

THE BALOCH - PROPOSED MIXED USE DEVELOPMENT

409 27TH AVENUE NORTHEAST CALGARY

LEGAL ADDRESS: LOT 31, BLOCK 7A PLAN 2411737



IMAGE FOR CONCEPTUAL ILLUSTRATION ONLY

CONSULTANTS:

ARCHITECT:
MANU CHUGH ARCHITECT LIMITED
401 1070 4TH AVENUE SW CALGARY, AB.



MC+A
MANU CHUGH ARCHITECT LTD

STRUCTURAL ENGINEERS:
TRL AND ASSOCIATES



TRL
Associates
Tomecek - Irony - TRL & Associates Ltd.
consulting structural engineers

MECHANICAL AND ELECTRICAL ENGINEERS:
KEEN ENGINEERING



KEEN
ENGINEERING

ISSUED FOR RE-DTR 2

SITE INFORMATION AND BUILDING INFORMATION

PROJECT NAME: PROPOSED MIXED-USE DEVELOPMENT (THE BALOCH)
PROJECT MUNICIPAL ADDRESS: 409 27TH AVENUE NORTHEAST CALGARY, ALBERTA
PROJECT LEGAL ADDRESS: LOT 31 BLOCK 7A PLAN 2411737
ZONING: MU-1, R-03 Mixed Use - General
SITE AREA: 2161m² (23,260.89ft²)

BUILDING AREA:
MAIN FLOOR PLAN: 1199m² (12,907.65ft²)
SECOND FLOOR PLAN: 1111m² (11,958.38ft²)
THIRD FLOOR PLAN: 1111m² (11,958.38ft²)
FOURTH FLOOR PLAN: 1111m² (11,958.38ft²)
FIFTH FLOOR PLAN: 1039m² (11,184.46ft²)
SIXTH FLOOR PLAN: 1035m² (11,146.89ft²)
GROSS BUILDING AREA: 6606m² (71,108.34ft²)
F.A.R.: 3.06 **MAX F.A.R.:** 3.6

MAIN FLOOR LEVEL:
 DAYCARE: 480.00m²
 RESIDENTIAL SUITES (2 BEDROOM SUITES): 4 UNITS
 GYMNASIUM (FOR OCCUPANT USE ONLY): 53.0m²
 MANAGEMENT OFFICE: 35.0m²

SECOND FLOOR LEVEL: 1 BEDROOM: 10 UNITS
 2 BEDROOM: 6 UNITS

THIRD FLOOR LEVEL: 1 BEDROOM: 10 UNITS
 2 BEDROOM: 6 UNITS

FOURTH FLOOR LEVEL: 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS

FIFTH FLOOR LEVEL: 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS

SIXTH FLOOR LEVEL: 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS

TOTAL: 16 UNITS

RESIDENTIAL SUITE COUNT
 1 BEDROOM: 48 UNITS
 2 BEDROOM: 34 UNITS

TOTAL: 82 UNITS

BYLAW REQUIREMENTS

PURPOSE:
1233 (A): CHARACTERIZED BY BUILDINGS OF FOUR TO SIX STOREYS IN HEIGHT.

PROJECTION INTO SETBACK:
1234 (2): PORTION OF BUILDING PERMITTED TO PROJECT INTO SETBACK.
1234 (3): PORTION OF BUILDING BELOW GRADE MAY PROJECT INTO SETBACK WITHOUT LIMIT

GROUND FLOOR HEIGHT:
1237 (1): MINIMUM HEIGHT OF GROUND FLOOR IS 4.0 METERS
1237 (2): NO MINIMUM HEIGHT FOR DWELLING UNITS

BUILDING ORIENTATION:
1239 (A-C): INDIVIDUAL UNITS MUST HAVE SEPARATE AND DIRECT ACCESS TO GRADE. ENTRANCE TO VISIBLE FROM STREET AND SIDEWALK SHALL PROVIDE DIRECT EXTERIOR ACCESS TO THE USE.

RULES FOR FACADE FACING A STREET:
1240 (1): LENGTH OF BUILDING FACADE THAT FACES A STREET MUST BE A MINIMUM OF 80% OF LENGTH OF THE PROPERTY LINE.

RULES FOR DWELLING UNIT FACING A STREET:
1241 (1): ENTRANCE TO INDIVIDUAL DWELLING UNIT LOCATED AT GRADE SHALL BE A MINIMUM OF 2.5 METERS FROM P/L SHARED WITH A STREET.

RULES FOR COMMERCIAL USES FACING A STREET:
1242 (1A): FACADE OF A BUILDING AT GRADE AND FACING STREET SHALL PROVIDE WINDOWS WITH UNOBSCURED GLASS COVER 65% MINIMUM OF THE FACADE.
 (2) DWELLING UNIT NEED NOT COMPLY TO SUBSECTION (1)

GENERAL LANDSCAPE AREA RULES:
1244: PROPOSED LANDSCAPE SUBJECT TO AHJ APPROVAL

LOW WATER IRRIGATION SYSTEM:
1245: LOW WATER IRRIGATION SYSTEM TO BE PROVIDED AND LIMITED TO ONLY TREES AND SHRUBS

LANDSCAPING IN SETBACK AREAS:
1246 (1): WHERE SETBACK AREA SHARES A PROPERTY LINE WITH ANOTHER PARCEL DESIGNATED AS RESIDENTIAL DISTRICT, SETBACK AREA MUST BE SOFT LANDSCAPE AND MAY INCLUDE SIDEWALKS, PATIO AND 1 TREE AND 2 SHRUBS FOR EVERY 45m²

RESIDENTIAL AMMENITY SPACE:
1249 (1): AMMENITY SPACE FOR RESIDENTIAL SUITES MAYBE PRIVATE, COMMON OR BOTH.
 (2) 5m² MINIMUM AMMENITY SPACE PER UNIT.
 (3B) PRIVATE AMMENITY SPACE TO HAVE MINIMUM OF 2m

MOTO VEHICLE PARKING STALLS:
1250: DWELLING UNITS = 0.75 STALLS PER UNIT AND 0.1 UNITS FOR VISITORS
 NUMBER OF UNITS = 82
 NUMBER CAR PARKING STALLS FOR DWELLING UNITS = 82*0.75 = 62 PARKING STALLS
 NUMBER OF CAR PARKING STALLS FOR VISITORS = 82*0.1 = 8.1 (9 PARKING STALLS)
 REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNITS = 71 STALLS

REDUCTION FOR TRANSIT SUPPORTIVE DEVELOPMENT:
1252: 25% REDUCTION APPLICABLE - 53 CAR PARK STALL

REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNIT NOW: 53 STALLS
TOTAL CAR PARK STALL PROVIDED: 88 (INCLUDING 5 EV CAPABLE STALLS)

BICYCLE PARKING STALLS:
1245: CLASS 1 BICYCLE STALL (0.5*82) = REQUIRED: 41 PROVIDED: 43
 CLASS 2 BIKE STALL (0.1*82) = REQUIRED: 9 PROVIDED: 11

VISIBILITY TRIANGLE:
1261: WITHIN VISIBILITY TRIANGLE, NO BUILDINGS, FENCES, FINISHED GRADE AND VEGETATION BETWEEN 0.75m AND 4.6 METERS ABOVE LOWEST ELEVATION OF THE STREET.

SETBACK AREA:
1274 (2): NO SETBACK REQUIREMENT ALONG EDMONTON TRAIL AND 27TH AVENUE

STANDARD FOR MOTOR VEHICLE PARKING STALLS:
122 (1): 90 DEGREE PARKING ANGLE (STALL DEPTH = 5.4m), WIDTH (2.5m DWELLING UNIT, 2.6m OTHER USES)

LOADING STALLS:
 123 (2A-C) LOADING STALL DIMENSION 3.1m X 9.2m X 4.3m HEIGHT

CHILDCARE SERVICES: QUICK PICKUP/ DROP-OFF REQUIREMENTS
 1 FOR EVERY 10 CHILDREN. REQUIRED 10, PROVIDED 10

SITE PHOTOS

NE VIEW



WEST VIEW



NORTH VIEW



NW VIEW



OUTDOOR PLAY AREA - SIZE DETERMINATION
 19(1) A licence holder that provides day care must provide outdoor play space for children in day care that is on, adjacent to or within easy and safe walking distance from the program premises and accommodate at least 50% of the licensed capacity at a level of not less than 2 square metres for each infant receiving day care and not less than 4.5 square metres for each child receiving day care who is 18 months of age or over.

ROOM SCHEDULE:
 PRE-SCHOOL ROOM 1 - 18 KIDS
 PRE-SCHOOL ROOM 2 - 18 KIDS
 PRE-SCHOOL ROOM 3 - 20 KIDS
 TODDLER ROOM - 25 KIDS
 INFANTS - 20 KIDS
TOTAL NUMBER OF KIDS = 88 KIDS

AREA CALCULATION: 2.0m² X 20 = 40m²
 4.5m² X 78 = 351m²
TOTAL OUTDOOR PLAY AREA = 315m² + 40m² = 355m²
 50% TO BE ACCOMMODATED = 166m²
 TOTAL OUTDOOR AREA PROVIDED = 251m²

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A0.03	BUILDING CODE REVIEW
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A0.05	AREA OF UPO, CONSTRUCTION TYPE, CLADDING TYPE
A0.06	AREA OF UPO, CONSTRUCTION TYPE, CLADDING TYPE
A0.07	SITE GRADING PLAN
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A1.01A	VEHICLE SWEEP PATH - PASSENGER CAR
A1.02	FIRE DEPARTMENT ACCESS
A1.03	EXISTING SURVEY
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A2.06	FOURTH FLOOR PLAN
A2.07	FIFTH FLOOR PLAN

Sheet List	
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A2.12	REFLECTED CEILING PLAN
A2.13	REFLECTED CEILING PLAN
A2.14	REFLECTED CEILING PLAN
A2.15	REFLECTED CEILING PLAN
A2.16	REFLECTED CEILING PLAN
A3.01	BUILDING SECTION 1
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A11.0	DOOR SCHEDULE
A11.1	DOOR SCHEDULE
A12.0	FLOOR FINISH SCHEDULE

VICINITY MAP



ZONING



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Project Phase

ISSUED FOR RE-DTR2
DP2025-02322

Issue / Date

Date	Issue Description:
2025-10-31	Issued for Re-DTR
2028-02-17	Issued for Re-DTR 2

Revisions:

Notes	
Rev. #	Revision Description

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 2411737

MC+A file No.

1296

Date

Scale

As indicated

Drafted By

NS

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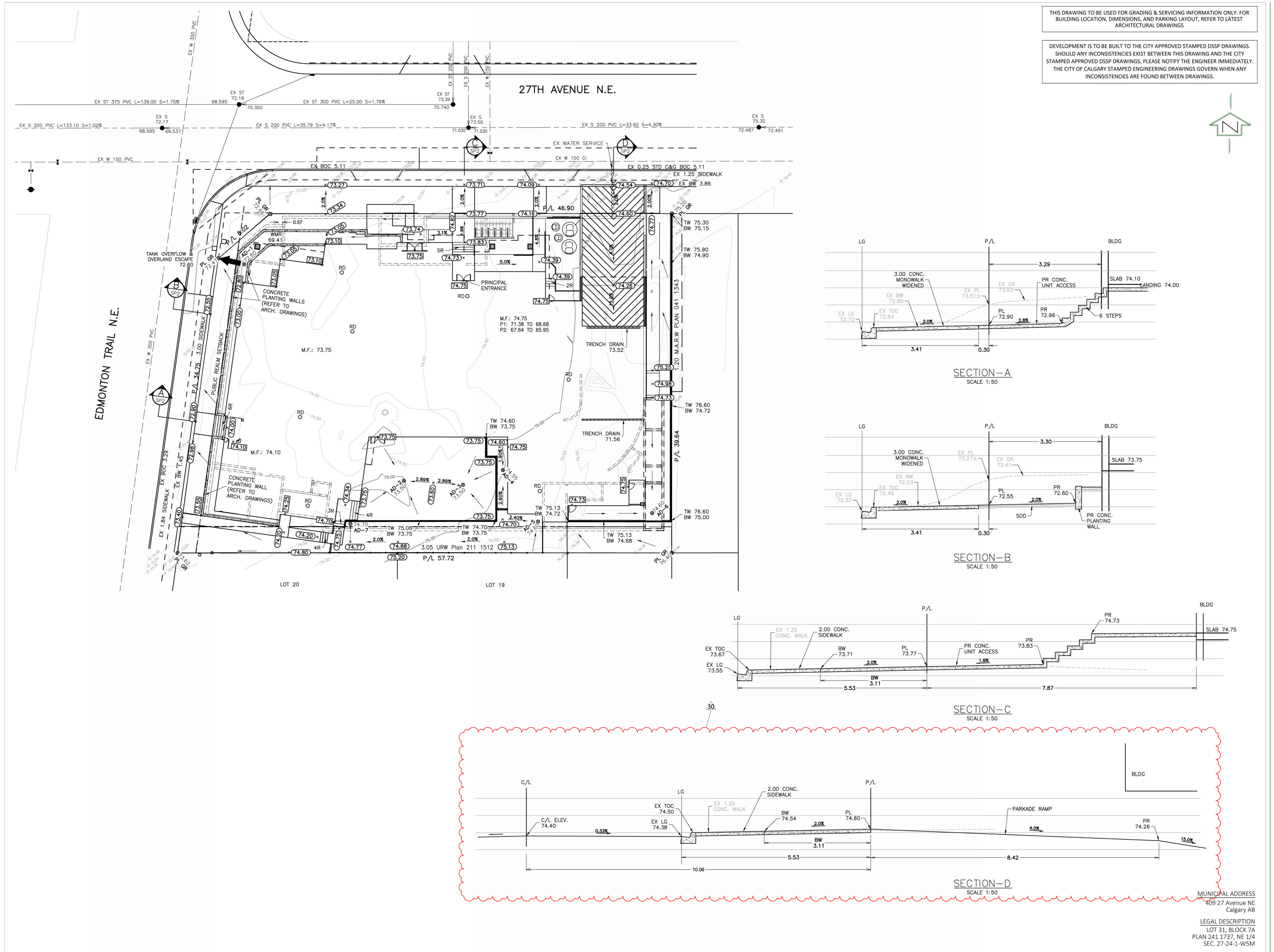
S.O. MC+A

