

THE BALOCH - PROPOSED MIXED USE DEVELOPMENT

409 27TH AVENUE NORTHEAST CALGARY

LEGAL ADDRESS: LOT 31, BLOCK 7A PLAN 2411737



IMAGE FOR CONCEPTUAL ILLUSTRATION ONLY

CONSULTANTS:



ARCHITECT:
MANU CHUGH ARCHITECT LIMITED
401 1070 4TH AVENUE SW CALGARY, AB.



STRUCTURAL ENGINEERS:
TRL AND ASSOCIATES



MECHANICAL AND ELECTRICAL ENGINEERS:
KEEN ENGINEERING

ISSUED FOR BUILDING PERMIT

PROJECT INFORMATION AND BUILDING INFORMATION

PROJECT NAME: PROPOSED MIXED-USE DEVELOPMENT (THE BALOCH)
PROJECT MUNICIPAL ADDRESS: 409 27TH AVENUE NE NORTH-EAST CALGARY, ALBERTA
PROJECT LEGAL ADDRESS: LOT 31 BLOCK 7A PLAN 2411737
ZONING: MU-13 R23 Mixed Use - General
SITE AREA: 2161m² (23,260.89ft²)

BUILDING AREA:
MAIN FLOOR PLAN: 1199m² (12,907.65ft²)
SECOND FLOOR PLAN: 1111m² (11,958.38ft²)
THIRD FLOOR PLAN: 1111m² (11,958.38ft²)
FOURTH FLOOR PLAN: 1111m² (11,958.38ft²)
FIFTH FLOOR PLAN: 1039m² (11,194.46ft²)
SIXTH FLOOR PLAN: 1035m² (11,146.88ft²)
GROSS BUILDING AREA: 6606m² (71,108.34ft²)
F.A.R.: 3.06 **MAX F.A.R.:** 3.6

MAIN FLOOR LEVEL:
 DAYCARE: 480.00m²
 RESIDENTIAL SUITES (2 BEDROOM SUITE): 4 UNITS
 GYMNASIUM (FOR OCCUPANT USE ONLY): 53.0m²
 MANAGEMENT OFFICE: 35.0m²

SECOND FLOOR LEVEL: 1 BEDROOM: 10 UNITS
 2 BEDROOM: 6 UNITS
THIRD FLOOR LEVEL: 1 BEDROOM: 10 UNITS
 2 BEDROOM: 6 UNITS

TOTAL: 16 UNITS

FOURTH FLOOR LEVEL: 1 BEDROOM: 10 UNITS
 2 BEDROOM: 6 UNITS
FIFTH FLOOR LEVEL: 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS

TOTAL: 15 UNITS

SIXTH FLOOR LEVEL:
 1 BEDROOM: 9 UNITS
 2 BEDROOM: 6 UNITS

TOTAL: 15 UNITS

RESIDENTIAL SUITE COUNT
 1 BEDROOM: 48 UNITS
 2 BEDROOM: 34 UNITS

TOTAL: 82 UNITS

BYLAW REQUIREMENTS

PURPOSE:
1333 (A): CHARACTERIZED BY BUILDINGS OF FOUR TO SIX STOREYS IN HEIGHT.

PROJECTION INTO SETBACK
1334 (2): PORTION OF BUILDING PERMITTED TO PROJECT INTO SETBACK.
1334 (3): PORTION OF BUILDING BELOW GRADE MAY PROJECT INTO SETBACK WITHOUT LIMIT

GROUND FLOOR HEIGHT
1337 (1): MINIMUM HEIGHT OF GROUND FLOOR IS 4.0 METERS
1337 (2): NO MINIMUM HEIGHT FOR DWELLING UNITS

BUILDING ORIENTATION
1339 (A-C): INDIVIDUAL UNITS MUST HAVE SEPARATE AND DIRECT ACCESS TO GRADE. ENTRANCE TO VISIBLE FROM STREET AND SIDEWALK SHALL PROVIDE DIRECT EXTERIOR ACCESS TO THE USE.

RULES FOR FACADE FACING A STREET
1340 (1): LENGTH OF BUILDING FACADE THAT FACES A STREET MUST BE A MINIMUM OF 80% OF LENGTH OF THE PROPERTY LINE.

RULES FOR DWELLING UNIT FACING A STREET
1341 (1): ENTRANCE TO INDIVIDUAL DWELLING UNIT LOCATED AT GRADE SHALL BE A MINIMUM OF 2.5 METERS FROM P.L. SHARED WITH A STREET.

