	% of SDA
Total Area	4.45	11.49	100%
Green Developable Area (GDA)	4.45	11.49	100%
Land Use			
Land Use	Units per acre (sq)	Metres (SI)	Acres (SI)
<b>DC (Site 1)</b> Direct Control Site 1	Anticipated number of units based on 170 u/sq / 737 u/sq Maximum number of units based on 47 u/sq / 208 u/sq	3.39	8.38
<b>DC (Site 2)</b> Direct Control Site 2	Anticipated number of units based on 170 u/sq / 737 u/sq Maximum number of units based on 47 u/sq / 208 u/sq	0.40	0.97
<b>DC (Site 3)</b> Direct Control Site 3	Anticipated number of units based on 170 u/sq / 737 u/sq Maximum number of units based on 47 u/sq / 208 u/sq	0.84	2.12
<b>S-SPR (MR)</b> Special Purpose - School, Park and Community	Anticipated number of units based on 232 u/sq / 979 u/sq Maximum number of units based on 67 u/sq / 297 u/sq	0.67	1.68
<b>Roadways &amp; Lanes</b>		6.79	1.66
<b>Open Space</b>		0.17	0.42
<b>Units</b>			
Anticipated	264.8 u/sq	666	1231
Maximum	76.2 u/sq	307	509
Density		52.5 u/sq	129.3 u/sq

LAND USE STATISTICS			
FROM	TO	ha (SI)	ac (SI)
R-CG	DC (SITE 1)	2.56	6.33
R-CG	DC (SITE 2)	0.57	1.41
R-CG	DC (SITE 3)	1.05	2.58
R-CG	S-SPR	0.47	1.17
<b>Total</b>		<b>4.65</b>	<b>11.49</b>



- Outline & Land Use Redesignation Boundary
- Contour Interval 0.1m
- Separate Sidewalk 2m
- DC (Site 1) Direct Control Site 1
- DC (Site 2) Direct Control Site 2
- DC (Site 3) Direct Control Site 3
- S-SPR Park
- RRW
- Deep Services - Existing
- Stormwater Servicing
- Sanitary Servicing
- Water Servicing 150 PVC / Hydrant
- Water Servicing 400 PVC / Hydrant
- Deep Services - Proposed
- Stormwater Servicing
- Sanitary Servicing
- Water Servicing 150 PVC / Hydrant
- Water Servicing 250 PVC / Hydrant

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**REVISION**

REVISION	DATE	REVISION	DATE
Land Use Submission	15/Nov/2023		
Outline Plan Submission	05/Jan/2024		
Respond to DR Comments	15/Oct/2024		
Respond to City Comments	30/Jan/2025		

**TEAM**  
B&A Studios  
400, 215 - 9<sup>th</sup> Ave SW  
Calgary, Alberta, T2P 1K3  
bstudios.ca | 403 281 4783

**PRE-APP NUMBER:** --  
**LOC:** --  
**PROJECT NUMBER:** 2022-056  
**DRAWN BY:** eskzypek  
**START DATE:** May 2024  
**CURRENT DATE:** January 30, 2025

**LEGAL DESCRIPTION**  
Block A, Plan 5118 FQ & Block B, Plan 8598 GF  
**MUNICIPAL ADDRESS**  
2519 Richmond Road S.W.

**PROJECT NAME**  
2501 RICHMOND

**SHEET TITLE**  
OUTLINE PLAN AND LAND USE REDESIGNATION



**LANDUSE REDESIGNATION OUTLINE PLAN**  
LANDUSE REDESIGNATION OUTLINE PLAN DATED 2025-01-30 FOR REFERENCE ONLY, PREPARED BY B&A PLANNING

NOT FOR CONSTRUCTION

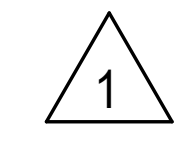
# "PARKLINE" PHASE 1 - MULTI-FAMILY BLDG

**PROJECT ADDRESS**  
TBD RICHMOND RISE S.W.  
(CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
CALGARY, ALBERTA

## LANDUSE OUTLINE PLAN (FOR REFERENCE)

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL
DRAWING NO.	REVISION NO.	

# DP1.02



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1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT  
**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