Sheet Title

PROJECT INFORMATION

Sheet Number

A0.01



Jubilee Engineering Consultants Ltd.
Municipal Engineering • Industrial, Commercial, & Residential Land Development • Planning • Engineering Surveys

3702 Edmonton Trail N.E., Calgary, Alberta, T2E 3P4
www.jubileeeengineering.com
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PERMIT TO PRACTICE
JUBILEE ENGINEERING CONSULTANTS LTD.
REVISED 2025-01-27
PERMIT NUMBER: P 3550
The Association of Professional Engineers and Geoscientists of Alberta

2026-01-27

NOTES
1. All elevations referenced to 100m Geodetic Datum.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Proposed swale
- Overland flow
- Overland escape route
- Proposed design elevation
- Proposed building grades
- Existing elevation
- Proposed road grade
- Sanitary manhole number & elevation
- CB/GT/Storm manhole number & elevation
- Traplow
- M.F. 000.00 Main floor elevation
- T.F. 000.00 Top of footing elevation
- 000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2025-02322
DSSP 2025-0621

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

No.	DRAWING STATUS	DATE	APP.
4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		

CLIENT
THE BALOCH CORP.

PROJECT
WINSTON HEIGHTS MIXED USE
82 UNITS
409 27 AVE NE

TITLE
SITE GRADING PLAN

DESIGN BY: DV	SCALE: 1:200	JOB NUMBER: 24-070
DRAWN BY: JK	REV NO.: -	DRAWING NUMBER: SP2
CHECKED BY: DV		
DATE: 27-Jan-26		

1 GRADING PLAN - SP2
1 : 50

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Project Phase

ISSUED FOR BUILDING PERMIT

Issue / Date

Date	Issue Description
2025-10-31	

Revisions:

Rev. #	Revision Description
30	PARKADE SLOPE

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1 : 50

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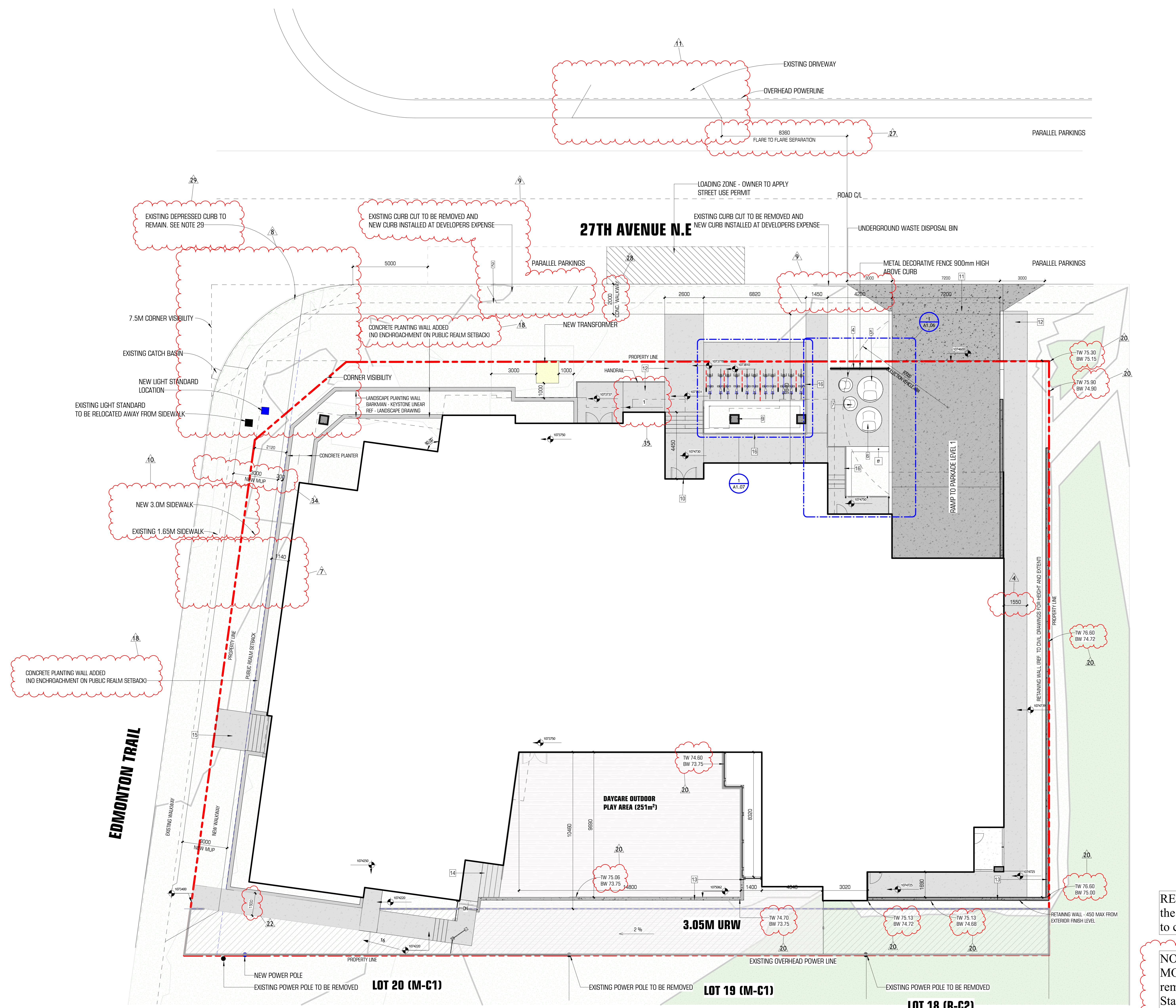
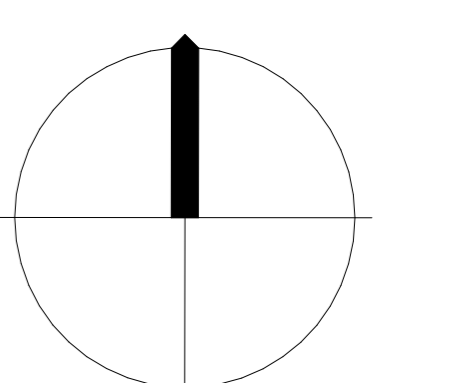
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Sheet Title

SITE GRADING PLAN

Sheet Number

AO.07



	PRE-CAST MODULAR CONCRETE PAVER
	HEAVY DUTY CONCRETE
	LIGHT CONCRETE WALKWAY
	EXISTING UTILITY RIGHT OF WAY
	SOFT LANDSCAPE AREA
	PROPOSED TRANSFORMER LOCATION
	CHILD CARE OUTDOOR PLAY AREA

- 1 PREFINISHED STEEL FENCE - COLOUR BLACK
- 2 EXTENT OF EXISTING WALKWAY
- 3 U-SHAPED BIKE RACK
- 4 METAL DECORATIVE FENCE 900mm HIGH ABOVE CURB
- 5 UNDERGROUND WASTE DISPOSAL SYSTEM (GARBAGE) - (6.5yd³)
- 6 UNDERGROUND WASTE DISPOSAL SYSTEM (RECYCLE) - (6.5yd³)
- 7 UNDERGROUND WASTE DISPOSAL SYSTEM (ORGANIC) - (1.7yd³)
- 8 CLEAR GLASS RAILING
- 9 CONCRETE COLUMN - REF. ELEVATION FOR FINISH
- 10 PRIMARY ENTRANCE
- 11 NEW CONCRETE APRON
- 12 CONCRETE WALKWAY
- 13 REINFORCED CONCRETE RETAINING WALL
- 14 CONCRETE STEPS
- 15 ACCESS TO RESIDENTIAL SUITE
- 16 METAL RAILINGS
- 17 LANDSCAPE PLANTING WALL

REVISION NOTE #28:
the removal and replacement of the sidewalk to a 2.0m sidewalk will be done to current City Standards at developer's expense.

NOTE 29:
MOBILITY ENGINEERING COMMENT #15:
removal and replacement wheelchair will be done to current City Standards at developer's expense

1 SITE PLAN
1 : 100

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**ISSUED FOR RE-DTR2
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Date	Issue Description:
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description
4	RESPONSE TO REG. 1374
7	RESPONSE TO PDR #14
8	RESPONSE TO PDR #15 & 16
9	RESPONSE TO PDR #19
10	RESPONSE TO PDR #20
11	RESPONSE TO PDR #18
18	PLANTING WALL PROVIDED
20	RETAINING WALLS TW AND BW ADDED
22	SIDEWALK WIDTH
27	FLARE TO FLARE DIMENSION
28	2.0m SIDEWALK WIDTH
29	WHEELCHAIR RAMP
34	3.0m MUP AND 0.3m SETBACK
35	SIDEWALK WIDTH INCREASED TO 2M

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Scale

As indicated

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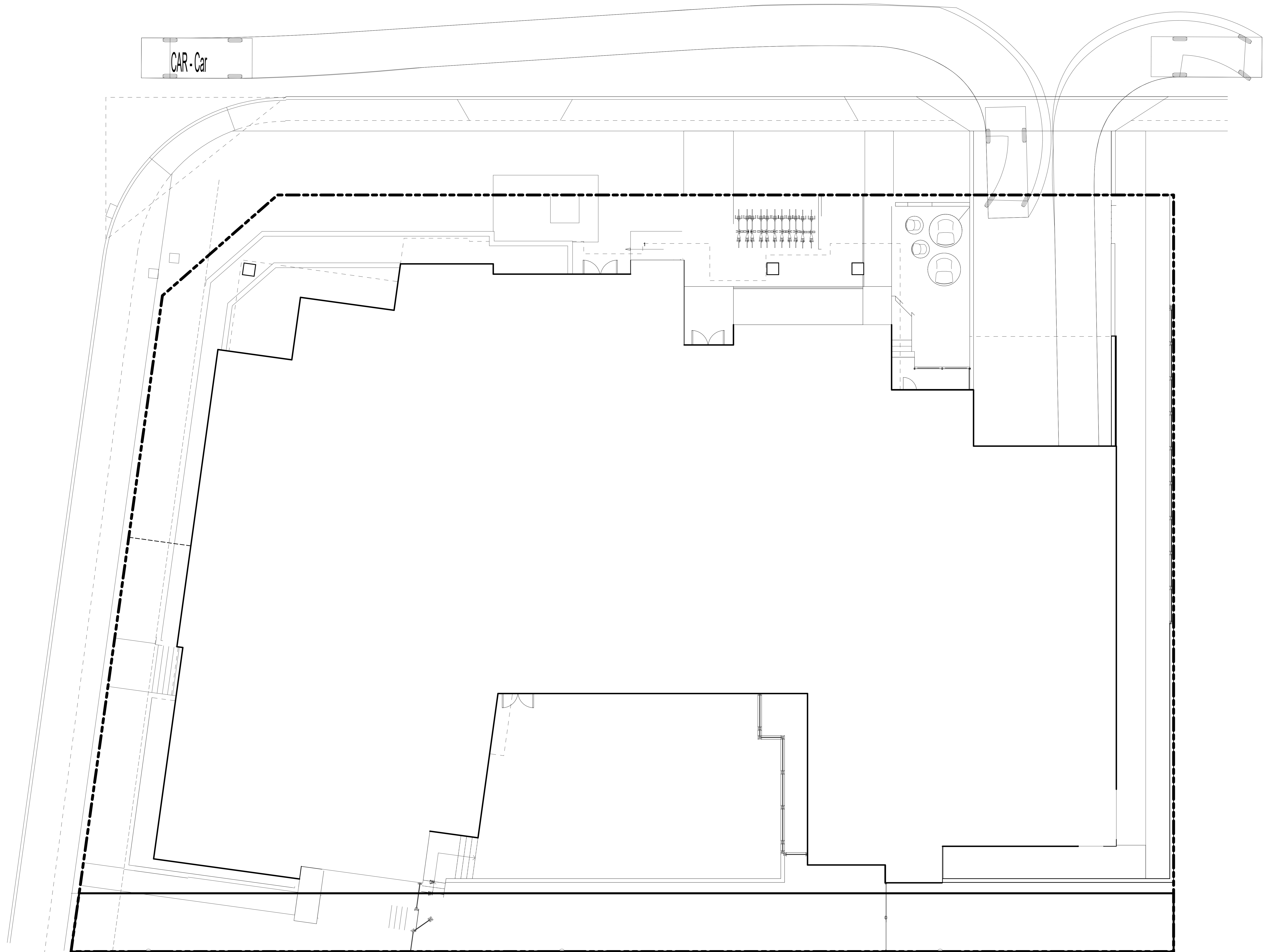
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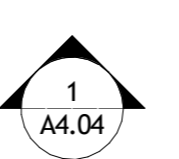
SITE PLAN

