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A7.00	ROOM FINISH SCHEDULE

27TH AVE NE

IMAGE FOR CONCEPTUAL ILLUSTRATION ONLY

CONSULTANTS:



ARCHITECT:
MANU CHUGH ARCHITECT LIMITED
401 1070 4TH AVENUE SW CALGARY, AB.



STRUCTURAL ENGINEERS:
TRL AND ASSOCIATES



MECHANICAL AND ELECTRICAL ENGINEERS:
KEEN ENGINEERING

PROPOSED MIXED USE DEVELOPMENT (THE BALOCH)

LEGAL ADDRESS: LOT 31, BLOCK 7A PLAN 2411737

MUNICIPAL ADDRESS: 409, 27TH AVENUE NORTHEAST CALGARY, AB

KINDLY NOTE THAT:

1. THE SUBJECT DEVELOPMENT PERMIT APPLICATION IS ON SAME LOT PER THE APPROVED DP2024-03659
2. THE SCOPE OF THIS SUBJECT DEVELOPMENT PERMIT APPLICATION EXCLUDES SECOND TO SIXTH FLOORS AS THERE ARE NO CHANGES TO THESE FLOORS.
3. THE EXTENT OF THIS SUBJECT APPLICATION COVERS:
 - (A) DELETION OF 1 PARKADE LEVEL
 - (B) DELETION OF RESTAURANT AND COMMERCIAL RETAIL UNIT ON THE MAIN FLOOR
 - (C) ADDITION OF 4 RESIDENTIAL UNITS AT MAIN FLOOR
 - (D) RELOCATION OF CHILD CARE FROM THE EAST TO THE WEST PART OF THE MAIN FLOOR
4. WE WILL APPRECIATE IT IF GILLIAN GEEN COULD BE ASSIGNED TO THIS NEW APPLICATION AS SHE WAS THE PLANNER IN CHARGE OF THE DP2024-03659 AND WE HAVE REVIEWED THE SCOPE OF THE SUBJECT APPLICATION WITH HER.
5. THE USE OF CHILDCARE WAS APPROVED UNDER DP2024-03659

ISSUED FOR DEVELOPMENT PERMIT

PROPERTY/SITE INFORMATION

SITE INFORMATION AND BUILDING INFORMATION

PROJECT NAME: PROPOSED MIXED-USE DEVELOPMENT (THE BALOCH)
PROJECT MUNICIPAL ADDRESS: 409 27TH AVENUE NE, CALGARY, ALBERTA
PROJECT LEGAL ADDRESS: LOT 31 BLOCK 7A PLAN 2411737
ZONING: MU-10, B+23 Mixed Use - General
SITE AREA: 2161m² (23,260.89F²)

BUILDING AREA:
MAIN FLOOR PLAN: 1192m² (12,830.59F²)
SECOND FLOOR PLAN: 1132m² (12,165.44F²)
THIRD FLOOR PLAN: 1135m² (12,217.73F²)
FOURTH FLOOR PLAN: 1135m² (12,217.73F²)
FIFTH FLOOR PLAN: 1084m² (11,668.43F²)
SIXTH FLOOR PLAN: 1079m² (11,614.78F²)
GROSS BUILDING AREA: 6757m² (72,734.70F²)
F.A.R.: 3.13 **MAX F.A.R.:** 3.6

MAIN FLOOR LEVEL:
 DAYCARE: 505.25m²
 RESIDENTIAL SUITES (2 BEDROOM SUITE): 3 UNITS
 GYMNASIUM (FOR OCCUPANT USE ONLY): 73.78m²
 MANAGEMENT OFFICE: 51.22m²

SECOND FLOOR LEVEL: **THIRD FLOOR LEVEL:**
 1 BEDROOM: 10 UNITS 1 BEDROOM: 10 UNITS
 2 BEDROOM: 6 UNITS 2 BEDROOM: 6 UNITS

TOTAL: 16 UNITS TOTAL: 16 UNITS

FOURTH FLOOR LEVEL: **FIFTH FLOOR LEVEL:**
 1 BEDROOM: 10 UNITS 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS 2 BEDROOM: 6 UNITS

TOTAL: 16 UNITS TOTAL: 15 UNITS

SIXTH FLOOR LEVEL:
 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS

TOTAL: 15 UNITS

RESIDENTIAL SUITE COUNT
 1 BEDROOM: 48 UNITS
 2 BEDROOM: 33 UNITS

TOTAL: 82 UNITS

BYLAW REQUIREMENTS

PURPOSE:
1333 (A): CHARACTERIZED BY BUILDINGS OF FOUR TO SIX STOREYS IN HEIGHT.

PROJECTION INTO SETBACK:
1334 (2): PORTION OF BUILDING PERMITTED TO PROJECT INTO SETBACK.
1334 (3): PORTION OF BUILDING BELOW GRADE MAY PROJECT INTO SETBACK WITHOUT LIMIT.

GROUND FLOOR HEIGHT:
1337 (1): MINIMUM HEIGHT OF GROUND FLOOR IS 4.0 METERS
1337 (2): NO MINIMUM HEIGHT FOR DWELLING UNITS

BUILDING ORIENTATION:
1339 (A-C): INDIVIDUAL UNITS MUST HAVE SEPARATE AND DIRECT ACCESS TO GRADE. ENTRANCE TO VISIBLE FROM STREET AND SIDEWALK SHALL PROVIDE DIRECT EXTERIOR ACCESS TO THE USE.

RULES FOR FACADE FACING A STREET:
1340 (1): LENGTH OF BUILDING FACADE THAT FACES A STREET MUST BE A MINIMUM OF 80% OF LENGTH OF THE PROPERTY LINE.

RULES FOR DWELLING UNIT FACING A STREET:
1341 (1): ENTRANCE TO INDIVIDUAL DWELLING UNIT LOCATED AT GRADE SHALL BE A MINIMUM OF 2.5 METERS FROM P.V. SHARED WITH A STREET.

RULES FOR COMMERCIAL USES FACING A STREET:
1342 (1A): FACADE OF A BUILDING AT GRADE AND FACING STREET SHALL PROVIDE WINDOWS WITH UNDISCOPED GLASS COVER 65% MINIMUM OF THE FACADE.
 (2) DWELLING UNIT NEED NOT COMPLY TO SUBSECTION (1)

GENERAL LANDSCAPE AREA RULES:
1344: PROPOSED LANDSCAPE SUBJECT TO AHJ APPROVAL

LOW WATER IRRIGATION SYSTEM:
1345: LOW WATER IRRIGATION SYSTEM TO BE PROVIDED AND LIMITED TO ONLY TREES AND SHRUBS

LANDSCAPING IN SETBACK AREAS:
1348 (1): WHERE SETBACK AREA SHARES A PROPERTY LINE WITH ANOTHER PARCEL DESIGNATED AS RESIDENTIAL DISTRICT, SETBACK AREA MUST BE SOFT LANDSCAPE AND MAY INCLUDE SIDEWALKS, PATIO AND 1 TREE AND 2 SHRUBS FOR EVERY 45m²

RESIDENTIAL AMENITY SPACE:
1349 (1): AMENITY SPACE FOR RESIDENTIAL SUITES MAYBE PRIVATE, COMMON OR BOTH.
 (2): 5m² MINIMUM AMENITY SPACE PER UNIT.
 (3B): PRIVATE AMENITY SPACE TO HAVE MINIMUM OF 2m

MOTOR VEHICLE PARKING STALLS:
1350: DWELLING UNITS = **0.75 STALLS PER UNIT AND 0.1 UNITS FOR VISITORS**
 NUMBER OF UNITS = 81
 NUMBER CAR PARKING STALLS FOR DWELLING UNITS = 81 * 0.75 = 60 PARKING STALLS
 NUMBER OF CAR PARKING STALLS FOR VISITORS = 81 * 0.1 = 8.1 (9 PARKING STALLS)
 REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNITS = **69 STALLS**

REDUCTION FOR TRANSIT SUPPORTIVE DEVELOPMENT:
1352: 25% REDUCTION APPLICABLE.

REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNIT NOW: 51 STALLS

BICYCLE PARKING STALLS:
1345: CLASS 1 BICYCLE STALL (0.5*8'11") = REQUIRED: 41 PROVIDED: 41
 CLASS 2 BIKE STALL (0.1*8'11") = REQUIRED: 9 PROVIDED: 12

VISIBILITY SETBACK:
1361: WITHIN VISIBILITY TRIANGLE, NO BUILDINGS, FENCES, FINISHED GRADE AND VEGETATION BETWEEN 0.75m AND 4.6 METERS ABOVE LOWEST ELEVATION OF THE STREET.

SETBACK AREA:
1374 (2): NO SETBACK REQUIREMENT ALONG EDMONTON TRAIL AND 27TH AVENUE

STANDARD FOR MOTOR VEHICLE PARKING STALLS:
122 (1): 90 DEGREE PARKING ANGLE (STALL DEPTH = 5.4m), WIDTH (2.5m DWELLING UNIT, 2.6m OTHER USES)

LOADING STALLS:
 123 (2A-C) LOADING STALL DIMENSION 3.1m X 9.2m X 4.3M HEIGHT

CHILD CARE SERVICES: QUICK PICKUP/ DROP-OFF REQUIREMENTS:
 1 FOR EVERY 10 CHILDREN, REQUIRED 10, PROVIDED 3 (AS APPROVED PER DP2024-03659)

WASTE STREAM CALCULATIONS:
 DAYCARE: FOR EVERY 1000m² OF DEVELOPMENT A MINIMUM OF 3m³ OF WASTE IS EXPECTED TO BE GENERATED (INDUSTRIAL, COMMERCIAL AND INSTITUTIONAL)

NE VIEW



WEST VIEW



NORTH VIEW



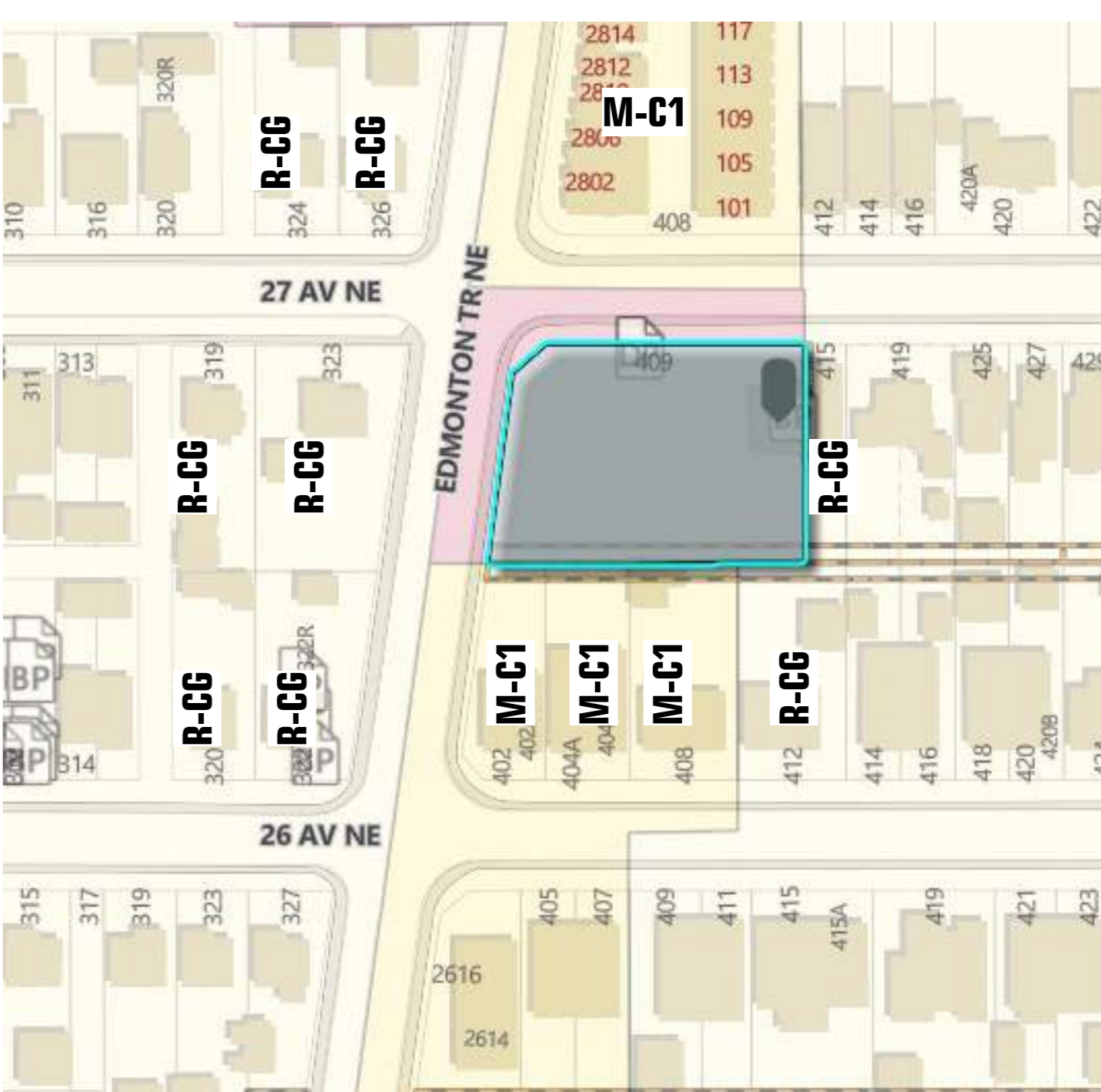
NW VIEW



VICINITY MAP



ZONING



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Client

Project Managers

Consultants

Project Phase

BUILDING PERMIT

Issue / Date

Date:	Issue Description:
2024-08-13	Issued for Re-DTR

Revisions:

Rev. #	Notes	Revision Description

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 2411737

MC+A file No.

1296

Date

Scale

1 : 20

Drafted By

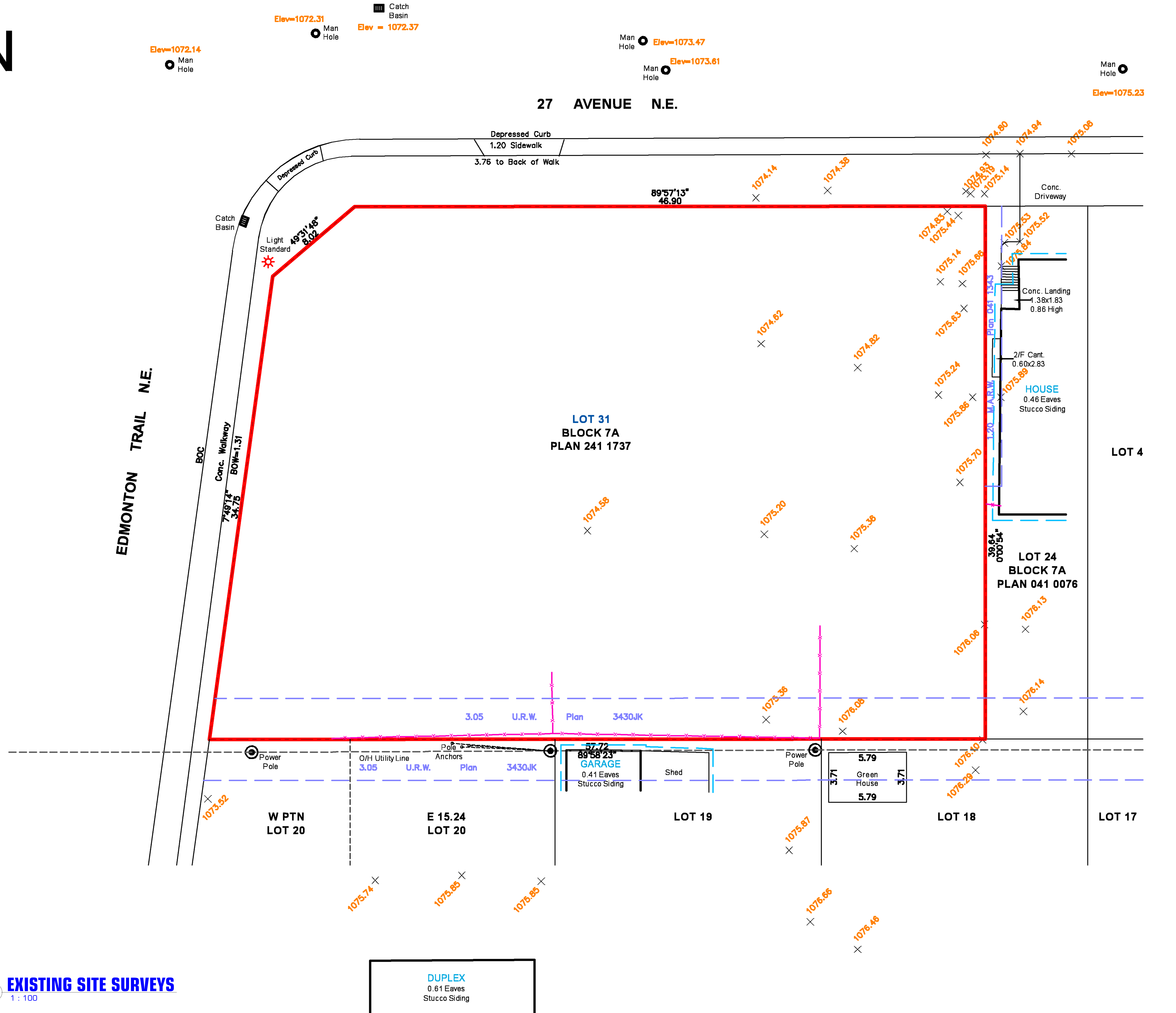
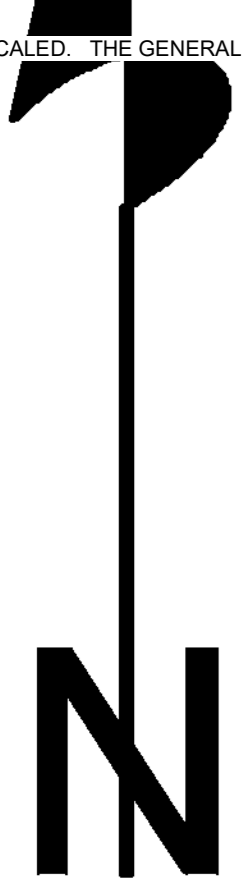
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Sheet Title

PROJECT INFORMATION

Sheet Number

A0.01



1 EXISTING SITE SURVEYS
1 : 100

DUPLEX
0.61 Eaves
Stucco Siding

Professional Seal
Prime Consultant
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NOTES:
Distance
Elevation

