

# THE BALOCH - PROPOSED MIXED USE DEVELOPMENT

409 27TH AVENUE NORTHEAST CALGARY

LEGAL ADDRESS: LOT 31, BLOCK 7A PLAN 2411737



IMAGE FOR CONCEPTUAL ILLUSTRATION ONLY

## CONSULTANTS:

**ARCHITECT:**  
 MANU CHUGH ARCHITECT LIMITED  
 401 1070 4TH AVENUE SW CALGARY, AB.



**MC+A**  
 MANU CHUGH ARCHITECT LTD

**STRUCTURAL ENGINEERS:**  
 TRL AND ASSOCIATES



**TRL**  
 TOMECEK-TORRY-TITUS & ASSOCIATES LTD.  
 CONSULTING STRUCTURAL ENGINEERS

**MECHANICAL AND ELECTRICAL ENGINEERS:**  
 KEEN ENGINEERING



**KEEN**  
 ENGINEERING

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS  
 DP No. Date Received  
 DP2025-02322 FEB 23 2025  
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

# ISSUED FOR RE-DTR 2

## SITE INFORMATION AND BUILDING INFORMATION

**PROJECT NAME:** PROPOSED MIXED-USE DEVELOPMENT (THE BALOCH)  
**PROJECT MUNICIPAL ADDRESS:** 409 27TH AVENUE NORTHEAST CALGARY, ALBERTA  
**PROJECT LEGAL ADDRESS:** LOT 31 BLOCK 7A PLAN 2411737  
**ZONING:** MU-1, R-03 Mixed Use - General  
**SITE AREA:** 2161m<sup>2</sup> (23,260.89ft<sup>2</sup>)

**BUILDING AREA:**  
**MAIN FLOOR PLAN:** 1199m<sup>2</sup> (12,907.65ft<sup>2</sup>)  
**SECOND FLOOR PLAN:** 1111m<sup>2</sup> (11,958.38ft<sup>2</sup>)  
**THIRD FLOOR PLAN:** 1111m<sup>2</sup> (11,958.38ft<sup>2</sup>)  
**FOURTH FLOOR PLAN:** 1111m<sup>2</sup> (11,958.38ft<sup>2</sup>)  
**FIFTH FLOOR PLAN:** 1039m<sup>2</sup> (11,184.46ft<sup>2</sup>)  
**SIXTH FLOOR PLAN:** 1035m<sup>2</sup> (11,146.89ft<sup>2</sup>)  
**GROSS BUILDING AREA:** 6606m<sup>2</sup> (71,108.34ft<sup>2</sup>)  
**F.A.R.:** 3.06 **MAX F.A.R.:** 3.6

**MAIN FLOOR LEVEL:**  
 DAYCARE: 480.00m<sup>2</sup>  
 RESIDENTIAL SUITES (2 BEDROOM SUITES): 4 UNITS  
 GYMNASIUM (FOR OCCUPANT USE ONLY): 53.0m<sup>2</sup>  
 MANAGEMENT OFFICE: 35.0m<sup>2</sup>

**SECOND FLOOR LEVEL:** 1 BEDROOM: 10 UNITS  
 2 BEDROOM: 6 UNITS

**THIRD FLOOR LEVEL:** 1 BEDROOM: 10 UNITS  
 2 BEDROOM: 6 UNITS

TOTAL: 16 UNITS

**FOURTH FLOOR LEVEL:** 1 BEDROOM: 9 UNITS  
 2 BEDROOM: 6 UNITS

**FIFTH FLOOR LEVEL:** 1 BEDROOM: 9 UNITS  
 2 BEDROOM: 6 UNITS

TOTAL: 16 UNITS

**SIXTH FLOOR LEVEL:** 1 BEDROOM: 9 UNITS  
 2 BEDROOM: 6 UNITS

TOTAL: 15 UNITS

**RESIDENTIAL SUITE COUNT**  
 1 BEDROOM: 48 UNITS  
 2 BEDROOM: 34 UNITS

TOTAL: 82 UNITS

### BYLAW REQUIREMENTS

**PURPOSE:**  
**1233 (A):** CHARACTERIZED BY BUILDINGS OF FOUR TO SIX STOREYS IN HEIGHT.

**PROJECTION INTO SETBACK:**  
**1234 (2):** PORTION OF BUILDING PERMITTED TO PROJECT INTO SETBACK.  
**1234 (3):** PORTION OF BUILDING BELOW GRADE MAY PROJECT INTO SETBACK WITHOUT LIMIT

**GROUND FLOOR HEIGHT:**  
**1237 (1):** MINIMUM HEIGHT OF GROUND FLOOR IS 4.0 METERS  
**1237 (2):** NO MINIMUM HEIGHT FOR DWELLING UNITS

**BUILDING ORIENTATION:**  
**1239 (A-C):** INDIVIDUAL UNITS MUST HAVE SEPARATE AND DIRECT ACCESS TO GRADE. ENTRANCE TO VISIBLE FROM STREET AND SIDEWALK SHALL PROVIDE DIRECT EXTERIOR ACCESS TO THE USE.

**RULES FOR FACADE FACING A STREET:**  
**1240 (1):** LENGTH OF BUILDING FACADE THAT FACES A STREET MUST BE A MINIMUM OF 80% OF LENGTH OF THE PROPERTY LINE.

**RULES FOR DWELLING UNIT FACING A STREET:**  
**1241 (1):** ENTRANCE TO INDIVIDUAL DWELLING UNIT LOCATED AT GRADE SHALL BE A MINIMUM OF 2.5 METERS FROM P/L SHARED WITH A STREET.

**RULES FOR COMMERCIAL USES FACING A STREET:**  
**1242 (1A):** FACADE OF A BUILDING AT GRADE AND FACING STREET SHALL PROVIDE WINDOWS WITH UNOBSOURED GLASS COVER 65% MINIMUM OF THE FACADE.  
 (2) DWELLING UNIT NEED NOT COMPLY TO SUBSECTION (1)

### GENERAL LANDSCAPE AREA RULES

**1244:** PROPOSED LANDSCAPE SUBJECT TO AHJ APPROVAL

### LOW WATER IRRIGATION SYSTEM

**1245:** LOW WATER IRRIGATION SYSTEM TO BE PROVIDED AND LIMITED TO ONLY TREES AND SHRUBS

### LANDSCAPING IN SETBACK AREAS

**1246 (1):** WHERE SETBACK AREA SHARES A PROPERTY LINE WITH ANOTHER PARCEL DESIGNATED AS RESIDENTIAL DISTRICT, SETBACK AREA MUST BE SOFT LANDSCAPE AND MAY INCLUDE SIDEWALKS, PATIO AND 1 TREE AND 2 SHRUBS FOR EVERY 45m<sup>2</sup>

### RESIDENTIAL AMMENITY SPACE

**1249 (1):** AMMENITY SPACE FOR RESIDENTIAL SUITES MAYBE PRIVATE, COMMON OR BOTH  
 (2): 5m<sup>2</sup> MINIMUM AMMENITY SPACE PER UNIT.  
 (3B): PRIVATE AMMENITY SPACE TO HAVE MINIMUM OF 2m

### MOTO VEHICLE PARKING STALLS

**1250:** DWELLING UNITS = 0.75 STALLS PER UNIT AND 0.1 UNITS FOR VISITORS  
 NUMBER OF UNITS = 82  
 NUMBER CAR PARKING STALLS FOR DWELLING UNITS = 82\*0.75 = 62 PARKING STALLS  
 NUMBER OF CAR PARKING STALLS FOR VISITORS = 82\*0.1 = 8.1 (9 PARKING STALLS)  
 REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNITS = 71 STALLS

### REDUCTION FOR TRANSIT SUPPORTIVE DEVELOPMENT

**1252:** 25% REDUCTION APPLICABLE - 53 CAR PARK STALL

### REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNIT NOW: 53 STALLS

TOTAL CAR PARK STALL PROVIDED: 88 (INCLUDING 5 EV CAPABLE STALL)

**BICYCLE PARKING STALLS**  
**1245:** CLASS 1 BICYCLE STALL (0.5\*82) = REQUIRED: 41 PROVIDED: 43  
 CLASS 2 BIKE STALL (0.1\*82) = REQUIRED: 9 PROVIDED: 11

### VISIBILITY SETBACK

**1261:** WITHIN VISIBILITY TRIANGLE, NO BUILDINGS, FENCES, FINISHED GRADE AND VEGETATION BETWEEN 0.75m AND 4.6 METERS ABOVE LOWEST ELEVATION OF THE STREET.

### SETBACK AREA

**1274 (2):** NO SETBACK REQUIREMENT ALONG EDMONTON TRAIL AND 27TH AVENUE

### STANDARD FOR MOTOR VEHICLE PARKING STALLS

**122 (1):** 90 DEGREE PARKING ANGLE (STALL DEPTH = 5.4m), WIDTH (2.5m DWELLING UNIT, 2.6m OTHER USES)

### LOADING STALLS

123 (2A-C) LOADING STALL DIMENSION 3.1m X 9.2m X 4.3M HEIGHT

### CHILDCARE SERVICES: QUICK PICKUP/ DROP-OFF REQUIREMENTS

1 FOR EVERY 10 CHILDREN. REQUIRED 10, PROVIDED 10

## SITE PHOTOS

### NE VIEW



### WEST VIEW



### NORTH VIEW



### NW VIEW



### OUTDOOR PLAY AREA - SIZE DETERMINATION

19(1) A licence holder that provides day care must provide outdoor play space for children in day care that is on, adjacent to or within easy and safe walking distance from the program premises and accommodate at least 50% of the licensed capacity at a level of not less than 2 square metres for each infant receiving day care and not less than 4.5 square metres for each child receiving day care who is 18 months of age or over.

**ROOM SCHEDULE**  
 PRE-SCHOOL ROOM 1 - 16 KIDS  
 PRE-SCHOOL ROOM 2 - 16 KIDS  
 PRE-SCHOOL ROOM 3 - 20 KIDS  
 TODDLER ROOM - 25 KIDS  
 INFANTS - 20 KIDS  
**TOTAL NUMBER OF KIDS = 88 KIDS**

50% TO BE ACCOMMODATED = 196m<sup>2</sup>  
 TOTAL OUTDOOR AREA PROVIDED = 251m<sup>2</sup>

Sheet List	
Sheet Number	Sheet Name

A0.00	Cover Page
A0.01	PROJECT INFORMATION
A0.02	BUILDING CODE REVIEW
A0.03	BUILDING CODE REVIEW
A0.04	CONSTRUCTION ASSEMBLY
A0.05	AREA OF UPO, CONSTRUCTION TYPE, CLADDING TYPE
A0.06	AREA OF UPO, CONSTRUCTION TYPE, CLADDING TYPE
A0.07	SITE GRADING PLAN
A1.00	SITE PLAN
A1.01	VEHICLE SWEEP PATH
A1.01A	VEHICLE SWEEP PATH - PASSENGER CAR
A1.02	FIRE DEPARTMENT ACCESS
A1.03	EXISTING SURVEY
A1.04	SHADOW STUDY
A1.05	SITE LIGHTING PLAN
A1.06	SITE DETAILS
A1.07	SITE DETAILS
A1.08	SITE PLAN - RETENTION TANK
A1.09	BUILDING CLASSIFICATION
A1.10	BUILDING CLASSIFICATION
A1.11	FIRE SEPARATION AND TD
A1.12	FIRE SEPARATION AND TD
A1.13	LIMITING DISTANCES
A1.14	LIMITING DISTANCES
A2.01	PARKADE FLOOR PLAN - P2
A2.02	PARKADE FLOOR PLAN - P1
A2.03	MAIN FLOOR PLAN
A2.04	SECOND FLOOR PLAN
A2.05	THIRD FLOOR PLAN
A2.06	FOURTH FLOOR PLAN
A2.07	FIFTH FLOOR PLAN

Sheet List	
Sheet Number	Sheet Name

A2.08	SIXTH FLOOR PLAN
A2.09	ROOF PLAN
A2.10	ROOF PLAN - LEVEL 2
A2.11	REFLECTED CEILING PLAN
A2.12	REFLECTED CEILING PLAN
A2.13	REFLECTED CEILING PLAN
A2.14	REFLECTED CEILING PLAN
A2.15	REFLECTED CEILING PLAN
A2.16	REFLECTED CEILING PLAN
A3.01	BUILDING SECTION 1
A3.02	BUILDING SECTION 2
A3.03	BUILDING SECTION 3
A3.04	BUILDING SECTION 4
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A3.07	BUILDING SECTION 7
A3.08	BUILDING SECTION 8
A4.01	NORTH ELEVATION
A4.02	EAST ELEVATION
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A5.01	WALL SECTIONS
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A7.01	STAIR AND ELEVATOR DETAILS
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A7.03	STAIR AND ELEVATOR DETAILS
A8.01	PLAN DETAILS
A10.0	WINDOW SCHEDULE
A10.1	WINDOW SCHEDULE
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A11.1	DOOR SCHEDULE
A12.0	FLOOR FINISH SCHEDULE

### VICINITY MAP



### ZONING



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**THE BALOCH**

Project Municipal Address

**409, 27TH AVENUE NE CALGARY, AB**

Project Legal Address

**LOT 31 BLOCK 7A PLAN 2411737**

MC+A file No.