Sheet Number

A1.00



1 VEHICLE SWEPT PATH - PASSENGER CAR
1 : 75



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Scale

1 : 75

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N.S

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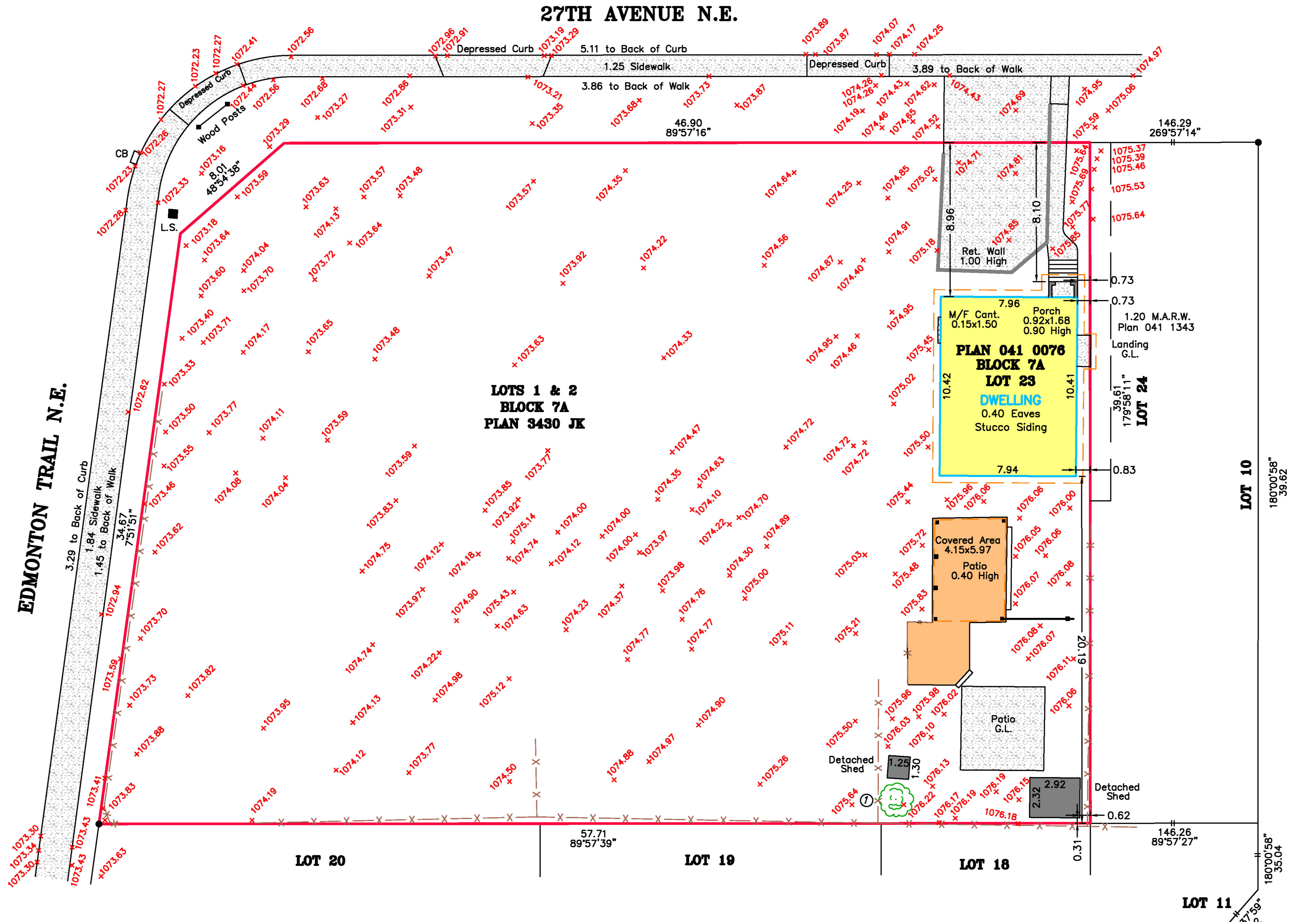
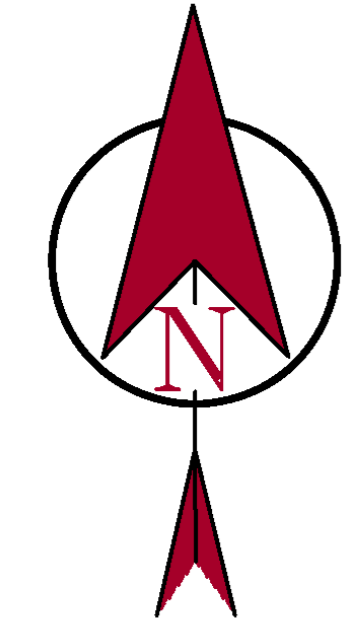
Sheet Title

**VEHICLE
SWEPT PATH -
PASSENGER
CAR**

Sheet Number

A1.01A

ALBERTA LAND SURVEYOR'S SITE SURVEY



LEGEND
 ABBREVIATIONS, SYMBOLS AND NOTES THAT MAY APPEAR/APPLY ON THIS PLAN.

- Drill Hole: X
- Iron Bar found: ●
- Statutory Iron Post found: ●
- Fences: - - - - -
- Foundations: - - - - -
- Property line: ———
- Line not to scale: ———
- Utility Right-of-Way: ———
- Eave Fascia shown thus: ———

N: North
 E: East
 S: South
 W: West
 m: Metres
 Conc.: Concrete
 F.: Found
 M.C.: Mark
 M.C.: Marks
 Bk.: Block
 A: Length of Arc
 R: Radius of Arc
 D: Delta (Central) Angle of Arc
 G.L.: Ground Level
 M/F: Main Floor
 2/F: Second Floor
 Cont.: Continer
 W/W: Window Well
 Ret. Wall: Retaining Wall
 A/C: Air Conditioner
 U.: Utility
 O.D.: Overland Drainage
 M.A.: Maintenance Access
 R.O.: Right-Of-Way
 Reg. No.: Registration Number

Fences are within 0.20m of the Property Line unless otherwise noted
 Eave dimensions (where applicable) are to line of Fascia
 Caves as noted unless otherwise shown
 The Following may not be shown:
 Non-permanent concrete blocks
 Right-of-ways not registered on title
 Privacy walls, except for those on decks on attached and semi-detached dwellings
 Temporary Storage Structures, Bins & Children's play structures
 Boards between landscaping materials that do not function as retaining walls
 Retaining walls not following property lines and not encroaching
 Report may not show structures not visible at time of survey
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AXIOM GEOMATICS LTD.
 P: 403-472-7777 F: 403-775-2602
 Email: info@axiomgeomatics.ca

Plan Showing Survey for
 Site Survey
 Plan 041 0076
 Block 7A
 Lot 23
 Address: 413 27th Avenue N.E.
 Calgary, Alberta

Title information is based on a Title Search dated July 26th, 2024
 Title No: 241 072 282

Property is subject to:
 771 147 064 ZONING REGULATIONS (AIRPORT)
 041 147 355 EASEMENT
 241 072 295 CAVEAT

Plan 3430 JK
 Block 7A
 Lot 1 & 2
 Address: 407 27th Avenue N.E.
 Calgary, Alberta

Title information is based on a Title Search dated December 22th, 2021
 Title No: 181 038 682

Property is subject to:
 771 147 064 ZONING REGULATIONS (AIRPORT)

NOTE
 Unless otherwise specified, the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.
 Elevations are geodetic and derived from ASCM 159228 (Elev.=1076.62)

Property Boundaries of Parcel Affected shown thus: ———
 Foundations shown thus: - - - - -
 Fences shown thus: - - - - -
 Deciduous Trees are shown thus: (Tree symbol)

Scale : 1 : 200

This plan is not to be used for the establishment of boundaries and is intended for the purpose of applying for development permit only
 Dated this 27th day of July, 2024.
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TREE TABLE

Tree #	Tree Type	Trunk #	Canopy(%)	Height
1	Deciduous	0.25m	2.0m	5.00m



AG File No : 7355
 Ref. File No : 5681 & 6896

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1296

Date

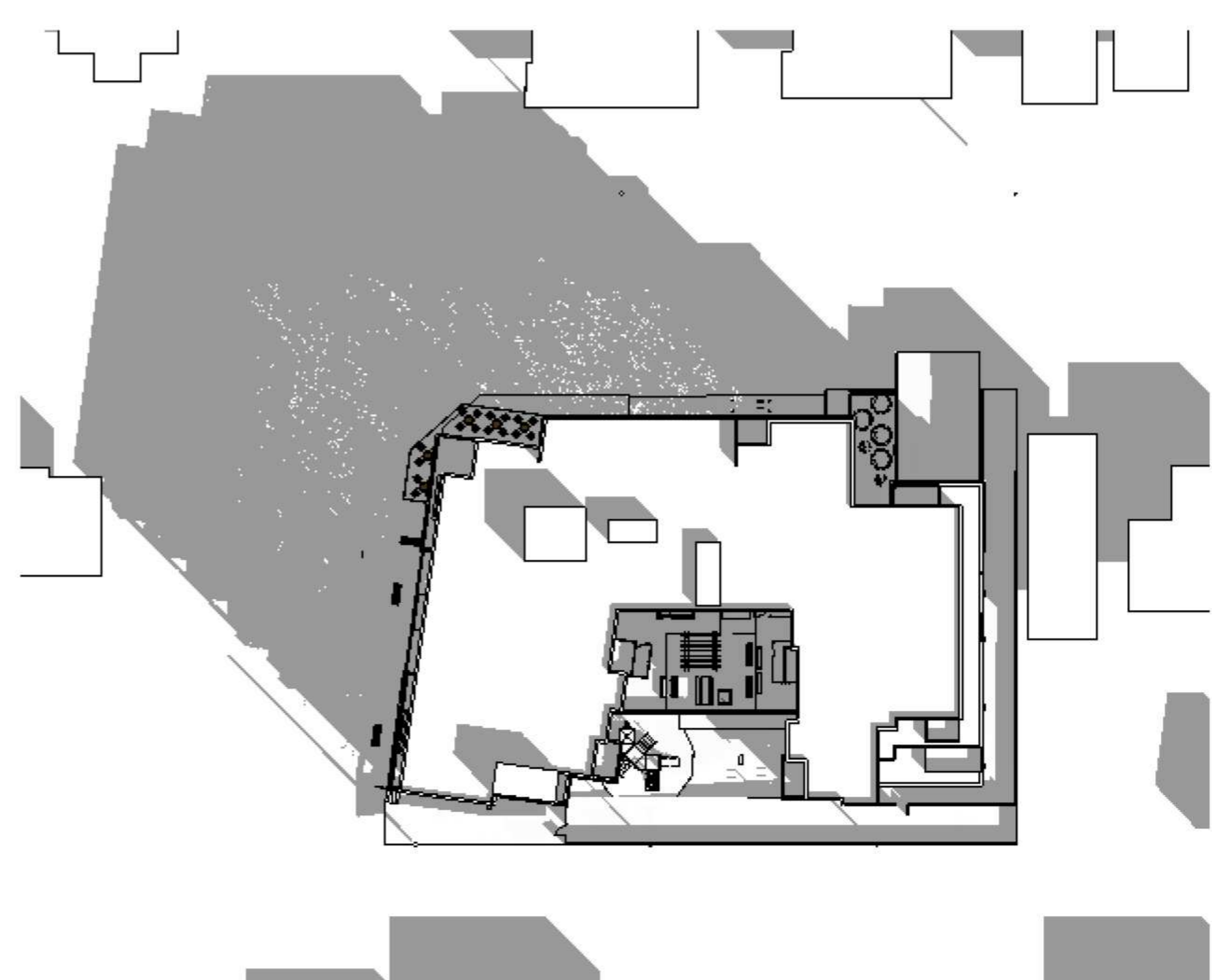
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Sheet Title
EXISTING SURVEY