PROJECT
BUILDING PERMIT

MUNICIPALITY

Revisions:

Rev. #	Revision Description

THE BALOCH

Project Municipal Address
409, 27TH AVENUE NE CALGARY, AB

Project Legal Address
LOT 31 BLOCK 7A PLAN 2411737
LEGEND

- Spot elevation
- Subject Property
- Eave Fascia
- Fences are shown
- Building foundation
- Overhead Utility

EXISTING SITE SURVEYS

Sheet Number
AO.02



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Project Phase

BUILDING PERMIT

Issue / Date

Date	Issue Description:
2024-08-13	Issued for Re-DTR

Revisions:

Rev. #	Revision Description
1	Public Realm Setback
2	Width of Sidewalks

Project Title

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1296

Date

Scale

As indicated

Drafted By

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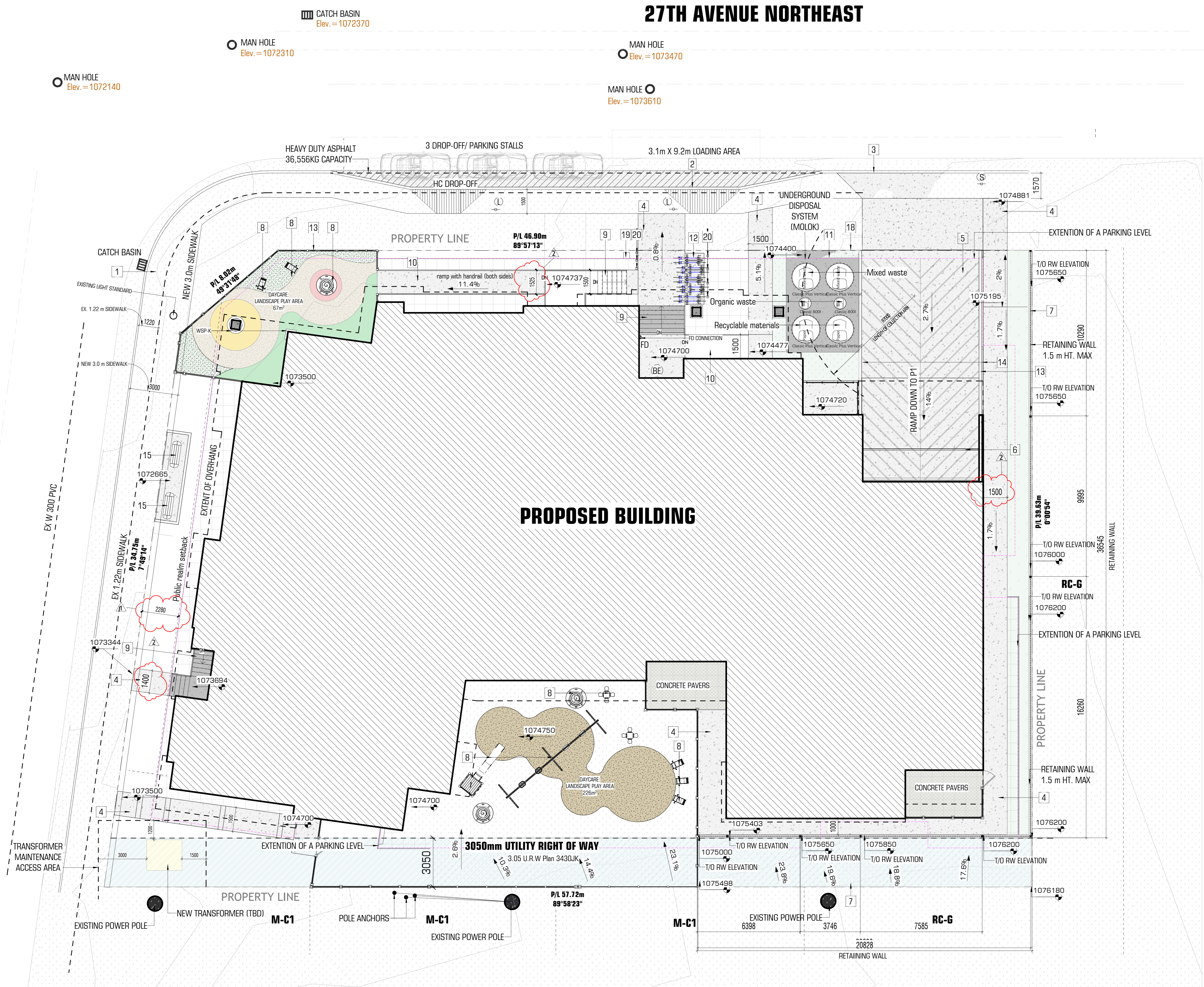
Sheet Title

SITE PLAN

Sheet Number

A1.00

27TH AVENUE NORTHEAST



SITE PLAN LEGEND

- ⓪ NEW LOADING/DROP-OFF ZONE NO PARKING SIGN
- Ⓢ NEW STOP SIGN
- Ⓛ NEW BUILDING PRIMARY ENTRANCE
- FD FIRE DEPARTMENT CONNECTION
- WSP-K WALL SOFT PANEL- KIDS
- RW RETAINING WALL
- EXISTING POWER POLE
- POLE ANCHORS
- MAN HOLE
- ▨ CATCH BASIN

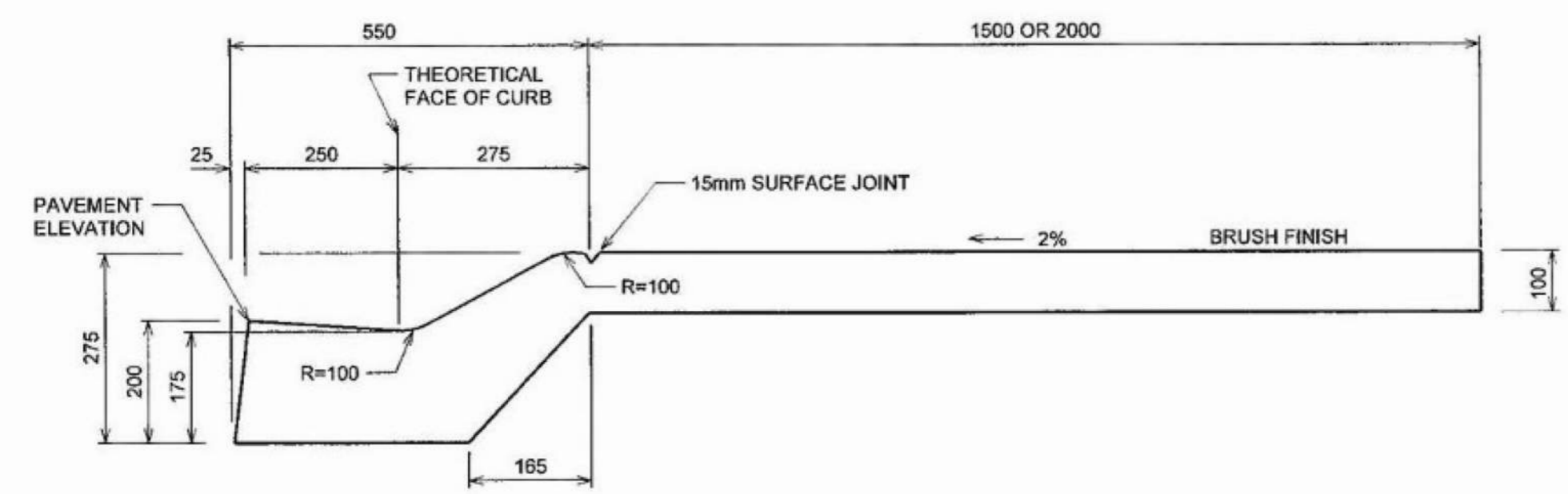
GROUND COVER LEGEND

- ▨ CONCRETE WALK
- ▨ CONCRETE SIDEWALK
- ▨ SOFT LANDSCAPING
- ▨ HEAVY DUTY ASPHALT 36,556KG CAPACITY
- ▨ EXISTING 3.05m ENMAX CLEARANCE
- ▨ SAND
- ▨ SOLID RUBBER SURFACE - RED
- ▨ SOLID RUBBER SURFACE - GREEN
- ▨ SOLID RUBBER SURFACE - YELLOW
- ▨ NEW TRANSFORMER
- ▨ CONCRETE PAVERS

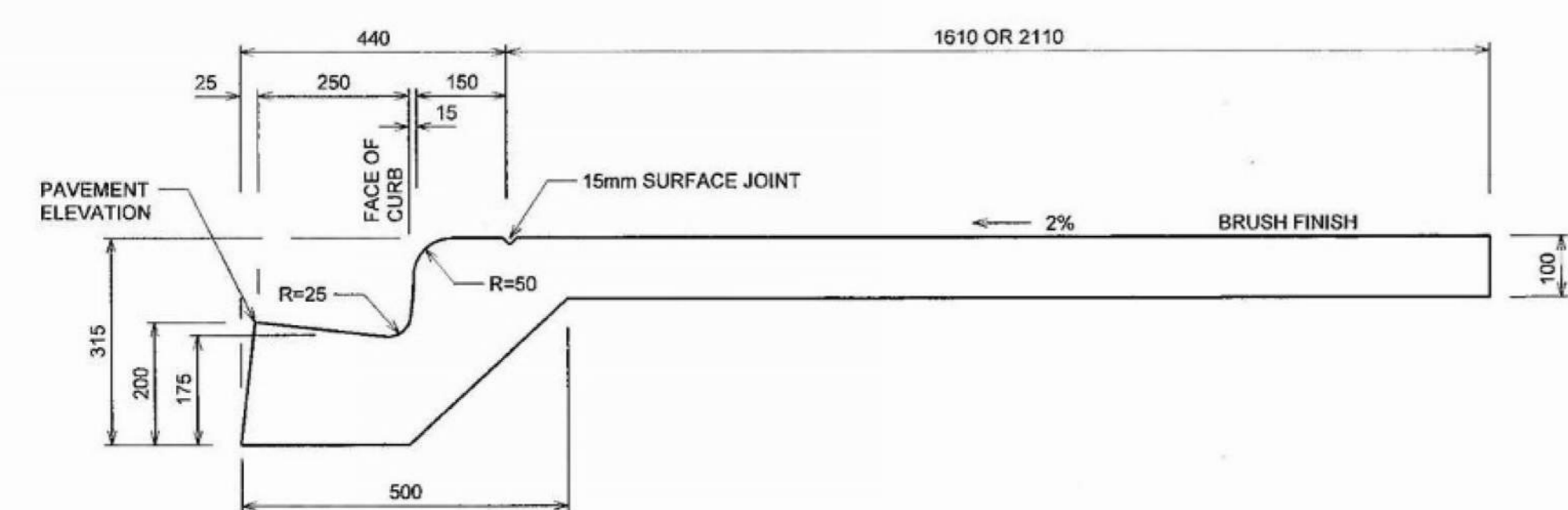
MATERIAL LEGEND KEYNOTES

No.	KEYNOTE NAME
1	EXISTING CONCRETE SIDEWALK AND CONCRETE CURB
2	NEW CONCRETE SIDEWALK AND CONCRETE CURB TO CITY OF CALGARY STANDARDS - DETAIL 5/A1.05
3	CONCRETE APRON WITH CONTINUOUS GUTTER
4	CONCRETE WALK
5	CONCRETE RAMP W/ DRAINAGE
6	TRENCH DRAIN
7	NEW CONCRETE RETAINING WALL W/ FENCE - DETAIL 1/A1.05
8	PLAYGROUND EQUIPMENT
9	CONCRETE STEPS W/ METAL RAILING
10	ACCESSIBLE WALK W/ METAL RAILING
11	PARTIALLY SUBMERGED WASTE COLLECTION - 1/A1.02
12	BICYCLE RACKS - 8 BIKES RESIDENTIAL - DETAIL 3/A1.05
13	RAISED CURB AS REQUIRED
14	CONCRETE WALL
15	BENCH
16	NEW 1.8 m HT. WOOD FENCE W/ GATE - DETAIL 2/A1.05
17	SOLID RECYCLED TIRE PLAY SURFACE
18	DECORATIVE FENCE
19	CERAMIC PLANTER
20	BOLLARD LIGHT