**1296**

Date

Scale

**As indicated**

Drafted By

**NS**

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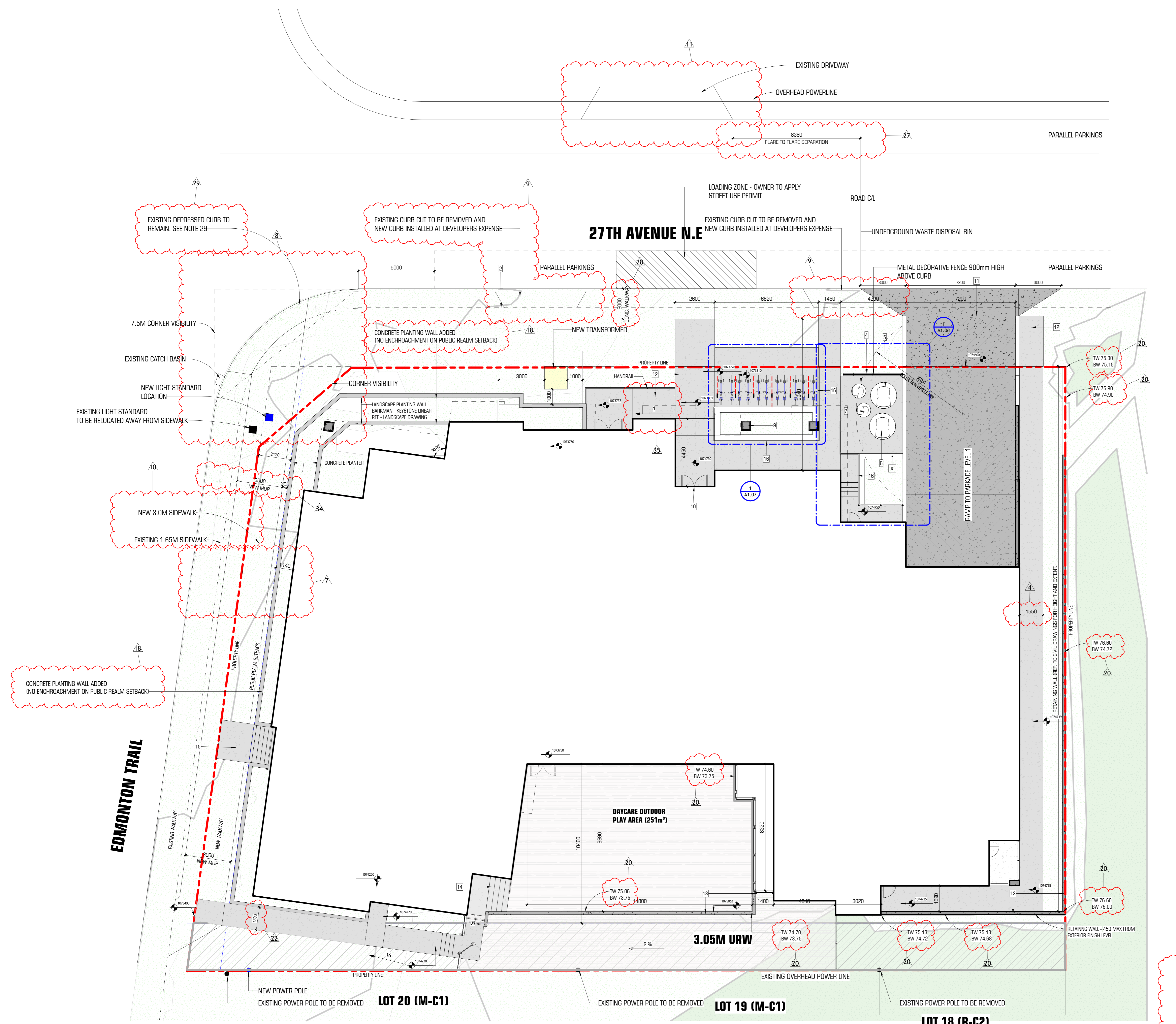
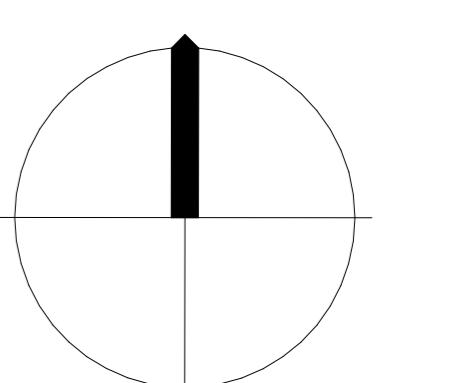
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Sheet Title

**PROJECT INFORMATION**

Sheet Number

**A0.01**



	PRE-CAST MODULAR CONCRETE PAVER
	HEAVY DUTY CONCRETE
	LIGHT CONCRETE WALKWAY
	EXISTING UTILITY RIGHT OF WAY
	SOFT LANDSCAPE AREA
	PROPOSED TRANSFORMER LOCATION
	CHILD CARE OUTDOOR PLAY AREA

- 1 PREFINISHED STEEL FENCE - COLOUR BLACK
- 2 EXTENT OF EXISTING WALKWAY
- 3 U-SHAPED BIKE RACK
- 4 METAL DECORATIVE FENCE 900mm HIGH ABOVE CURB
- 5 UNDERGROUND WASTE DISPOSAL SYSTEM (GARBAGE) - (6.5yd³)
- 6 UNDERGROUND WASTE DISPOSAL SYSTEM (RECYCLE) - (6.5yd³)
- 7 UNDERGROUND WASTE DISPOSAL SYSTEM (ORGANIC) - (1.7yd³)
- 8 CLEAR GLASS RAILING
- 9 CONCRETE COLUMN - REF. ELEVATION FOR FINISH
- 10 PRIMARY ENTRANCE
- 11 NEW CONCRETE APRON
- 12 CONCRETE WALKWAY
- 13 REINFORCED CONCRETE RETAINING WALL
- 14 CONCRETE STEPS
- 15 ACCESS TO RESIDENTIAL SUITE
- 16 METAL RAILINGS
- 17 LANDSCAPE PLANTING WALL

**REVISION NOTE #28:**  
the removal and replacement of the sidewalk to a 2.0m sidewalk will be done to current City Standards at developer's expense.

**NOTE 29:**  
MOBILITY ENGINEERING COMMENT #15:  
removal and replacement wheelchair will be done to current City Standards at developer's expense

**DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN**

**1 SITE PLAN**  
1 : 100

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4	RESPONSE TO REG. 1374
7	RESPONSE TO PDR #14
8	RESPONSE TO PDR #15 & 16
9	RESPONSE TO PDR #19
10	RESPONSE TO PDR #20
11	RESPONSE TO PDR #18
18	PLANTING WALL PROVIDED
20	RETAINING WALLS TW AND BW ADDED
22	SIDEWALK WIDTH
27	FLARE TO FLARE DIMENSION
28	2.0m SIDEWALK WIDTH
29	WHEELCHAIR RAMP
34	3.0m MUP AND 0.3m SETBACK
35	SIDEWALK WIDTH INCREASED TO 2M

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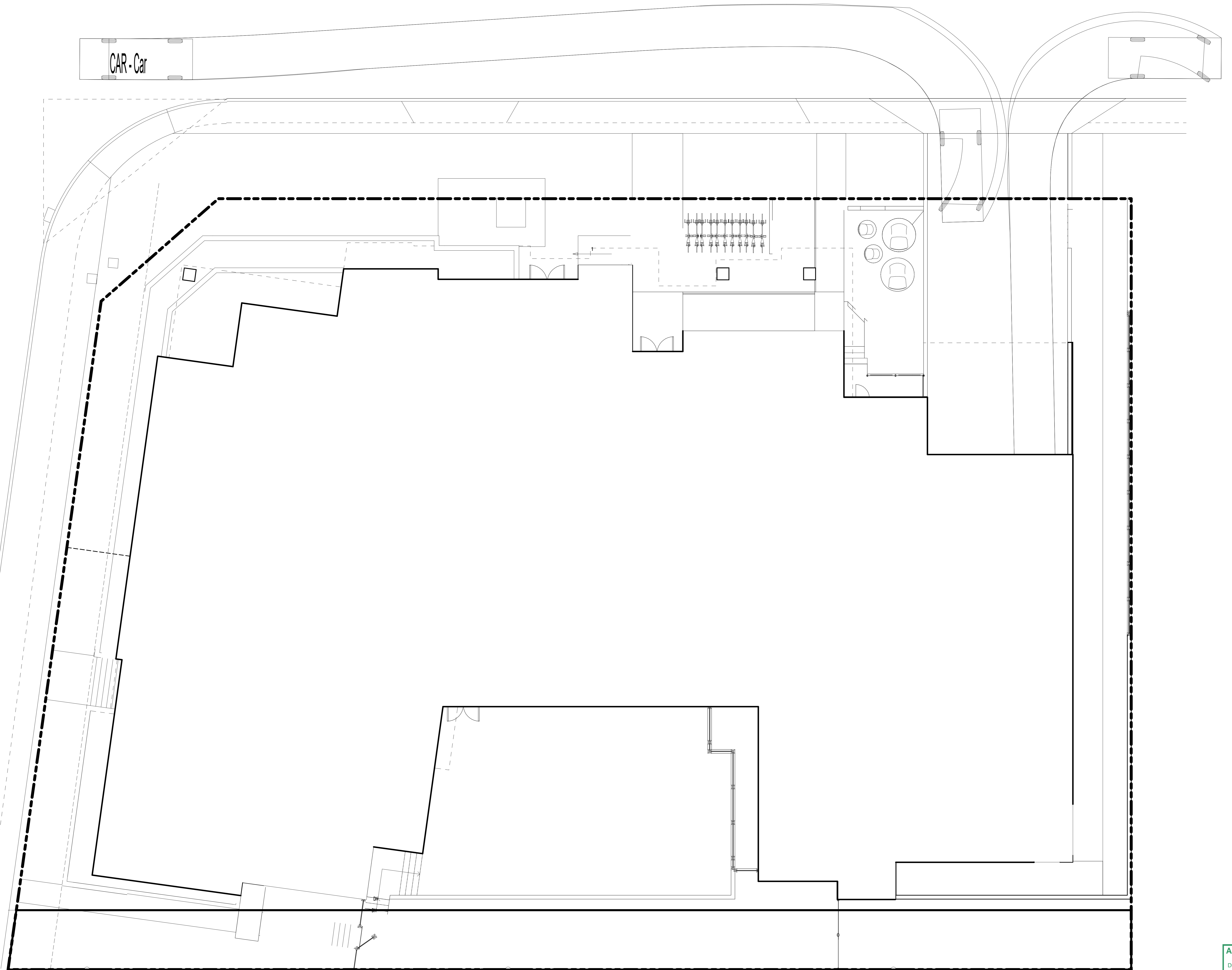
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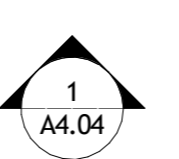
**SITE PLAN**