Sheet Number
A1.03



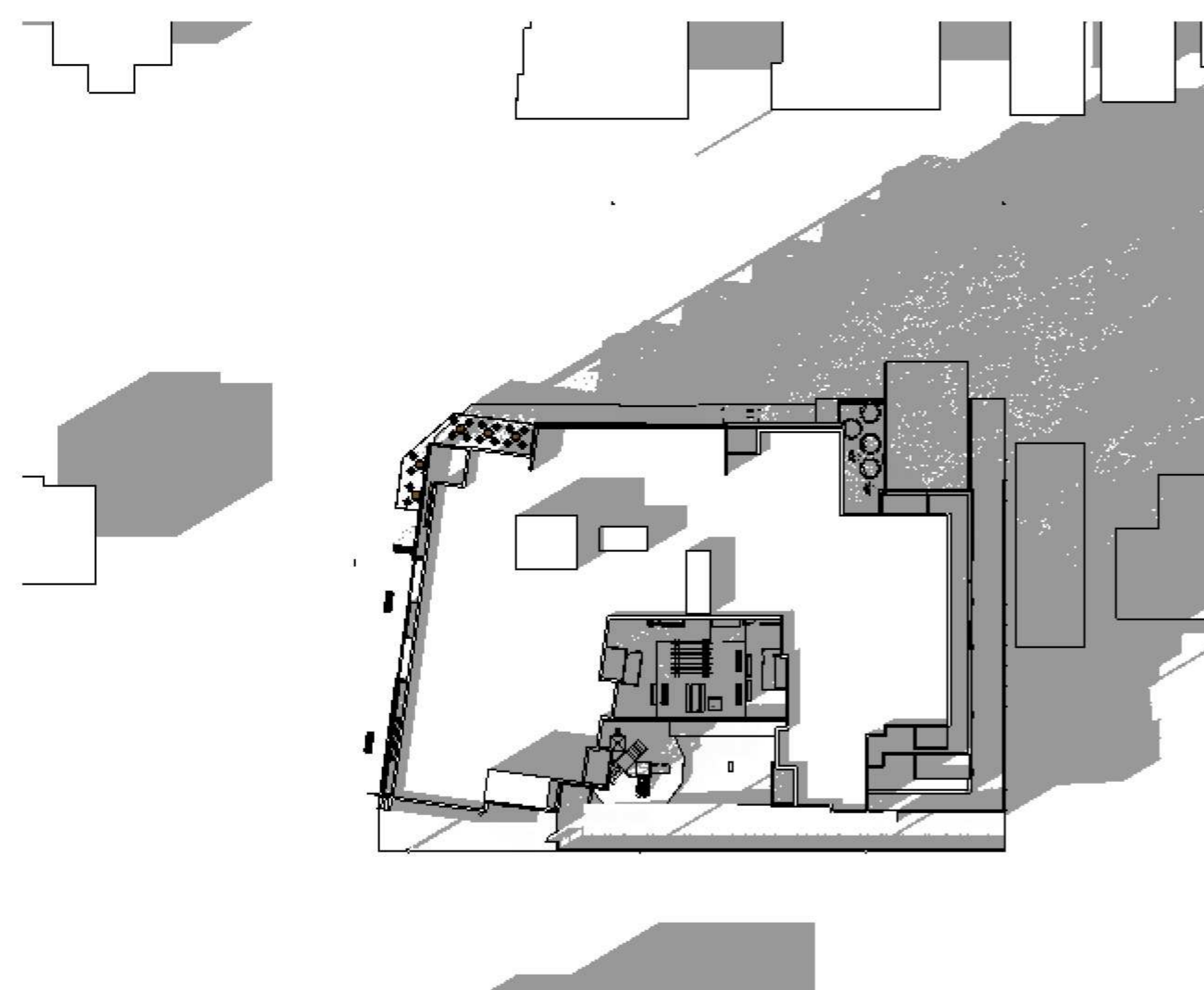
1 SCALE: SEPTEMBER 21 10am



2 SCALE: SEPTEMBER 21 12pm



3 SCALE: SEPTEMBER 21 2pm



4 SCALE: SEPTEMBER 21 4pm

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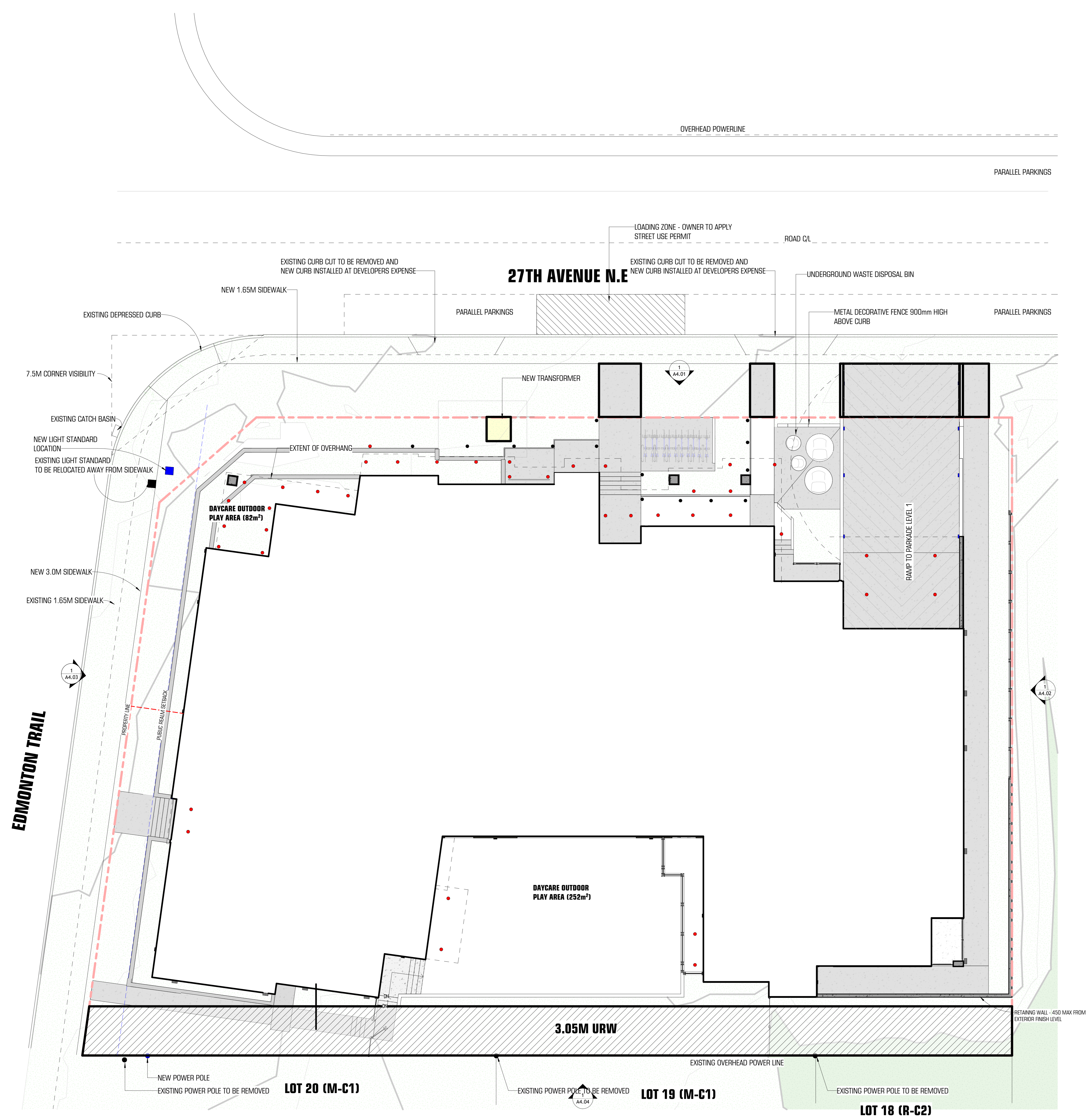
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Sheet Title

**SHADOW
STUDY**

Sheet Number

A1.04



- RECESSED BALCONY POTLIGHT - LITHONIA 4" - 10 W
- SIGN AND RECESSED COMMERCIAL POTLIGHT LITHONIA 6" - 20w
- SCONCE - DOWN SHINE - ISAAC RAE #6542 - 20w
- RECESSED COMMERCIAL POTLIGHT LITHONIA 6" - 20w
- BOLLARD LIGHT - ASPEN 1900 - 10w
- ▮ DOWNSHINE LIGHT - COOPER CCW CLEARCURBE - 20w
- ▮ PARKADE RAMP WALL MOUNT LIGHT - REBELLE #1185 - 15w

1 **SITE LIGHTING PLAN**
1 : 100

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2026-02-17	Issued for Re-DTR 2

Revisions:

Notes	
Rev. #	Revision Description

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.

1296

Date

Scale

As indicated

Drafted By

N.S

CHECKED BY:

S.O - MC+A

Sheet Title

SITE LIGHTING PLAN

Sheet Number

A1.05




1 NORTH ELEVATION.
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
- 2 VERTICAL METAL PANEL (COLOUR - WHITE) - NON-COMBUSTIBLE CLADDING
- 3 CEMENT BOARD PANEL (COLOUR - WHITE) - NON-COMBUSTIBLE CLADDING
- 4 PREFINISHED METAL CLADDING - CHARCOAL - NON-COMBUSTIBLE CLADDING
- 5 BRICK - IXL - LIGHT TAN - NON-COMBUSTIBLE CLADDING
- 6 PREFINISHED METAL CAP FLASHING (COLOUR - CHARCOAL)
- 7 PREFINISHED METAL FASCIA / TRIM (COLOUR - WHITE)
- 8 METAL COLUMN WRAP - GREY - NON-COMBUSTIBLE CLADDING
- 9 CONCRETE (LIGHT GREY)
- 10 INSULATED METAL DOOR (COLOUR - GREY)
- 11 ALUMINUM BALCONY RAIL / GUARD RAIL WITH TRANSPARENT GLASS PANELS
- 12 ELEVATOR OVERRUN
- 13 MECHANICAL ROOM
- 14 ROOF ACCESS
- 15 ILLUMINATED SIGNAGE – **NOT PART OF DP SCOPE**
- 16 INSULATED OVER HEAD DOOR ACCESS TO PARKADE
- 17 PRE-FINISHED METAL FENCE
- 18 DOUBLE GLAZED CLEAR GLASS PVC WINDOW
- 19 ANNOXIDIZED ALUMINUM STORE-FRONT WINDOW
- 20 CLEAR GLASS SINGLE SWING DOUBLE LEAF ALUMINUM DOOR
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- 22 PRE-FINISHED ACM CLAD - COLOUR CHARCOAL BLACK
- 23 PRE-FINISHED ALUMINUM FLASHING FASTENED TO RIM BOARD
- 24 PRE-FINISHED METAL FENCE - COLOUR BLACK
- 25 CONCRETE STAIRS
- 26 UNDERGROUND WASTE DISPOSAL SYSTEM
- 27 SELF SUPPORTING TREATED WOOD PERGOLA
- 28 ALUMINUM BALCONY RAIL / GUARD RAIL WITH FROSTED GLASS PANELS
- 29 CONCRETE PLANTING WALL
- 30 BARKMAN KEYSTONE LINEAR PLANTING WALL

NOTE
CHANGES TO THIS ELEVATION INCLUDE UPDATED WALL FINISHES, WITH MATERIALS INTERCHANGED BETWEEN WALL AREAS — NO NEW MATERIALS INTRODUCED.