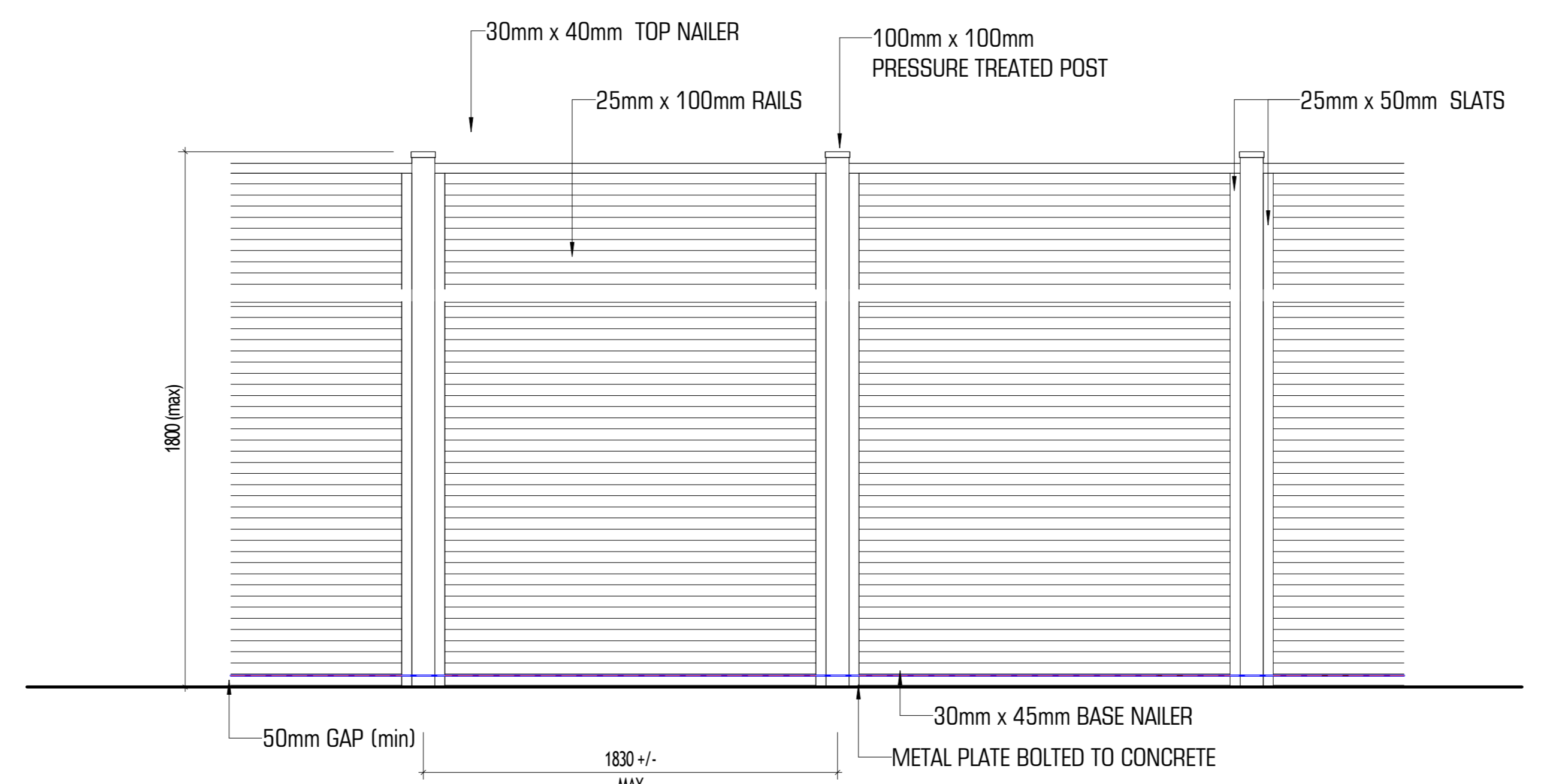
1 SITE PLAN
1 : 100



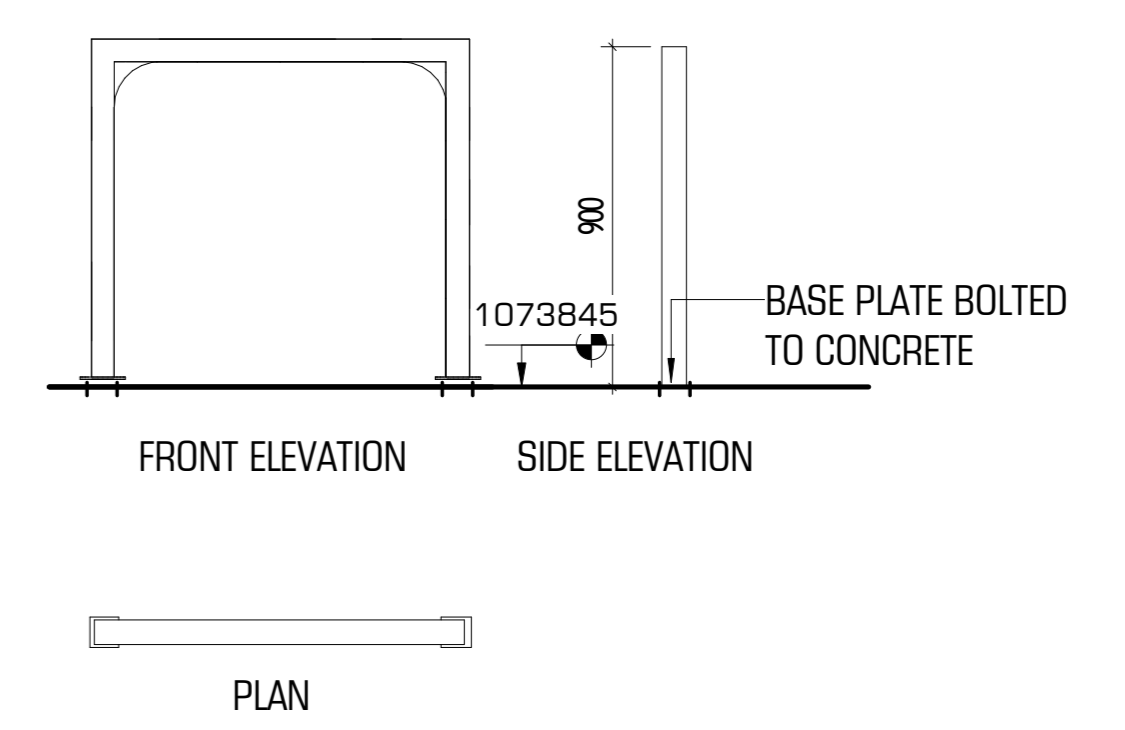
LOW PROFILE ROLLED



STANDARD

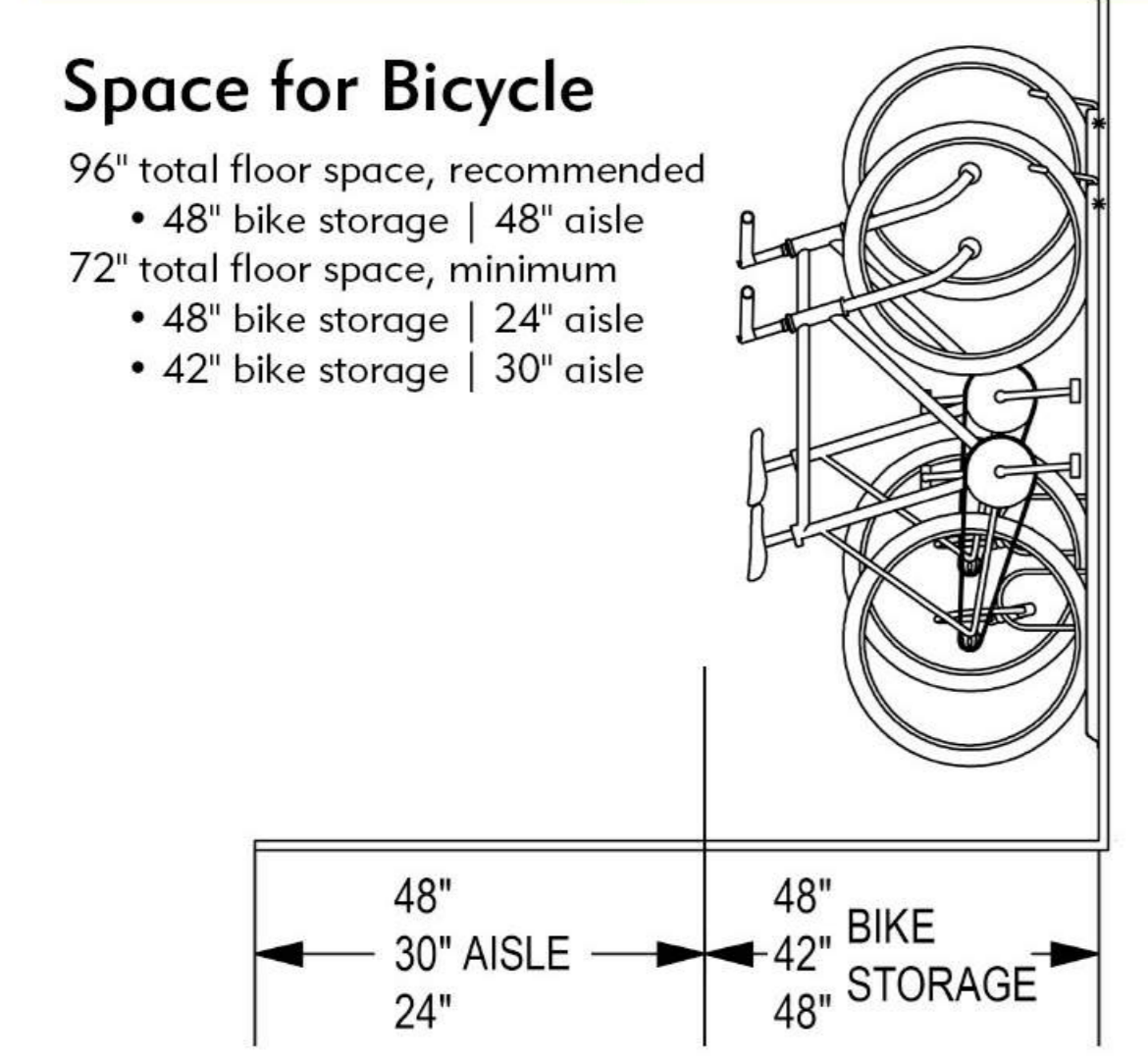


2 WOOD FENCE ELEVATION
1 : 20



3 TYPICAL BICYCLE RACK DETAIL
1 : 20

Vertical Bike Storage Site Planning



4 TYPICAL BICYCLE VERTICAL RACK
1 : 20

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Project Managers

Consultants

Project Phase

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Revisions:

Rev. #	Revision Description

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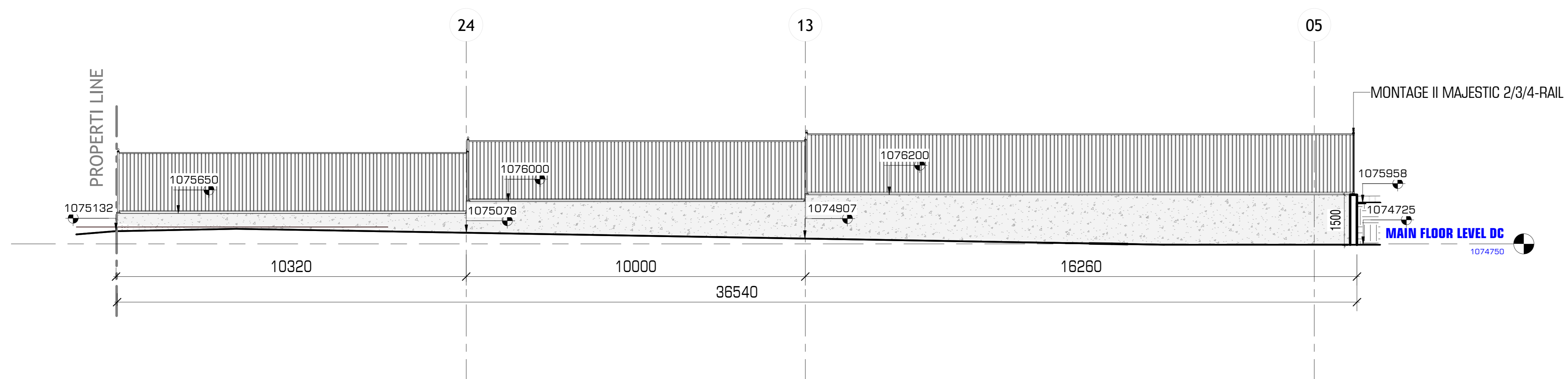
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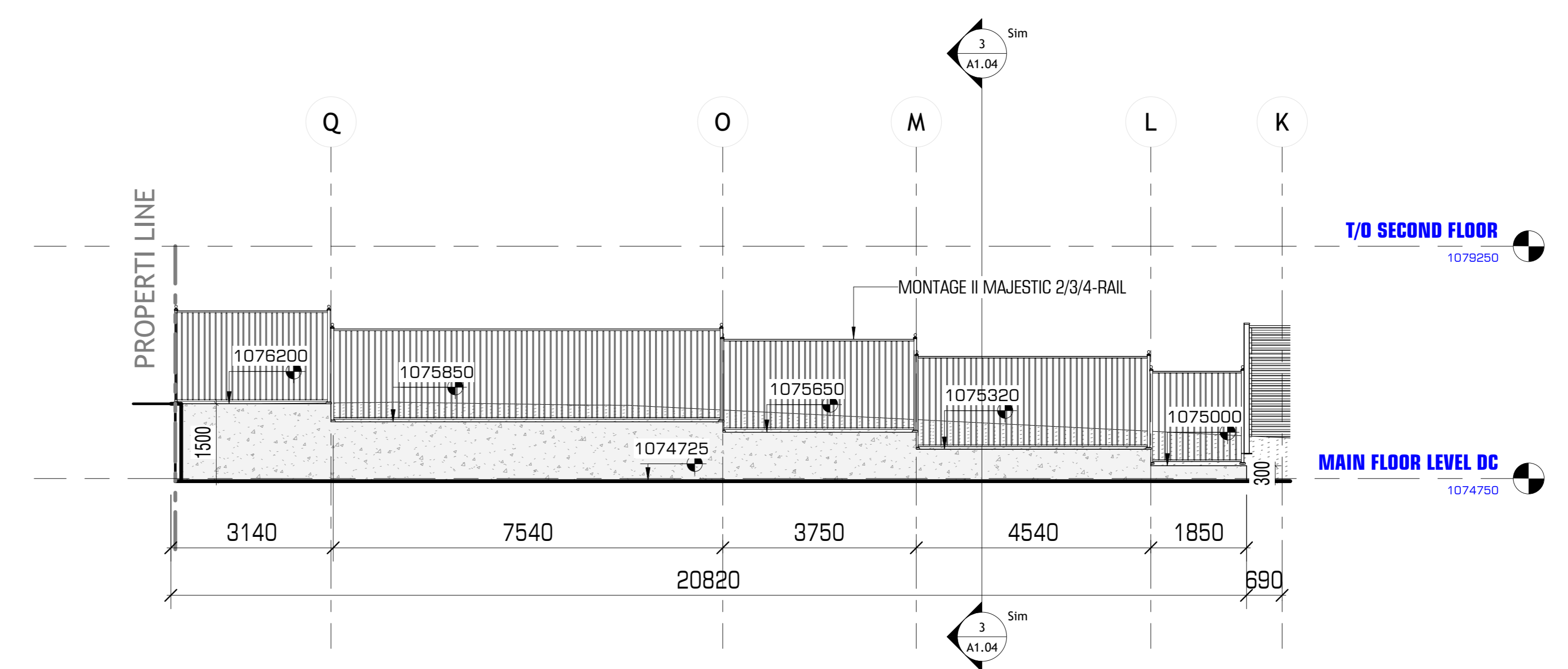
SITE DETAILS

Sheet Number

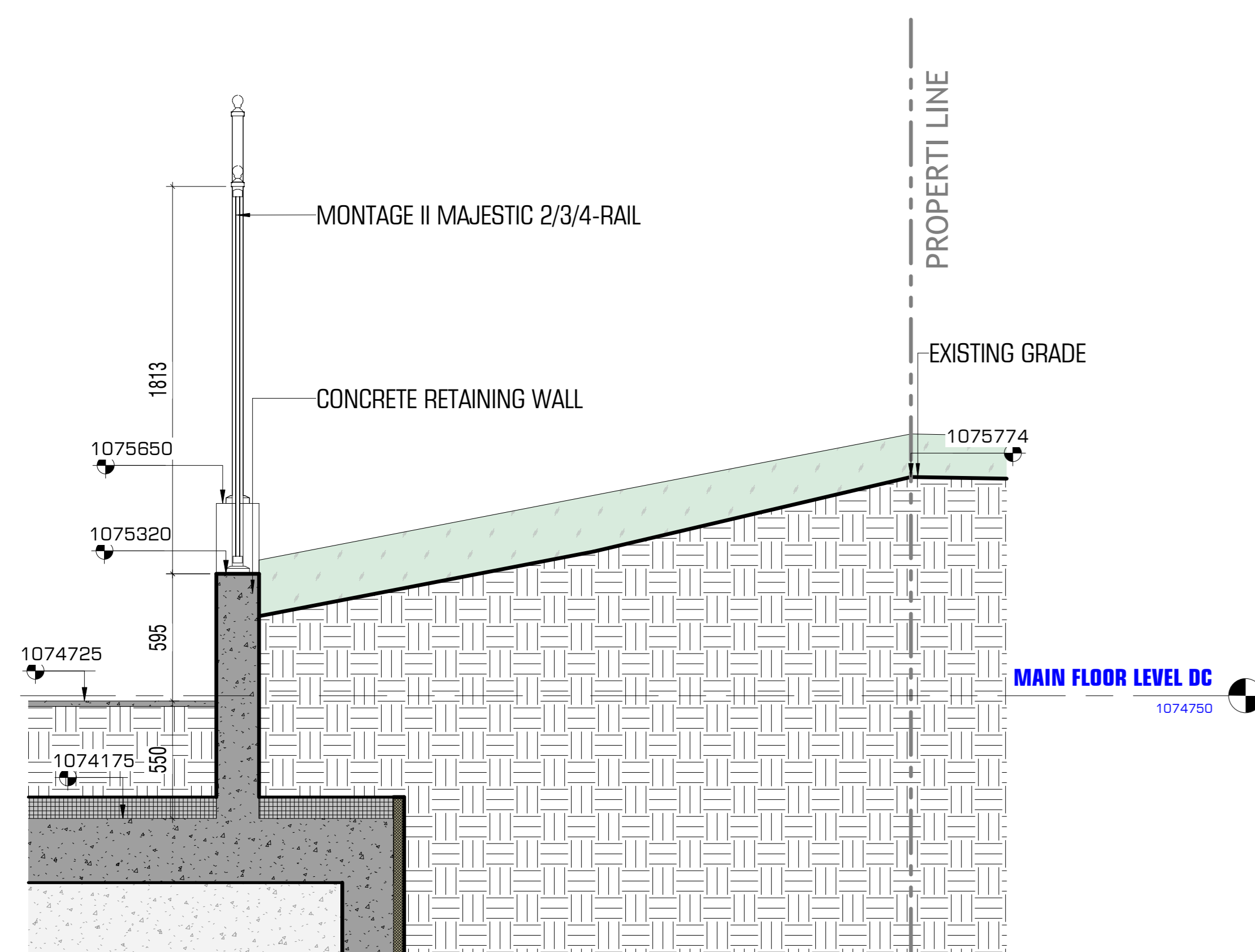
A1.03



2 **ELEVATION OF EAST RETAINING WALL**
1 : 75



1 **ELEVATION OF SOUTH RETAINING WALL**
1 : 75



3 **RETAINING WALL DETAIL**
1 : 20

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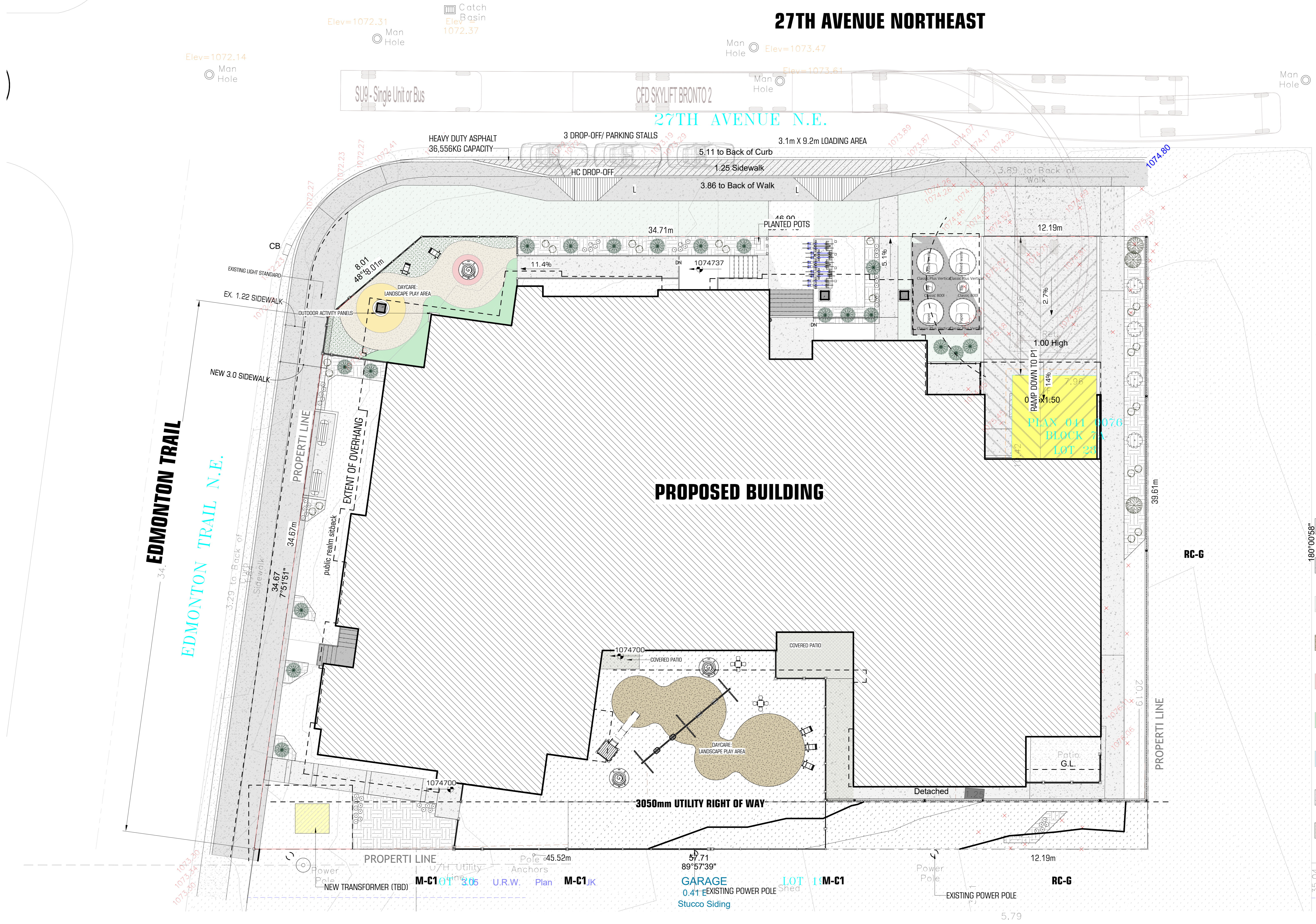
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Sheet Title

SITE DETAILS - RETAINING WALL

Sheet Number

A1.04



27TH AVENUE NORTHEAST

27TH AVENUE N.E.