RULES FOR COMMERCIAL USES FACING A STREET
1342 (1A): FACADE OF A BUILDING AT GRADE AND FACING STREET SHALL PROVIDE WINDOWS WITH UNOBSOURED GLASS COVER 65% MINIMUM OF THE FACADE.
 (2) DWELLING UNIT NEED NOT COMPLY TO SUBSECTION (1)

GENERAL LANDSCAPE AREA RULES
1344: PROPOSED LANDSCAPE SUBJECT TO AHJ APPROVAL

LOW WATER IRRIGATION SYSTEM
1345: LOW WATER IRRIGATION SYSTEM TO BE PROVIDED AND LIMITED TO ONLY TREES AND SHRUBS

LANDSCAPING IN SETBACK AREAS
1348 (1): WHERE SETBACK AREA SHARES A PROPERTY LINE WITH ANOTHER PARCEL DESIGNATED AS RESIDENTIAL DISTRICT, SETBACK AREA MUST BE SOFT LANDSCAPE AND MAY INCLUDE SIDEWALKS, PATIO AND 1 TREE AND 2 SHRUBS FOR EVER 45m²

RESIDENTIAL AMMENITY SPACE
1349 (1): AMMENITY SPACE FOR RESIDENTIAL SUITES MAYBE PRIVATE, COMMON OR BOTH.
 (2): 5m² MINIMUM AMMENITY SPACE PER UNIT.
 (5B): PRIVATE AMMENITY SPACE TO HAVE MINIMUM OF 2m

MOTOR VEHICLE PARKING STALLS
1350: DWELLING UNITS = **0.75 STALLS PER UNIT** AND **0.1 UNITS FOR VISITORS**
 NUMBER OF UNITS = 81
 NUMBER CAR PARKING STALLS FOR DWELLING UNITS = 82*0.75 = 62 PARKING STALLS
 NUMBER OF CAR PARKING STALLS FOR VISITORS = 82*0.1 = 8.1 (9 PARKING STALLS)
 REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNITS = **71 STALLS**

REDUCTION FOR TRANSIT SUPPORTIVE DEVELOPMENT
1352: 25% REDUCTION APPLICABLE - 53 CAR PARK STALL

REQUIRED NUMBER OF PARKING STALLS FOR DWELLING UNIT NOW: 53 STALLS
TOTAL CAR PARK STALL PROVIDED: 94

BICYCLE PARKING STALLS
1345: CLASS 1 BICYCLE STALL (0.5*182) = REQUIRED: 41 PROVIDED: 41
 CLASS 2 BIKE STALL (0.1*182) = REQUIRED: 9 PROVIDED: 11

VISIBILITY SETBACK
1361: WITHIN VISIBILITY TRIANGLE, NO BUILDINGS, FENCES, FINISHED GRADE AND VEGETATION BETWEEN 0.75m AND 4.6 METERS ABOVE LOWEST ELEVATION OF THE STREET.

SETBACK AREA
1374 (2): NO SETBACK REQUIREMENT ALONG EDMONTON TRAIL AND 27TH AVENUE

STANDARD FOR MOTOR VEHICLE PARKING STALLS
122 (1): 90 DEGREE PARKING ANGLE (STALL DEPTH = 5.4m), WIDTH (2.5m DWELLING UNIT, 2.6m OTHER USES)

LOADING STALLS
 123 (2A-C) LOADING STALL DIMENSION 3.1m X 9.2m X 4.3M HEIGHT

CHILDCARE SERVICES: QUICK PICKUP/ DROP-OFF REQUIREMENTS
 1 FOR EVERY 10 CHILDREN. REQUIRED 10, PROVIDED 3 (AS APPROVED PER DP2024-03659)

SITE PHOTOS

NE VIEW



WEST VIEW



NORTH VIEW



NW VIEW



OUTDOOR PLAY AREA - SIZE DETERMINATION

15(1) A license holder that provides day care must provide outdoor play space for children in day care that is on, adjacent to or within easy and safe walking distance from the program premises and accommodates at least 50% of the licensed capacity at a level of not less than 2 square metres for each infant receiving day care and not less than 4.5 square metres for each child receiving day care who is 18 months of age or over.

ROOM SCHEDULE

PRE-SCHOOL ROOM 1 - **16 KIDS**
 PRE-SCHOOL ROOM 2 - **18 KIDS**
 PRE-SCHOOL ROOM 3 - **20 KIDS**
 TODDLER ROOM - **20 KIDS**
 INFANTS - **20 KIDS**

KIDS ABOVE 18 MONTHS (16 + 18 + 20 + 24) = 78 KIDS
 KIDS BELOW 18 MONTHS = 20 KIDS

AREA CALCULATION: 2.0m² X 20 = 40m²
 4.5m² X 19 = 85.5m²
 TOTAL OUTDOOR PLAY AREA = 315m² + 40m² = **355m²**

TOTAL NUMBER OF KIDS = 88 KIDS
 50% TO BE ACCOMMODATED = **196m²**
 TOTAL OUTDOOR AREA PROVIDED = **251m²**

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A0.03	BUILDING CODE REVIEW
A0.04	CONSTRUCTION ASSEMBLY
A0.05	AREA OF UPO, CONSTRUCTION TYPE, CLADDING TYPE
A0.06	AREA OF UPO, CONSTRUCTION TYPE, CLADDING TYPE
A1.00	SITE PLAN
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A1.05	SITE LIGHTING PLAN
A1.06	SITE DETAILS
A1.07	SITE DETAILS
A1.08	SITE PLAN - RETENTION TANK
A1.09	BUILDING CLASSIFICATION
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A2.01	PARKADE FLOOR PLAN - P2
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A2.07	FIFTH FLOOR PLAN
A2.08	SIXTH FLOOR PLAN
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A2.11	REFLECTED CEILING PLAN
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A2.13	REFLECTED CEILING PLAN
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A2.15	REFLECTED CEILING PLAN
A2.16	REFLECTED CEILING PLAN
A3.01	BUILDING SECTION 1
A3.02	BUILDING SECTION 2
A3.03	BUILDING SECTION 3
A3.04	BUILDING SECTION
A3.05	BUILDING SECTION
A3.06	BUILDING SECTION
A3.07	BUILDING SECTION
A3.08	BUILDING SECTION