Professional Seal

Prime Consultant

MC+A
 MANU CHUGH ARCHITECT LTD
 401, 1040 - 7 Ave. SW Calgary, Alberta, Canada
 Tel: 403 - 269 - 5959 Fax 403 - 233 - 8149
 www.mcplusa.ca
 Client

Project Managers

Consultants

Project Phase
ISSUED FOR RE-DTR2
DP2025-02322

Issue / Date

Date	Issue Description:
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Notes
Rev. #	Revision Description
15	MECHANICAL ROOM (SERVICE ROOM) ADDED
17	RAMPS AND FENCE REMOVED
18	PLANTING WALL PROVIDED

Project Title
THE BALOCH

Project Municipal Address
409, 27TH AVENUE NE CALGARY, AB

Project Legal Address
LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.
1296

Date

Scale
As indicated

Drafted By

CHECKED BY:
S.O - MC+A

Sheet Title
NORTH ELEVATION

Sheet Number
A4.01



1 EAST ELEVATION.
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
- 2 VERTICAL METAL PANEL (COLOUR - WHITE) - NON-COMBUSTIBLE CLADDING
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- 13 MECHANICAL ROOM
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- 15 ILLUMINATED SIGNAGE — **NOT PART OF DP SCOPE**
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- 23 PRE-FINISHED ALUMINUM FLASHING FASTENED TO RIM BOARD
- 24 PRE-FINISHED METAL FENCE - COLOUR BLACK
- 25 CONCRETE STAIRS
- 26 UNDERGROUND WASTE DISPOSAL SYSTEM
- 27 SELF SUPPORTING TREATED WOOD PERGOLA
- 28 ALUMINUM BALCONY RAIL / GUARD RAIL WITH FROSTED GLASS PANELS
- 29 CONCRETE PLANTING WALL
- 30 BARKMAN KEYSTONE LINEAR PLANTING WALL

NOTE
CHANGES TO THIS ELEVATION INCLUDE UPDATED WALL FINISHES, WITH MATERIALS INTERCHANGED BETWEEN WALL AREAS — NO NEW MATERIALS INTRODUCED.

Professional Seal

Prime Consultant



Project Managers

Consultants

Project Phase

**ISSUED FOR RE-DTR2
DP2025-02322**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Notes	
Rev. #	Revision Description

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

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LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.

1296

Date

Scale

As indicated

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Sheet Title

**EAST
ELEVATION**

Sheet Number

A4.02



1 SOUTH ELEVATION
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
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- 26 UNDERGROUND WASTE DISPOSAL SYSTEM
- 27 SELF SUPPORTING TREATED WOOD PERGOLA
- 28 ALUMINUM BALCONY RAIL / GUARD RAIL WITH FROSTED GLASS PANELS
- 29 CONCRETE PLANTING WALL
- 30 PARIA MALL Limestone UNDER PLANTING WALL

NOTE
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Professional Seal

Prime Consultant



Project Managers

Consultants

Project Phase

ISSUED FOR RE-DTR2
DP2025-02322

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Notes	
Rev. #	Revision Description
16	BALCONY RAILING ADDED

Project Title

THE BALOCH

Project Municipal Address

.409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.

1296

Date

Scale

As indicated

Drafted By

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Sheet Title

SOUTH ELEVATION

Sheet Number

A4.04



1 WEST ELEVATION
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
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Professional Seal

Prime Consultant



Project Managers

Consultants

Project Phase

**ISSUED FOR RE-DTR2
DP2025-02322**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description
18	PLANTING WALL PROVIDED

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.

1296

Date

Scale

As indicated

Drafted By

CHECKED BY:

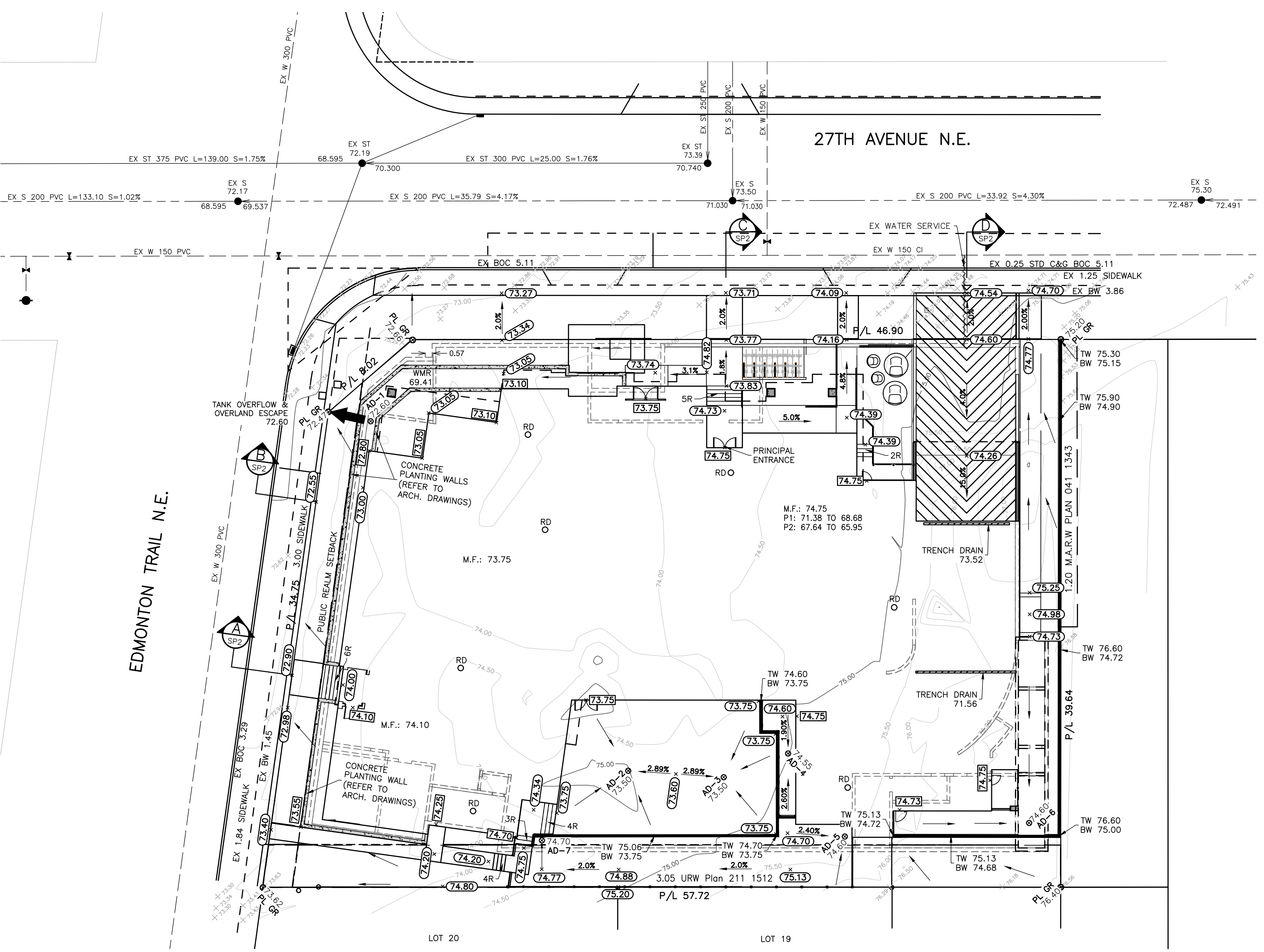
S.D - MC+A

Sheet Title

**WEST
ELEVATION**

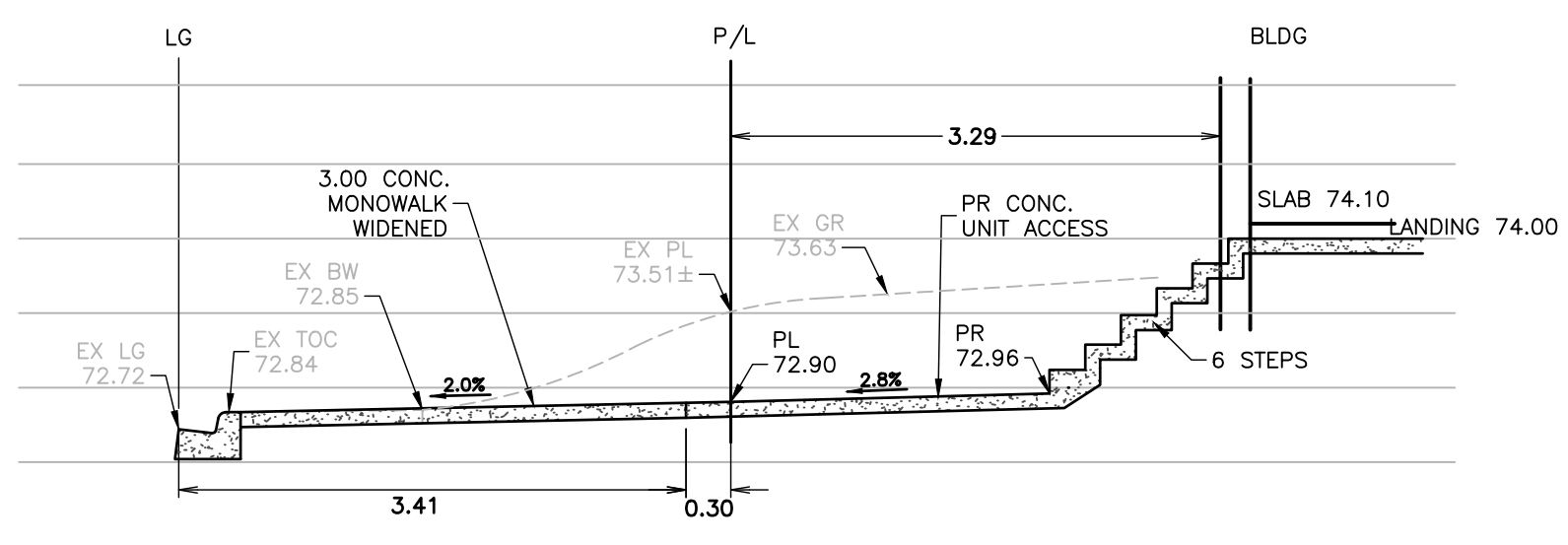
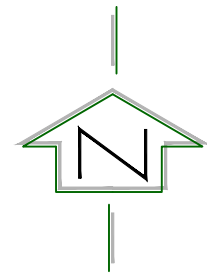
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A4.03

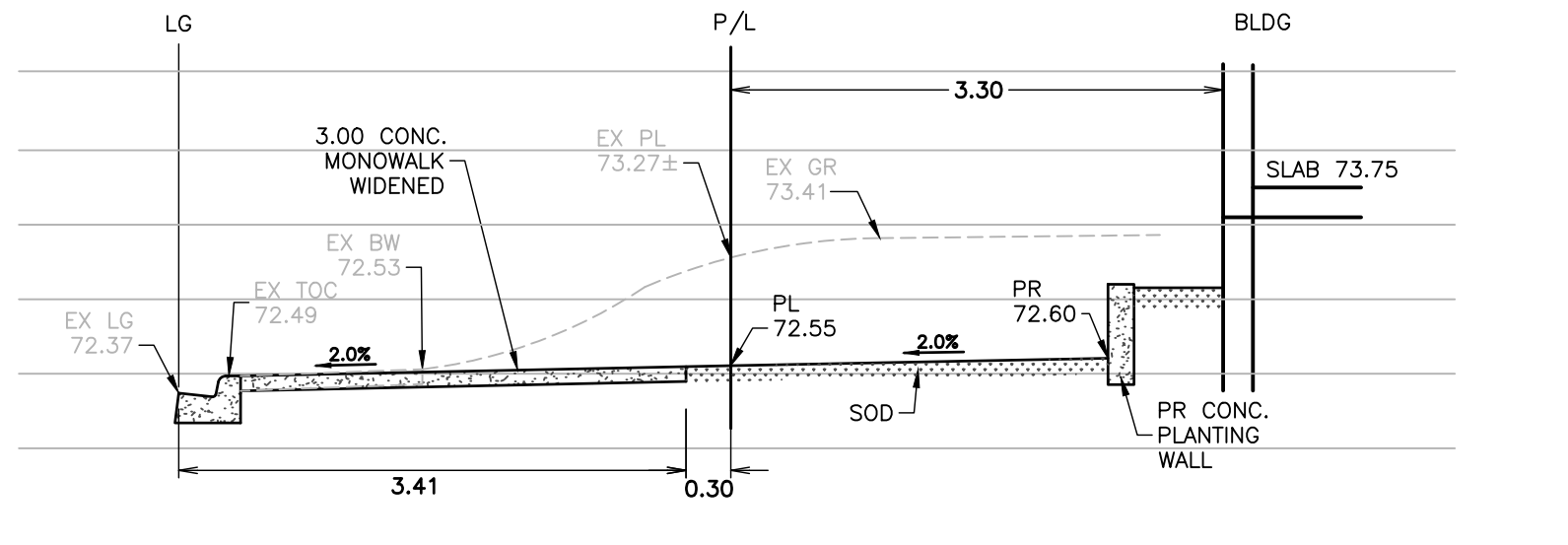


THIS DRAWING TO BE USED FOR GRADING & SERVICES INFORMATION ONLY. FOR BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST ARCHITECTURAL DRAWINGS.