PROPOSED BUILDING

- ### TREE LEGEND:
- BRISTLECONE PINE (PINUS ARISTATA) 1 @ 2.0 m HT; 2 @ 3.0m HT
 - SWEDISH COLUMNAR ASPEN (POPULUS TREMULA 'ERECTA') 1 @ 50mm CAL; 2 @ 75mm CAL
 - PIN CHERRY (PRUNUS PENNSYLVANICA) 2 @ 50MM CAL, 2 @ 75mm CAL
 - 18 HORIZONTAL JUNIPERS (JUNIPERUS HORIZONTALIS) (0.15 m HT. x1.2 m SPREAD)
 - 24 MIXED SHRUBS: SYRINGA x PRESTONIAE, ERICAMERIA NAUSEOSA, LONICERAXYLOSTEUM, CORNUS SERICEA, PHILADELPHUS LEWISII "WATERTON" (0.6 m HT. OR SPREAD)
 - NATIVE GRASSES

- ### GROUND COVER LEGEND:
- CONCRETE WALK
 - CONCRETE SIDEWALK
 - TURF
 - SAND
 - SOLID RUBBER SURFACE - RED
 - SOLID RUBBER SURFACE - GREEN
 - SOLID RUBBER SURFACE - GREEN
 - MULCH
 - CONCRETE PAVERS

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Scale
1 : 100

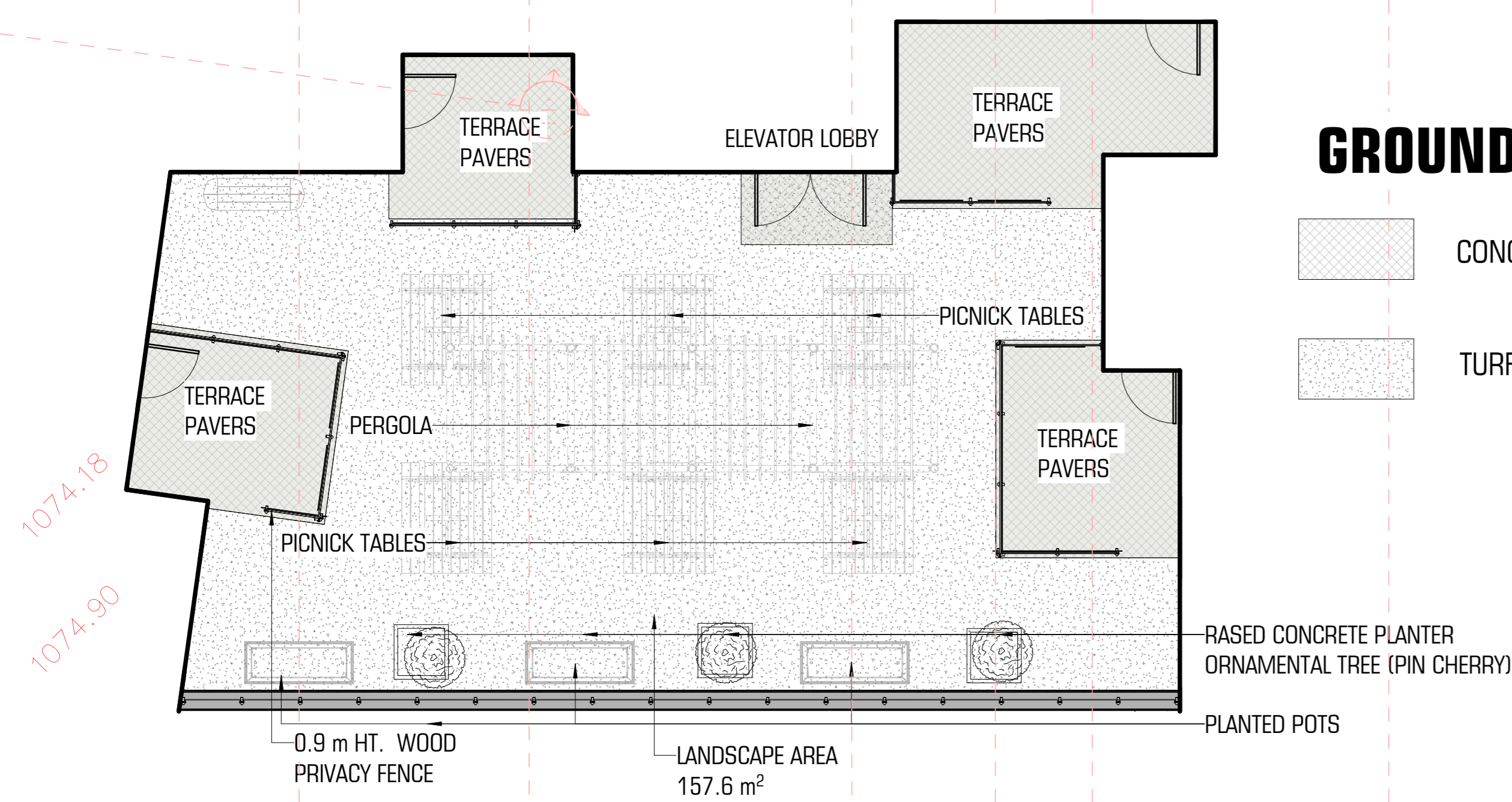
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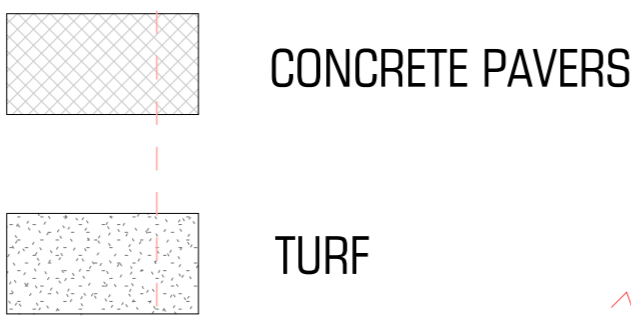
LANDSCAPING PLAN

Sheet Number
A1.06

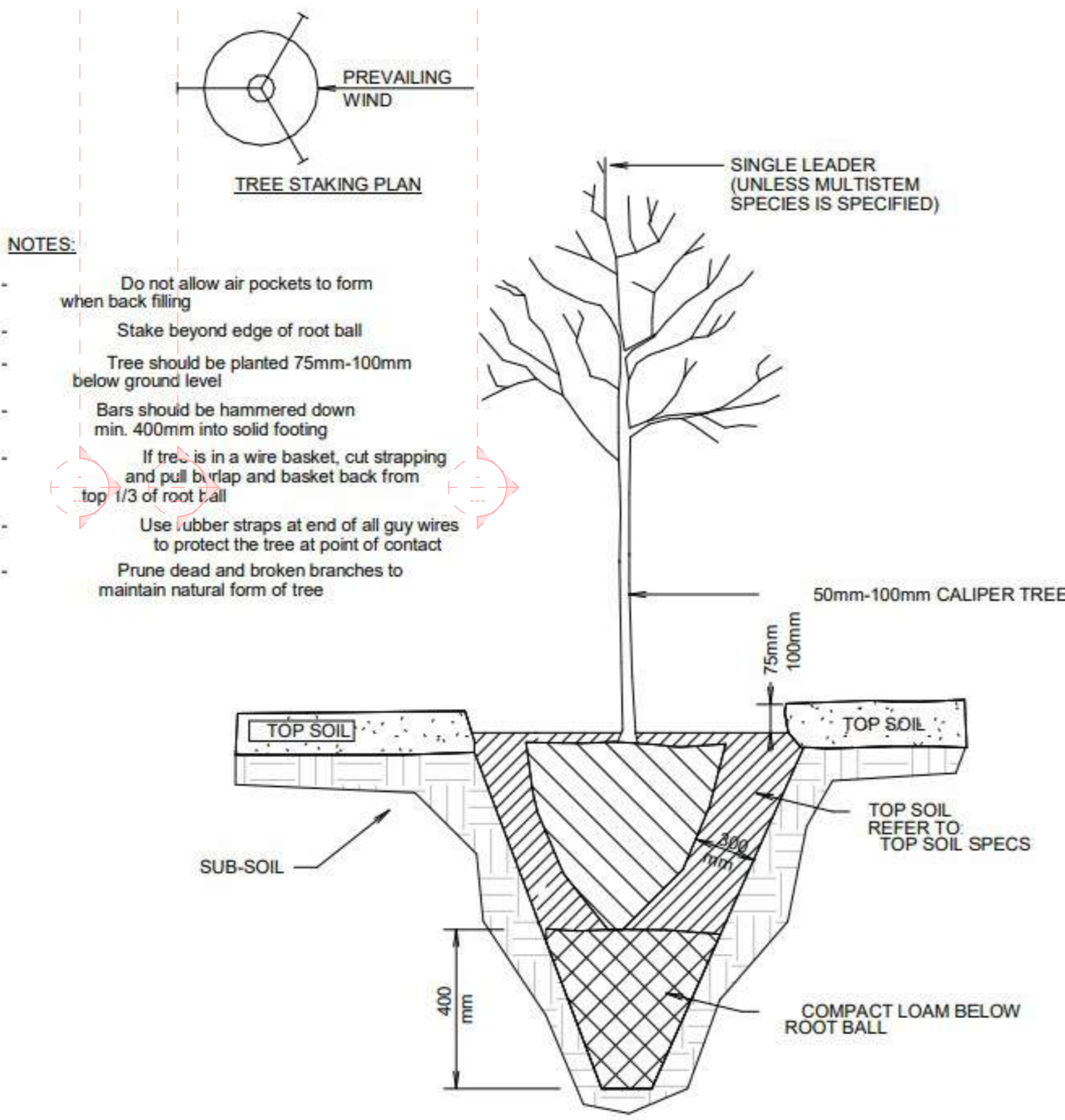
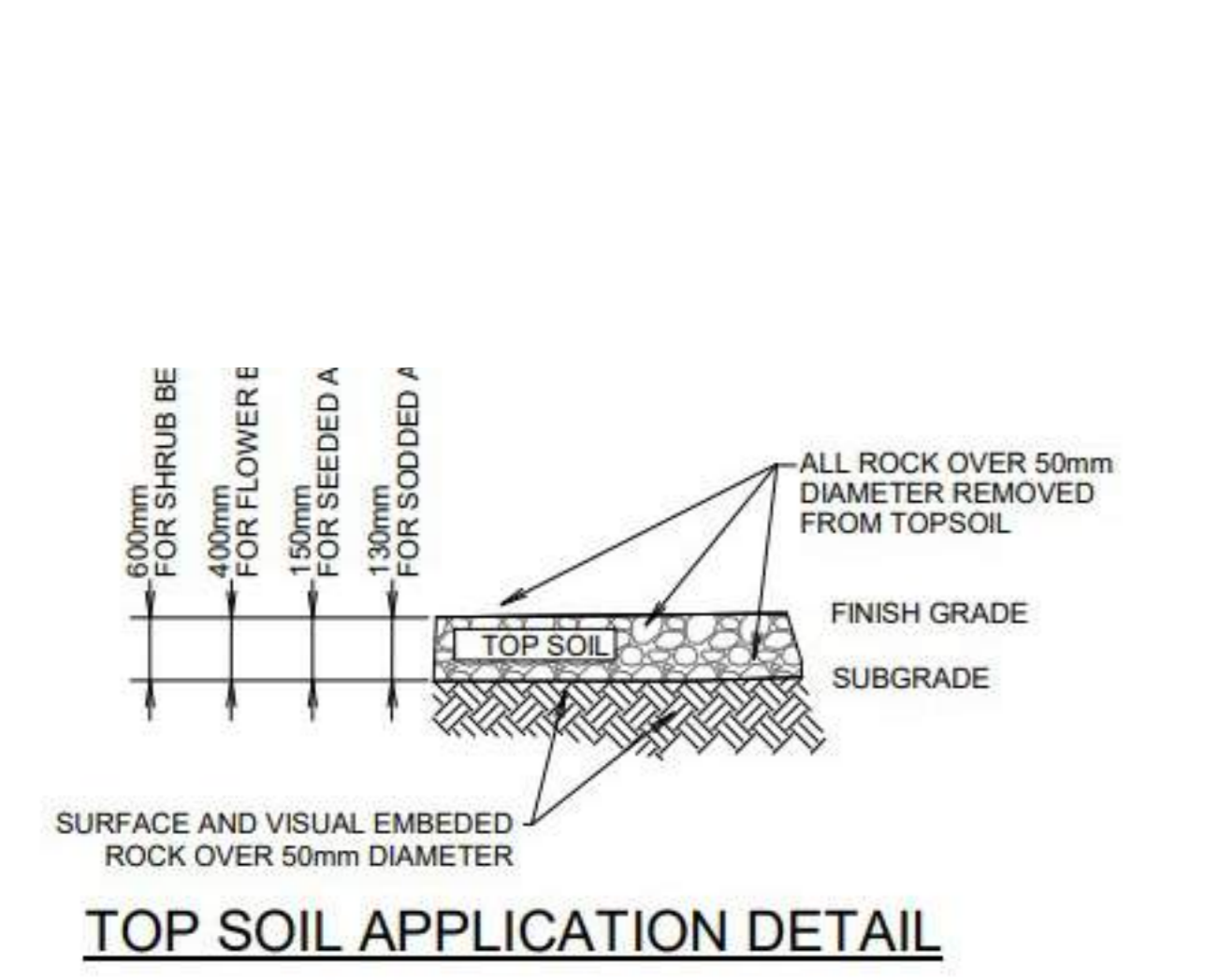
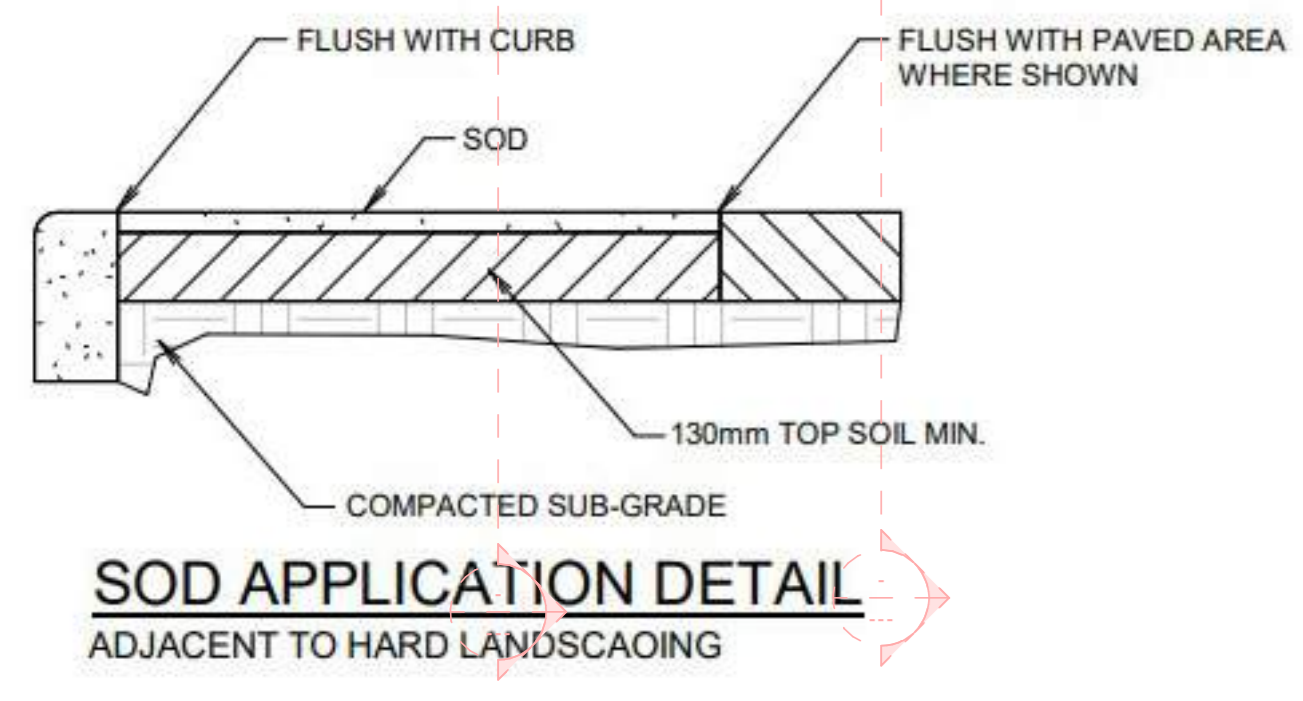
BLOCK 7A



GROUND COVER LEGEND:



1 LANDSCAPE LEVEL 2
1 : 75



- NOTES:**
- Do not allow air pockets to form when back filling
 - Stake beyond edge of root ball
 - Tree should be planted 75mm-100mm below ground level
 - Bars should be hammered down min. 400mm into solid footing
 - If tree is in a wire basket, cut strapping and pull to top and basket back from top 1/3 of root ball
 - Use rubber straps at end of all guy wires to protect the tree at point of contact
 - Prune dead and broken branches to maintain natural form of tree

SPADE HOLE TREE PLANTING DETAIL
CONIFEROUS / DECIDUOUS 40-100mm CALIPER, W. ROOT BALL

LANDSCAPE NOTES:

ALL LANDSCAPING TO CONFORM TO CITY OF CALGARY LAND-USE BYLAW – TO BE VERIFIED BY LANDSCAPE CONTRACTOR.

ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARD REQUIRED BY CANADIAN NURSERY TRADE ASSOCIATION GUIDELINES.