VICINITY MAP



ZONING



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409, 27TH AVENUE NE CALGARY, AB

Project Legal Address
LOT 31 BLOCK 7A PLAN 2411737

MC+A file No.
1296

Date

Scale

As indicated

Drafted By
U.S

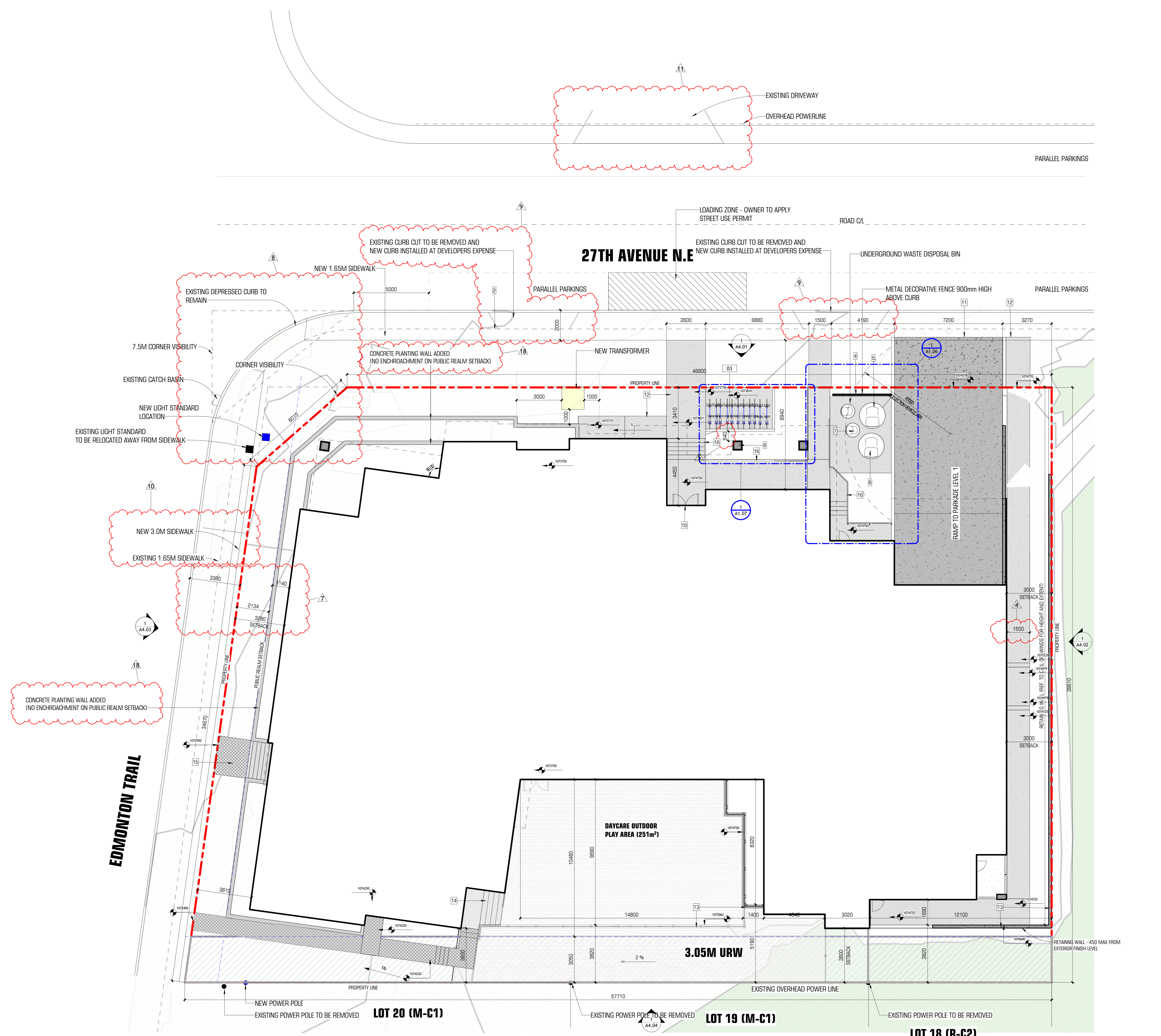
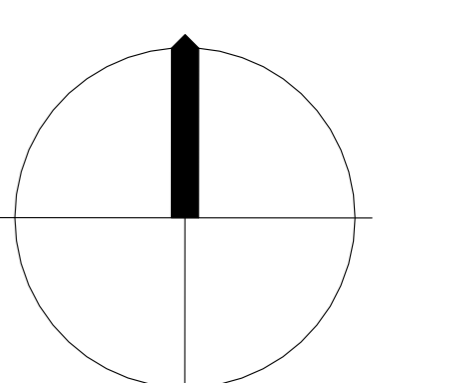
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Sheet Title