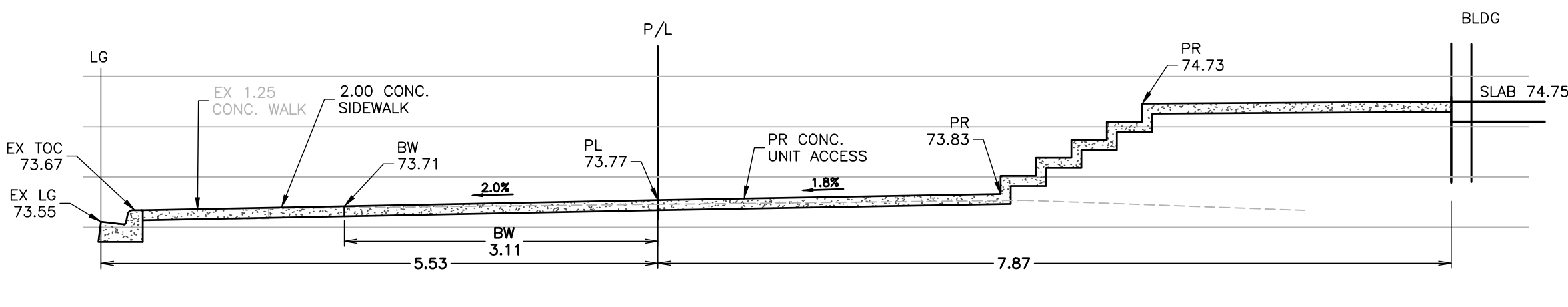
DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS. SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY. THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.



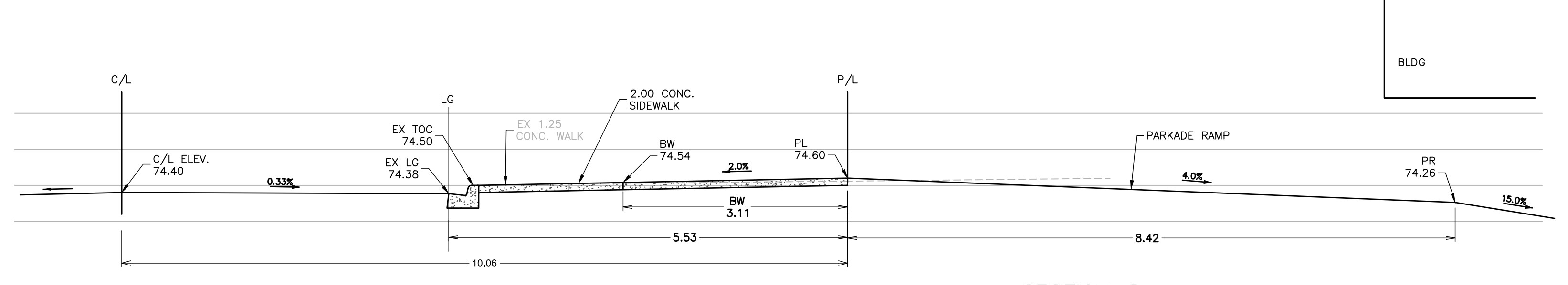
SECTION-A
SCALE 1:50



SECTION-B
SCALE 1:50



SECTION-C
SCALE 1:50



SECTION-D
SCALE 1:50

PERMIT

PERMIT TO PRACTICE
JUBILEE ENGINEERING CONSULTANTS LTD.
RM SIGNATURE ID # 52132
RM AREA ID # 52132
DATE: 2025-01-27
PERMIT NUMBER: P 3550
The Association of Professional Engineers and Geoscientists of Alberta

PROFESSIONAL ENGINEER
ALBERTA
2025-01-27

NOTES
1. All elevations referenced to 1000m Geodetic Datum.

LEGEND

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Proposed design elevation
	Proposed building grades
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
	M.F. 000.00 Main floor elevation
	T.F. 000.00 Top of footing elevation
	000.00 Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2025-02322
DSSP 2025-0621

REVISIONS

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

ISSUED FOR

No.	DATE	APP.
4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	
No.	DRAWING STATUS	

CLIENT
THE BALOCH CORP.

PROJECT
WINSTON HEIGHTS MIXED USE
82 UNITS
409 27 AVE NE

TITLE
SITE GRADING PLAN

MUNICIPAL ADDRESS
409 27 Avenue NE
Calgary AB

LEGAL DESCRIPTION
LOT 31, BLOCK 7A
PLAN 241 1737, NE 1/4
SEC. 27-24-1-W5M

DESIGN BY: DV	SCALE: 1:200	JOB NUMBER: 24-070
DRAWN BY: JK	REV NO.: -	DRAWING NUMBER: SP2
CHECKED BY: DV	DATE: 27-Jan-26	

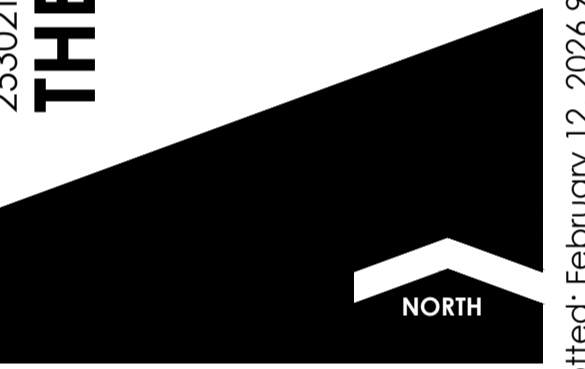
THE BALOCH (WITHIN PRIVATE PROPERTY)

L1.0	LAYOUT PLAN
L2.0	PLANTING PLAN
L2.1	PLANTING LAYOUT PLAN
L3.0	LIGHTING PLAN
L4.0	SECTIONS
L4.1	SECTIONS
L4.2	SECTIONS
L4.3	SECTIONS
L4.4	SECTIONS
L4.5	SECTIONS
L5.0	TYPICAL DETAILS



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#301, 501 18 AVENUE SW CALGARY AB T2S 0C7 | NAVAGRAH.CA
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25302THBA
THE BALOCH



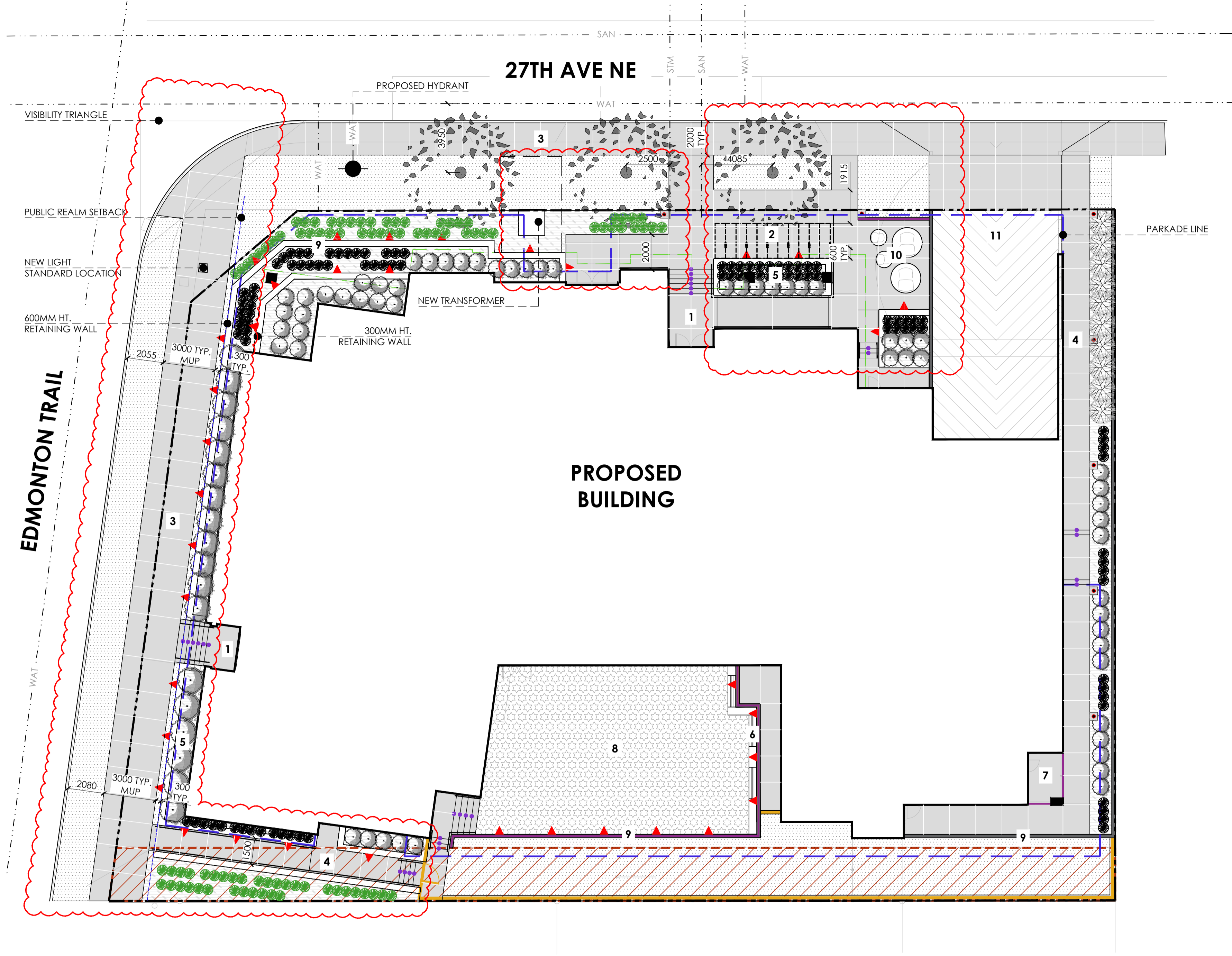
SEAL

ISSUED FOR	DATE
CONCEPT	250715
REVIEW	250723
REVIEW	250725
DP REVISION	251001
DP UPDATE	251031
DP UPDATE	251031
DP UPDATE	251103
DP UPDATE	251127
DP REVISION INFO	251205
BP	260123
95% COORDINATION	260205
IFT	260212

SCALE	-
DATE	260112
DRAWN BY	CC
CHECKED BY	YN

L0.0

COVER



GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- ALL LANDSCAPE AREAS OUTSIDE OF PARKADE TO HAVE MINIMUM 300MM TOPSOIL FOR SODDED AREAS AND 600MM TOPSOIL FOR SHRUBS AND TREE BEDS.
- TOPSOIL AVAILABLE FOR PLANTINGS OVER PARKADE
TREES 1200MM
SHRUBS 600MM
GRASS & PERENNIALS 300MM

LANDSCAPE ANALYSIS

SITE AREA: 2162.11 SQ.M.
 PROVIDED LANDSCAPED AREA = 970.83 SQ.M.
 TOTAL TREES PROVIDED WITHIN PROPERTY = 10
 CONIFEROUS TREES PROVIDED = 10
 CONIFEROUS TREES WITH MIN. 3000MM HT. REQUIRED = 05
 CONIFEROUS TREES WITH MIN. 2000MM HT. PROVIDED = 05
 REMAINING CONIFEROUS TREES TO HAVE MIN. 2000MM HT.
 TOTAL TREES PROVIDED WITHIN PUBLIC REALM = 3
 TOTAL SHRUBS PROVIDED = 77

LEGEND

- URW
- REGULAR GREY COLOR CONCRETE
- PLAY AREA RUBBER SURFACE
- FESCUE SOD
- PLANTING BED WITH CHARCOAL MULCH
- DECIDUOUS TREES
- CONIFEROUS TREES
- DECIDUOUS SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- 1800MM HEIGHT SEE THROUGH METAL FENCE
- 1700MM METAL GUARDRAIL
- EXTENT OF OVERHANG
- GUARDRAIL
- PARKADE LINE
- PROPERTY LINE
- BENCH
- CLASS 2 BIKE STALLS
TOTAL QUANTITY: 6 RACKS (11 STALLS)
- BOLLARD
- AREAS UPDATED POST DP REVISION

DESIGN ELEMENTS

- MAIN ENTRY
- BIKE PARKING
- PUBLIC SIDEWALK
- PEDESTRIAN WALKWAY
- LANDSCAPE PLANTING BED TYP.
- SEATING
- PATIO
- PLAY AREA
- RETAINING WALL
- MOLOK BIN ZONE
- PARKADE ACCESS