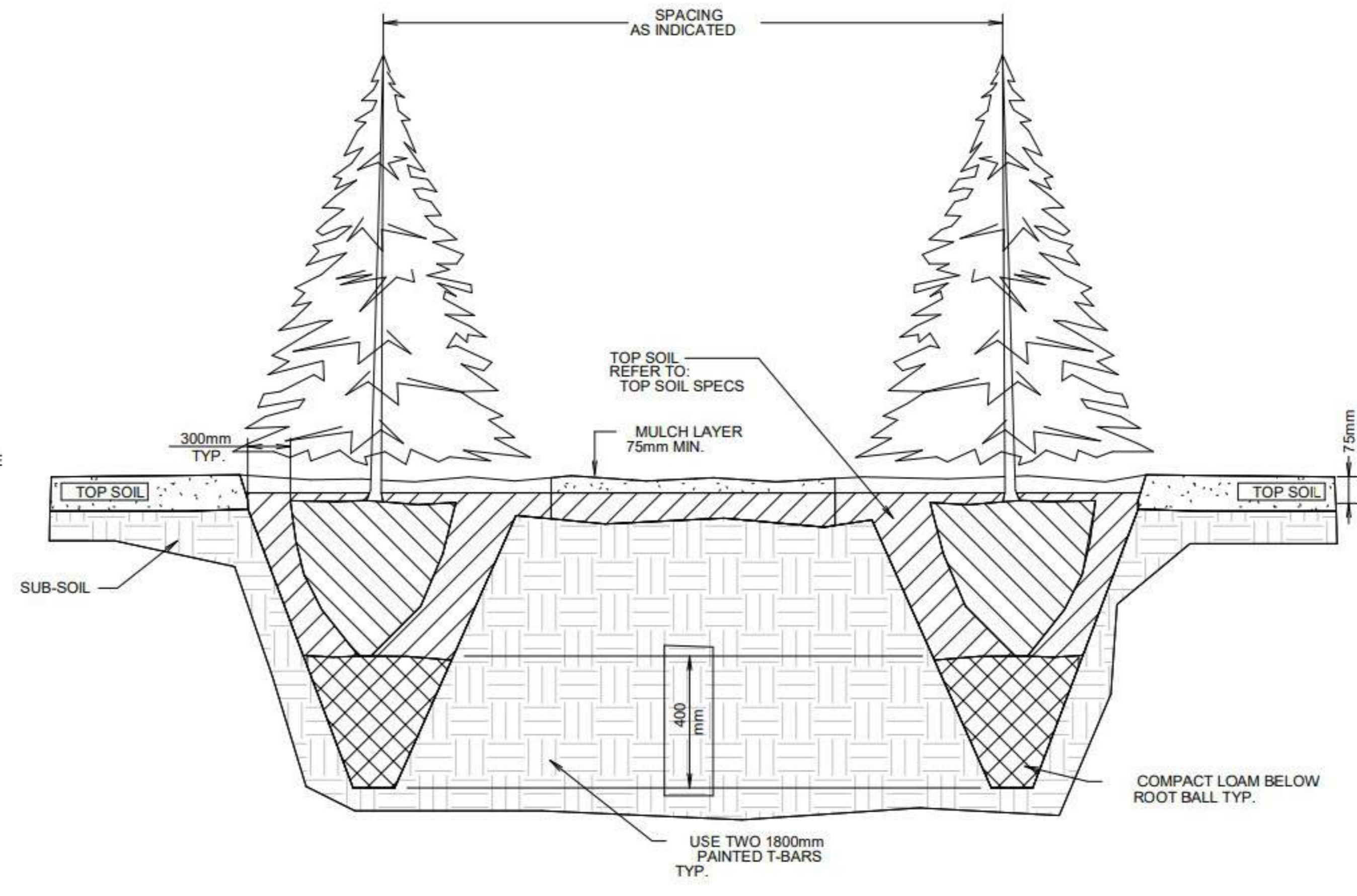
NEW SOFT LANDSCAPING IN SETBACK AREAS TO HAVE UNDERGROUND LOW WATER IRRIGATION SYSTEM THAT IS CONFINED TO TREED AND SHRUBS (EXCEPT IN URW'S).

- TOPSOIL DEPTHS FOR PLANTING:**
- A. GRASSED AREA – 150 mm
 - B. GROUND COVER – 300 mm
 - C. SHRUBS – 450 mm
 - D. TREE PITS – 400 mm (BELOW ROOT BALL)

- TOPSOIL DEPTHS FOR PLANTING OVER BUILDING:**
- A. GRASSED AREA – 300 mm
 - B. SHRUBS – 600 mm
 - C. TREES – 1200 mm

LAWN AREA SHALL BE SODDED WITH #1 PREMIUM SOD, DROUGHT TOLERANT SPECIES.

ALL SHRUBS TO BE PLANTED @ MIN. 600 MM O/C.
50 MM BARK MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.



TREE BED PLANTING DETAIL
CONIFEROUS / DECIDUOUS 40-100mm CALIPER, W. ROOT BALL

LANDSCAPE SPECIFICATIONS:

GENERAL REQUIREMENTS

ALL PLANT MATERIALS MUST BE NURSERY-GROWN IN ACCORDANCE WITH THE LATEST GUIDE SPECIFICATIONS FOR NURSERY STOCK BY THE CANADIAN NURSERY TRADES ASSOCIATION. ONLY PLANT MATERIAL THAT IS TRUE TO THE NAME, SIZE, AND GRADE LISTED ON THE PLANTING SCHEDULE SHALL BE USED. EACH SPECIMEN OR BUNDLE MUST BE CLEARLY LABELED OR MARKED TO INDICATE ITS VARIETY, SIZE, AND GRADE.

ANY SUBSTITUTIONS IN VARIETY, SIZE, OR GRADE MUST BE APPROVED BY THE CONSULTANT. VERIFY ALL PLANT LOCATIONS AND OBTAIN UTILITY LINE STAKEOUTS BEFORE EXCAVATION. SECURE ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION. REPORT ANY DISCREPANCIES FOUND IN THE DRAWINGS, SPECIFICATIONS, OR CONTRACT DOCUMENTS TO THE CONSTRUCTOR IN WRITING BEFORE CONSTRUCTION BEGINS.

ROUGH GRADING

ROUGH GRADE AND FILL TO ESTABLISH SUB-GRADE LEVELS AS REQUIRED. ENSURE DRAINAGE PATTERNS MATCH THE DRAWINGS. SMOOTH ALL SLOPE TOPS AND TOES. COMPACT SOIL TO A MINIMUM OF 90% STANDARD PROCTOR DENSITY. PROTECT ALL EXISTING TREES DESIGNATED TO REMAIN ON-SITE.

FINISH GRADING

FINISH GRADING SHALL CONFORM TO ELEVATIONS SHOWN ON THE GRADING OR SITE PLAN. PROVIDE UNIFORM SLOPES AWAY FROM STRUCTURES UNLESS NOTED OTHERWISE. SLOPES MUST NOT EXCEED A RATIO OF 3:1.

SPREADING OF TOPSOIL

SCARIFY THE SUBSOIL PRIOR TO APPLYING TOPSOIL. REMOVE ALL DEBRIS AND VISIBLE ROCKS. LEAVE A FINELY TEXTURED, EVEN SURFACE. ALL TOPSOIL SHALL BE IMPORTED UNLESS OTHERWISE APPROVED BY THE CONSULTANT. APPROVAL IS REQUIRED FOR THE QUALITY OF ANY IMPORTED TOPSOIL BEFORE IT IS DELIVERED TO THE SITE.

SOD

USE SOD THAT MEETS THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS. ALL LAWN AREAS MUST RECEIVE A MINIMUM OF 130 MM OF TOPSOIL AND BE SODDED USING THE CITY OF CALGARY PARKS AND RECREATION "URBAN C" MIXTURE (FOR IRRIGATED AREAS).

MINERAL FERTILIZER

APPLY MINERAL FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS.

PREPARATION OF PLANTING BEDS

PLANTING BEDS SHALL BE CONTINUOUS. EXCAVATE TO DEPTHS AS SHOWN IN DETAILS. BACKFILL BEDS WITH A SOIL MIX CONSISTING OF:

SIX (6) PARTS SAND LOAM

ONE (1) PART PULVERIZED PEAT MOSS

TWO (2) PARTS WELL-ROTTED MANURE

FERTILIZER AS PER SOIL TEST RESULTS

ADD 0.58 KG OF BENEMEAL PER CUBIC METER OF PLANTING SOIL. PREPARE BEDS PRIOR TO THE DELIVERY OF PLANT MATERIALS.

NOTE:

IF SOIL CONDITIONS ARE CLAYEY OR OVERLY WET, CONSULT WITH THE LANDSCAPE CONSULTANT FOR AN ALTERNATIVE SOIL MIX.

PLANT MATERIALS

ALL PLANT MATERIAL MUST CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS FOR SIZE AND SPECIES. SHRUBS AND TREES MUST BE CONTAINER-GROWN, POTTED, S/B, OR B/B UNLESS OTHERWISE SPECIFIED. BARE ROOT STOCK IS ALLOWED FOR SELECT SPECIES DURING EARLY SPRING OR LATE FALL. ONLY THE CONTRACTOR MAY REQUEST ROOT CONDITION SUBSTITUTIONS, AND THIS MUST BE DONE IN WRITING BEFORE PLANTING BEGINS.

PLANT MATERIAL INSTALLATION

ALL TREES, SHRUBS, AND GROUND COVERS MUST BE PLANTED ACCORDING TO THE PLANTING PLAN AND PLANTING DETAILS. ALL BEDS SHALL RECEIVE A 75 MM LAYER OF CLEAN MULCH. REFER TO DETAILS FOR GUYING AND STAKING OF TREES.

PLANT TYPES AND SIZES ARE SPECIFIED ON THE LANDSCAPE PLAN.

THE QUANTITY OF EACH PLANT GROUP SHOWN ON THE PLANTING PLAN TAKES PRECEDENCE OVER ANY ESTIMATES IN THE MASTER LIST. CONTRACTORS MUST REPORT DISCREPANCIES TO THE CONSULTANT IN WRITING BEFORE BEGINNING ANY WORK.

MULCH

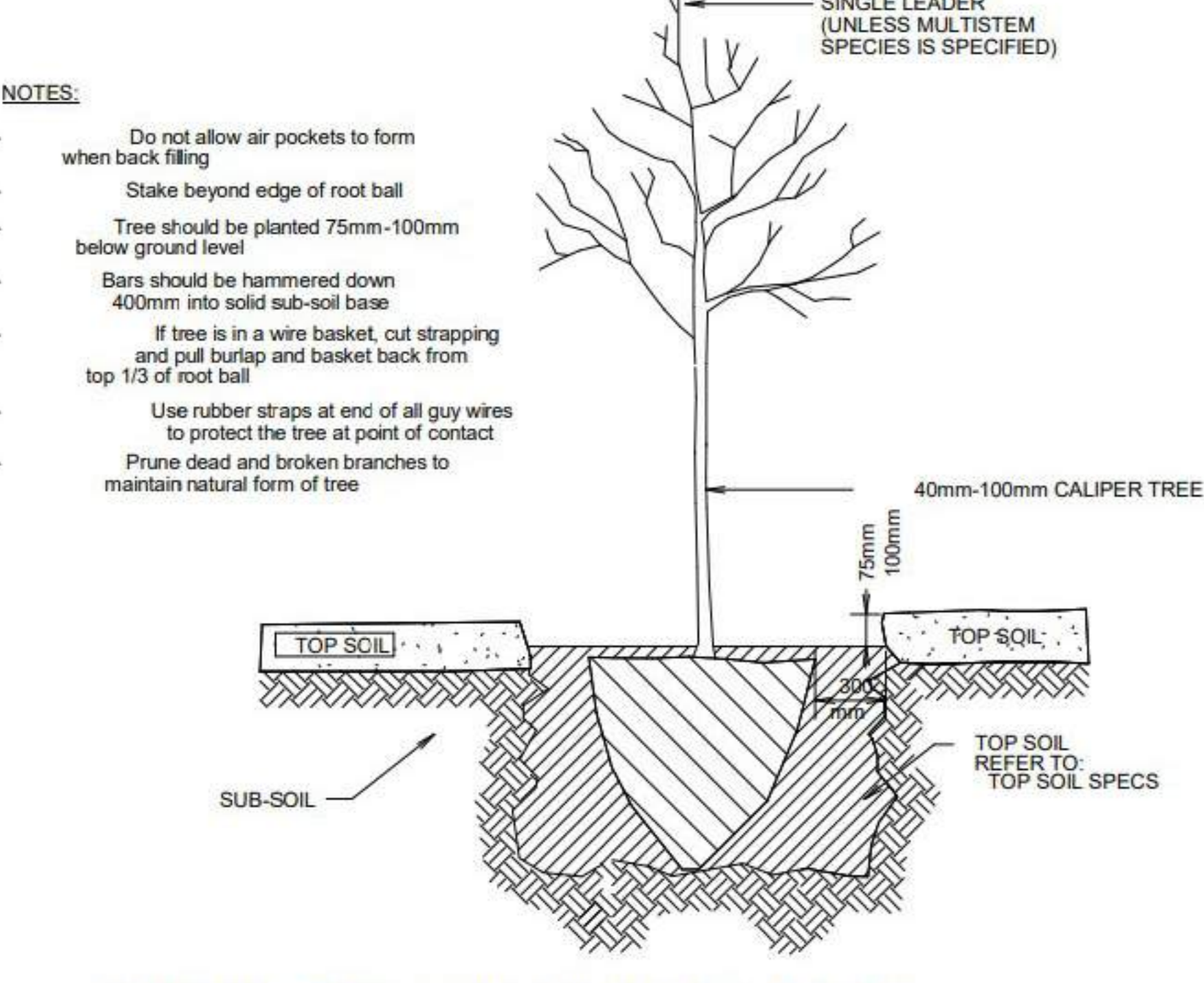
USE WASHED RIVER GRAVEL OVER LANDSCAPE FABRIC.

MAINTENANCE

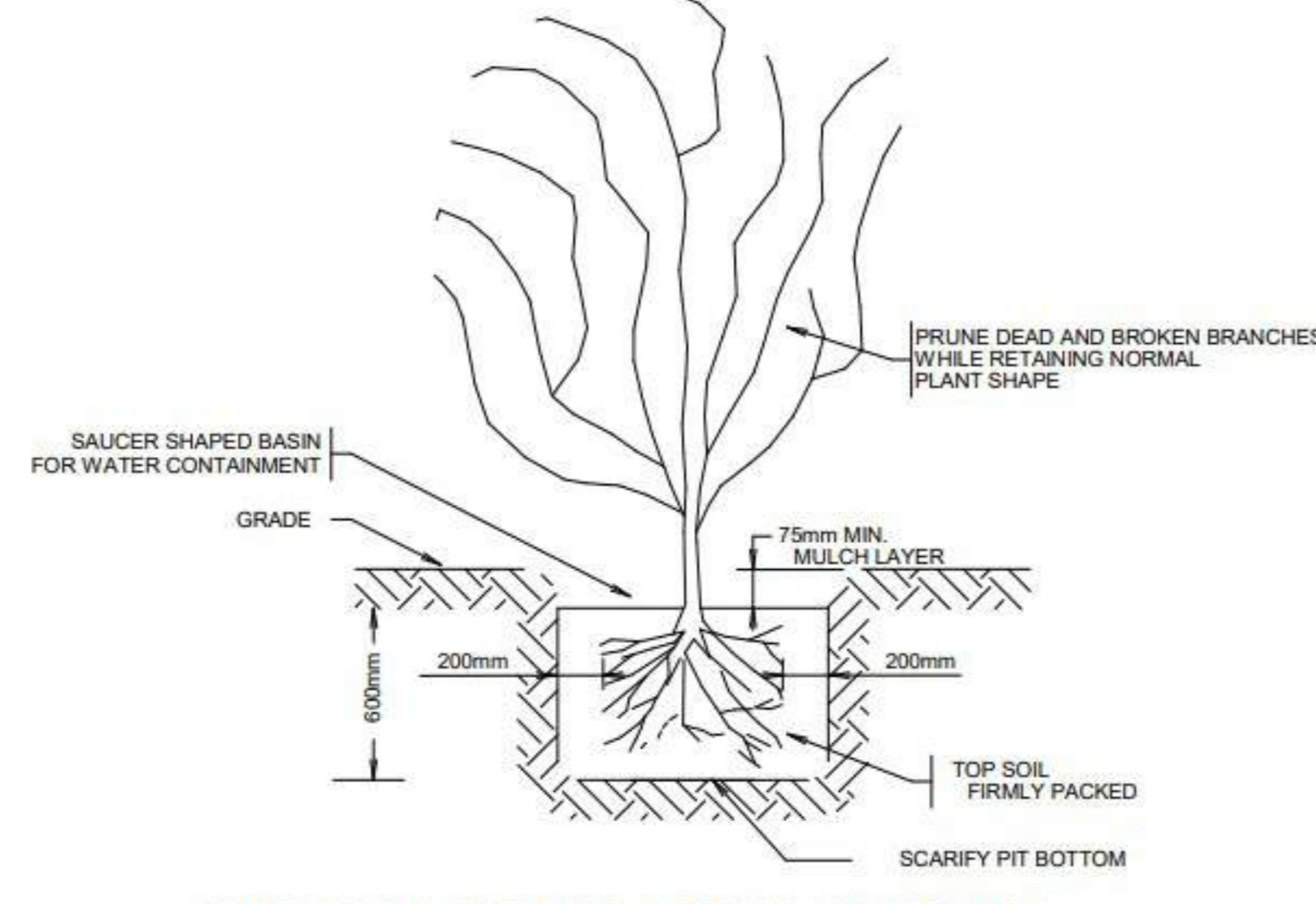
MAINTAIN ALL LANDSCAPED AREAS BEFORE AND AFTER CONSULTANT ACCEPTANCE FOR A PERIOD OF ONE (1) YEAR OR ONE FULL GROWING SEASON.

RODENT PROTECTION

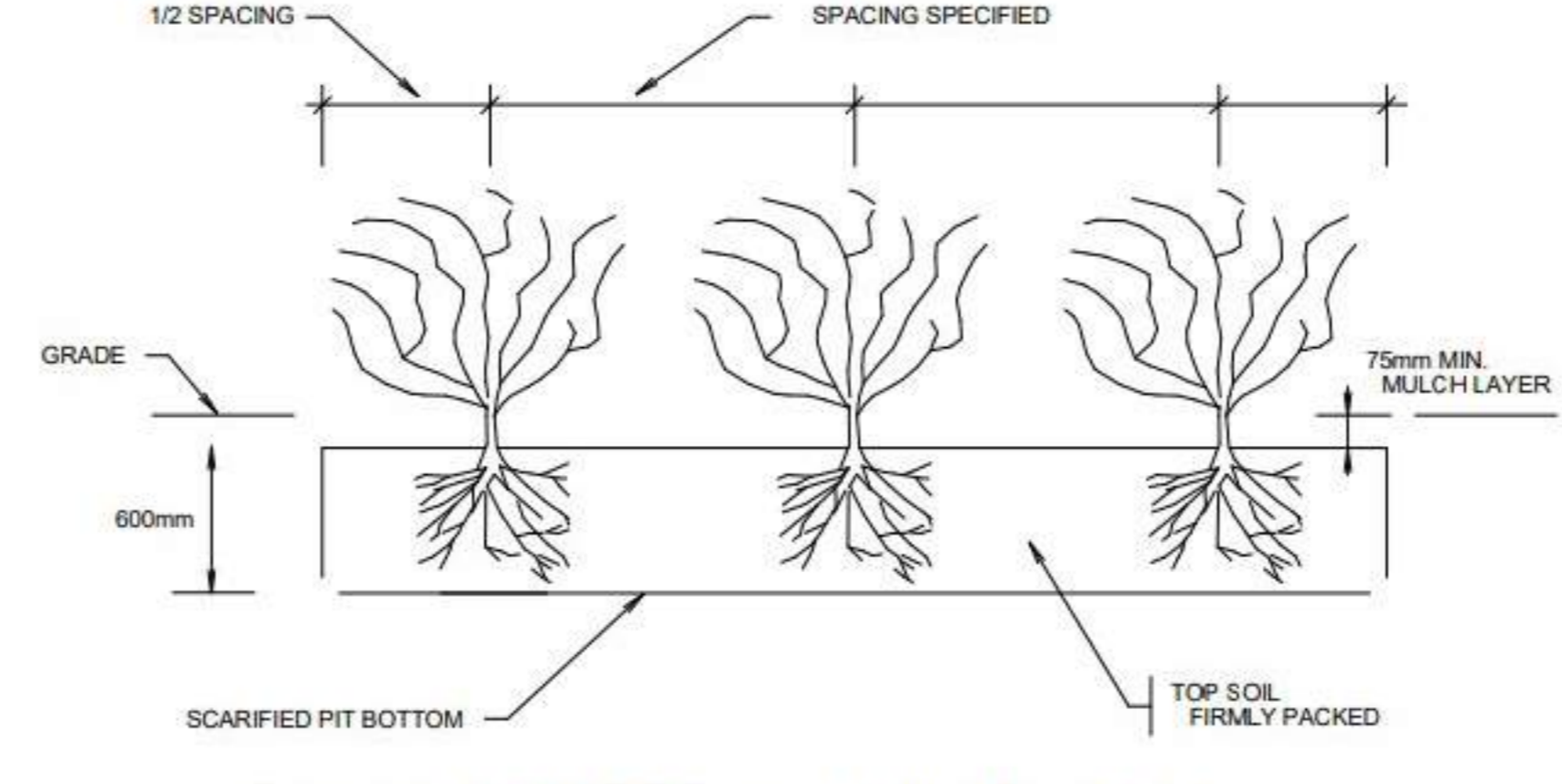
THE CONTRACTOR IS RESPONSIBLE FOR WINTER PROTECTION OF ALL TREES AND SHRUBS AGAINST RODENT DAMAGE DURING THE WARRANTY PERIOD. INSTALL TREE GUARDS PRIOR TO MULCHING. GUARDS MUST BE PLACED AT LEAST 50 MM AWAY FROM THE TRUNK ON ALL SIDES.