PROJECT INFORMATION

Sheet Number

A0.01



	PRE-CAST MODULAR CONCRETE PAVER
	HEAVY DUTY CONCRETE
	LIGHT CONCRETE WALKWAY
	EXISTING UTILITY RIGHT OF WAY
	SOFT LANDSCAPE AREA
	PROPOSED TRANSFORMER LOCATION
	CHILD CARE OUTDOOR PLAY AREA

- 1 PREFINISHED STEEL FENCE - COLOUR BLACK
- 2 EXTENT OF EXISTING WALKWAY
- 3 U-SHAPED BIKE RACK
- 4 METAL DECORATIVE FENCE 900mm HIGH ABOVE CURB
- 5 UNDERGROUND WASTE DISPOSAL SYSTEM (GARBAGE) - (6.5yd³)
- 6 UNDERGROUND WASTE DISPOSAL SYSTEM (RECYCLE) - (6.5yd³)
- 7 UNDERGROUND WASTE DISPOSAL SYSTEM (ORGANIC) - (1.7yd³)
- 8 CLEAR GLASS RAILING
- 9 CONCRETE COLUMN - REF. ELEVATION FOR FINISH
- 10 PRIMARY ENTRANCE
- 11 NEW CONCRETE APRON
- 12 CONCRETE WALKWAY
- 13 REINFORCED CONCRETE RETAINING WALL
- 14 CONCRETE STEPS
- 15 ACCESS TO RESIDENTIAL SUITE
- 16 METAL RAILINGS

1 SITE PLAN
1 : 100

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4	RESPONSE TO REG. 1374
5	RESPONSE TO REG. 125
7	RESPONSE TO PDR #14
8	RESPONSE TO PDR #15 & 16
9	RESPONSE TO PDR #19
10	RESPONSE TO PDR #20
11	RESPONSE TO PDR #18
18	PLANTING WALL PROVIDED

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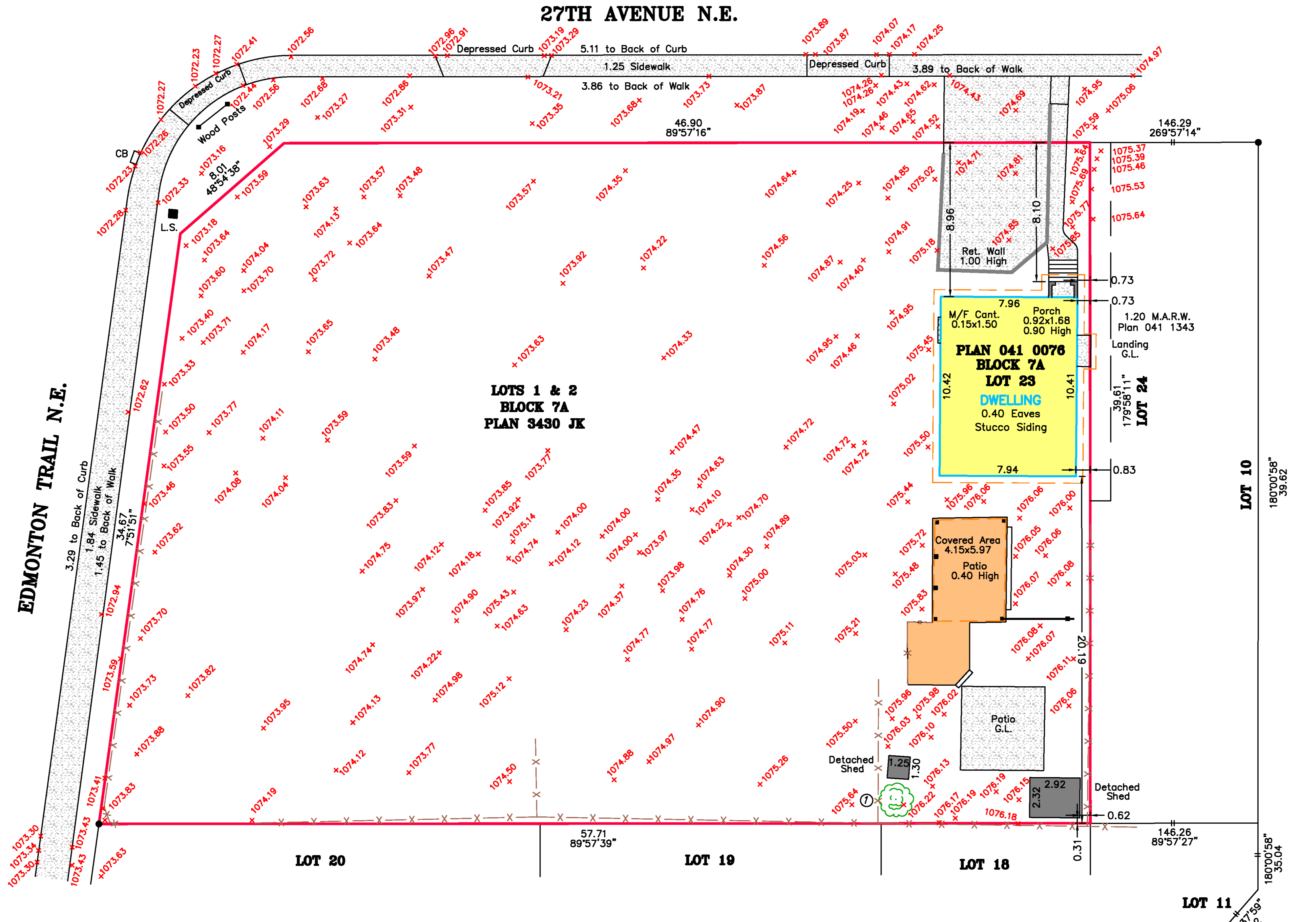
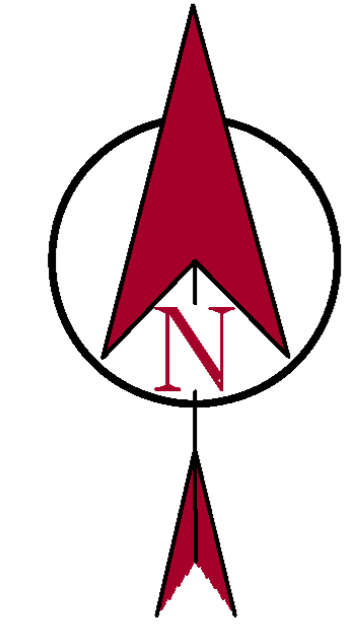
Sheet Title