Sheet Number

**A1.00**



1 VEHICLE SWEEP PATH - PASSENGER CAR  
1 : 75



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**1 : 75**

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**VEHICLE  
SWEEP PATH -  
PASSENGER  
CAR**

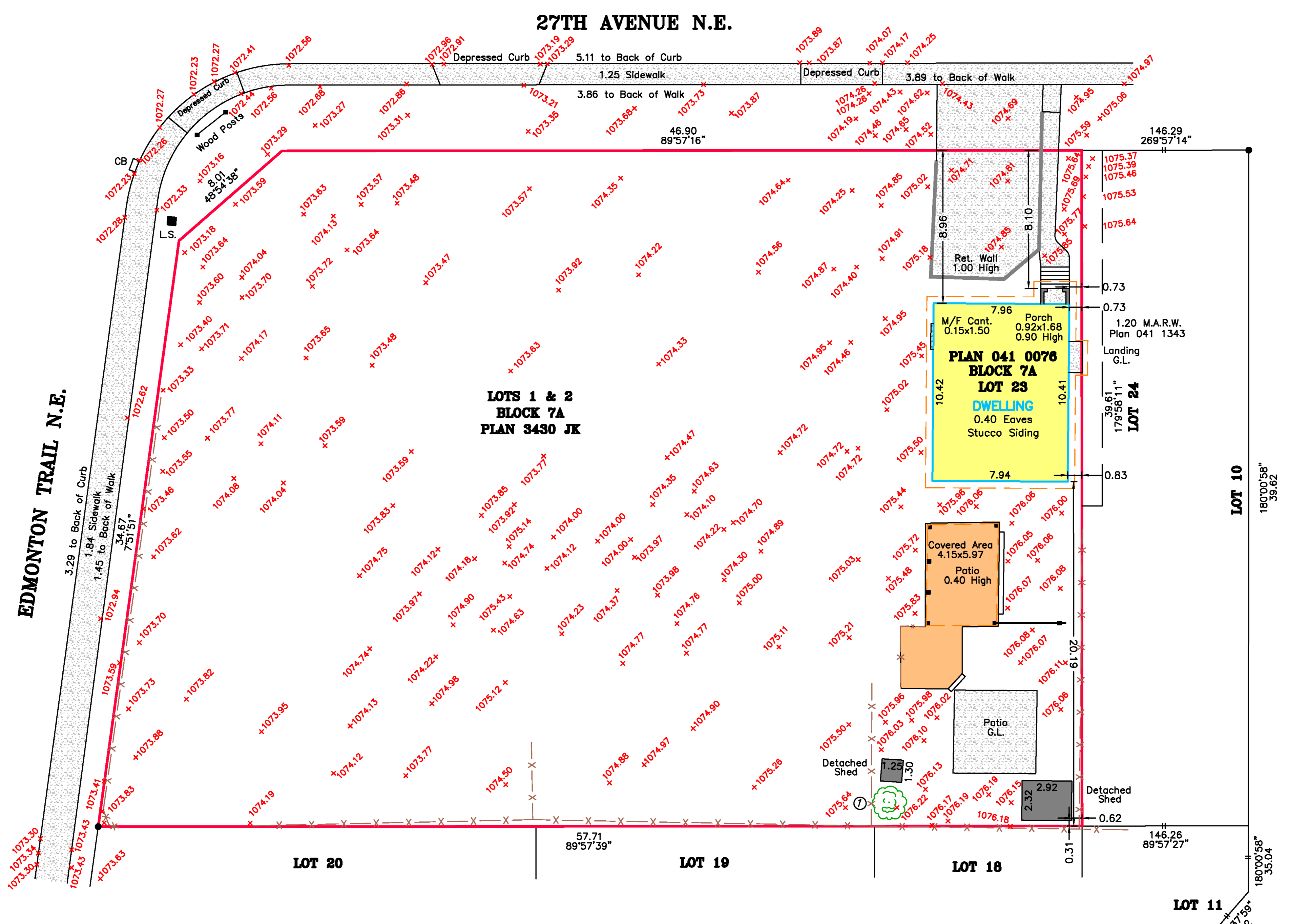
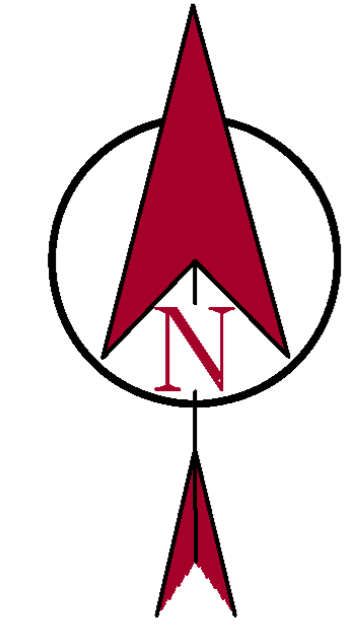
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### ALBERTA LAND SURVEYOR'S SITE SURVEY



**LEGEND**  
 ABBREVIATIONS, SYMBOLS AND NOTES THAT MAY APPEAR/APPLY ON THIS PLAN.

- Drill Hole: X
- Iron Bar found: ●
- Statutory Iron Post found: ●
- Fences: -X-
- Foundations: -X-
- Property line: —
- Line not to scale: - - -
- Utility Right-of-Way: —|—
- Eave Fascia shown thus: —|—

N: North  
 E: East  
 S: South  
 W: West  
 m: Metres  
 Conc.: Concrete  
 F.: Found  
 M.C.: Mark  
 M.C.: Marks  
 Bk.: Block  
 A: Length of Arc  
 R: Radius of Arc  
 D: Delta (Central) Angle of Arc  
 G.L.: Ground Level  
 M/F: Main Floor  
 2/F: Second Floor  
 Cont.: Continer  
 W/W: Window Well  
 Ret. Wall: Retaining Wall  
 A/C: Air Conditioner  
 U: Utility  
 O.D.: Overland Drainage  
 M.A.: Maintenance Access  
 R.O.: Right-Of-Way  
 Reg. No.: Registration Number

Fences are within 0.20m of the Property Line unless otherwise noted  
 Eave dimensions (where applicable) are to line of Fascia  
 Caves as noted unless otherwise shown  
 The Following may not be shown:  
 Non-permanent concrete blocks  
 Right-of-ways not registered on title  
 Privacy walls, except for those on decks on attached and semi-detached dwellings  
 Temporary Storage Structures, Bins & Children's play structures  
 Borders between landscaping materials that do not function as retaining walls  
 Retaining walls not following property lines and not encroaching  
 Report may not show structures not visible at time of survey  
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**AXIOM GEOMATICS LTD.**  
 P: 403-472-7777 F: 403-775-2602  
 Email: info@axiomgeomatics.ca

Plan Showing Survey for  
 Site Survey  
 Plan 041 0076  
 Block 7A  
 Lot 23  
 Address: 413 27th Avenue N.E.  
 Calgary, Alberta

Title information is based on a Title Search dated July 26th, 2024  
 Title No: 241 072 283

Property is subject to:  
 771 147 064 ZONING REGULATIONS (AIRPORT)  
 041 147 355 EASEMENT  
 241 072 295 CAVEAT

Plan 3430 JK  
 Block 7A  
 Lot 1 & 2  
 Address: 407 27th Avenue N.E.  
 Calgary, Alberta

Title information is based on a Title Search dated December 22th, 2021  
 Title No: 181 038 682

Property is subject to:  
 771 147 064 ZONING REGULATIONS (AIRPORT)

**NOTE**  
 Unless otherwise specified, the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.  
 Elevations are geodetic and derived from ASCM 159228 (Elev.=1076.62)

Property Boundaries of Parcel Affected shown thus: —|—  
 Foundations shown thus: -X-  
 Fences shown thus: -X-  
 Deciduous Trees are shown thus: (Tree symbol)

Scale : 1 : 200

This plan is not to be used for the establishment of boundaries and is intended for the purpose of applying for development permit only  
 Dated this 27th day of July, 2024.  
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**TREE TABLE**

Tree #	Tree Type	Trunk #	Canopy(%)	Height
1	Deciduous	0.25m	2.0m	5.00m



AG File No : 7355  
 Ref. File No : 5681 & 6896



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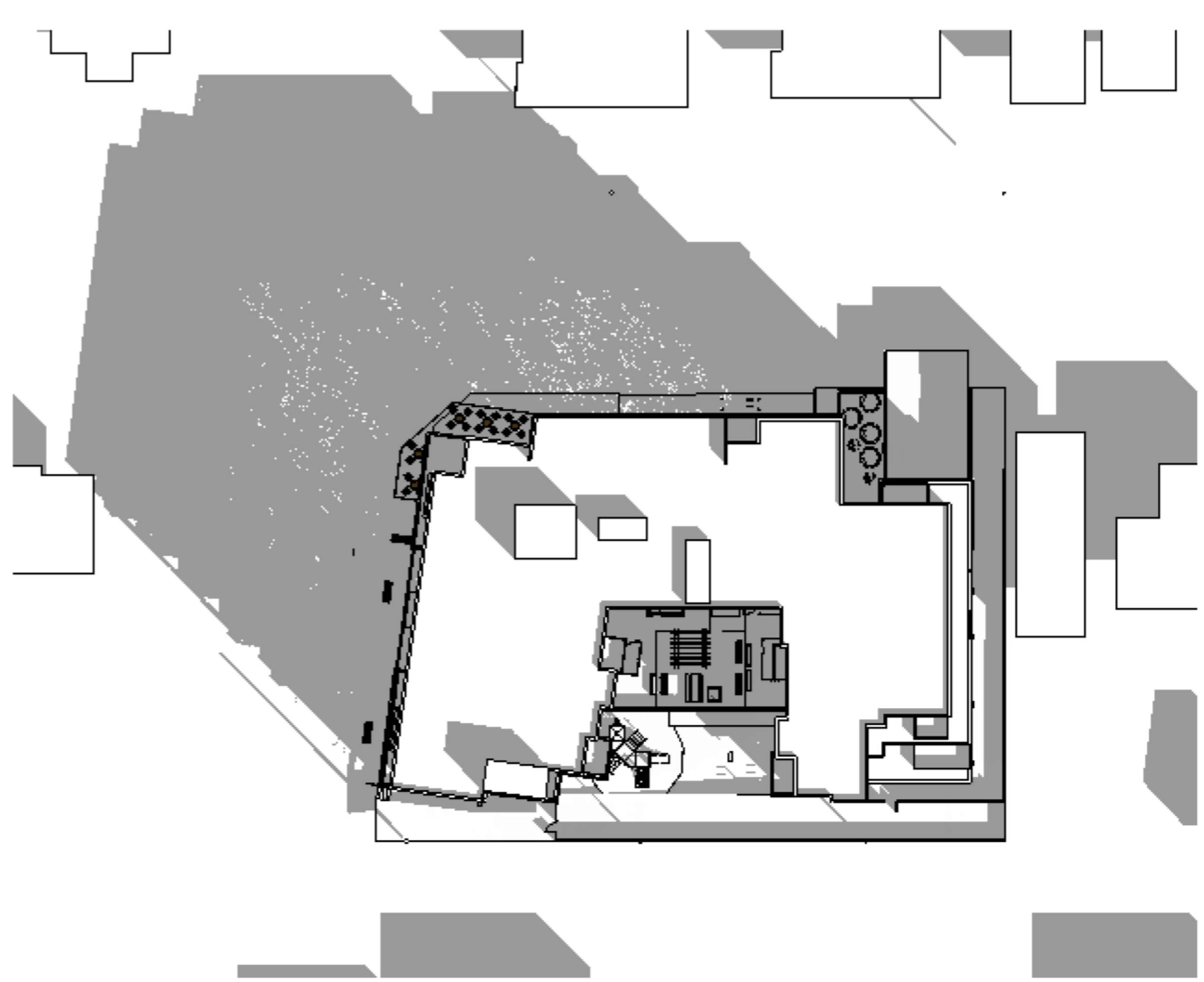
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**EXISTING SURVEY**