BACKHOE DWG. TREE PLANTING DETAIL
CONIFEROUS / DECIDUOUS 40-100mm CALIPER, W. ROOT BALL



SHRUB PLANTING DETAIL IN TO PIT
POTTED CONIFEROUS / DECIDUOUS SHRUBS



SHRUB PLANTING DETAIL IN TO BED
POTTED CONIFEROUS / DECIDUOUS SHRUBS

Professional Seal

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Client

Project Managers

Consultants

Project Phase

BUILDING PERMIT

Issue / Date

Date	Issue Description:
2024-09-13	Issued for R6-2115

Revisions:

Rev. #	Revision Description

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

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LOT 31 BLOCK 7A PLAN 2411737

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LANDSCAPE LEVEL 2 AND TREE PLANTING DETAILS

Sheet Number

A1.07

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Notes	
Rev. #	Revision Description

THE BALOCH

NORTH ELEVATION

A4.01



MATERIALS LEGEND

KEY VALUE	KEYNOTE TEXT
1	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
2	VERTICAL METAL PANEL (COLOUR - WHITE)
3	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
4	CEMENT BOARD PANEL (COLOUR - WHITE)
5	PREFINISHED METAL CLADDING - CHARCOAL
6	BRICK - DL - LIGHT TAN
7	PREFINISHED METAL CAP FLASHING (COLOUR - CHARCOAL)
9	METAL COLUMN WRAP - GREY
10	CONCRETE (LIGHT GREY)
11	ALUMINUM CLAD VINYL RESIDENTIAL WINDOW WITH HORIZONTAL SLIDING & FIXED PANELS (COLOUR GRAY)
12	ALUMINUM RESIDENTIAL PATIO DOOR W/ GLASS PANEL (COLOUR GREY)
13	INSULATED METAL DOOR (COLOUR - GREY)
14	ALUMINUM BALCONY RAIL / GUARD RAIL WITH TRANSPARENT GLASS PANELS
15	SIGN - CHANNEL CUT LETTERS - HALO LIT
16	WOOD FENCE
17	ALUMINUM FRONT GLASS - ANODIZED FRAME
18	ALUMINUM FRONT GLASS DOOR - ANODIZED FRAME

1 NORTH ELEVATION - VIEW FROM 27TH STREET
 1 : 75



1 EAST ELEVATION
1 : 75

MATERIALS LEGEND	
KEY VALUE	KEYNOTE TEXT
1	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
2	VERTICAL METAL PANEL (COLOUR - WHITE)
3	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
4	CEMENT BOARD PANEL (COLOUR - WHITE)
5	PREFINISHED METAL CLADDING - CHARCOAL
6	BRICK - IXL - LIGHT TAN
7	PREFINISHED METAL CAP FLASHING (COLOUR - CHARCOAL)
9	METAL COLUMN WRAP - GREY
10	CONCRETE (LIGHT GREY)
11	ALUMINIUM CLAD VINYL RESIDENTIAL WINDOW WITH HORIZONTAL SLIDING & FIXED PANELS (COLOUR GRAY)
12	ALUMINIUM RESIDENTIAL PATIO DOOR W/ GLASS PANEL (COLOUR GREY)
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16	WOOD FENCE
17	ALUMINIUM FRONT GLASS - ANODIZED FRAME
18	ALUMINIUM FRONT GLASS DOOR - ANODIZED FRAME

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Project Managers

Consultants

Project Phase

BUILDING PERMIT

Issue / Date

Date	Issue Description
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Project Title

THE BALOCH

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EAST Elevation

Sheet Number

A4.02

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Project Phase

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Sheet Title

SOUTH Elevation

Sheet Number

A4.03



MATERIALS LEGEND

KEY VALUE	KEYNOTE TEXT
1	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
2	VERTICAL METAL PANEL (COLOUR - WHITE)
3	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
4	CEMENT BOARD PANEL (COLOUR - WHITE)
5	PREFINISHED METAL CLADDING - CHARCOAL
6	BRICK - DL - LIGHT TAN
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15	SIGN - CHANNEL CUT LETTERS - HALO LIT
16	WOOD FENCE
17	ALUMINUM FRONT GLASS - ANODIZED FRAME
18	ALUMINUM FRONT GLASS DOOR - ANODIZED FRAME

1 SOUTH ELEVATION
1 : 75



1 WEST ELEVATION - VIEW FROM EDMONTON TRAIL
1 : 75

MATERIALS LEGEND

KEY VALUE	KEYNOTE TEXT
1	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
2	VERTICAL METAL PANEL (COLOUR - WHITE)
3	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
4	CEMENT BOARD PANEL (COLOUR - WHITE)
5	PREFINISHED METAL CLADDING - CHARCOAL
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17	ALUMINUM FRONT GLASS - ANODIZED FRAME
18	ALUMINUM FRONT GLASS DOOR - ANODIZED FRAME

Professional Seal

Prime Consultant



Project Managers

Consultants

Project Phase

BUILDING PERMIT

Issue / Date

Date	Issue Description:
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Revisions:

Notes	
Rev. #	Revision Description

Project Title

THE BALOCH

Project Municipal Address

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Sheet Title

WEST Elevation

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LOT 31 BLOCK 7A PLAN 24111737

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1 : 75

EAST-2 ELEVATION. WEST-2 ELEVATION

A4.05



1 5 YARD - EAST Elevation

1 : 75

2 6 YARD - WEST Elevation

1 : 75

MATERIALS LEGEND	
KEY VALUE	KEYNOTE TEXT
1	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
2	VERTICAL METAL PANEL (COLOUR - WHITE)
3	CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
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15	SIGN - CHANNEL CUT LETTERS - HALO LIT
16	WOOD FENCE
17	ALUMINUM FRONT GLASS - ANODIZED FRAME
18	ALUMINUM FRONT GLASS DOOR - ANODIZED FRAME

SCOPE OF WORK - MULTI FAMILY TOWNHOUSES

1. THE SCOPE OF THIS WORK IS TO PROVIDE POWER SYSTEMS AND LIGHTING DESIGN FOR RESIDENTIAL UNITS.
2. ALL CIRCUIT WIRING, EQUIPMENT CONNECTION AND RECEPTACLE LAYOUTS ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL VERIFY EXACT ROUTING, EQUIPMENT AND ELECTRICAL DEVICES LOCATION WITH OWNER OR ARCHITECT.
3. IN ABSENCE OF DETAIL LOAD LIST BEING PROVIDED, THE LOADS INDICATED IN DRAWINGS ARE ASSUMED BASED ON PREVIOUS PROJECT EXPERIENCE. CONTRACTOR TO SIZE BREAKER RATING PER ACTUAL INSTALLED LOADS.
4. TAMPER PROOF RECEPTACLE, GFCI RECEPTACLE AND ARC FAULT CIRCUIT INTERRUPTER AS REQUIRED BY CEC AND AS PRESCRIBED BY AUTHORITIES HAVING JURISDICTION SHALL BE PROVIDED BY CONTRACTOR BASED ON APPLICATION/LOCATION.
5. CONTRACTOR IS RESPONSIBLE TO PROVIDE BREAKER IN ELECTRICAL PANEL BASED ON AVAILABLE FAULT LEVEL, EQUIPMENT MANUFACTURE RECOMMENDATION, AND INRUSH CURRENT REQUIREMENT. THE INDICATED BREAKER RATINGS ON PANEL SCHEDULE ARE BASED ON AVAILABLE INFORMATION.
6. CONTRACTOR SHALL COORDINATE WITH UTILITY TO INSTALL CONDUIT FROM METER/METERS TO EACH UTILITY TRANSFORMER. THE POINT OF ENTRY FOR UTILITY SERVICES SHALL BE COORDINATED WITH THE UTILITY PROVIDER. PROVIDE INDIVIDUAL DEDICATED FEEDER AND CONDUIT FROM METER TO CORRESPONDING HOUSE PANEL LOCATED IN MECHANICAL ROOM.
7. THE CONDUIT, CABLE AND THE PANEL SHORT CIRCUIT BREAKER RATING ARE INDICATIVE. CONTRACTOR TO VALIDATE THE UPSTREAM SUPPLY BREAKER RATING AND AVAILABLE SHORT CIRCUIT CURRENT AND DESIGN SERIES RATED PANEL IF REQUIRE.
8. CONTRACTOR TO INDICATE ANY DISCREPANCY IN ARCHITECTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND THE EQUIPMENT AT SITE IMMEDIATELY TO ENGINEER'S ATTENTION FOR DRAWING CORRECTION. ANY REFERENCE TO EQUIPMENT THAT REQUIRE ELECTRICAL POWER FEED ON ARCHITECTURAL, MECHANICAL, ELECTRICAL DRAWING SHALL BE CONSIDERED AS PART OF CONTRACTOR WORK OF SCOPE (INCLUDING INTERLOCKS). NO CHANGE ORDER SHALL BE APPROVED ON MISSED SCOPE BASED ON ABOVE. THE CHANGE ORDER SHALL ONLY BE BASED ON APPROVED ADDITIONAL SCOPE CONVEYED TO CONTRACTOR BY OWNER/ARCH.
9. ALL ELECTRICAL INSTALLATION SHALL BE DONE IN ACCORDANCE WITH CEC AND AUTHORITIES HAVING JURISDICTION.

CONSTRUCTION NOTES

18. ELECTRICAL HEAT TRACING SYSTEM SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED FOR FREEZE PROTECTION. COORDINATE WITH OWNER / ARCHITECT / MECHANICAL. THE EHT CONTROLLER SHALL BE INSTALLED IN ELECTRICAL ROOM AND SHALL BE COMPLETE WITH SNOW, ICE, TEMPERATURE SENSOR. INSTALL HEAT TRACING CONTROL RELAY AS REQUIRED.
19. CONTRACTOR TO USE SPARE CIRCUIT FROM HOUSE PANEL TO SUPPLY POWER FOR COMMON SERVICES.
20. CONTRACTOR TO ENSURE PRICING ESTIMATE ALLOWS FOR CHANGES DUE TO IFC REVISION IN DRAWING SET WITHOUT EXTRA COST ADDERS.
21. ALL OPEN CONDUITS SHALL BE SEALED TO AVOID INGRESS OF WATER, MOISTURE AND DUST AFTER INSTALLATION.
22. ANY AND ALL PLYWOOD USED FOR ELECTRICAL DISTRIBUTION SHALL BE FIRE RETARDANT.
23. CONTRACTOR SHALL VERIFY THAT ALL INSTALLATION IS IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS, AND THE AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL ENSURE AND SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION FROM OWNER/ENGINEER FOR ANY AND ALL UNCLEAR/MISSING ITEMS. CHANGE ORDER/EXTRA COSTS SHALL NOT BE APPROVED AS PER ABOVE AND RESULTED DUE TO CONSTRUCTION COORDINATION WITH TRADES.
24. CONTRACTOR TO OBTAIN ALL ELECTRICAL PERMITS AND PAY ALL FEES REQUIRED FOR ELECTRICAL INSTALLATION.
25. CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF INSPECTION AND APPROVAL FROM ELECTRICAL INSPECTION DEPARTMENT.
26. EXACT QUANTITIES AND DIMENSIONS OF EQUIPMENT SHALL BE VERIFIED ON SITE.
27. CONTRACTOR AND/OR ELECTRICIAN SHALL PROVIDE EQUIVALENT MATERIAL OR BETTER QUALITY OPTIONS AND/OR COST EFFECTIVE ALTERNATIVES FOR DESIGNER TO APPROVE PERTAINING TO CLIENTS BUDGET.

GENERAL DRAWING NOTES

1. THESE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE NOT TO BE SCALED. THIS TRADE MUST COORDINATE SCOPE OF WORK WITH ALL CONTRACT DRAWINGS AND COORDINATE INSTALLATIONS WITH MECHANICAL, ARCHITECTURAL SYSTEMS, AND OTHER TRADES TO AVOID CONFLICT AND DELAYS.
2. THE ELECTRICAL CONTRACTOR SHALL REVIEW ALL CONTRACT DRAWINGS AND VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO VERIFY ALL INSTALLATIONS AND EXISTING FIELD CONDITIONS. SUBMISSION OF THE BID IS EVIDENCE THAT THIS TRADE THOROUGHLY UNDERSTANDS THE SCOPE OF THE WORK AND HAS INCLUDED ALL COSTS FOR THE COMPLETE SCOPE OF WORK FOR ALL OPERATING SYSTEMS IN THE BID, INCLUDING COORDINATION WITH OTHER TRADES, PRIOR TO ORDERING MATERIALS AND ROUGH-IN.
3. THESE DRAWINGS ARE TO BE CONSIDERED AN INTEGRAL PART OF THE SPECIFICATIONS WHICH ACCOMPANY THEM. ANY ITEM OR SUBJECT OMITTED FROM ONE BUT WHICH IS MENTIONED OR REASONABLY IMPLIED IN THE OTHER, OR AS REQUIRED BY CODE OR FOR A PROPERLY FUNCTIONING SYSTEM, SHALL NOT RELIEVE THIS TRADE OF ITS RESPONSIBILITY.
4. COORDINATE ALL WORK WITH OTHER TRADES FOR AVAILABLE SPACE, AVOID INTERFERENCES. SEQUENCE OF INSTALLATIONS AND INSTALLATION REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION. PLAN WORK WELL IN ADVANCE TO ELIMINATE INSTALLATION AND COORDINATION DIFFICULTIES.
5. COOPERATE WITH OTHER TRADES ON SITE TO RESOLVE INTERFERENCES TO SATISFACTORILY COMPLETE THE PROJECT. IMMEDIATELY NOTIFY THE CONSULTANT OF ANY CONFLICTS WHICH IMPACT THE DESIGN INTENT PRIOR TO INSTALLATION, UNDER NO CIRCUMSTANCES SHALL THE TRADE PROCEED IN UNCERTAINTY.

INSTALLATION NOTES

1. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NEW MATERIAL RATED HIGH GRADE QUALITY FOR THE EQUIPMENT INSTALLED, UNLESS IS NOTED AS EXISTING AND ALL MATERIALS SHALL MATCH EXISTING.
2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CIRCUIT BREAKERS AS REQUIRED BASED ON THE EQUIPMENT TECHNICAL REFERENCE NOTES (VOLTS, AMPACITY, FAULT CURRENT AND RATED KVA).
3. THE ELECTRICAL CONTRACTOR SHALL CLEAN UP AND REMOVE UNUSED WIRING AND CABLES. ALL WIRING TO THE PANEL SHALL BE IN CONDUIT.
4. INSTALL PULL BOXES IN CONDUIT RUNS WHERE THEY EXCEED 30 METERS IN LENGTH OR HAVE MORE THAN THREE BENDS.
5. ALL OUTLET BOXES TO BE SUPPORTED INDEPENDENTLY OF THE CONDUIT SUPPORTS.
6. CONDUCTORS TO BE FREE OF SPLICES FOR ENTIRE LENGTH.
7. INTERLOCK SUITE SMOKE ALARMS SO THAT ALL ALARM COME ON WHEN ONE DOES. SMOKE ALARMS TO BE 120V AND CONNECTED TO LIGHTING CIRCUIT IN EACH SUITE AS INDICATED. EACH BEDROOM MUST HAVE SMOKE ALARM OR COMBINATION SMOKE/CO. EACH FLOOR MUST HAVE CO DETECTOR.
8. GFCI BREAKERS/RECEPTACLES SHALL BE PROVIDED AS PER CEC.

CLIENT / GENERAL CONTRACTOR

1. GENERAL/CONTRACTOR/CLIENT IS RESPONSIBLE FOR PROVIDING DATES FOR BACKFILL INSPECTION, ROUGH-IN INSPECTION & FINAL INSPECTIONS.
2. IF CLIENT/GENERAL CONTRACTOR IS RESPONSIBLE FOR ENMAX COORDINATION, THEY SHALL PROVIDE LATEST DRAWINGS TO AND FROM CONSULTANTS.