TITLE  
**SITE PLAN + PROJECT/BYLAW INFORMATION**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP1.03	1

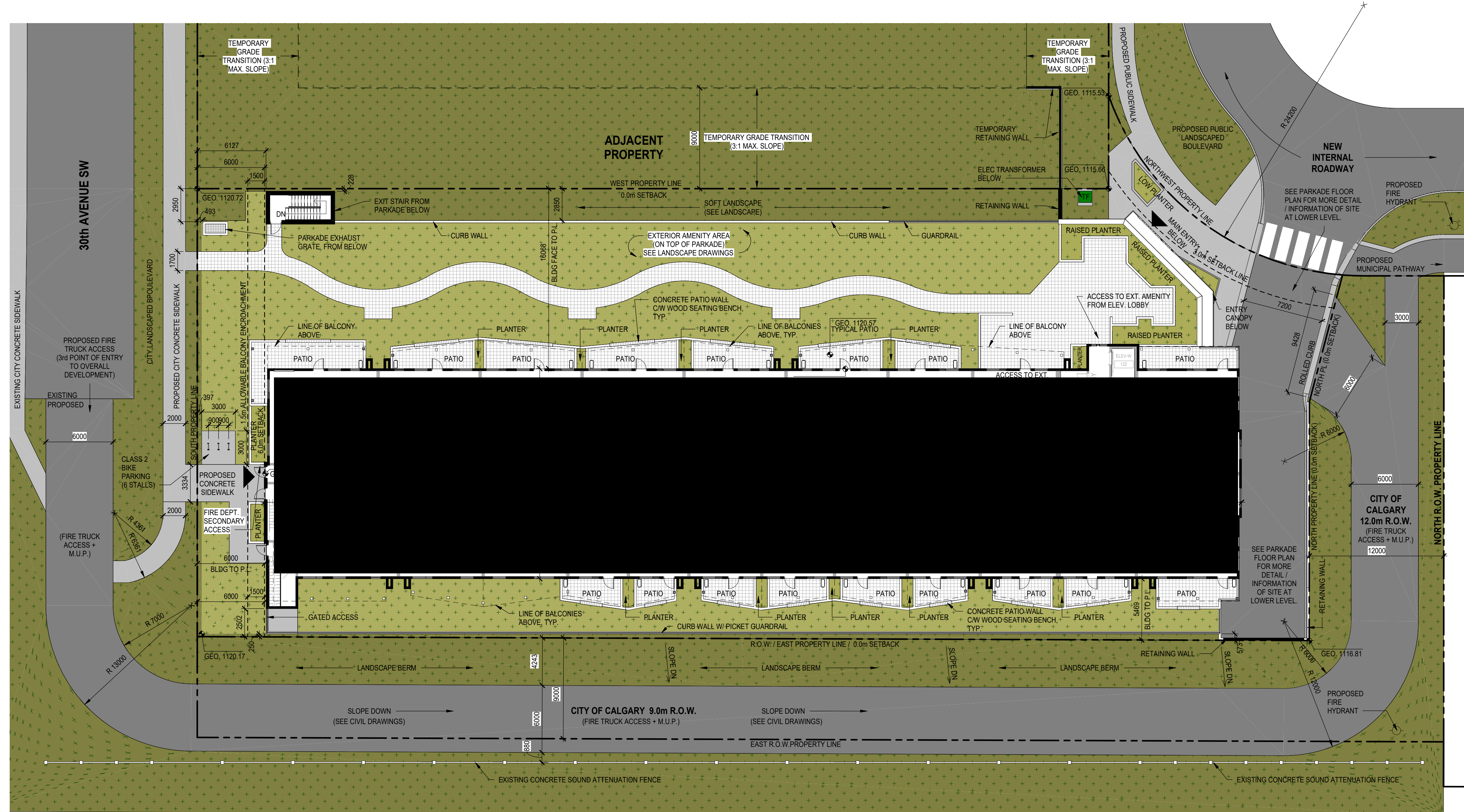
**DP1.03**

**BYLAW ANALYSIS:**

PROJECT INFORMATION	
<b>OWNER:</b>	MINTO COMMUNITIES
<b>DP APPLICANT:</b>	ZEIDLER ARCHITECTURE
<b>MUNICIPAL ADDRESS:</b>	2501 RICHMOND ROAD S.W., CALGARY, AB. T3E 4M1
<b>LEGAL ADDRESS:</b>	PLAN: 8598GF, BLOCK:B & PLAN 5118FQ, BLOCK:A
<b>PARCEL AREA:</b>	3963.441 m <sup>2</sup> / 42662.123866 ft <sup>2</sup> / 0.3963441 ha
<b>LANDUSE BYLAW:</b>	LUB 1P2007
<b>ZONING (EXISTING):</b>	R-CG
<b>ZONING (PROPOSED):</b>	PROPOSED DIRECT CONTROL DISTRICT "SITE 2" (BASED ON M-H2)
<b>GENERAL DESCRIPTION:</b>	6 STOREY - MULTI-FAMILY BUILDING WITH 1-LEVEL UNDERGROUND PARKING
<b>PRINCIPAL USES / FLOOR:</b>	RESIDENTIAL UNITS ON LEVELS 1-6 UNDERGROUND PARKING + BUILDING ENTRY LOBBY ON LEVEL P1

CLAUSE	REQUIREMENT	PROVIDED	
		LEVEL	GROSS FLOOR AREA
FLOOR AREA RATIO (F.A.R.): (16)	MAXIMUM 4.0 F.A.R. (= 15,853.76m <sup>2</sup> )		
DENSITY UNITS PER HECTARE (17)	MINIMUM DENSITY IS 150 UNIT PER HECTARE (1) MAXIMUM DENSITY IS 400 UNITS PER HECTARE (2)		
SETBACKS: (8)	8(1) NORTHWEST PL (ALONG INTERNAL ROADWAY) - SETBACK: 3.0m 8(5) NORTH PL (ALONG R.O.W. PARCEL) - SETBACK: 0.0m 8(3) SOUTH PL (ALONG 30th AVENUE S.W.) - SETBACK: 6.0m 8(5) WEST PL (ALONG ADJACENT PARCEL) - SETBACK: 0.0m 8(5)(b) EAST PL (ALONG R.O.W. PARCEL / CROWCHILD TRAIL S.W.) - SETBACK: 0.0m	NORTHWEST SETBACK - 3.0m (COMPLIANT) NORTH SETBACK - 0.0m (COMPLIANT) SOUTH SETBACK - 6.0m (COMPLIANT) WEST SETBACK - 0.0m (COMPLIANT) EAST SETBACK - 0.0m (COMPLIANT)	
BUILDING HEIGHT (18)	(1) MAX. BUILDING HEIGHT: 25 m (2) MAX. BUILDING HEIGHT REDUCED TO 21.0 m MEASURED FROM GRADE WITHIN 15.0 METRES FROM A PROPERTY LINE SHARED WITH 30 AVENUE S.W.	NORTH ELEVATION = 23.76m SOUTH ELEVATION = 20.22m (30th AVE SW)	