Sheet Number

**A1.03**



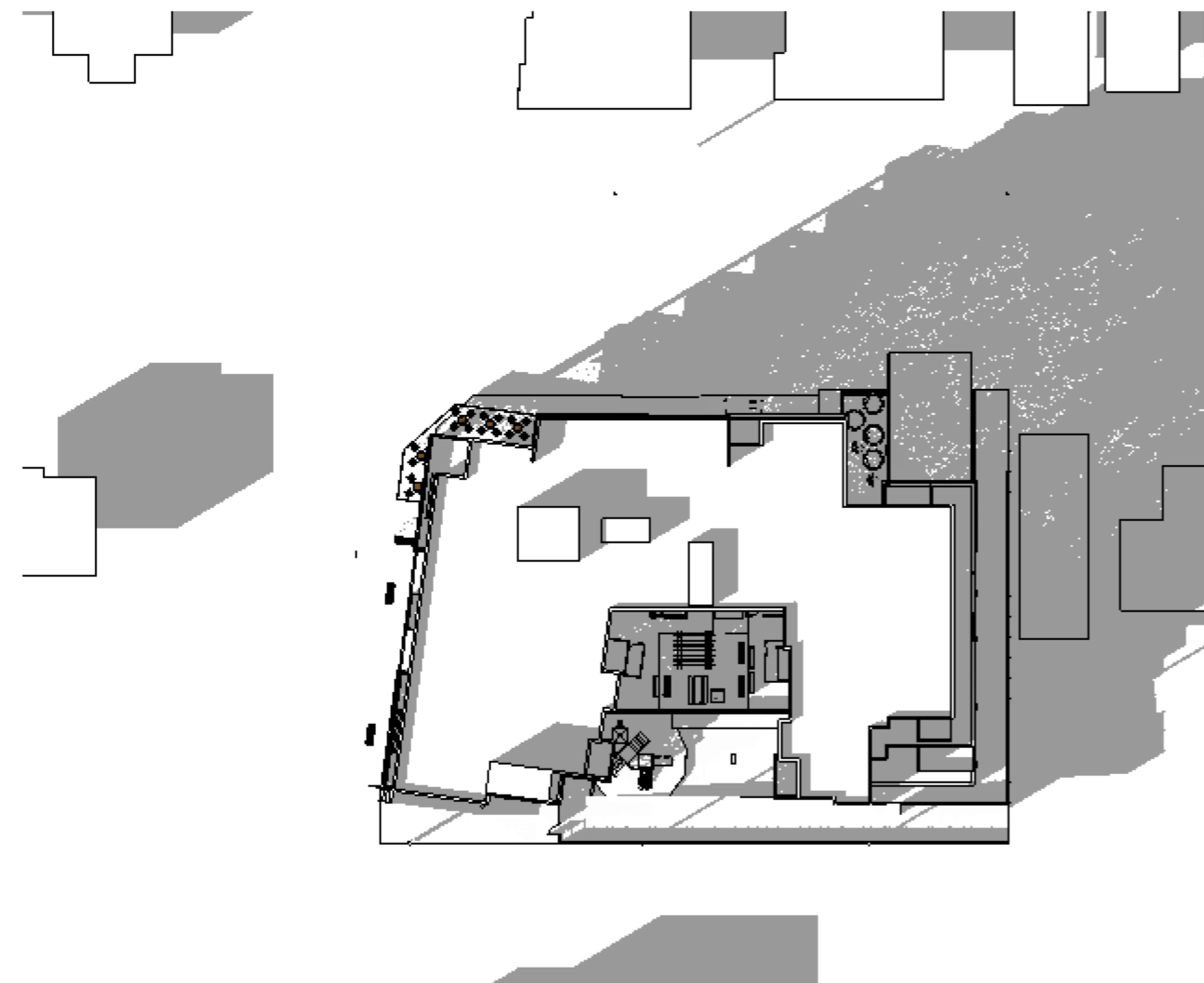
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2 SCALE: SEPTEMBER 21 12pm



3 SCALE: SEPTEMBER 21 2pm



4 SCALE: SEPTEMBER 21 4pm

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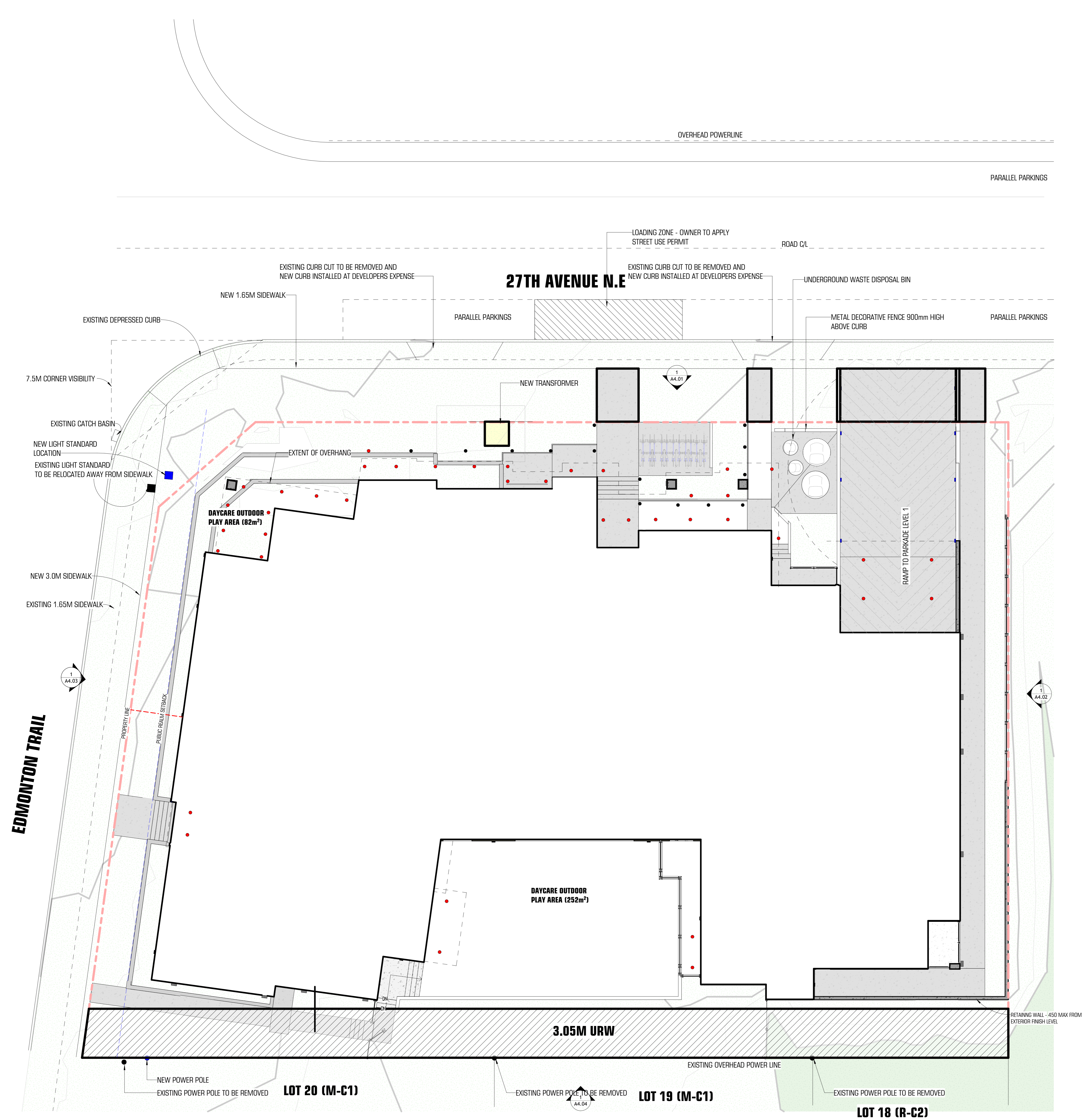
**SHADOW  
STUDY**

Sheet Number

**A1.04**



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- RECESSED BALCONY POTLIGHT - LITHONIA 4" - 10 W
- SIGN AND RECESSED COMMERCIAL POTLIGHT LITHONIA 6" - 20w
- SCONCE - DOWN SHINE - ISAAC RAE #6542 - 20w
- RECESSED COMMERCIAL POTLIGHT LITHONIA 6" - 20w
- BOLLARD LIGHT - ASPEN 1900 - 10w
- DOWNSHINE LIGHT - COOPER CCW CLEARCURBE - 20w
- PARKADE RAMP WALL MOUNT LIGHT - REBELLE #1185 - 15w