SITE PLAN

Sheet Number

A1.00

ALBERTA LAND SURVEYOR'S SITE SURVEY



LEGEND
 ABBREVIATIONS, SYMBOLS AND NOTES THAT MAY APPEAR/APPLY ON THIS PLAN.

Drill Hole: X
 Iron Bar found: ●
 Statutory Iron Post found: ●
 Fences: — X —
 Foundations: — X —
 Property line: —
 Line not to scale: —
 Utility Right-of-Way: —
 Eave Fascia shown thus: —

N: North
 E: East
 S: South
 W: West
 m: Metres
 Conc.: Concrete
 F.: Found
 M.C.: Mark
 M.C.: Marks
 Bk.: Block
 A: Length of Arc
 R: Radius of Arc
 D: Delta (Central) Angle of Arc
 G.L.: Ground Level
 M/F: Main Floor
 2/F: Second Floor
 Cont.: Continer
 W/W: Window Well
 Ret. Wall: Retaining Wall
 A/C: Air Conditioner
 U.: Utility
 O.D.: Overland Drainage
 M.A.: Maintenance Access
 R.O.: Right-Of-Way
 Reg. No.: Registration Number

Fences are within 0.20m of the Property Line unless otherwise noted
 Eave dimensions (where applicable) are to line of Fascia
 Caves as noted unless otherwise shown
 The Following may not be shown:
 Non-permanent concrete blocks
 Right-of-ways not registered on title
 Privacy walls, except for those on decks on attached and semi-detached dwellings
 Temporary Storage Structures, Bins & Children's play structures
 Borders between landscaping materials that do not function as retaining walls
 Retaining walls not following property lines and not encroaching
 Report may not show structures not visible at time of survey
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AXIOM GEOMATICS LTD.
 P: 403-472-7777 F: 403-775-2602
 Email: info@axiomgeomatics.ca

Plan Showing Survey for
 Site Survey
 Plan 041 0076
 Block 7A
 Lot 23
 Address: 413 27th Avenue N.E.
 Calgary, Alberta

Title information is based on a Title Search dated July 26th, 2024
 Title No: 241 072 282

Property is subject to:
 771 147 064 ZONING REGULATIONS (AIRPORT)
 041 147 355 EASEMENT
 241 072 295 CAVEAT

Plan 3430 JK
 Block 7A
 Lot 1 & 2
 Address: 407 27th Avenue N.E.
 Calgary, Alberta

Title information is based on a Title Search dated December 22th, 2021
 Title No: 181 038 682

Property is subject to:
 771 147 064 ZONING REGULATIONS (AIRPORT)

NOTE
 Unless otherwise specified, the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.
 Elevations are geodetic and derived from ASCM 159228 (Elev.=1076.62)

Property Boundaries of Parcel Affected shown thus: —
 Foundations shown thus: — X —
 Fences shown thus: — X —
 Deciduous Trees are shown thus: (Tree symbol)

Scale : 1 : 200

This plan is not to be used for the establishment of boundaries and is intended for the purpose of applying for development permit only
 Dated this 27th day of July, 2024.
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TREE TABLE