DRAWING LIST

NO	DESCRIPTION
E0-1	LEGENDS, NOTES AND DRAWING LIST
E0-2	SITE PLAN AND SERVICE DUCT PROFILES
E0-3	SITE AREA LIGHTING PLAN
E0-4	LOAD CALCULATION AND MECHANICAL & ELECTRICAL SCHEDULES
E0-5	PANEL SCHEDULES
E1-0	SINGLE LINE DIAGRAM – BUILDING A
E1-1	SINGLE LINE DIAGRAM – BUILDING B
E1-2	SINGLE LINE DIAGRAM – BUILDING C
E2-0	MAIN FLOOR – LIGHTING LAYOUT
E2-1	SECOND FLOOR – LIGHTING LAYOUT
E3-0	MAIN FLOOR – POWER AND SYSTEMS LAYOUT
E3-1	SECOND FLOOR – POWER AND SYSTEMS LAYOUT
E4-0	DETAILS & ELEVATIONS
E4-1	TYPICAL UNIT (1-BED A) – LIGHTING AND POWER SYSTEMS LAYOUT
E4-2	TYPICAL UNIT (1-BED B) – LIGHTING AND POWER SYSTEMS LAYOUT
E4-3	TYPICAL UNIT (1-BED C) – LIGHTING AND POWER SYSTEMS LAYOUT
E4-4	TYPICAL UNIT (1-BED D) – LIGHTING AND POWER SYSTEMS LAYOUT
E4-5	TYPICAL UNIT (2-BED) – LIGHTING AND POWER SYSTEMS LAYOUT
E4-6	BUILDING – C ELEVATION VIEW
E5-0	DETAILS
E5-1	DETAILS CONT.
E5-2	ISOLATOR INSTALLATION TYPICAL DETAILS CONT.
E5-3	SEQUENCE OF OPERATION AND ZONE SCHEDULE
E5-4	FIRE ALARM DEVICE INSTALLATION DETAILS
E5-5	FIRE ALARM RISER DIAGRAM/SCHEMATIC
E5-6	COMMUNICATION & GROUNDING RISER DIAGRAM
E6-0	FIRE ALARM SPECIFICATION
E6-1	GENERAL SPECIFICATION
E6-2	ELECTRICAL SPECIFICATION

MANDATORY INSPECTION

THE BELOW MENTIONED INSPECTIONS ARE REQUIREMENT FOR SUCCESSFUL COMPLETION OF C-SCHEDULE RELEASE. IT IS THE OWNER, GENERAL CONTRACTOR, TRADE, AND PRIME CONSULTANT'S RESPONSIBILITY TO CALL KEEN ENGINEERING FOR STAGED INSPECTIONS AS NOTED BELOW. ALL INSPECTION MUST BE CONDUCTED BY KEEN ENGINEERING LTD. THIRD PARTY INSPECTIONS OR DOCUMENTS OF COMPLIANCE IS NOT ACCEPTABLE.

ALL INSPECTIONS SHALL BE SCHEDULED WITH A MINIMUM OF 2 WEEKS CONSTRUCTION SCHEDULE NOTICE. WHERE INSPECTIONS ARE NOT CALLED IN A TIMELY MANNER, IT MAY RESULT IN EXPOSING WALLS TO ACCESS SYSTEMS AS SHOWN IN THIS DRAWING PACKAGE.

1. UNDERGROUND SERVICES
A. THE CONTRACTOR SHALL CALL FOR INSPECTION PRIOR TO BACKFILLING. AT THIS STAGE ALL UNDERGROUND SERVICES SHALL BE INSTALLED.

1. ROUGH-IN
A. THE CONTRACTOR SHALL CALL FOR INSPECTION WHERE ALL SYSTEMS ARE ROUGHED IN AND ARE READY FOR DRYWALL PHASE. AT THIS INSPECTION STAGE ALL CITY INSPECTIONS SHALL BE COMPLETED AND PASSED.

1. SUBSTANTIAL COMPLETION
A. THE CONTRACTOR SHALL CALL FOR INSPECTION WHERE ALL SYSTEMS ARE INSTALLED AND ARE WORKING. AT THIS MILESTONE BUILDING SHALL BE READY FOR OCCUPANCY WITH MINIMUM PENDING WORK.

GROUNDING AND BONDING NOTES

1. PROVIDE A COMPLETE ADEQUATE GROUNDING AND BONDING SYSTEM AS REQUIRED BY THE LATEST CEC CODE. ALSO AS PER THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
2. ALL NON-CURRENT CARRYING METAL PARTS SHALL BE INTERCONNECTED AND GROUNDED AND/OR BONDED AS PER CODE.
3. MATERIAL FOR BONDING CONDUCTORS FOR EQUIPMENT, METAL RACEWAY AND CONDUCTOR ENCLOSURES SHALL BE PROPERLY GROUNDED.
4. SEPARATE GREEN GROUND WIRE (PER CODE) MUST BE INSTALLED IN ALL NON METALLIC CONDUITS.
5. GROUNDING CONDUCTORS SHALL BE FREE FROM JOINTS AND CONNECTIONS AND SHOULD HAVE SOLDERLESS PRESSURE CONNECTIONS.

LEGENDS

LIGHTING	
A	LIGHT FIXTURE (LETTER DENOTES TYPE)
	FIXTURE ON UNSWITCHED CIRCUIT (E=EMERGENCY POWER, N/L=NIIGHT LIGHT)
OB	LIGHT FIXTURE (LETTER DENOTES TYPE)
H-C	WALL MOUNTED FIXTURE (LETTER DENOTES TYPE)
	TRACK MOUNTED FIXTURE (LETTER DENOTES TYPE) -TRACK LENGTH AS INDICATED
C-C	POLE MOUNTED FIXTURE (LETTER DENOTES TYPE)
	EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT)
	EXIT LIGHT WALL MOUNTED (ARROW INDICATES DIRECTION OF EXIT)
	EXIT LIGHT WALL MOUNTED C/W INTEGRAL EMERGENCY LIGHTING HEADS
	EMERGENCY BATTERY UNIT PLUGGED INTO SINGLE RECEPTACLE
	EMERGENCY BATTERY UNIT WITH INTEGRAL EMERGENCY LIGHTING HEADS
OE	DOUBLE EMERGENCY LIGHTING HEADS
OE	WALL MOUNTED EMERGENCY LIGHTING HEAD
OE	CEILING MOUNTED EMERGENCY LIGHTING HEAD
	OCCUPANCY SENSOR – CEILING MOUNTED
PC	PHOTO CONTROL
\$	SINGLE POLE SWITCH (3,4=3 OR 4 WAY, K=KEY OPERATED)
\$P	SWITCH W/PILOT LIGHT
LV	LOW VOLTAGE CONTROL STATION
\$	GANG MOUNTED SWITCHES
◇	DIMMER SWITCH (SIZE AS NOTED)
◇	CIRCUIT LEG IDENTIFIER
POWER AND SYSTEMS	
⊕	DUPLEX RECEPTACLE
⊕	DOUBLE DUPLEX RECEPTACLE
⊕	DUPLEX RECEPTACLE ON EMERGENCY POWER
⊕	SPECIAL RECEPTACLE (TYPE AS NOTED)
⊕	DUPLEX RECEPTACLE (1/2 SWITCHED)
⊕	DUPLEX RECEPTACLE (GFCI PROTECTED)
⊕	DUPLEX RECEPTACLE (SPLIT CIRCUIT)
▽	DATA OUTLET
▽	VOICE OUTLET
▽	TELECOMMUNICATIONS OUTLET
⊕	DIRECT CONNECTION
C	CONTACTOR
⊕	SERVICE POLE
	FLUSH MOUNT PANELBOARD
	SURFACE MOUNT PANELBOARD
J	JUNCTION BOX
JB	PULL BOX
FB	FLOOR BOX
TS	TIME SWITCH
TC	TIME CLOCK
TX	TRANSFORMER
□	PUSH BUTTON
XX-XX	PANEL DESIGNATION
SOUND/AUDIO	
S	PAGING SPEAKER
H-S	WALL MOUNTED SPEAKER
V	VOLUME CONTROL
M	MICROPHONE
IC	INTERCOM

UTILITY NOTES

1. ELECTRICAL CONTRACTOR TO COORDINATE WITH UTILITY AND COMPLETE THE INSTALLATION OF SERVICE CONDUITS TO UTILITY STANDARDS.
2. MINIMUM BEND RADIUS FOR SERVICE CONDUITS IS AS PER CEC/ CABLE MANUFACTURER'S RECOMMENDATION WHICH EVER IS LARGER.
3. INCOMING PRIMARY SERVICE POINT IS SUBJECT TO REVISIONS ACCORDING TO FURTHER COORDINATION WITH UTILITY COMPANY.
4. CONTRACTOR SHALL FOLLOW UTILITY STANDARDS FOR UNDERGROUND CABLE AND CONDUIT INSTALLATION.

LEGENDS

FIRE ALARM	
	FIRE ALARM PANEL (FACP=CONTROL PANEL, FAAP=ANNUNCIATION PANEL)
⊕	HEAT DETECTOR 57°C (135°F) FIXED (UNLESS NOTED OTHERWISE)
⊕	HEAT DETECTOR 57°C (135°F) FIXED AND RATE OF RISE (UNLESS NOTED OTHERWISE)
⊕	MANUAL PULL STATION (NC = NORMALLY CLOSED AUXILIARY CONTACTS)
⊕	MANUAL PULL STATION (KEY OPERATED)
⊕	SMOKE DETECTOR – IONIZATION TYPE (R=RELAY BASE)
⊕	SMOKE ALARM (BATTERY AND LINE VOLTAGE)
⊕	CARBON MONOXIDE ALARM (BATTERY AND LINE VOLTAGE)
⊕	SMOKE AND CARBON MONOXIDE ALARM (BATTERY AND LINE VOLTAGE)
	DUCT DETECTOR
	FIRE ALARM BELL (SIZE AS NOTED) (S = STROBE)
	FIRE ALARM HORN (S = STROBE)
⊕	FIRE ALARM SPEAKER (F=FLUSH, S=SURFACE, CM=CEILING MOUNT)
H-C	WALL MOUNTED FIRE ALARM SPEAKER
⊕	FIRE ALARM SPEAKER C/W INTEGRAL STROBE
FS	FLOW SWITCH (BY DIV.15)
SV	SUPERVISED VALVE (BY DIV.15)
PS	PRESSURE SWITCH
DHC	DOOR HOLDER/CLOSER
S	STROBE – CEILING MOUNT
H-S	STROBE – WALL MOUNT
XXX	END OF LINE DEVICE
FF	FIRE FIGHTER'S HANDSET
CO	CARBON MONOXIDE DETECTOR
MECHANICAL	
□	UN-FUSED DISCONNECT SWITCH
⊕	FUSED DISCONNECT SWITCH
⊕	MANUAL STARTER
⊕	MAGNETIC STARTER
⊕	COMBINATION STARTER
	CEILING FAN
XXX	MECHANICAL EQUIPMENT REFERENCE SYMBOL
XXX	ELECTRICAL EQUIPMENT REFERENCE SYMBOL
R	RELAY
T	THERMOSTAT
VSD	VARIABLE SPEED DRIVE
S	SPEED CONTROL
C	CONTACTOR
SECURITY	
⊕	CCTV CAMERA
A	ACCESS STATION
DO	ELECTRIC DOOR OPERATOR
DS	DOOR SWITCH
DC	DOOR CONTACT
ES	ELECTRIC STRIKE
K	KEYPAD
ML	MAGNETIC LOCK
□	PUSH BUTTON
REX	REQUEST TO EXIT
ABBREVIATIONS	
WP	WEATHER PROOF/WATER PROOF
CM	CEILING MOUNTED
WM	WALL MOUNTED
CEC	CANADIAN ELECTRICAL CODE

ARCHITECT/CONSULTANT:



REVISIONS:

REV	DATE	DESCRIPTION

PROJECT:

THE BALOCH

ISSUES:

NO	DESCRIPTION	DATE	BY

A	ISSUED FOR 50% BP	2025.05.14	AR
NO	DESCRIPTION	DATE	BY

PROJECT ADDRESS #:

409, 27TH AVENUE
NE CALGARY, AB
LOT 31 BLOCK 7A
PLAN 241117337

KEEN
ENGINEERING

PHONE NUMBER: 403-404-6527
EMAIL: engineers@keenengineering.ca
ADDRESS: Unit 4752 14 Street NE,
Calgary, AB T2E 6L7

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DRAWING TITLE:

LEGEND, NOTES, AND
DRAWING LIST

NORTH: STAMP: APEGA PERMIT # 16083

PROJECT NO #: 2523

SCALE: N.T.S. DESIGNED BY: AR

DATE: 2025.05.14 CHECKED BY: RM

DRAWING #: E0-1

UTILITY NOTES

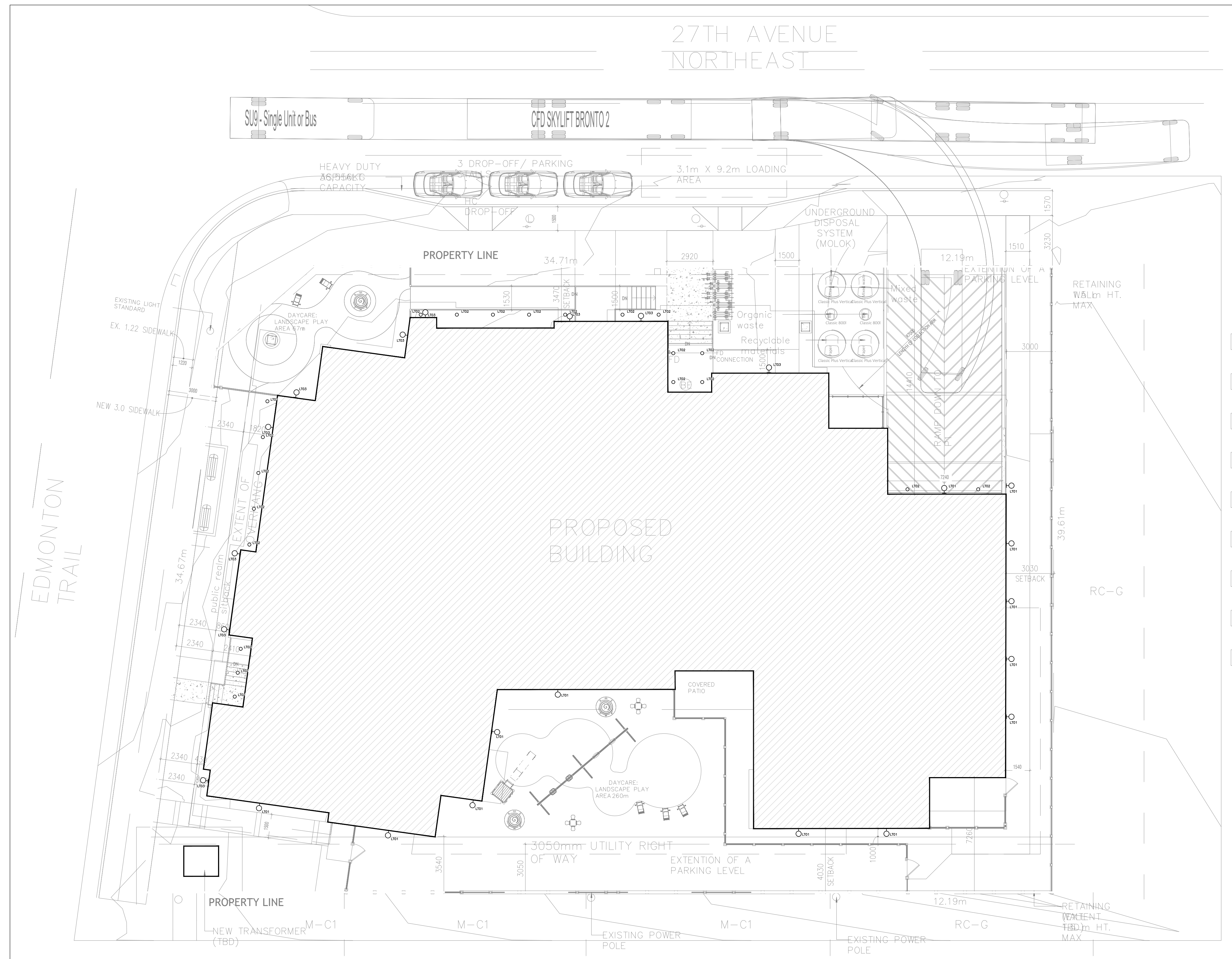
1. ELECTRICAL CONTRACTOR TO CONFIRM WITH UTILITY FOR THE DEMARCATION POINT OF ENTRY FOR INCOMING POWER.
2. OWNER/CONTRACTOR TO CONFIRM WITH UTILITY FOR EXACT LOCATION AND INSTALLATION OF U/G DUCTS.
3. ELECTRICAL CONTRACTOR MUST COORDINATE WITH MECHANICAL CONTRACTOR FOR DRAINAGE PIPES IN UTILITY DUCTS AND PULL PN ETC.
4. CLIENT TO REMOVE FENCES IN FRONT OF THE PAD MOUNT TRANSFORMER.
5. ELECTRICAL CONTRACTOR TO COORDINATE WITH UTILITY FOR THE SECONDARY DUCT INSTALLATION. REFER TO APPROVED FOUR PARTY DRAWING FOR DETAIL.

TELUS/SHAW NOTES

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SUPPLY AND INSTALLATION OF TELEPHONE PULL BOXES AND TELUS/SHAW DUCTS.
2. OWNER/CONTRACTOR TO CONFIRM WITH TELUS/SHAW FOR EXACT LOCATION AND INSTALLATION OF U/G DUCTS.
3. ELECTRICAL CONTRACTOR MUST COORDINATE WITH MECHANICAL CONTRACTOR FOR DRAINAGE PIPES IN UTILITY DUCTS AND PULL STATION ETC.

LANDSCAPE NOTES

1. ELECTRICAL CONTRACTOR IS PROVIDE 1.5" CONDUIT C/W PULL STRING FOR REMOTE WATER METER.
2. ELECTRICAL CONTRACTOR TO CONFIRM LOCATION OF LANDSCAPE IRRIGATION CONTROLLER WITH LANDSCAPE ARCHITECT.
3. ELECTRICAL CONTRACTOR TO PROVIDE 120V OUTLET FOR IRRIGATION CONTROL SYSTEM.
4. ELECTRICAL CONTRACTOR TO PROVIDE 1" PVC CONDUIT FROM LANDSCAPE IRRIGATION CONTROLLER TO STUB OUT LOCATION.