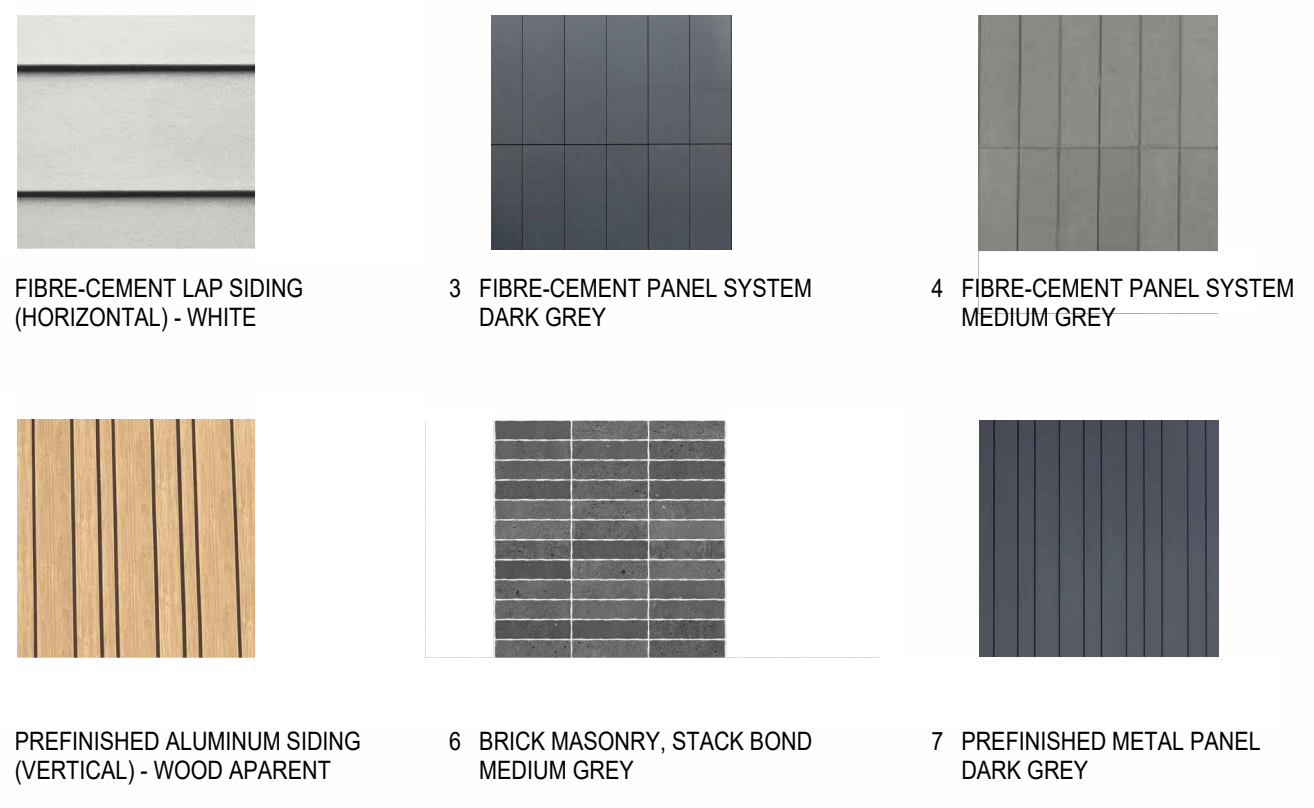
CLAUSE	REQUIREMENT	PROVIDED	
		UNIT COUNT	REQUIRED AREA
AMENITY SPACE: (1P2007-557)	THE REQUIRED MINIMUM AMENITY SPACE IS 5.0m <sup>2</sup> PER UNIT.	119	595.0 m <sup>2</sup>
MOTOR VEHICLE PARKING REQUIREMENTS: (1P2007-558)	MULTI-RESIDENTIAL DEVELOPMENT 0.625 RESIDENT PARKING STALLS PER DWELLING UNIT = 0.625 STALLS X 119 UNITS = 75 RESIDENT STALLS REQ'D 25% T.O.D. REDUCTION = 56 RESIDENT STALLS REQUIRED TOTAL		
BICYCLE PARKING REQUIREMENTS: (1P2007-559)	CLASS I BICYCLE PARKING STALLS REQ'D: = 1.0 CLASS I BICYCLE STALLS PER UNIT = 1.0 STALL X 119 UNITS = 119 CLASS I STALLS REQUIRED  CLASS II BICYCLE STALLS PER UNIT = 0.1 CLASS II BICYCLE STALLS PER UNIT = 0.1 STALL X 119 UNITS = 12 CLASS II STALLS REQUIRED		



1 SITE PLAN  
 DP1.03 SCALE: 1:200

NOTE  
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MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11
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**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**BUILDING ELEVATIONS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL
DRAWING NO.	REVISION NO.	