Tree #	Tree Type	Trunk #	Canopy(%)	Height
1	Deciduous	0.25m	2.0m	5.00m



AG File No : 7355
 Ref. File No : 5681 & 6896

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Notes

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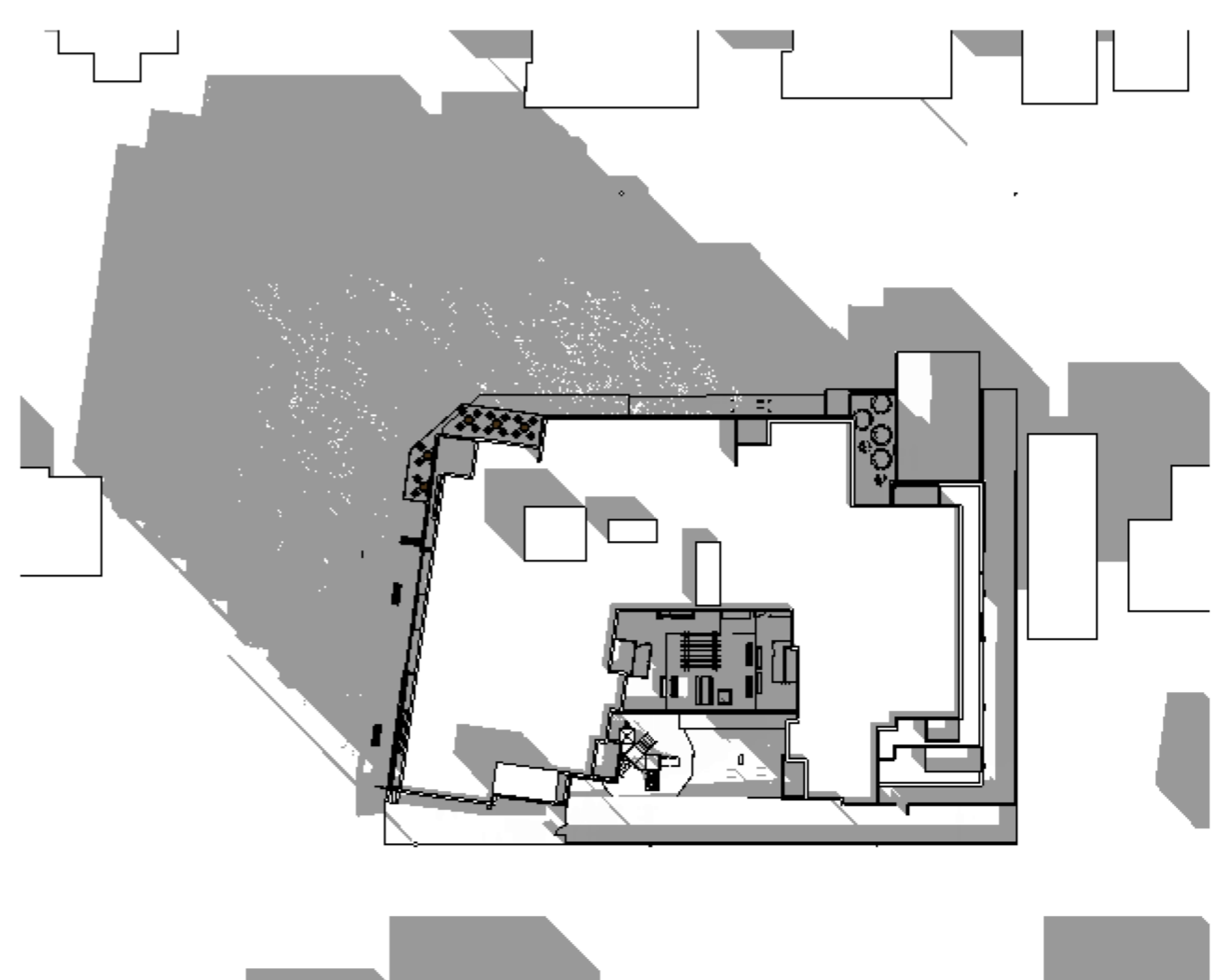
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Sheet Title