1 SITE PLAN AND SERVICE DUCT PROFILE
 E0-2 SCALE: 3/32" = 1'-0"

ARCHITECT/CONSULTANT:



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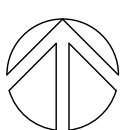
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DRAWING TITLE:

SITE PLAN AND SERVICE
 DUCT PROFILES

NORTH: STAMP: APEGA PERMIT # 16083



PROJECT NO #: 2523

SCALE: AS SHOWN DESIGNED BY: AR

DATE: 2025.05.14 CHECKED BY: RM

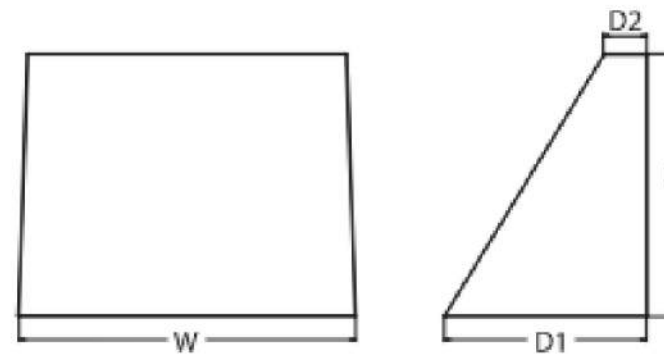
DRAWING #: E0-2



WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic



Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



3 LT01
E4-6 SCALE: N.T.S.

LDN6SQ SWITCHABLE

6" OPEN
Non-IC
New Construction Downlight

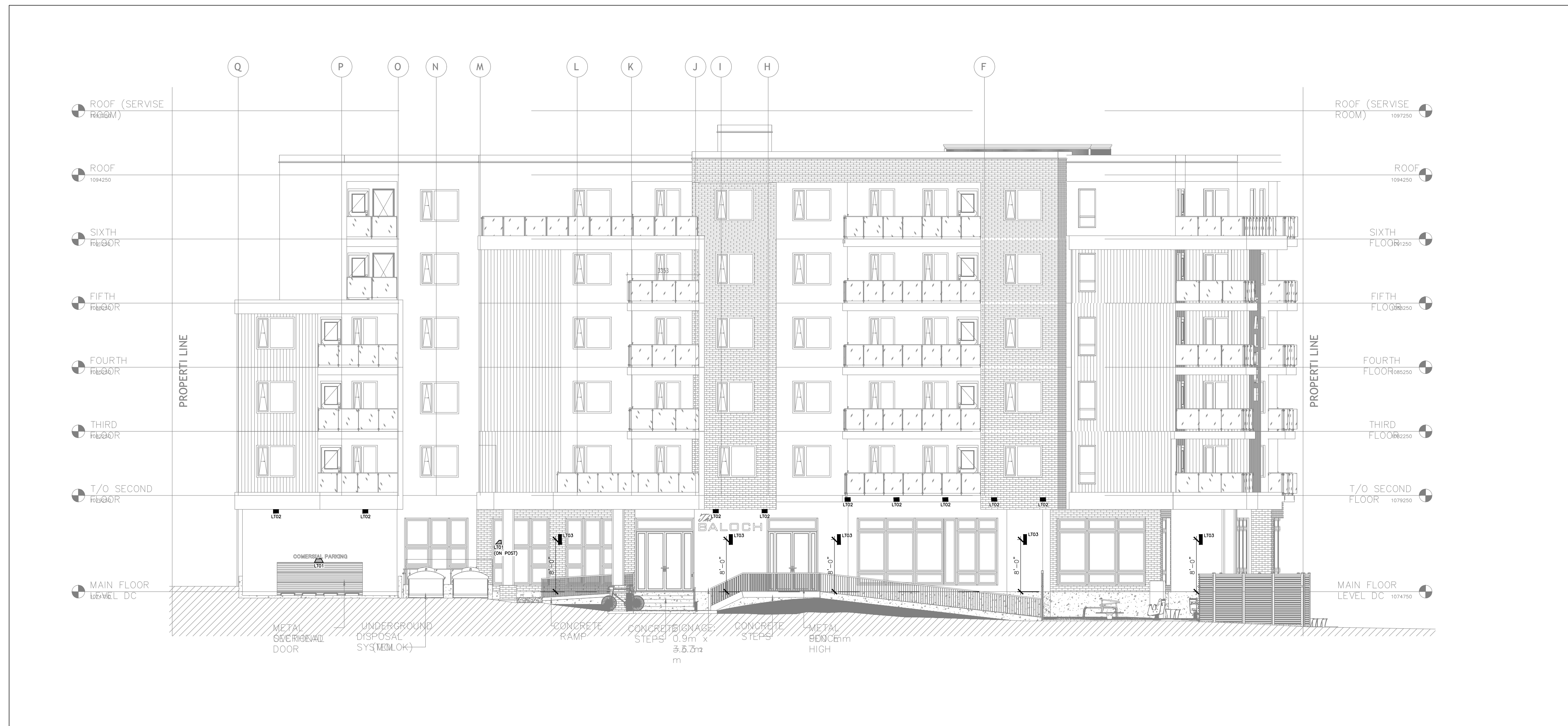


4 LT02
E4-6 SCALE: N.T.S.

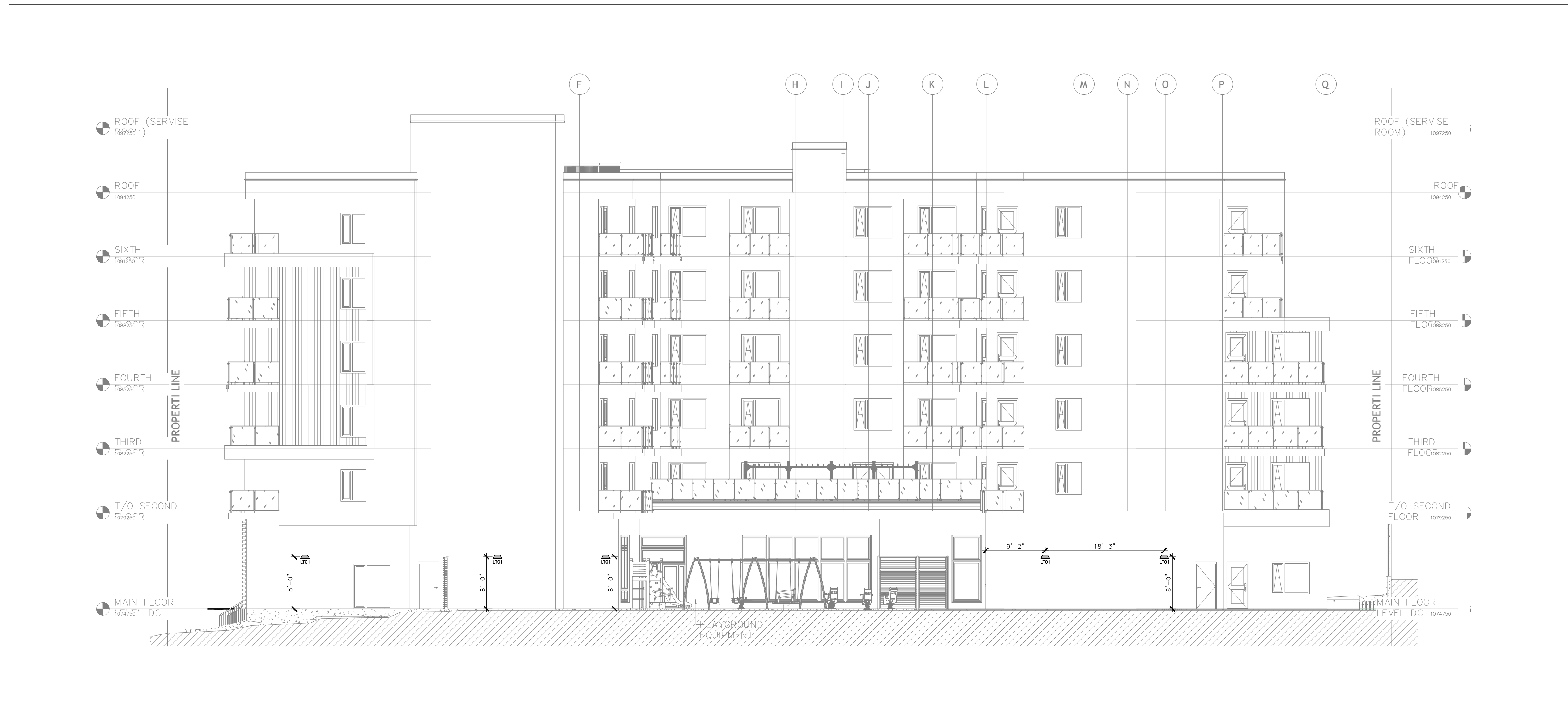
Outdoor General Purpose
OLLWD & OLLWU
LED WALL CYLINDER LIGHT



4 LT02
E4-6 SCALE: N.T.S.



1 NORTH ELEVATION
E4-6 SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION
E4-6 SCALE: 3/32" = 1'-0"

ARCHITECT/CONSULTANT:



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DRAWING TITLE:

ELEVATION VIEW

NORTH: STAMP: APEGA PERMIT # 16083

PROJECT NO #: 2523

SCALE: AS SHOWN DESIGNED BY: AR

DATE: 2025.05.14 CHECKED BY: RM

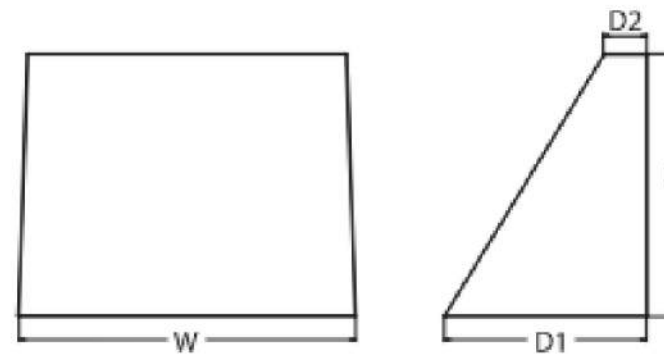
DRAWING #: E4-6



WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic



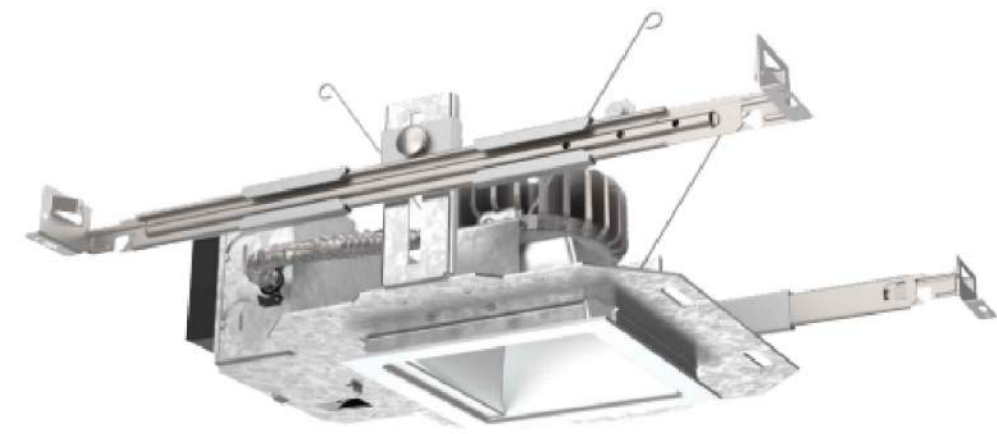
Specifications
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



3 LT01
E4-7 SCALE: N.T.S.

LDN6SQ SWITCHABLE

6" OPEN
Non-IC
New Construction Downlight

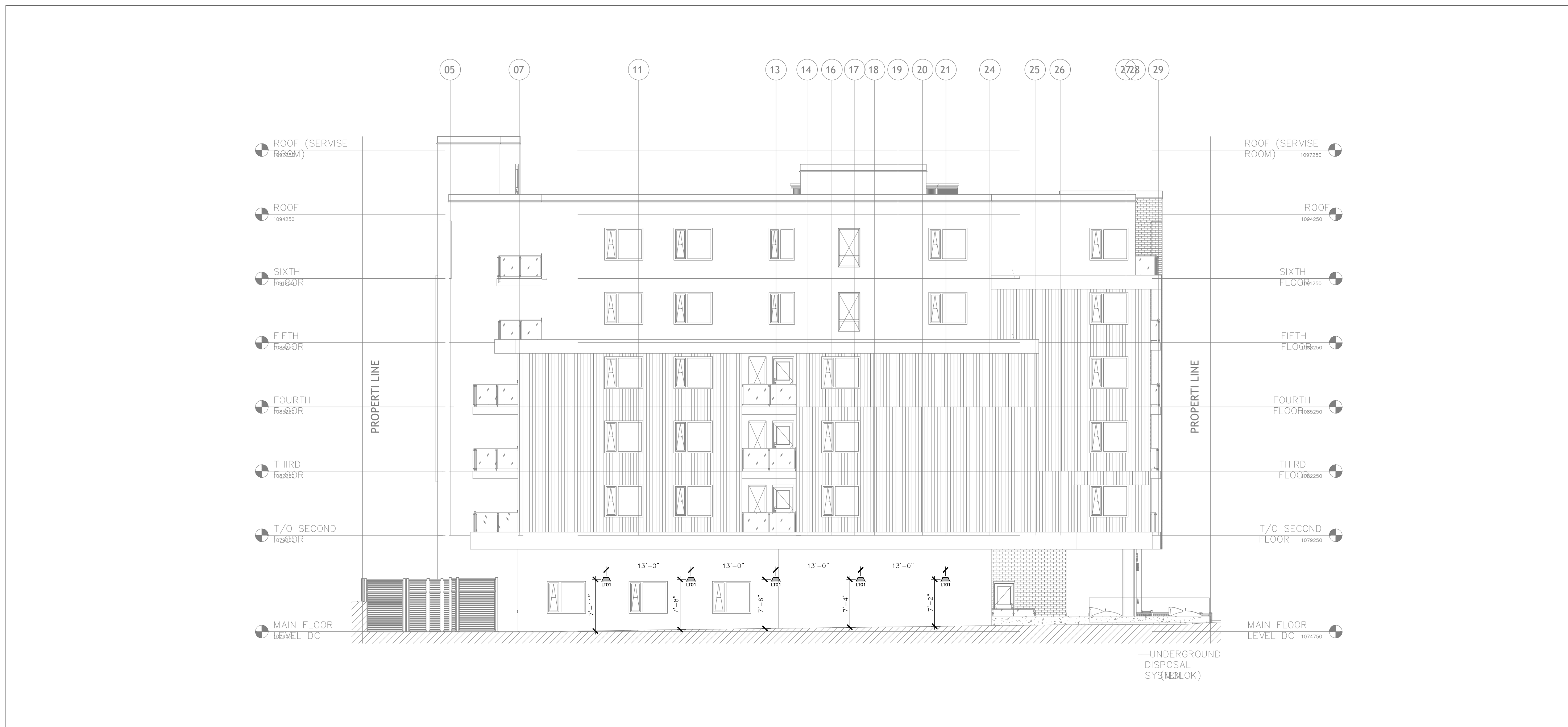


4 LT02
E4-7 SCALE: N.T.S.

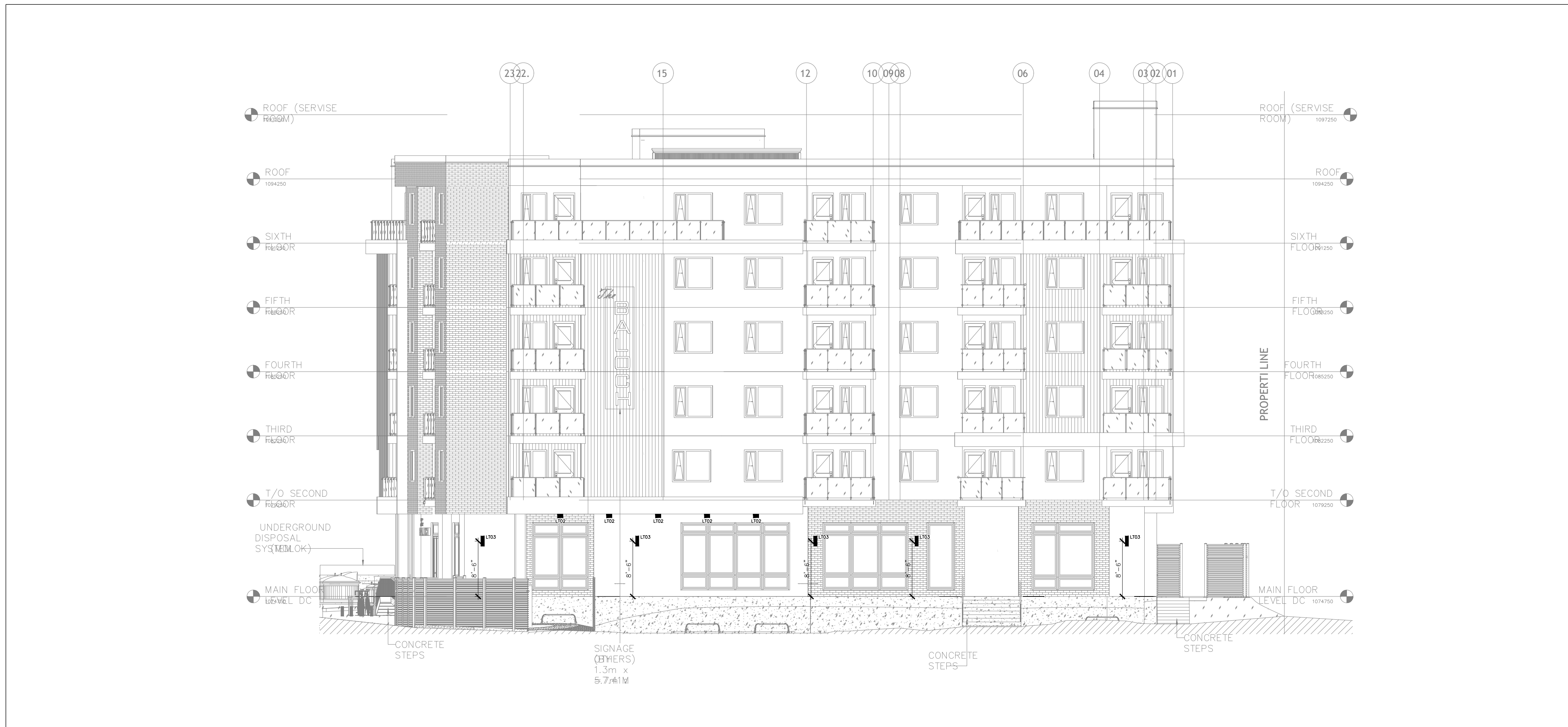
Outdoor General Purpose
OLLWD & OLLWU
LED WALL CYLINDER LIGHT



4 LT02
E4-7 SCALE: N.T.S.



1 EAST ELEVATION
E4-7 SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
E4-7 SCALE: 3/32" = 1'-0"

ARCHITECT/CONSULTANT:



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