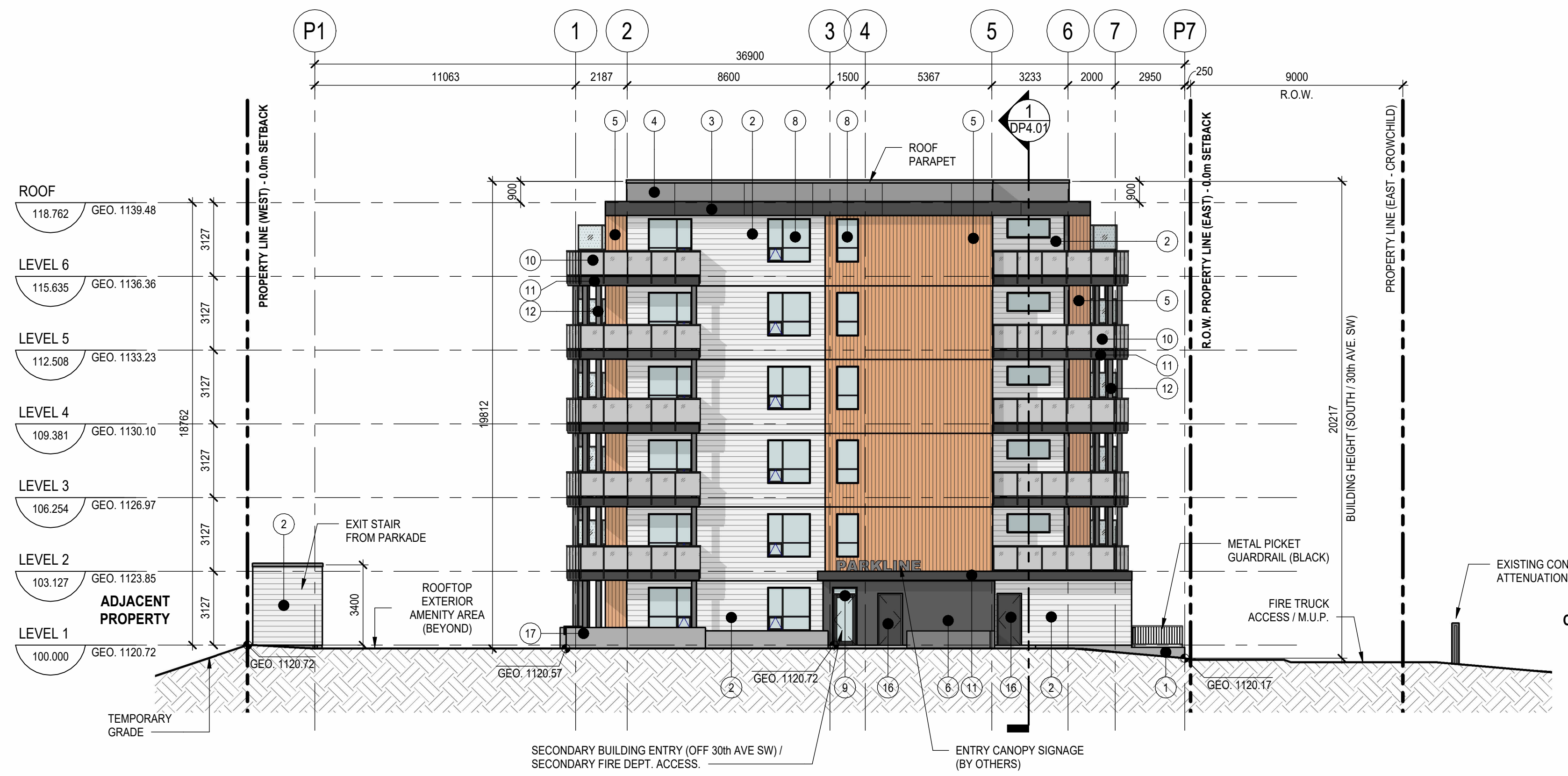
**DP3.01**

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MATERIAL LEGEND	
TAG	EXTERIOR MATERIAL TYPE
1	FINISHED CONCRETE
2	WALL CLADDING - FIBRE-CEMENT LAP SIDING (HORIZONTAL) - WHITE
3	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - DARK GREY
4	WALL CLADDING - FIBRE-CEMENT PANEL SYSTEM - MEDIUM GREY
5	WALL CLADDING - PREFINISHED ALUMINIUM SIDING, VERTICAL - WOOD APARENT
6	WALL CLADDING - BRICK MASONRY, STACK BOND - MEDIUM GREY
7	WALL CLADDING - PREFINISHED METAL PANEL - DARK GREY
8	RESIDENTIAL WINDOWS - CLEAR GLASS, BLACK FRAMES
9	RESIDENTIAL PATIO DOORS - CLEAR GLASS, BLACK FRAMES/PANELS
10	PREFINISHED GLASS GUARDRAIL SYSTEM - FROSTED GLASS PANELS, BLACK FRAMES
11	BALCONY FASCIA - FIBRECEMENT TRIM - DARK GREY
12	BALCONY COLUMNS - FIBRECEMENT TRIM - MEDIUM GREY
13	ALUMINIUM STOREFRONT GLAZING SYSTEM - CLEAR GLASS, BLACK FRAMES
14	ENTRY CANOPY FASCIA - PREFINISHED METAL, BLACK
15	OVERHEAD DOOR - DARK GREY
16	SERVICE / EXIT DOORS - PAINTED, DARK GREY
17	PATIO WALLS - FINISHED CONCRETE WITH WOOD SEATING CAP



NOTE  
 CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTION INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



**1 SOUTH**  
 DP3.02 SCALE: 1:150



**2 EAST**  
 DP3.02 SCALE: 1:150

NO.	ISSUE/ REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11

**NOT FOR CONSTRUCTION**

**"PARKLINE" PHASE 1 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

**BUILDING ELEVATIONS**

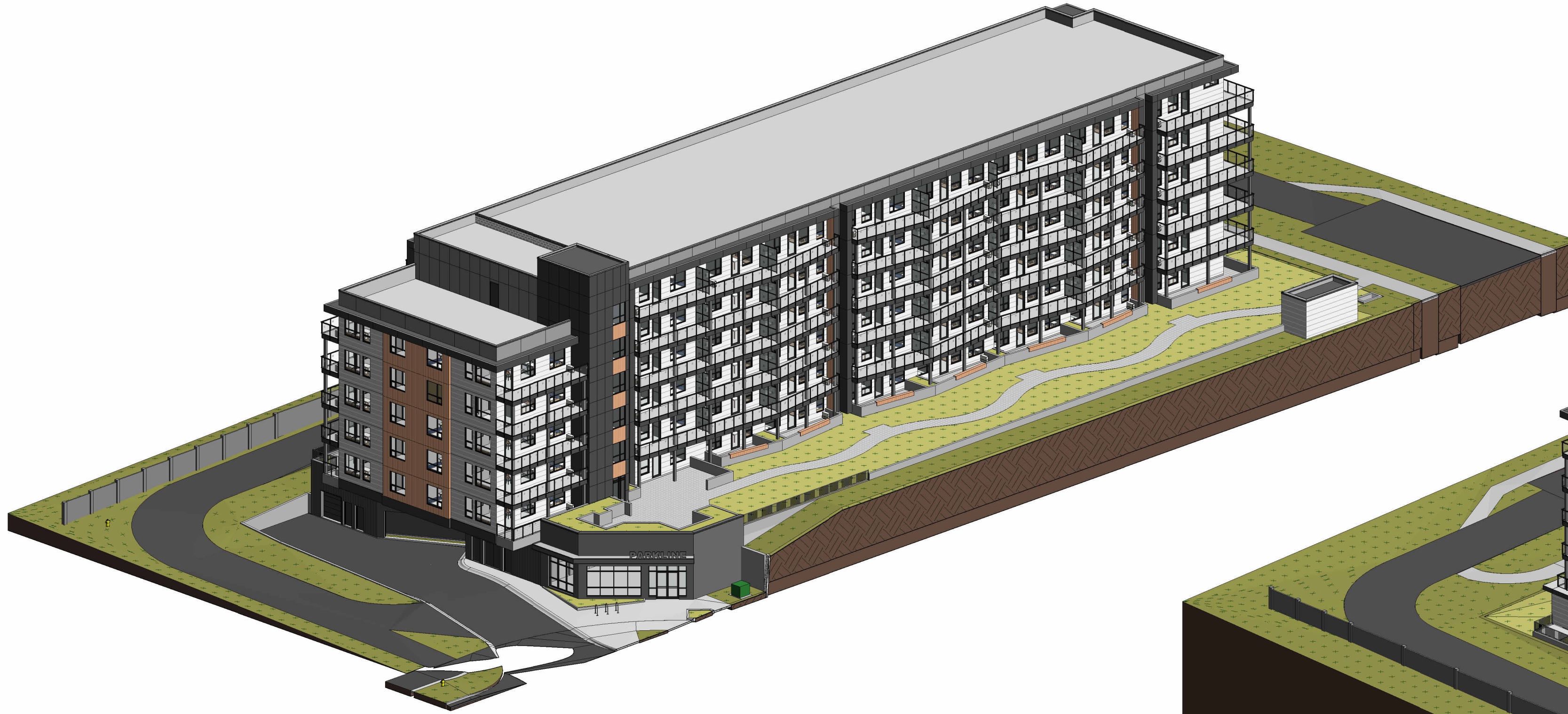
PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
DP3.02	1