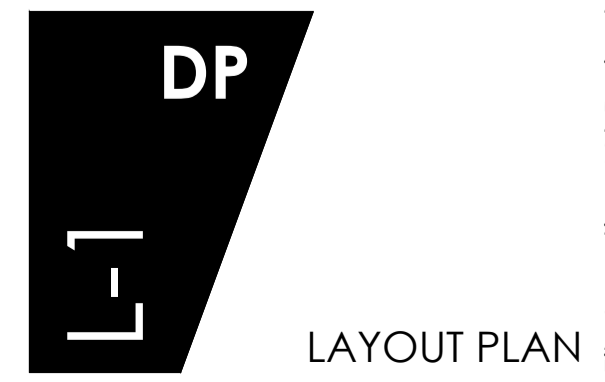
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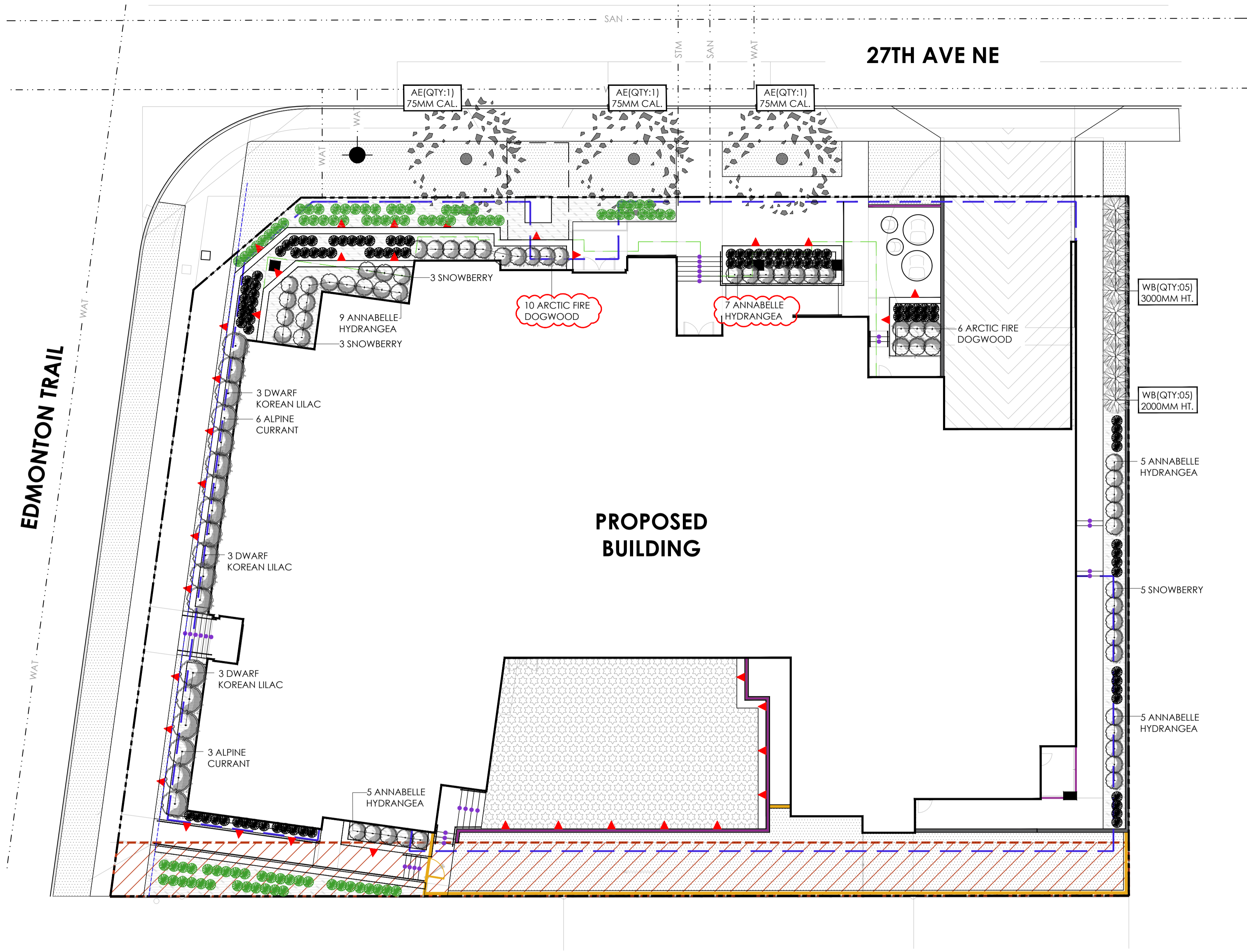
DRAWINGS TO BE READ IN COLOR



ISSUED FOR	DATE
CONCEPT	250715
REVIEW	250723
REVIEW	250725
DP REVISION	251001
DP UPDATE	251031
DP UPDATE	251103
DP UPDATE	251127
DP REVISION INFO	251205
BP	260123
95% COORDINATION	260205
IFT	260212
DTR 2	260223

SCALE	1:150
DATE	251205
DRAWN BY	JY
CHECKED BY	YN





LEGEND

- URW
- FESCUE SOD
- PLANTING BED WITH CHARCOAL MULCH
- DECIDUOUS TREES
- CONIFEROUS TREES
- DECIDUOUS SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- 1800MM HEIGHT SEE THROUGH METAL FENCE
- 1700MM METAL GUARDRAIL
- EXTENT OF OVERHANG
- GUARDRAIL
- PARKADE LINE
- PROPERTY LINE

PLANTING SCHEDULE

common name	latin name	size/ spread	quantity	comments
deciduous trees within boulevard (TOTAL QUANTITY: 03)				
AMERICAN ELM	ULMUS AMERICANA	75MM CAL.	03	B&B, SPECIMEN
coniferous trees within property (TOTAL QUANTITY: 10)				
WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA'	3000MM HT.	05	B&B, SPECIMEN
WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA'	2000MM HT.	05	B&B, SPECIMEN
common name	latin name	size/ spread	quantity	comments
deciduous shrubs (TOTAL QUANTITY: 77)				
ARCTIC FIRE DOGWOOD	CORNUS SERICEA 'FARROW'	600MM HT.	16	MIN 5-7 STEMS
ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	600MM HT.	31	MIN 5-7 STEMS
ALPINE CURRANT	RIBES ALPINUM	600MM HT.	09	MIN 5-7 STEMS
SNOWBERRY	SYMPHORICARPOS ALBUS	600MM HT.	12	MIN 5-7 STEMS
DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	600MM HT.	09	MIN 5-7 STEMS

ADDITIONAL NOTES

DRAWINGS TO BE READ IN COLOR

AREAS UPDATED POST DP REVISION

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REVIEW	250725
DP REVISION	251001
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BP	260123
95% COORDINATION	260205
IFT	260212
DTR 2	260223



BIKE RACK
 SUPPLIER - MAGLIN SITE FURNITURE
 MODEL - MBR-1600-00008
 1600 SERIES
 COLOR - POWDERCOAT BLACK
 QUANTITY - 3
 SURFACE MOUNT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS

1
 L5.0 REFERENCE - TYPICAL BIKE RACK
 scale - NTS



METAL FENCE
 SUPPLIER - OMEGA FENCE SYSTEM
 MODEL - OMEGA 80 PANEL ON FLAT POST
 COLOR - SIGNAL BLACK RAL 9004
 SURFACE MOUNT INSTALLATION
 INSTALL AS PER MANUFACTURER'S SPECIFICATIONS

3
 L5.0 REFERENCE - METAL FENCE
 scale - NTS



BENCH TYPE 1
 SUPPLIER - MAGLIN SITE FURNITURE
 MODEL - MBE-0720-00020
 700 SERIES - 720 BACKED BENCH
 FINISH - THERMALLY MODIFIED ASH WOOD; BLACK POWDERCOAT COLOR
 QUANTITY - 3
 SURFACE MOUNT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS

2
 L5.0 REFERENCE - TYPICAL BENCH DETAILS
 scale - NTS



BENCH TYPE 2
 SUPPLIER - MAGLIN SITE FURNITURE
 MODEL - MBE-0720-00005
 700 SERIES - 720 BACKLESS BENCH
 FINISH - THERMALLY MODIFIED ASH WOOD; BLACK POWDERCOAT COLOR
 QUANTITY - 3
 WALL MOUNT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS

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SCALE	1:150
DATE	260112
DRAWN BY	CC
CHECKED BY	YN

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CITY SUBMISSION		CC	25/11/07
IFT		CC	26/02/12

CHECKED BY **YN** DATE **25/11/07**

APPROVED FOR: BY DATE

TENDER

CONSTRUCTION

APPROVAL

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251210 Bearspaw Village Road NW, Calgary AB
1.403.437.7822 | camkhon.business@gmail.com

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SEAL

Yogeshwar Navagrah 2025/11/07

DRAWN BY **JY** DESIGN BY **YN**

DATE 2025/11/07 DATE 2025/11/07

SCALE 1 : --



PROJECT TITLE
THE BALOCH

SHEET TITLE
PLANTING PLAN

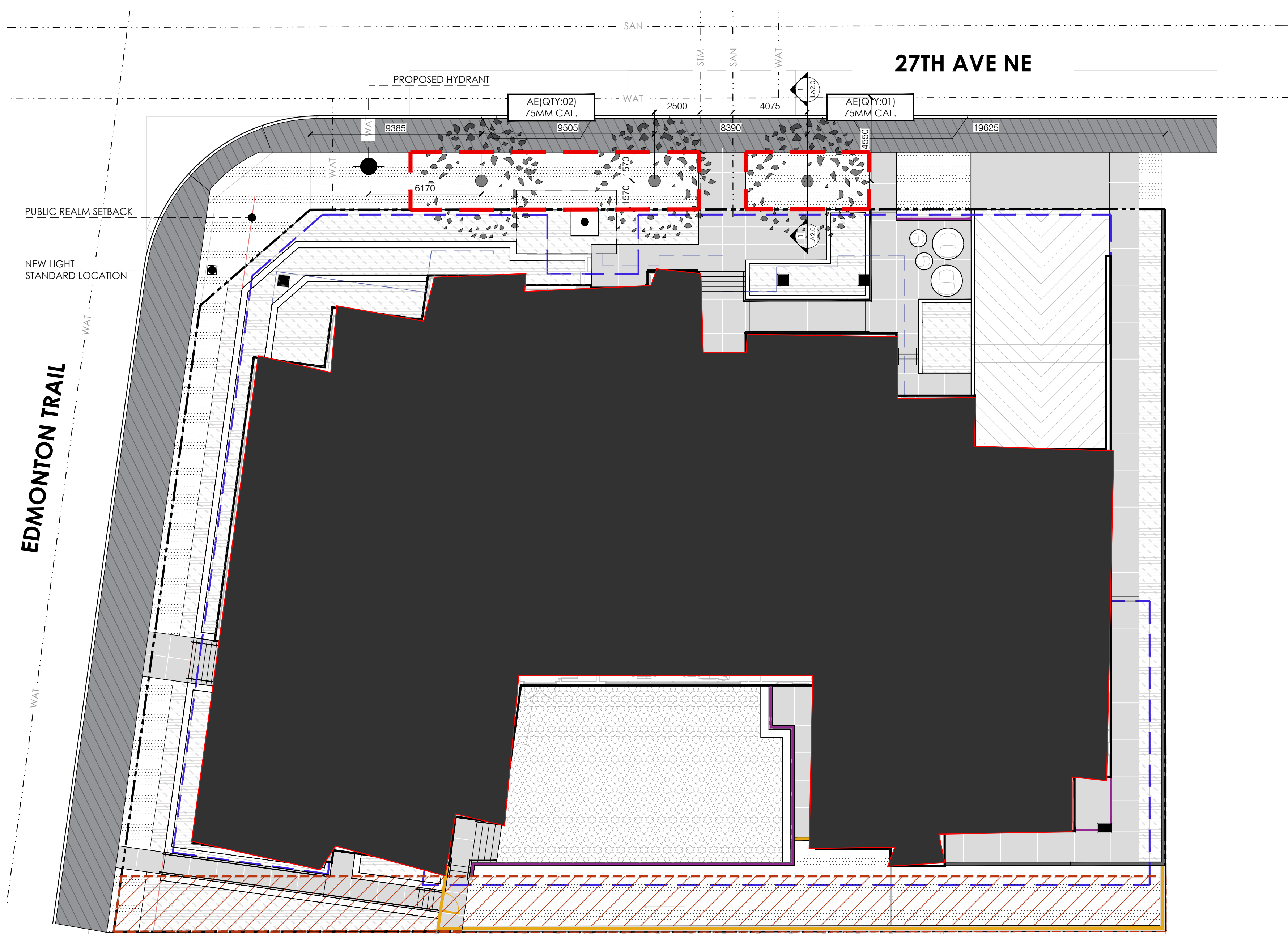
SHEET NO. **LA0.0** FILE NO. **25302THBA**

THE BALOCH (PUBLIC REALM)

LINE ASSIGNMENT AND CONSTRUCTION DRAWINGS FOR STREETScape COMPONENT APPLICATION
DP2025-02322

- LA1.0 PLANTING PLAN
- LA2.0 DETAILS

File Location: N:\Projects\Current\25302THBA_The Baloch\01_Current\Construction\25302THBA_Site Landscape Plan_260212_LA.dwg Plotted: February 12, 2026 9:18:44 AM by Chen Chen