EXISTING SURVEY

Sheet Number
A1.03



1 SCALE: SEPTEMBER 21 10am



2 SCALE: SEPTEMBER 21 12pm



3 SCALE: SEPTEMBER 21 2pm



4 SCALE: SEPTEMBER 21 4pm

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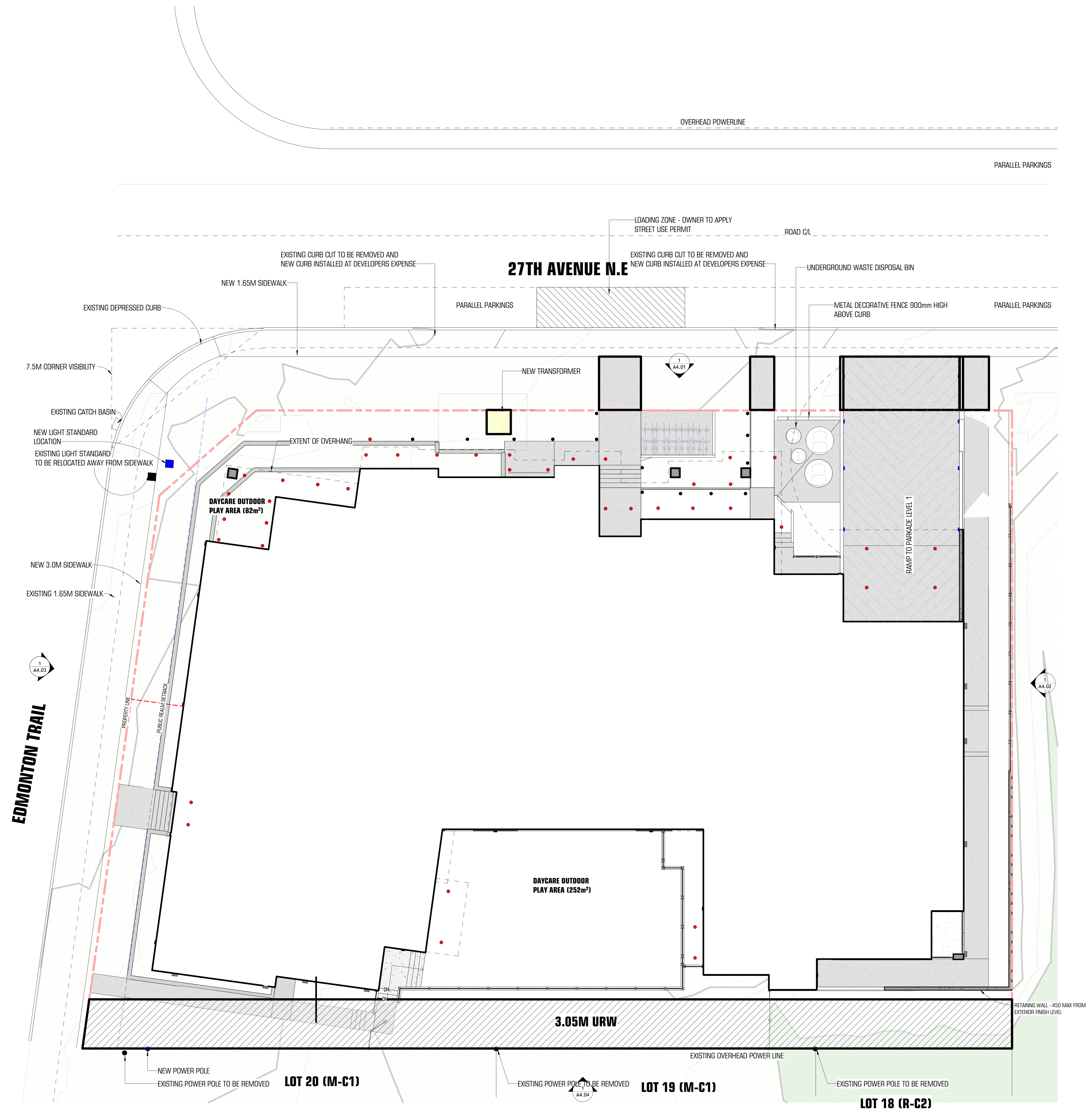
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Sheet Title

**SHADOW
STUDY**

Sheet Number

A1.04



- RECESSED BALCONY POTLIGHT - LITHONIA 4" - 10 W
- SIGN AND RECESSED COMMERCIAL POTLIGHT LITHONIA 6" - 20w
- SCONCE - DOWN SHINE - ISAAC RAE #6542 - 20w
- RECESSED COMMERCIAL POTLIGHT LITHONIA 6" - 20w
- BOLLARD LIGHT - ASPEN 1900 - 10w
- ▮ DOWNSHINE LIGHT - COOPER CCW CLEARCURBE - 20w
- ▮ PARKADE RAMP WALL MOUNT LIGHT - REBELLE #1185 - 15w

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Sheet Title

SITE LIGHTING PLAN

Sheet Number

A1.05

1 SITE LIGHTING PLAN
 1 : 100



1 NORTH ELEVATION.
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
- 2 VERTICAL METAL PANEL (COLOUR - WHITE)
- 3 CEMENT BOARD PANEL (COLOUR - WHITE)
- 4 PREFINISHED METAL CLADDING - CHARCOAL
- 5 BRICK - IXL - LIGHT TAN
- 6 PREFINISHED METAL CAP FLASHING (COLOUR - CHARCOAL)
- 7 PREFINISHED METAL FASCIA / TRIM (COLOUR - WHITE)
- 8 METAL COLUMN WRAP - GREY
- 9 CONCRETE (LIGHT GREY)
- 10 INSULATED METAL DOOR (COLOUR - GREY)
- 11 ALUMINUM BALCONY RAIL / GUARD RAIL WITH TRANSPARENT GLASS PANELS
- 12 ELEVATOR OVERRUN
- 13 MECHANICAL ROOM
- 14 ROOF ACCESS
- 15 ILLUMINATED SIGNAGE – **NOT PART OF DP SCOPE**
- 16 INSULATED OVER HEAD DOOR ACCESS TO PARKADE
- 17 PRE-FINISHED METAL FENCE
- 18 DOUBLE GLAZED CLEAR GLASS PVC WINDOW
- 19 ANNOZIZED ALUMINUM STORE-FRONT WINDOW
- 20 CLEAR GLASS SINGLE SWING DOUBLE LEAF ALUMINUM DOOR
- 21 ANNOZIZED ALUMINUM SLIDING WINDOW DOOR WITH FIXED PANEL c/w DOUBLE GLAZED PANELS.
- 22 PRE-FINISHED ACM CLAD - COLOUR CHARCOAL BLACK
- 23 PRE-FINISHED ALUMINUM FLASHING FASTENED TO RIM BOARD
- 24 PRE-FINISHED METAL FENCE - COLOUR BLACK
- 25 CONCRETE STAIRS
- 26 UNDERGROUND WASTE DISPOSAL SYSTEM
- 27 SELF SUPPORTING TREATED WOOD PERGOLA
- 28 ALUMINUM BALCONY RAIL / GUARD RAIL WITH FROSTED GLASS PANELS
- 29 CONCRETE PLANTING WALL