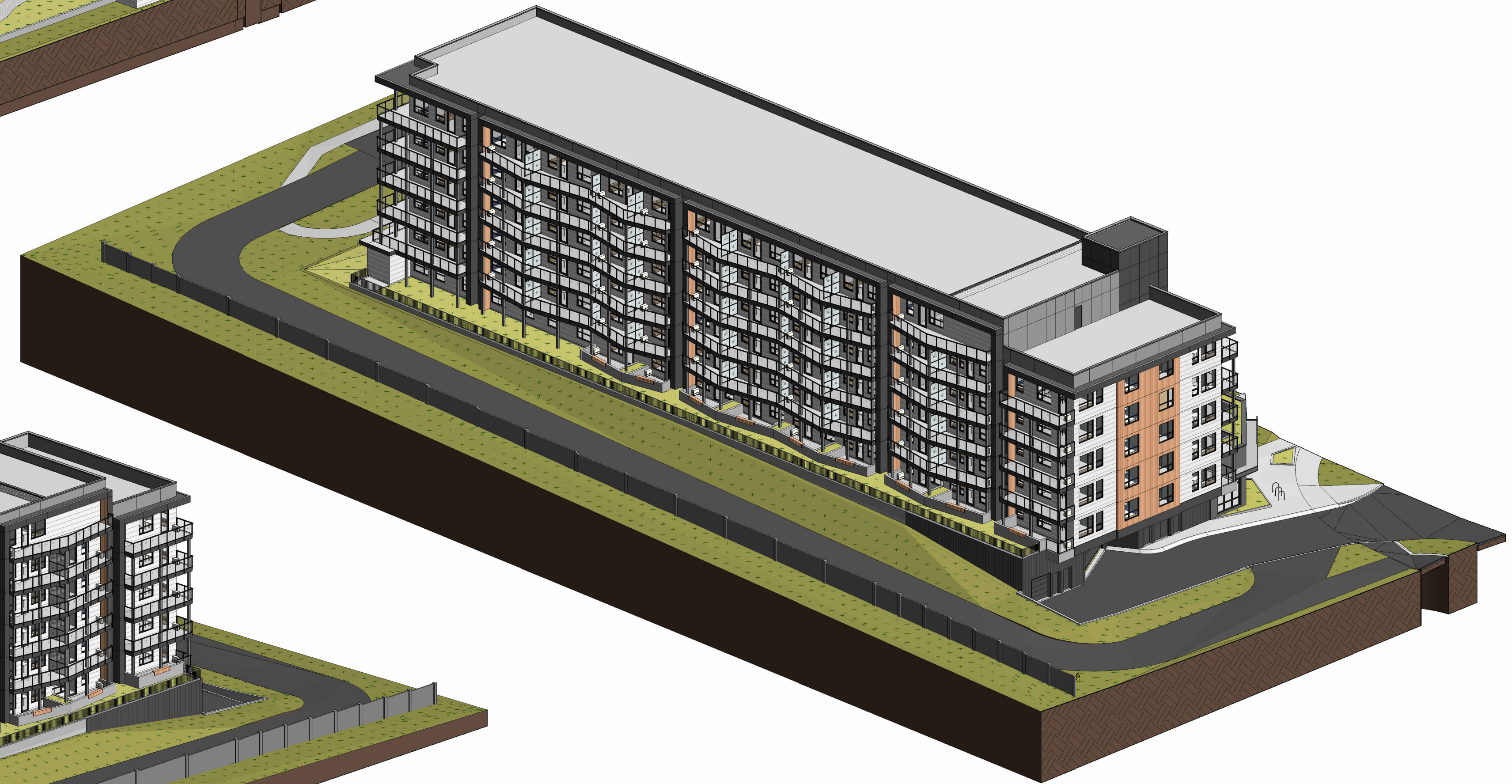
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NOTE

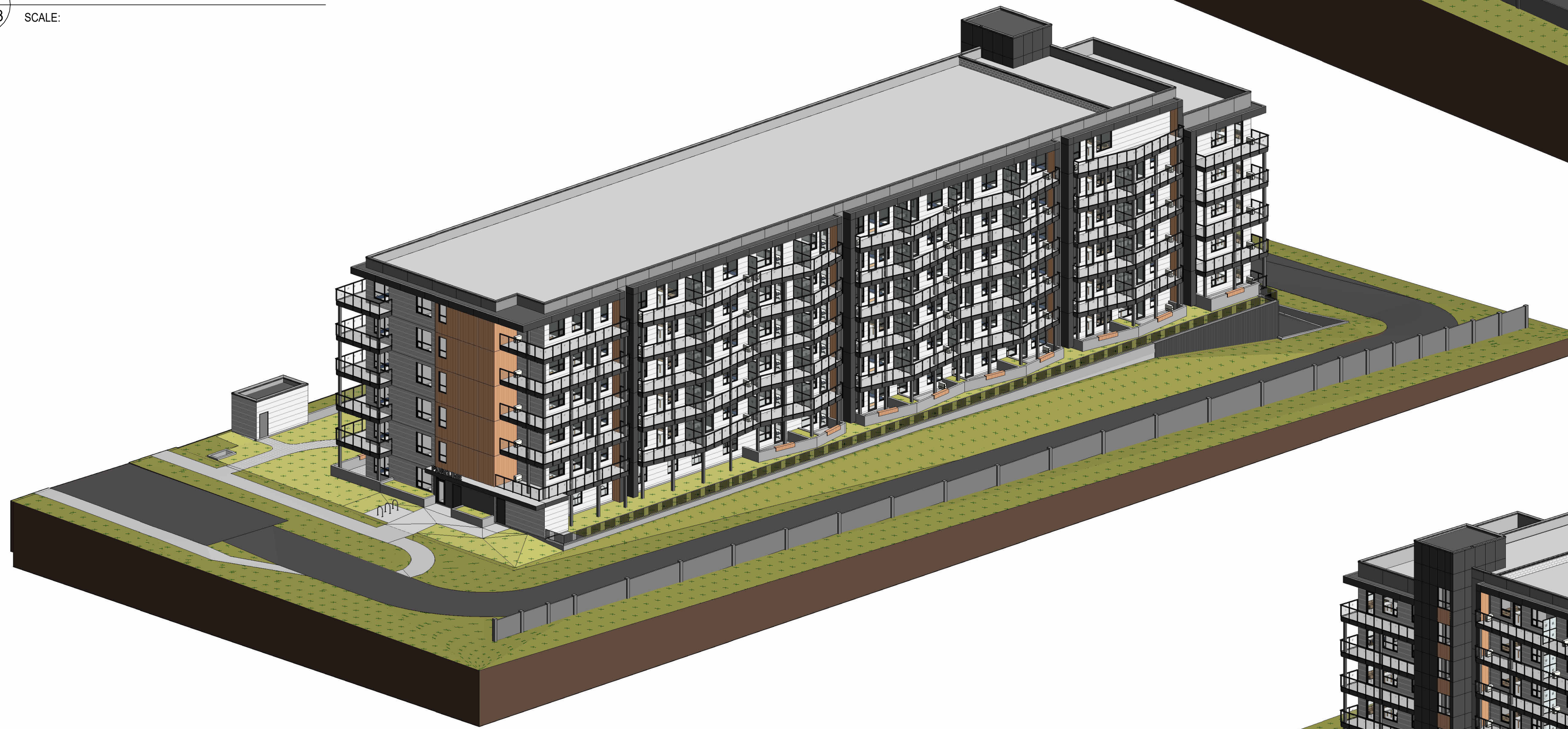
COPYRIGHT © ZEIDLER ARCHITECTURE INC.  
 CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.