**1 SITE LIGHTING PLAN**  
1 : 100



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**N.S**

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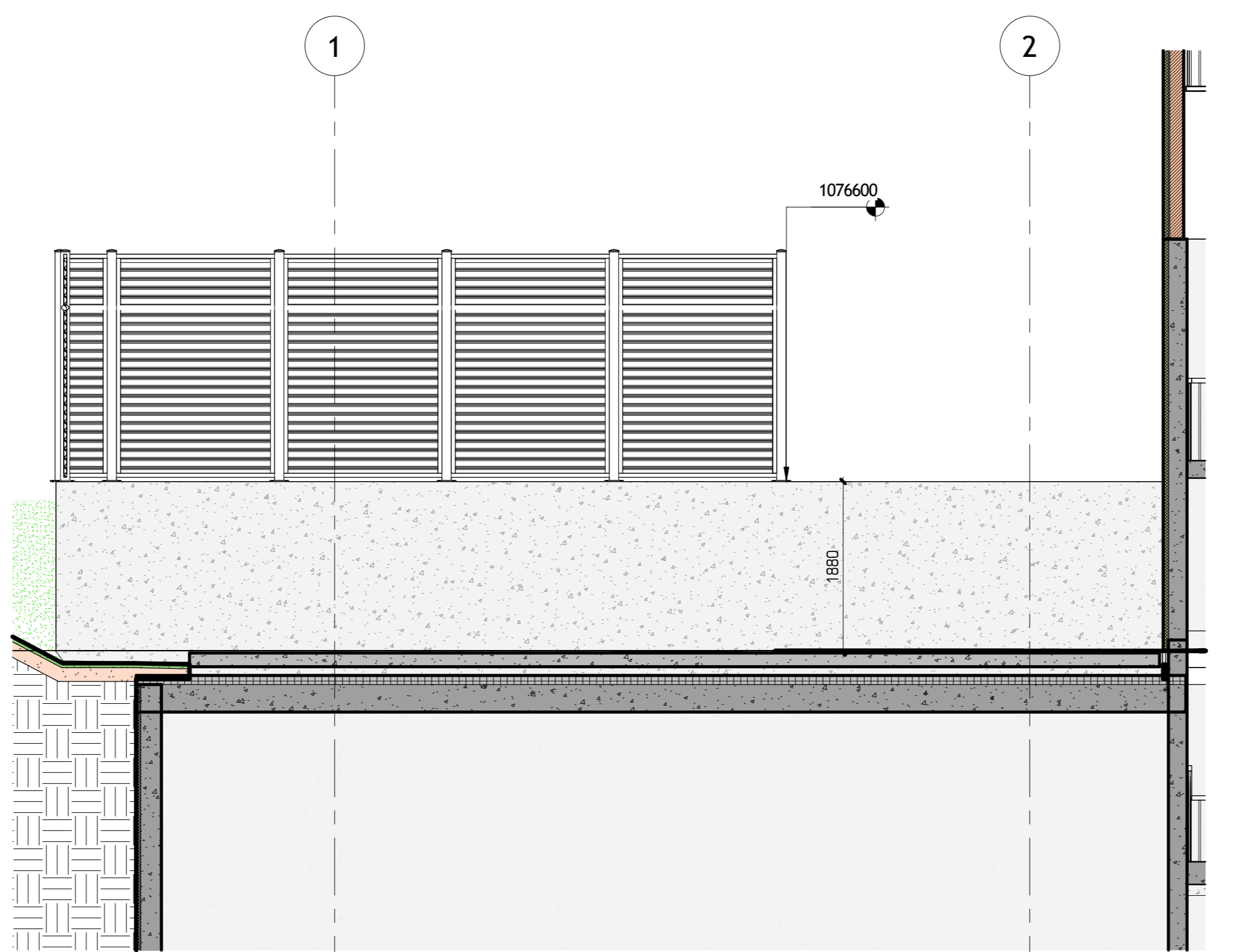
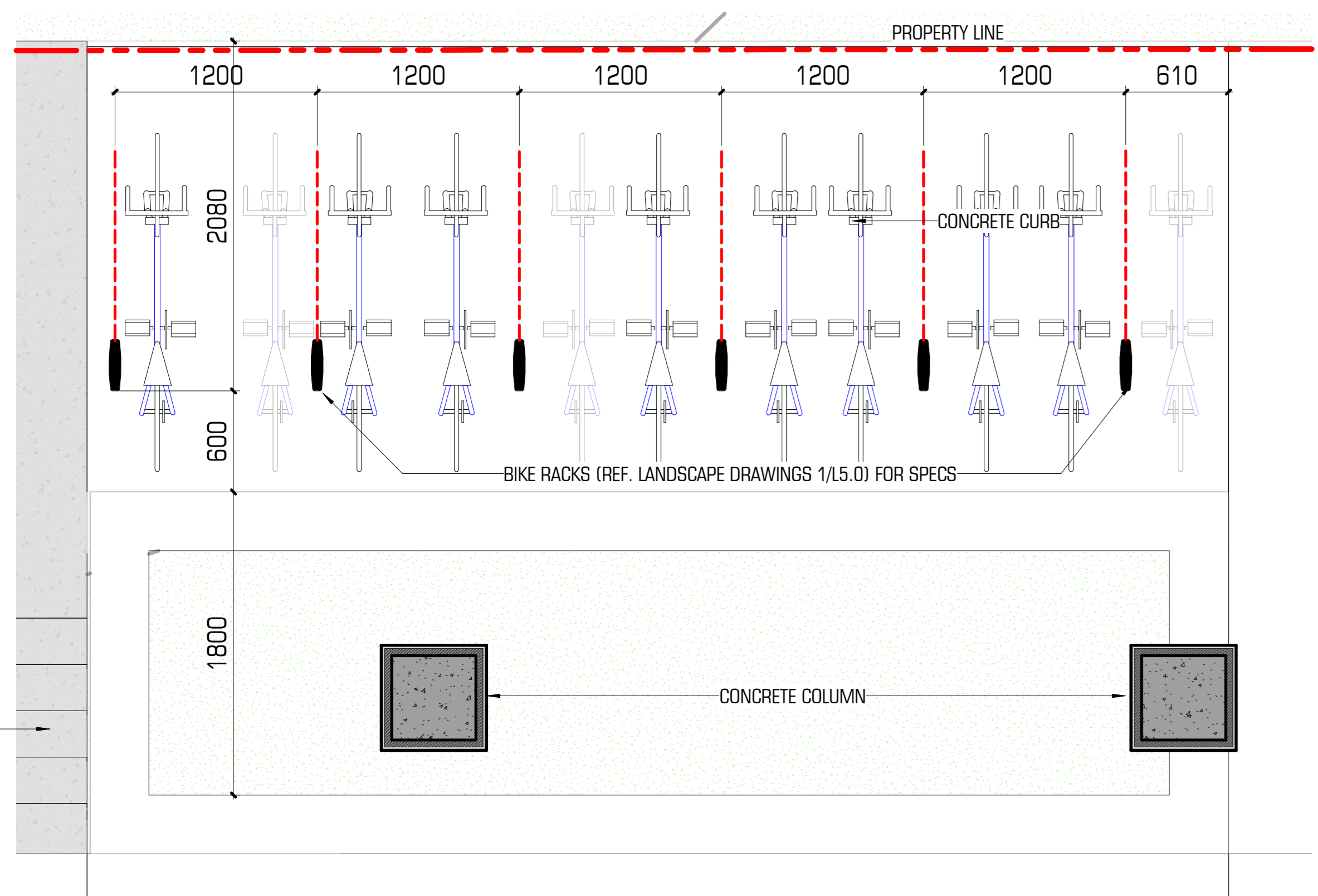
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Sheet Title

**SITE LIGHTING PLAN**

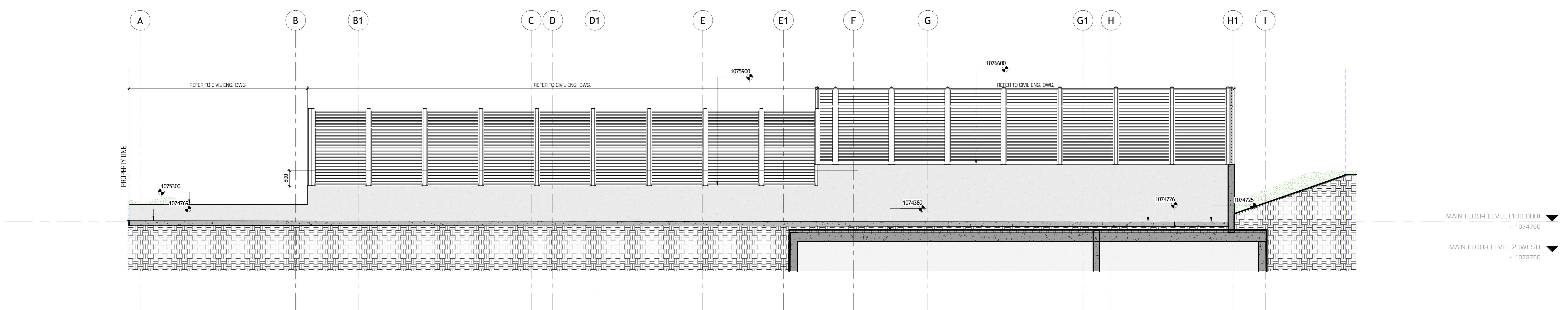
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**A1.05**