GENERAL NOTES

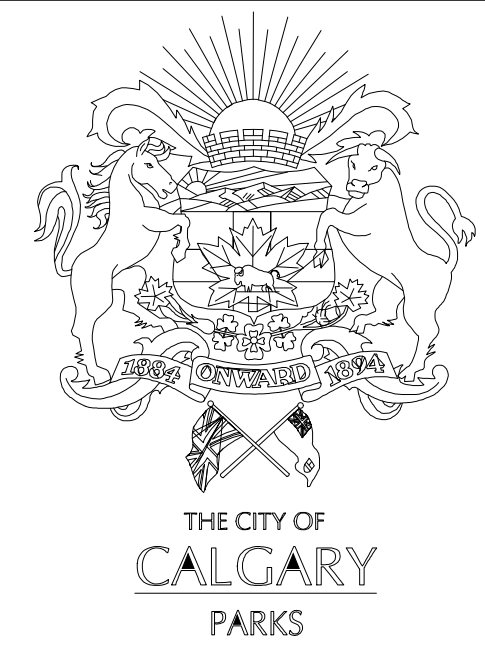
1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
2. ALL LANDSCAPE CONSTRUCTION TO CONFORM TO THE CURRENT EDITION OF PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION.
3. ALL UTILITY INSTALLATIONS TO BE COMPLETED PRIOR TO ANY PLANTING. ALL UTILITIES MUST BE LOCATED IN THE FIELD PRIOR TO ANY EXCAVATION. CONTACT ALBERTA 1-CALL (1.800.242.3447).
4. SIDEWALK SLOPING SHALL BE AS PER THE APPROVED ENGINEERING CONSTRUCTION DRAWINGS (CD).
5. TOPSOIL PLACEMENT FOR THE TREE TRENCHES IS TO BE DONE IN LIFTS AND SOAKED TO AVOID SETTLEMENT. ALL SODDED AREAS SHALL HAVE MIN. 300MM TOPSOIL.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ENSURE NO TREES ARE PLANTED WITHIN UTILITY RIGHTS-OF-WAY.
7. STANDARD SEPARATIONS ARE TO BE MAINTAINED BETWEEN TREES AND UTILITIES AS OUTLINED IN DESIGN GUIDELINES FOR SUBDIVISIONS APPENDIX 11-B. TREE MUST BE PLANTED AT THE STANDARD OFFSET AS IDENTIFIED FOR THAT ROAD CROSS SECTION.
8. ALL STANDARD CONCRETE WORK SHALL FOLLOW THE CITY OF CALGARY ROADS STANDARD SPEC, SEC 310 AND SEC 311.00.00.
9. PROVIDE RABBIT GUARDS ON ALL NEWLY INSTALLED DECIDUOUS TREES AS PER PARKS DGSS SECTION 4.2.8.

LEGEND

- PUBLIC SIDEWALK WITH 125MM THICK REGULAR GREY COLOR BROOM FINISH CONCRETE (PROVIDE THICKNESS, REINFORCEMENT, CONCRETE MIX & INSTALLATION AS PER CITY OF CALGARY ROAD STANDARD SPECIFICATIONS)
- REGULAR GREY COLOR CONCRETE
- PLANTING BED WITH CHARCOAL MULCH
- FESCUE SOD
- DECIDUOUS TREES
- LINE ASSIGNMENT BOUNDARY

PLANTING SCHEDULE

common name	latin name	size/ spread	quantity	comments
deciduous trees within boulevard (TOTAL QUANTITY: 04)				
AMERICAN ELM	ULMUS AMERICANA	75MM CAL.	03	B&B, SPECIMEN



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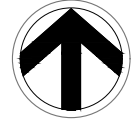
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Yogeshwar Navagrah 2025/11/07

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DATE 2025/11/07 DATE 2025/11/07

SCALE 1 : 150

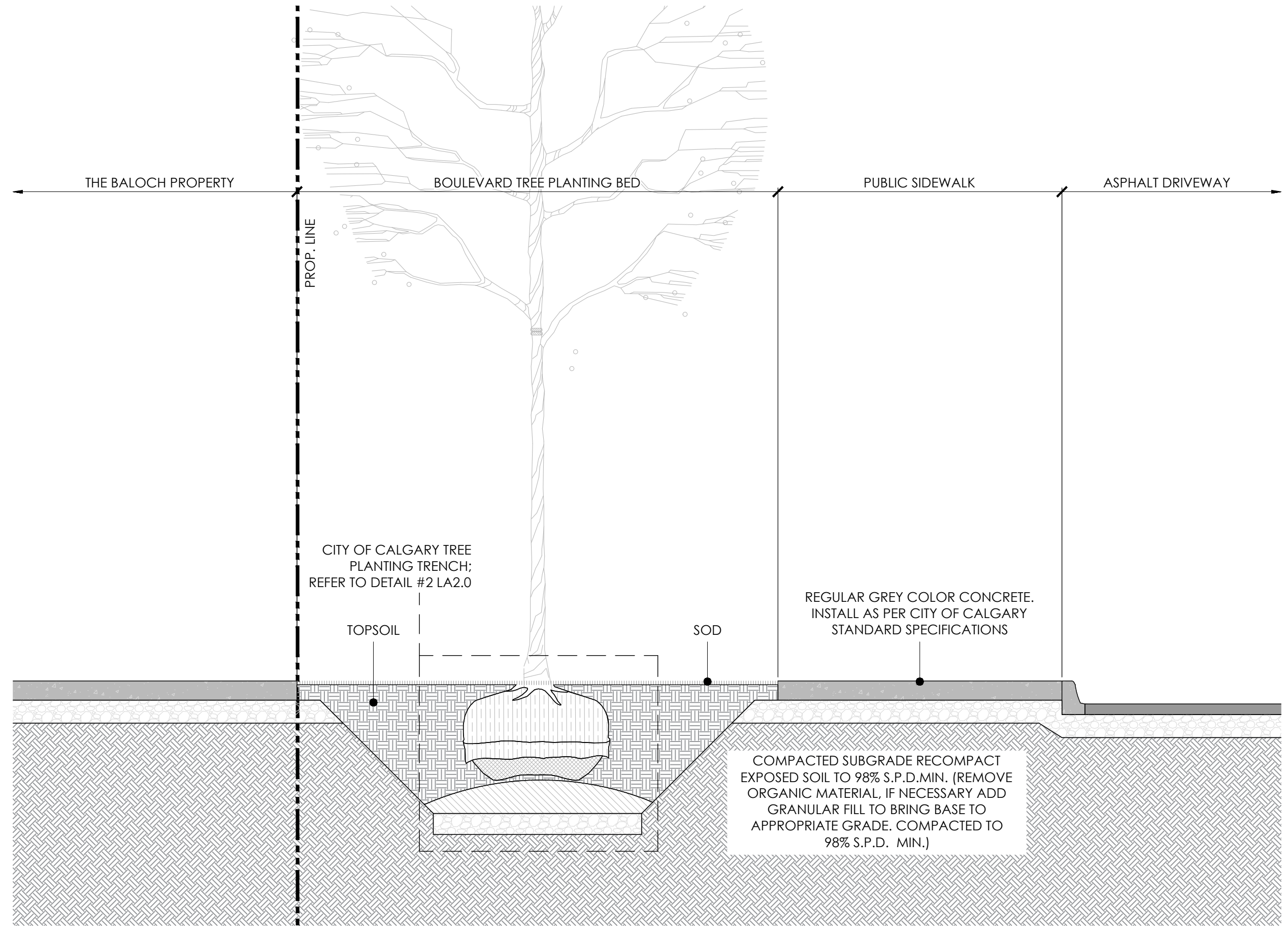


PROJECT TITLE
THE BALOCH

SHEET TITLE
PLANTING PLAN

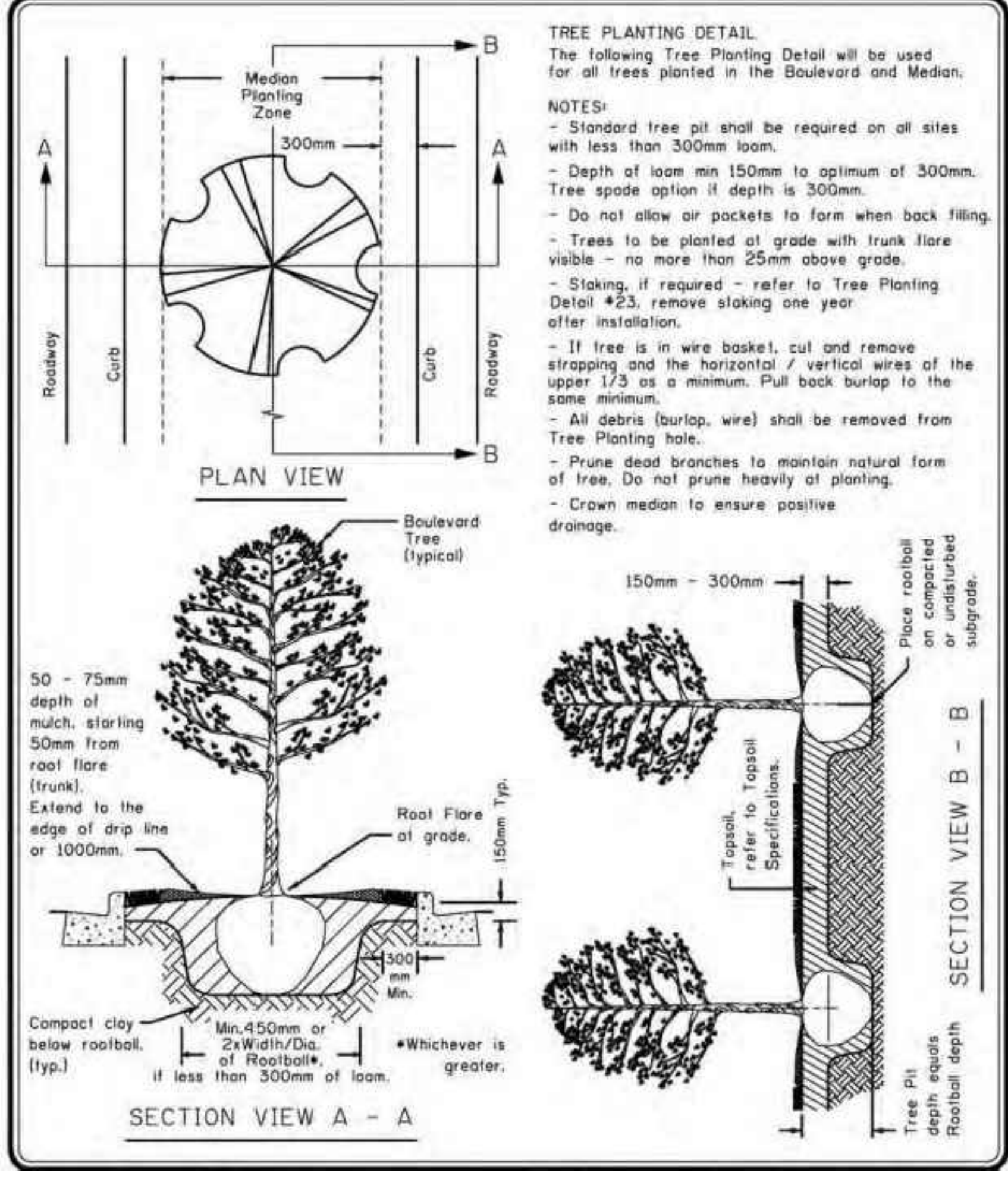
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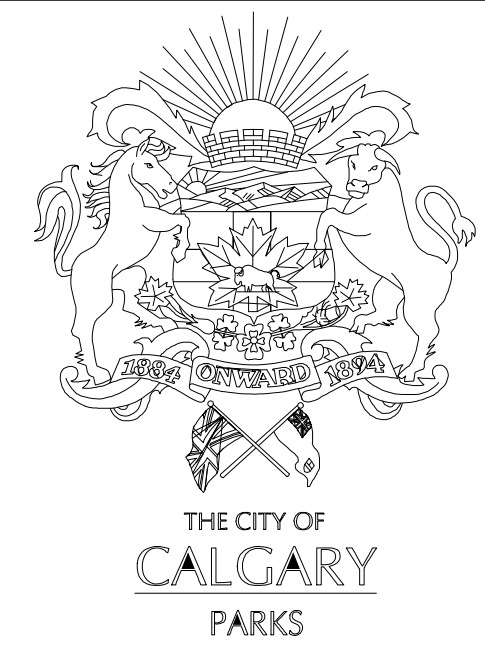


1
SECTION 1 - 1 (TYPICAL TREE PLANTING IN SOD DETAIL)
scale - 1:25
LA2.0

Detail Sheet 27a: Tree Planting - Boulevard and Median Trench



2
DETAIL - CITY OF CALGARY TREE PLANTING TRENCH
scale - NTS
LA2.0



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SCALE 1 : --

PROJECT TITLE
THE BALOCH

SHEET TITLE
DETAILS

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