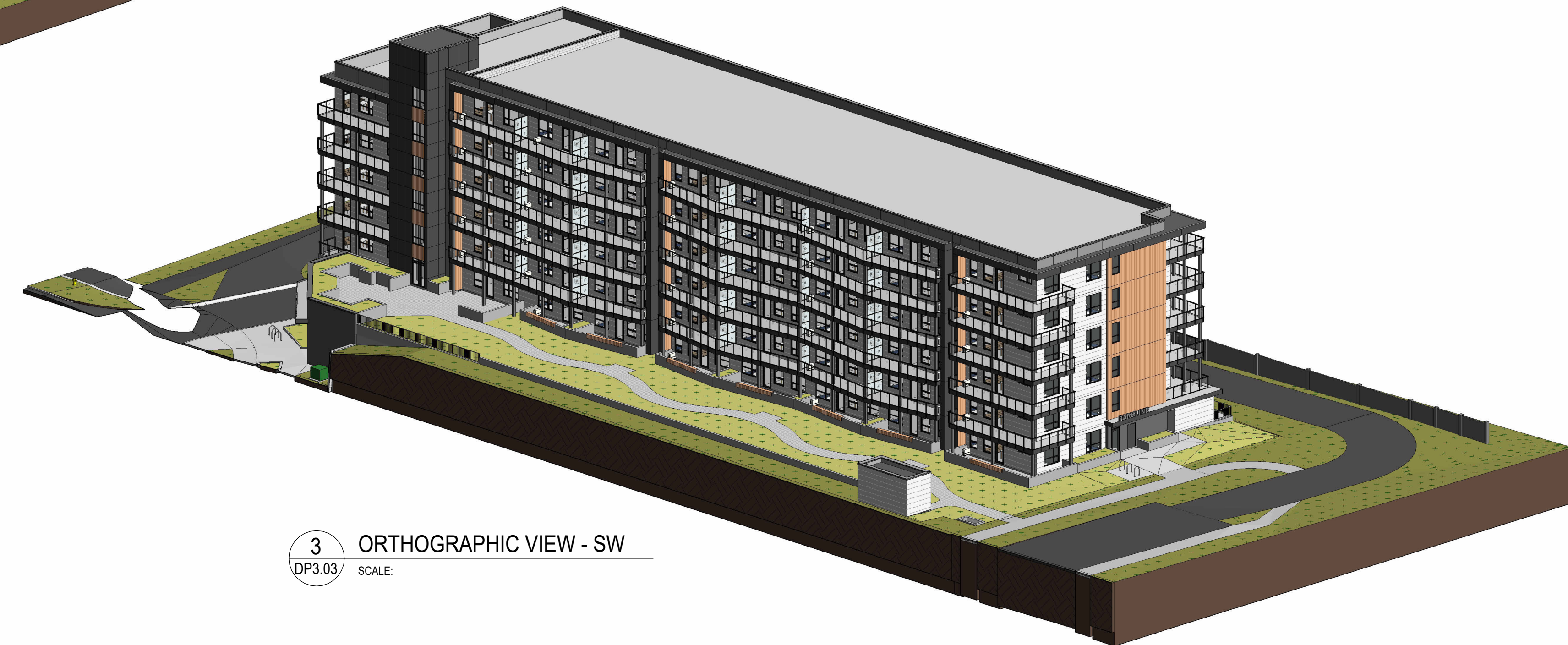
**1** ORTHOGRAPHIC VIEW - NW  
 DP3.03 SCALE:



**2** ORTHOGRAPHIC VIEW - NE  
 DP3.03 SCALE:



**4** ORTHOGRAPHIC VIEW - SE  
 DP3.03 SCALE:



**3** ORTHOGRAPHIC VIEW - SW  
 DP3.03 SCALE:

1	ISSUED FOR DEVELOPMENT PERMIT	2025-04-11
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

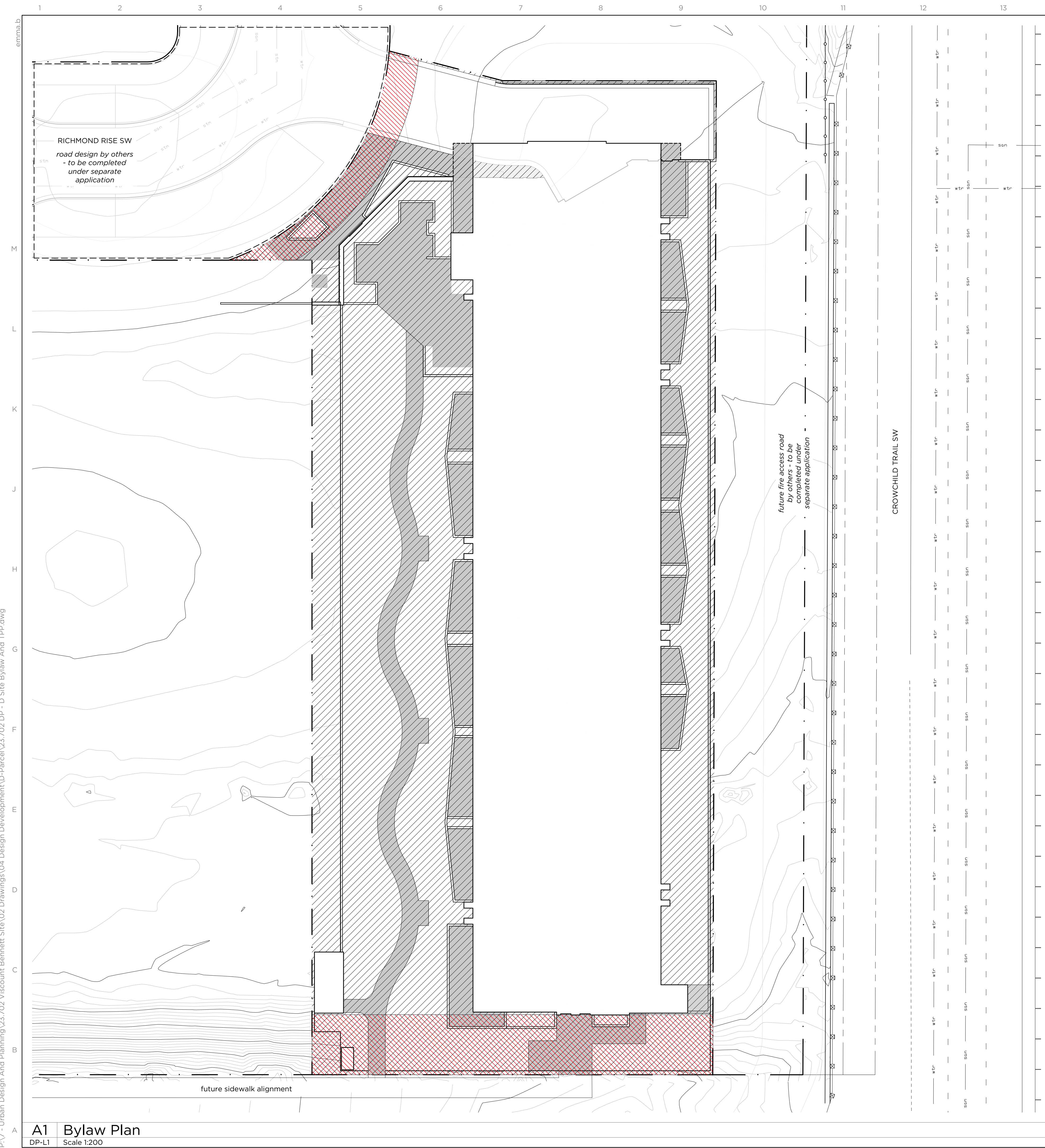
PROJECT  
**"PARKLINE" PHASE 1  
 - MULTI-FAMILY BLDG**

PROJECT ADDRESS  
 TBD RICHMOND RISE S.W.  
 (CURRENT ADDRESS: 2505 & 2519 RICHMOND RD S.W.)  
 CALGARY, ALBERTA

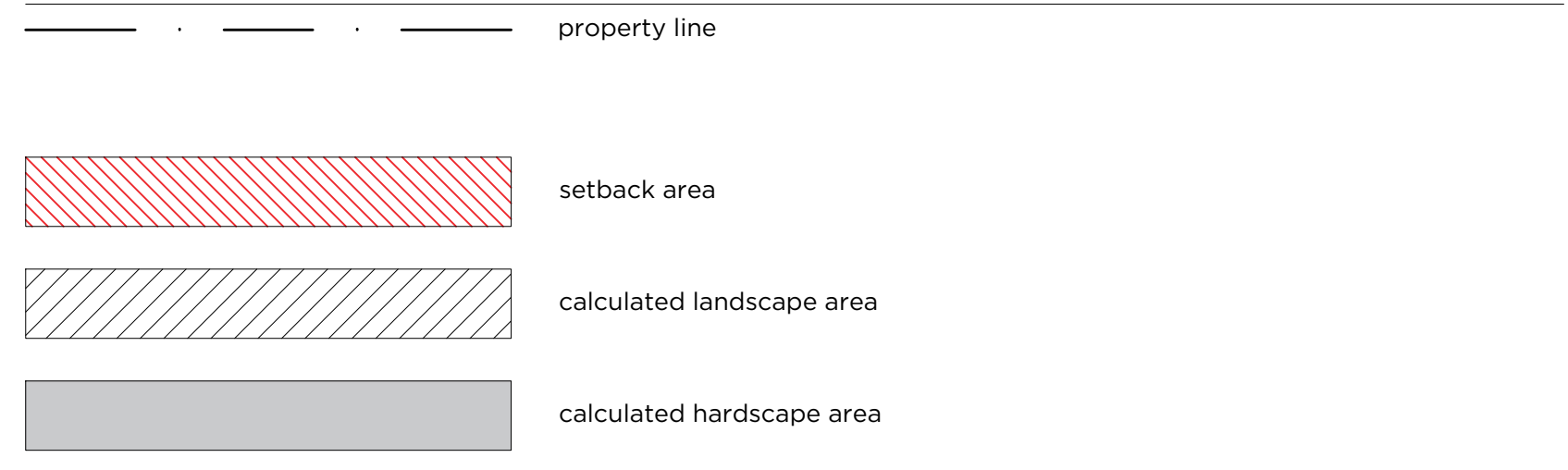
TITLE  
**ORTHOGRAPHIC  
 VIEWS**

PROJECT NO.	DRAWN	CHECKED
223-115	AZO / SB	JGB / TL

DRAWING NO.	REVISION NO.
<b>DP3.03</b>	<b>1</b>



### Bylaw Legend



### Landscape Bylaw Calculations - City of Calgary Land-Use Bylaw 1P2007 (Zone MH-2)

regulation	standard	required	provided
specific rules for landscaped areas - 551	(2) a minimum of 40.0 percent of the area of a parcel must be a landscaped area.	minimum landscaped area (3,965m <sup>2</sup> x 0.40) = 1,586m <sup>2</sup>	landscaped area = 2,070.6m <sup>2</sup>
	(3) the maximum hard surfaced landscaped area is: (a) 50.0 percent of the required landscaped area for a parcel containing a street-oriented multi-residential building.	maximum hard surfaced landscaped area allowed (1,586m <sup>2</sup> x 0.50) = 793m <sup>2</sup>	total hard surfaced landscaped area = 630m <sup>2</sup>
planting requirements - 552	(2) a minimum of 1.0 trees and 2.0 shrubs must be planted for every 45.0 square metres of landscaped area provided.	minimum shrubs (1,586m <sup>2</sup> /45m <sup>2</sup> ) x 2 = 72 minimum trees (1,586m <sup>2</sup> /45m <sup>2</sup> ) = 36	total shrubs = 161 total trees = 42
	(3) a minimum of 25.0 percent of all trees provided must be coniferous.	coniferous trees (42 x 0.25) = 11	coniferous trees = 11
	(4) deciduous trees must have a minimum calliper of 50 millimetres and at least 50.0 per cent of the provided deciduous trees must have a minimum calliper of 75 millimetres at the time of planting.	50mm caliper deciduous trees (31 x 0.50) = 15 75mm caliper deciduous trees (31 x 0.50) = 16	50mm caliper deciduous trees = 15 75mm caliper deciduous trees = 16
	(5) coniferous trees must have a minimum height of 2.0 metres and at least 50.0 per cent of the provided coniferous trees must have a minimum height of 3.0 metres at the time of planting.	2m height coniferous trees required (11 x 0.50) = 5	2m height coniferous trees = 5
		3m height coniferous trees (11 x 0.50) = 6	3m height coniferous trees = 6