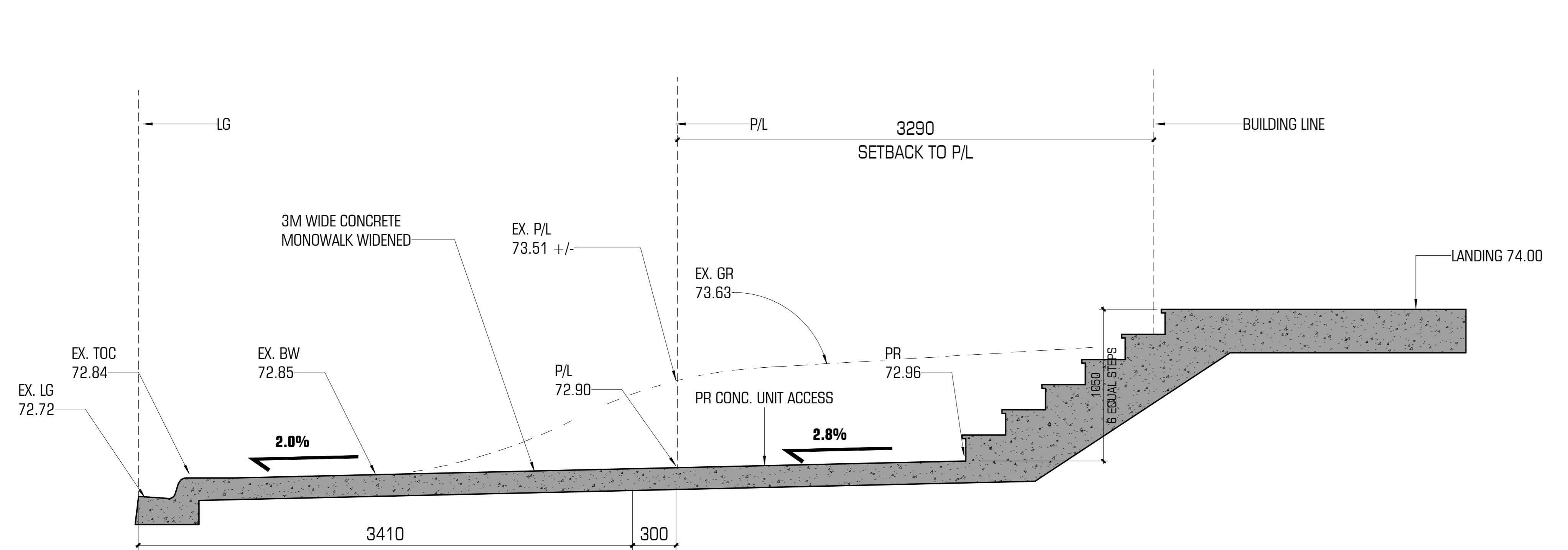


1 CLASS 2 BIKE RACKS  
1 : 25

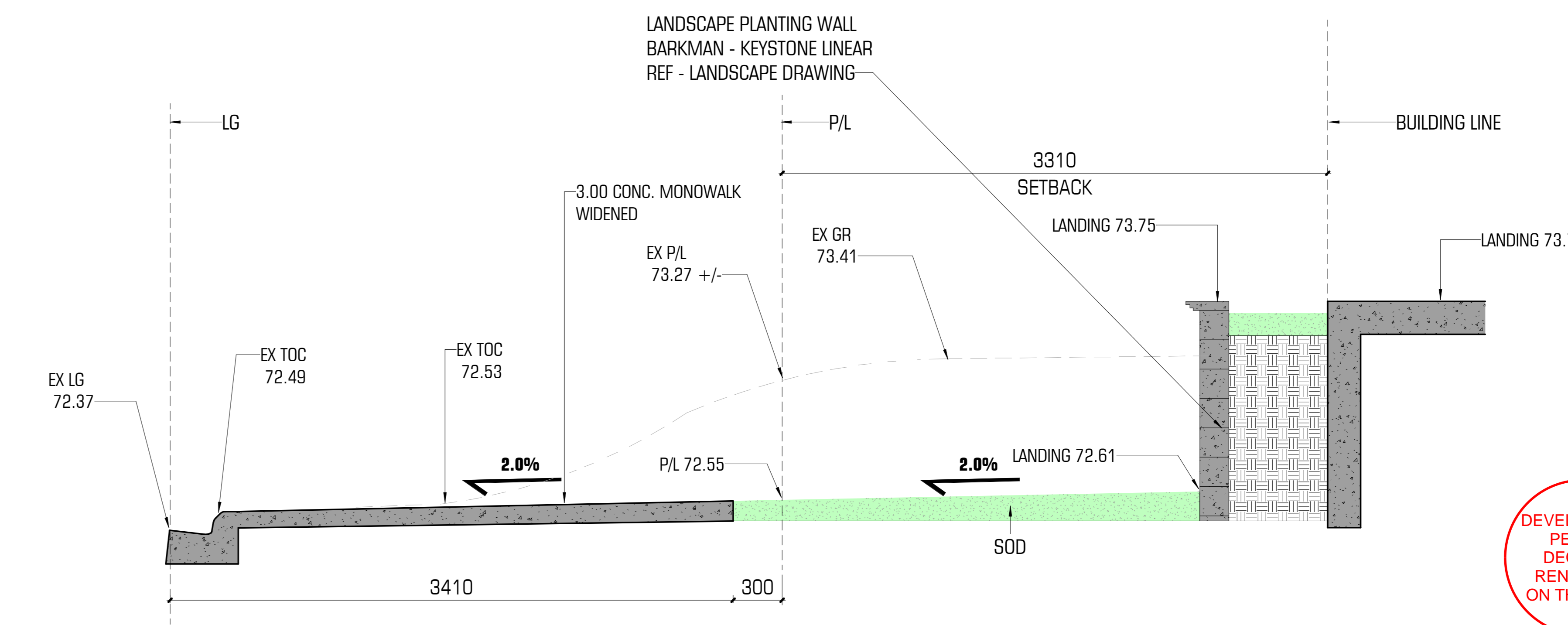
2 RETAINING WALL - 01  
1 : 50



3 RETAINING WALL - 02  
1 : 50



4 EDMONTON TRAIL (SECTION A)  
1 : 20



5 EDMONTON TRAIL (SECTION B)  
1 : 20

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS  
DP No. Date Received  
DP2025-02322 FEB 23 2025  
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

Professional Seal

Prime Consultant

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Client

Project Managers

Consultants

Project Phase

**ISSUED FOR RE-DTR2  
DP2025-02322**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description

Notes

Project Title

**THE BALOCH**

Project Municipal Address

**409, 27TH AVENUE NE CALGARY, AB**

Project Legal Address

**LOT 31 BLOCK 7A PLAN 24111737**

MC+A file No.

**1296**

Date

Scale

**As indicated**

Drafted By

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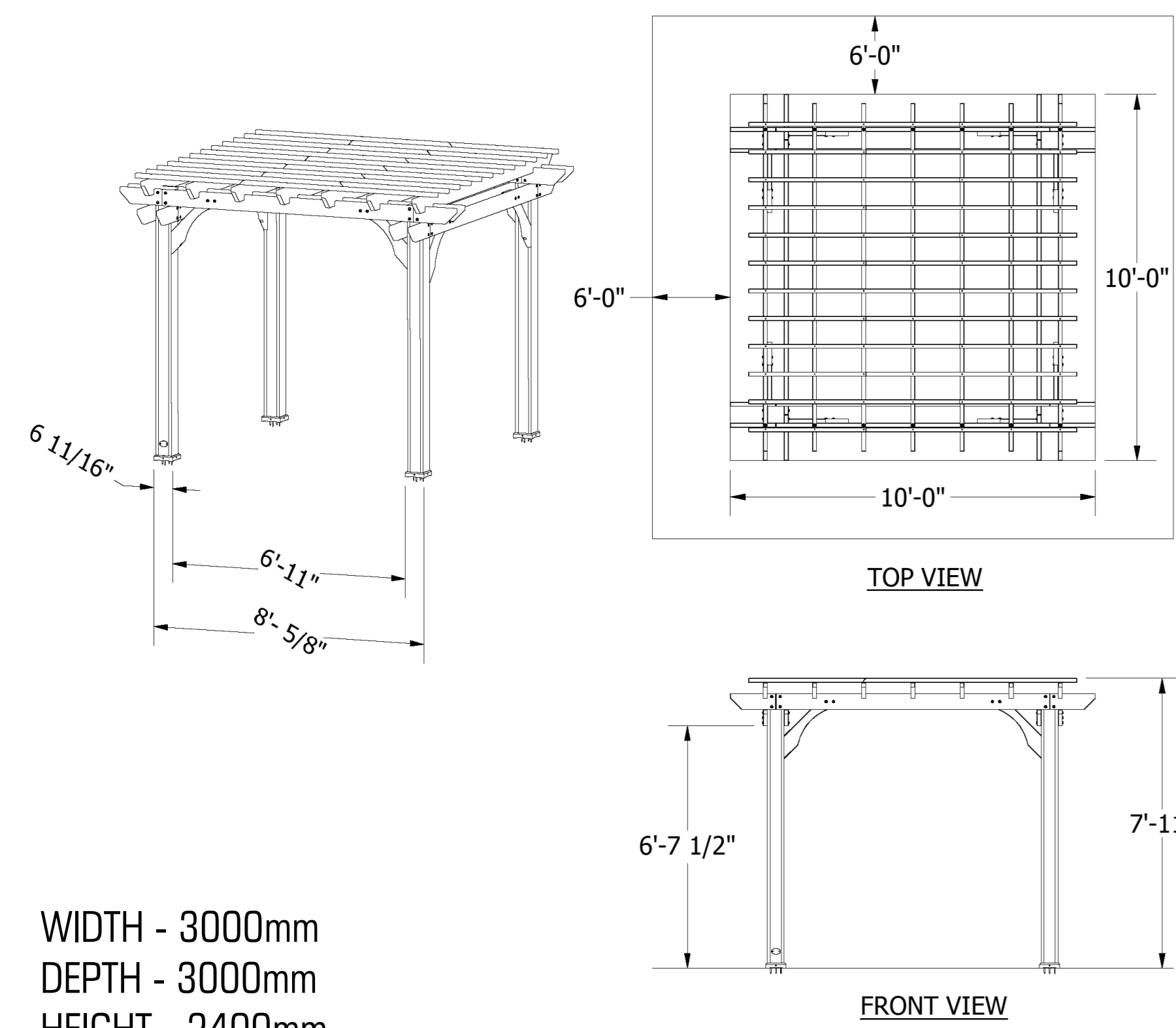
**S.O - MC+A**

Sheet Title

**SITE DETAILS**

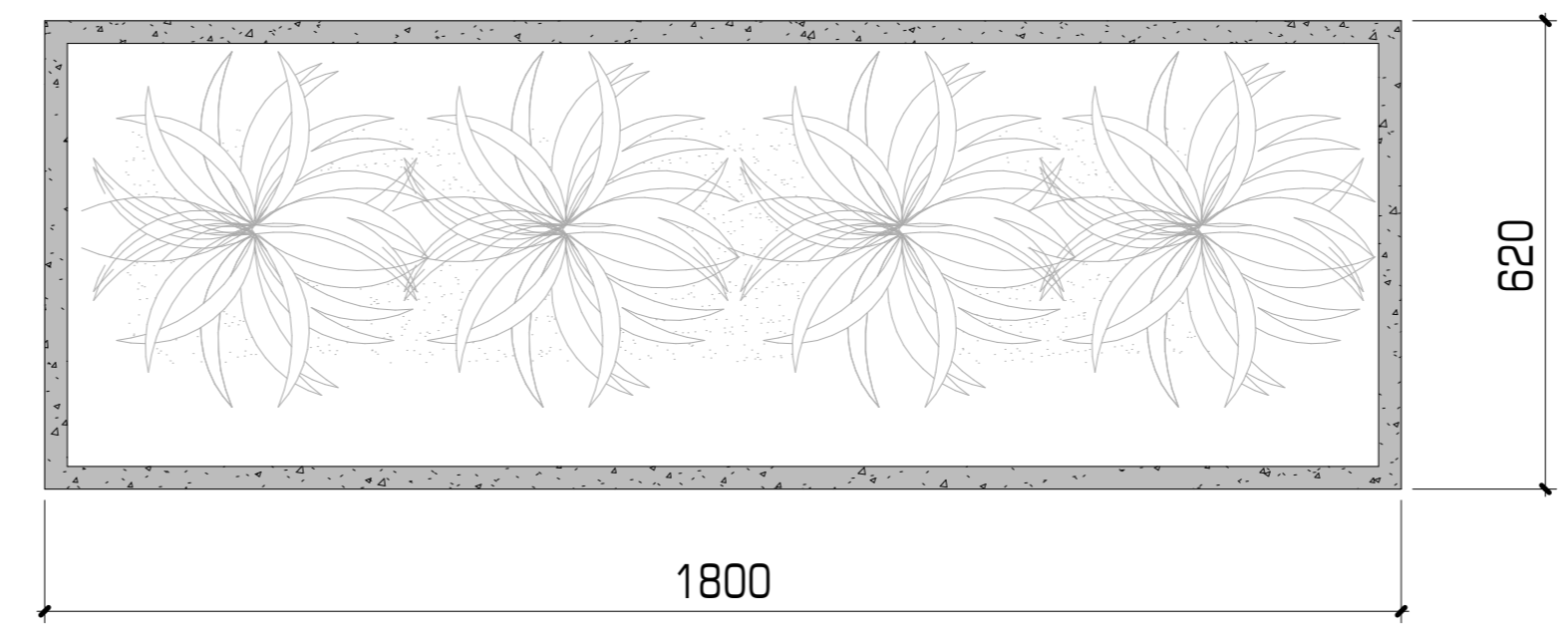
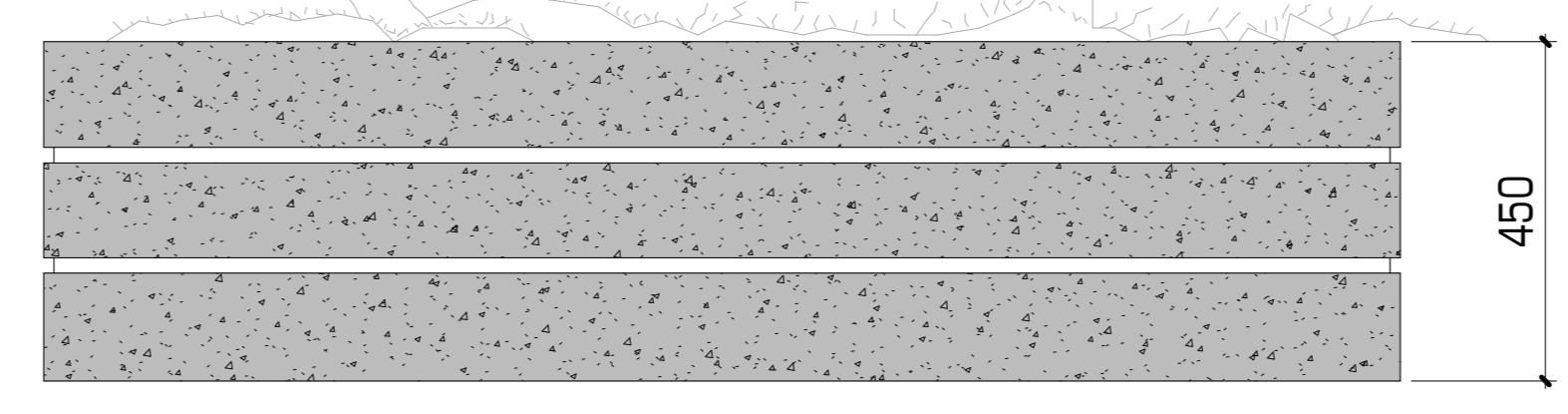
Sheet Number