### General Notes

- site plan prepared using information provided by Zeidler Architecture Inc. 2025-02-24
- contractor is responsible for locating utilities and protecting same from damage during construction, contact Alberta One call at 1-800-242-3447, commencement of work indicates completion of utility locates.
- all drawings are property of landscape architect. site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
- if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner.
- all drawings are metric unless otherwise noted.
- all layouts shall be approved on site by landscape architect prior to construction. contractor to notify owner's representative minimum 72 hours prior.
- contractor shall refer to related disciplines as indicated on plan's where applicable.
- all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o. disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
- refer to civil engineering drawings for grading information.

### Irrigation Note

- All soft surfaced landscaped areas must be irrigated by a low water irrigation system.



issue / revision	date	no.
issued for development permit	25/03/17	1

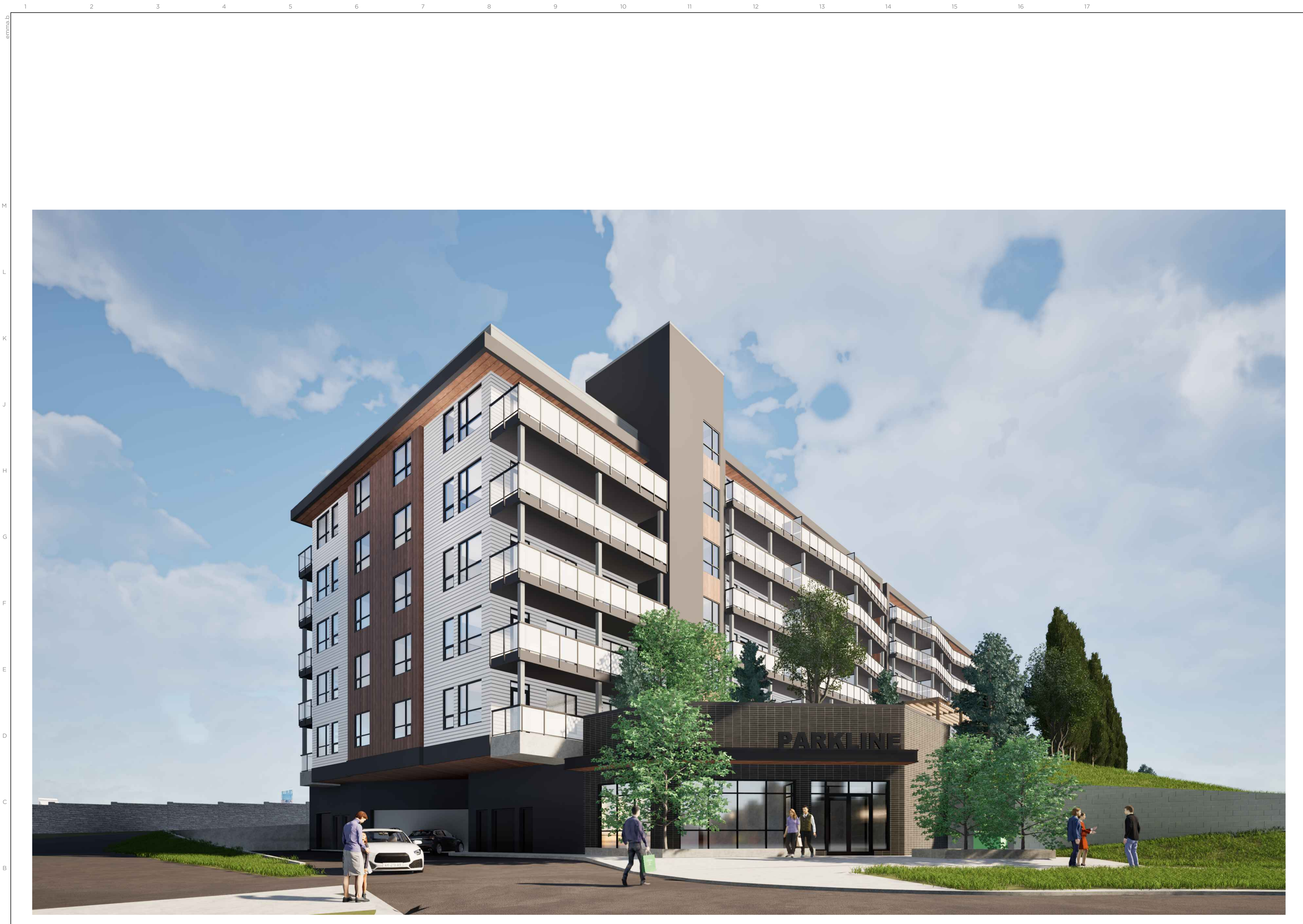
project  
**Parkline  
Phase 1 Multi-Family  
Building**

drawn EB	checked EB	approved JS
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project # 23.702	date 2025/03/17
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drawing  
**Bylaw Plan**

N 	sheet <b>DPL1.00</b>
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A1 Perspective Render  
 DPL2.20 NTS



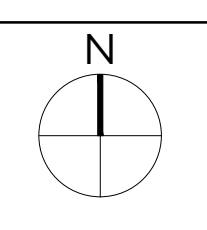
issue / revision	date	no.
issued for development permit	25/03/17	1

project  
**Parkline  
 Phase 1 Multi-Family  
 Building**

drawn EB	checked EB	approved JS
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project # 23.702	date 2025/03/17
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drawing  
**Render - Main Entrance**

	sheet DPL2.10
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A1 Perspective Render  
DPL2.10 NTS



issue / revision	date	no.
issued for development permit	25/03/17	1

project  
**Parkline  
Phase 1 Multi-Family  
Building**

drawn EB	checked EB	approved JS
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project # 23.702	date 2025/03/17
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drawing  
**Render - South Entrance**

	sheet <b>DPL2.20</b>
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