**A1.07**



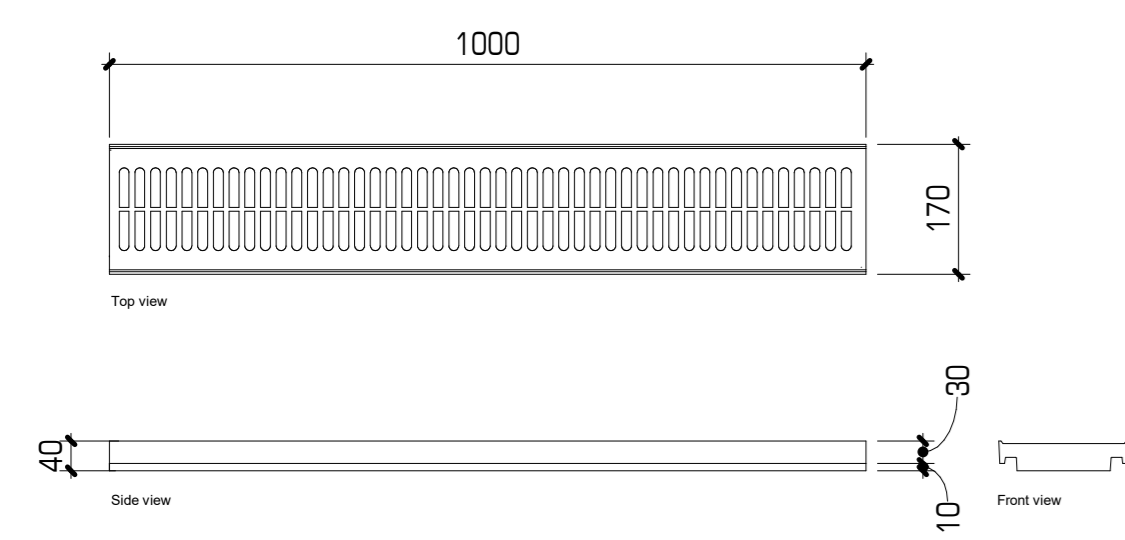
WIDTH - 3000mm  
 DEPTH - 3000mm  
 HEIGHT - 2400mm  
 FRAME MATERIAL - CEDAR  
 ROOF MATERIAL - CEDAR  
 SHAPE - RECTANGULAR  
 COLOUR - BROWN

**1** PERGOLA  
 1:20



**LIGHT WEIGHT CONCRETE PLANTERS**  
 1800mm X 450mm  
 MATERIAL - CONCRETE  
 COLOUR - GRAY

**1** LIGHT CONCRETE PLANTERS  
 1:10



**STEEL COVER TRENCH DRAIN**  
 1000mm X 170mm  
 COLOUR - GRAY

**3** TRENCH DRAIN  
 1:10

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Consultants

Project Phase

**ISSUED FOR REVISION**  
**DP2025-02**

Issue / Date

Date	Issue Description
2025-10	Issued for Re-DTR
2026-02	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description

Project Title

**THE BALCONY**

Project Municipal Address  
**409, 27TH AVENUE NE CALGARY**

Project Legal Address  
**LOT 31 BLOCK 7A PLAN 241**

MC+A file No.  
**1296**

Date

Scale  
**As indicated**  
 Drafted By

**CHECKED BY:**  
**S.O - MC+A**

Sheet Title

**SITE DETAILS**

Sheet Number

**A1.07A**

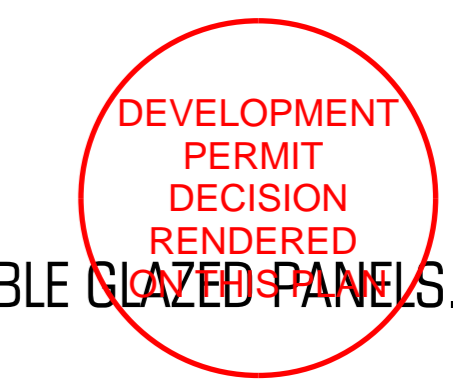


AMENDED DRAWINGS  
 DP No. Date Received  
 DP2025-02322 FEB 23 2025  
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1 NORTH ELEVATION.  
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
- 2 VERTICAL METAL PANEL (COLOUR - WHITE) - NON-COMBUSTIBLE CLADDING
- 3 CEMENT BOARD PANEL (COLOUR - WHITE) - NON-COMBUSTIBLE CLADDING
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- 13 MECHANICAL ROOM
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- 15 ILLUMINATED SIGNAGE – **NOT PART OF DP SCOPE**
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- 29 CONCRETE PLANTING WALL
- 30 BARKMAN KEYSTONE LINEAR PLANTING WALL



AMENDED DRAWINGS  
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NOTE  
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Project Phase  
**ISSUED FOR RE-DTR2  
 DP2025-02322**

Issue / Date

Date	Issue Description:
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Notes
Rev. #	Revision Description
15	MECHANICAL ROOM (SERVICE ROOM) ADDED
17	RAMPS AND FENCE REMOVED
18	PLANTING WALL PROVIDED

Project Title  
**THE BALOCH**

Project Municipal Address  
**409, 27TH AVENUE NE CALGARY, AB**

Project Legal Address  
**LOT 31 BLOCK 7A PLAN 24111737**

MC+A file No.  
**1296**

Date

Scale  
**As indicated**

Drafted By

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Sheet Title  
**NORTH ELEVATION**

Sheet Number  
**A4.01**



1 EAST ELEVATION.  
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
- 2 VERTICAL METAL PANEL (COLOUR - WHITE) - NON-COMBUSTIBLE CLADDING
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- 30 BARKMAN KEYSTONE LINEAR PLANTING WALL

NOTE  
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Project Phase

**ISSUED FOR RE-DTR2  
DP2025-02322**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description

Project Title

**THE BALOCH**

Project Municipal Address

**409, 27TH AVENUE NE CALGARY, AB**

Project Legal Address

**LOT 31 BLOCK 7A PLAN 24111737**

MC+A file No.

**1296**

Date

Scale

**As indicated**

Checked By:

**S.D - MC+A**

Sheet Title

**EAST ELEVATION**

Sheet Number

**A4.02**



**1 SOUTH ELEVATION**  
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
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- 29 CONCRETE PLANTING WALL
- 30 PARKING WALL/STONE UNDER PLANTING WALL

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS  
DP No. Date Received  
DP2025-02322 FEB 23 2025  
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Project Phase

**ISSUED FOR RE-DTR2  
DP2025-02322**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description
16	BALCONY RAILING ADDED

Notes

Project Title

THE BALOCH

Project Municipal Address

**409, 27TH AVENUE NE CALGARY, AB**

Project Legal Address

**LOT 31 BLOCK 7A PLAN 24111737**

MC+A file No.

**1296**

Date

Scale

**As indicated**

Drafted By

CHECKED BY:

**S.O - MC+A**

Sheet Title

SOUTH ELEVATION

Sheet Number

A4.04



1 WEST ELEVATION  
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY) - NON-COMBUSTIBLE CLADDING
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DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS  
DP No. DP2025-02322 Date Received FEB 23 2025  
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Consultants

Project Phase

**ISSUED FOR RE-DTR2  
DP2025-02322**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR
2026-02-17	Issued for Re-DTR 2

Revisions:

Rev. #	Revision Description
18	PLANTING WALL PROVIDED

Notes

Project Title

**THE BALOCH**

Project Municipal Address

**409, 27TH AVENUE NE CALGARY, AB**

Project Legal Address

**LOT 31 BLOCK 7A PLAN 24111737**

MC+A file No.

**1296**

Date

Scale

**As indicated**

Drafted By

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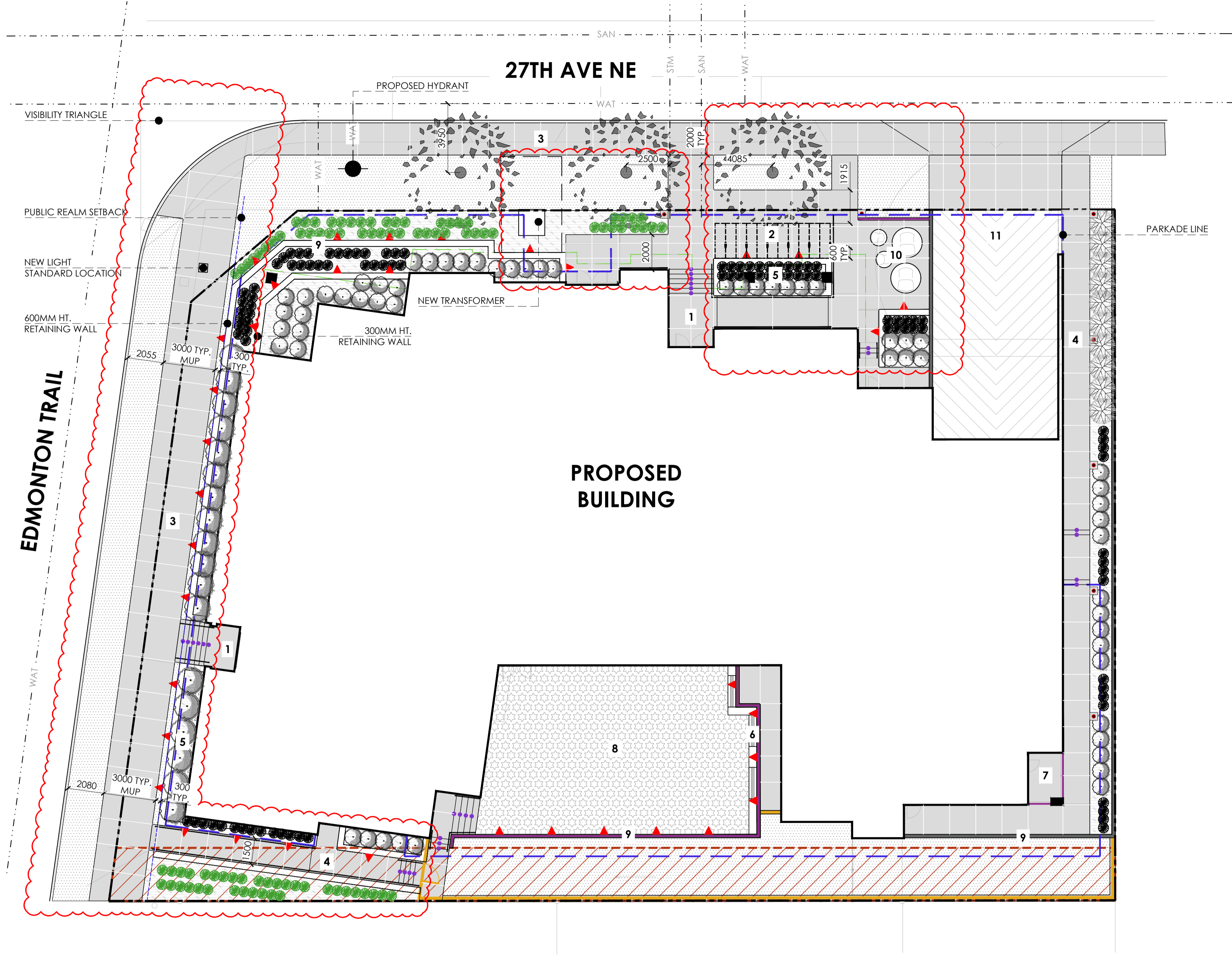
**S.D - MC+A**

Sheet Title

**WEST ELEVATION**

Sheet Number

**A4.03**



### GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- ALL LANDSCAPE AREAS OUTSIDE OF PARKADE TO HAVE MINIMUM 300MM TOPSOIL FOR SODDED AREAS AND 600MM TOPSOIL FOR SHRUBS AND TREE BEDS.
- TOPSOIL AVAILABLE FOR PLANTINGS OVER PARKADE  
TREES 1200MM  
SHRUBS 600MM  
GRASS & PERENNIALS 300MM

### LANDSCAPE ANALYSIS

SITE AREA: 2162.11 SQ.M.  
 PROVIDED LANDSCAPED AREA = 970.83 SQ.M.  
 TOTAL TREES PROVIDED WITHIN PROPERTY = 10  
 CONIFEROUS TREES PROVIDED = 10  
 CONIFEROUS TREES WITH MIN. 3000MM HT. REQUIRED = 05  
 CONIFEROUS TREES WITH MIN. 2000MM HT. PROVIDED = 05  
 REMAINING CONIFEROUS TREES TO HAVE MIN. 2000MM HT.  
 TOTAL TREES PROVIDED WITHIN PUBLIC REALM = 3  
 TOTAL SHRUBS PROVIDED = 77

### LEGEND

- URW
- REGULAR GREY COLOR CONCRETE
- PLAY AREA RUBBER SURFACE
- FESCUE SOD
- PLANTING BED WITH CHARCOAL MULCH
- DECIDUOUS TREES
- CONIFEROUS TREES
- DECIDUOUS SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- 1800MM HEIGHT SEE THROUGH METAL FENCE
- 1700MM METAL GUARDRAIL
- EXTENT OF OVERHANG
- GUARDRAIL
- PARKADE LINE
- PROPERTY LINE
- BENCH
- CLASS 2 BIKE STALLS  
TOTAL QUANTITY: 6 RACKS (11 STALLS)
- BOLLARD
- AREAS UPDATED POST DP REVISION

### DESIGN ELEMENTS

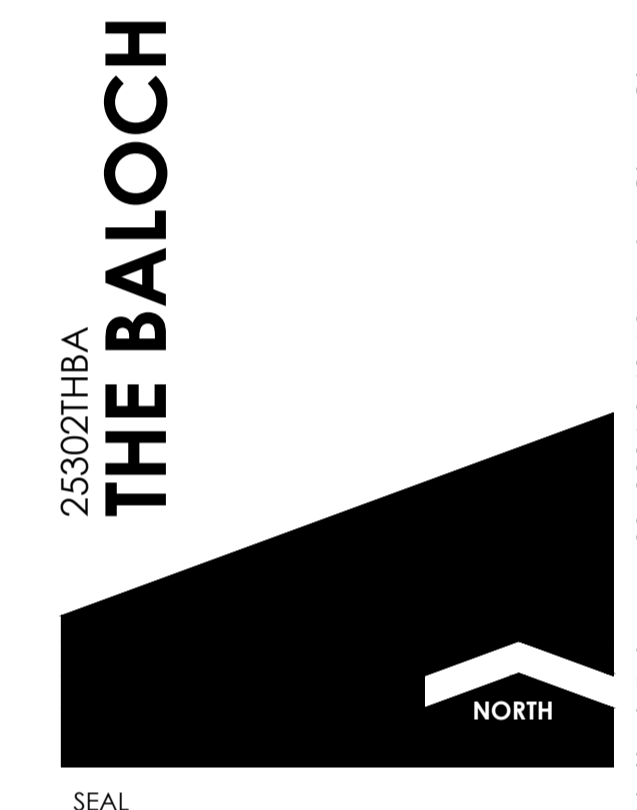
- MAIN ENTRY
- BIKE PARKING
- PUBLIC SIDEWALK
- PEDESTRIAN WALKWAY
- LANDSCAPE PLANTING BED TYP.
- SEATING
- PATIO
- PLAY AREA
- RETAINING WALL
- MULCH BIN ZONE
- PARKADE ACCESS

### ADDITIONAL NOTES

DRAWINGS TO BE READ IN COLOR

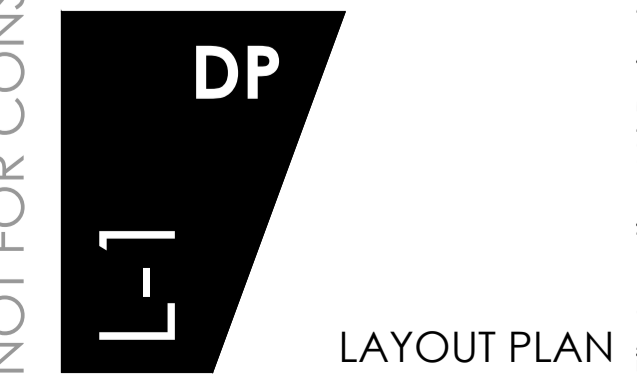
DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

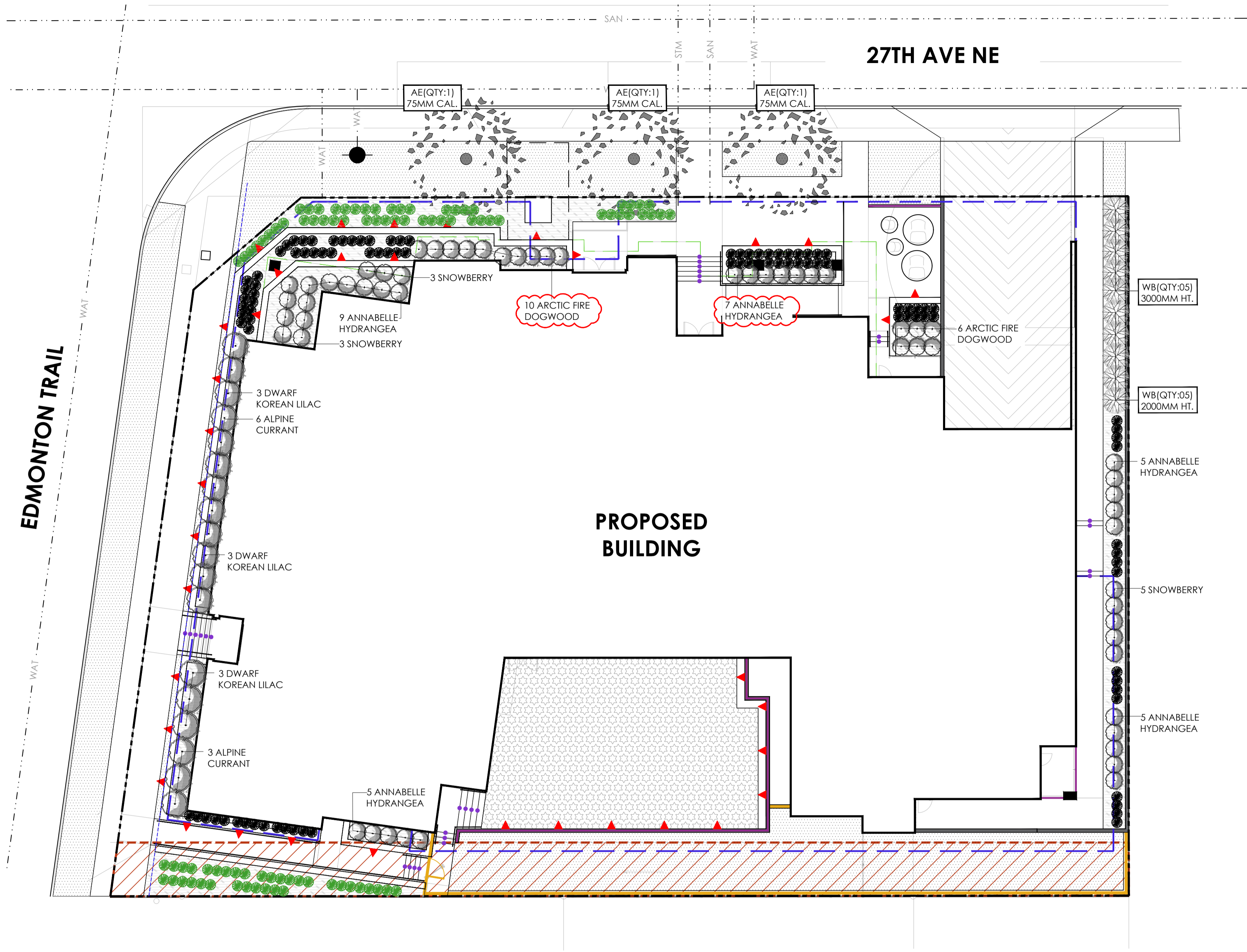
AMENDED DRAWINGS  
 DP No Date Received  
 DP2025-02322 FEB 23 2026  
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ISSUED FOR	DATE
CONCEPT	250715
REVIEW	250723
REVIEW	250725
DP REVISION	251001
DP UPDATE	251031
DP UPDATE	251103
DP UPDATE	251127
DP REVISION INFO	251205
BP	260123
95% COORDINATION	260205
IFT	260212
DTR 2	260223

SCALE	DATE
1:150	251205
DRAWN BY	JY
CHECKED BY	YN





**LEGEND**

- URW
- FESCUE SOD
- PLANTING BED WITH CHARCOAL MULCH
- DECIDUOUS TREES
- CONIFEROUS TREES
- DECIDUOUS SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- 1800MM HEIGHT SEE THROUGH METAL FENCE
- 1700MM METAL GUARDRAIL
- EXTENT OF OVERHANG
- GUARDRAIL
- PARKADE LINE
- PROPERTY LINE

**PLANTING SCHEDULE**

common name	latin name	size/ spread	quantity	comments
<b>deciduous trees within boulevard (TOTAL QUANTITY: 03)</b>				
AMERICAN ELM	ULMUS AMERICANA	75MM CAL.	03	B&B, SPECIMEN
<b>coniferous trees within property (TOTAL QUANTITY: 10)</b>				
WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA'	3000MM HT.	05	B&B, SPECIMEN
WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA'	2000MM HT.	05	B&B, SPECIMEN
common name	latin name	size/ spread	quantity	comments
<b>deciduous shrubs (TOTAL QUANTITY: 77)</b>				
ARCTIC FIRE DOGWOOD	CORNUS SERICEA 'FARROW'	600MM HT.	16	MIN 5-7 STEMS
ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	600MM HT.	31	MIN 5-7 STEMS
ALPINE CURRANT	RIBES ALPINUM	600MM HT.	09	MIN 5-7 STEMS
SNOWBERRY	SYMPHORICARPOS ALBUS	600MM HT.	12	MIN 5-7 STEMS
DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	600MM HT.	09	MIN 5-7 STEMS

**ADDITIONAL NOTES**

DRAWINGS TO BE READ IN COLOR

AREAS UPDATED POST DP REVISION

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

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DP UPDATE	251031
DP UPDATE	251103
DP UPDATE	251127
DP REVISION INFO	251205
BP	260123
95% COORDINATION	260205
IFT	260212
DTR 2	260223