NOTE
CHANGES TO THIS ELEVATION INCLUDE UPDATED WALL FINISHES, WITH MATERIALS INTERCHANGED BETWEEN WALL AREAS — NO NEW MATERIALS INTRODUCED.

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15	MECHANICAL ROOM (SERVICE ROOM) ADDED
17	RAMPS AND FENCE REMOVED
18	PLANTING WALL PROVIDED

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Sheet Title

**NORTH
ELEVATION**

Sheet Number

A4.01



1 EAST ELEVATION.
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
- 2 VERTICAL METAL PANEL (COLOUR - WHITE)
- 3 CEMENT BOARD PANEL (COLOUR - WHITE)
- 4 PREFINISHED METAL CLADDING - CHARCOAL
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Sheet Title

**EAST
ELEVATION**

Sheet Number

A4.02



1 WEST ELEVATION
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
- 2 VERTICAL METAL PANEL (COLOUR - WHITE)
- 3 CEMENT BOARD PANEL (COLOUR - WHITE)
- 4 PREFINISHED METAL CLADDING - CHARCOAL
- 5 BRICK - IXL - LIGHT TAN
- 6 PREFINISHED METAL CAP FLASHING (COLOUR - CHARCOAL)
- 7 PREFINISHED METAL FASCIA / TRIM (COLOUR - WHITE)
- 8 METAL COLUMN WRAP - GREY
- 9 CONCRETE (LIGHT GREY)
- 10 INSULATED METAL DOOR (COLOUR - GREY)
- 11 ALUMINUM BALCONY RAIL / GUARD RAIL WITH TRANSPARENT GLASS PANELS
- 12 ELEVATOR OVERRUN
- 13 MECHANICAL ROOM
- 14 ROOF ACCESS
- 15 ILLUMINATED SIGNAGE — **NOT PART OF DP SCOPE**
- 16 INSULATED OVER HEAD DOOR ACCESS TO PARKADE
- 17 PRE-FINISHED METAL FENCE
- 18 DOUBLE GLAZED CLEAR GLASS PVC WINDOW
- 19 ANNOXIDIZED ALUMINUM STORE-FRONT WINDOW
- 20 CLEAR GLASS SINGLE SWING DOUBLE LEAF ALUMINUM DOOR
- 21 ANNOXIDIZED ALUMINUM SLIDING WINDOW DOOR WITH FIXED PANEL c/w DOUBLE GLAZED PANELS.
- 22 PRE-FINISHED ACM CLAD - COLOUR CHARCOAL BLACK
- 23 PRE-FINISHED ALUMINUM FLASHING FASTENED TO RIM BOARD
- 24 PRE-FINISHED METAL FENCE - COLOUR BLACK
- 25 CONCRETE STAIRS
- 26 UNDERGROUND WASTE DISPOSAL SYSTEM
- 27 SELF SUPPORTING TREATED WOOD PERGOLA
- 28 ALUMINUM BALCONY RAIL / GUARD RAIL WITH FROSTED GLASS PANELS
- 29 CONCRETE PLANTING WALL

NOTE
CHANGES TO THIS ELEVATION INCLUDE UPDATED WALL FINISHES, WITH MATERIALS INTERCHANGED BETWEEN WALL AREAS — NO NEW MATERIALS INTRODUCED.

Professional Seal

Prime Consultant
MC+A
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401, 1040 - 7 Ave. SW Calgary, Alberta, Canada
Tel: 403 - 269 - 5959 Fax 403 - 233 - 8149
www.mcplusa.ca
Client

Project Managers

Consultants

Project Phase

**ISSUED FOR REVISION TO
DP2024-03659**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Re-DTR

Revisions:

Rev. #	Revision Description
18	PLANTING WALL PROVIDED

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.

1296

Date

Scale

As indicated

Drafted By

N.S

CHECKED BY:

S.D - MC+A

Sheet Title

**WEST
ELEVATION**

Sheet Number

A4.03



1 SOUTH ELEVATION
1 : 75

- 1 CEMENT BOARD PANEL (COLOUR - LIGHT GREY)
- 2 VERTICAL METAL PANEL (COLOUR - WHITE)
- 3 CEMENT BOARD PANEL (COLOUR - WHITE)
- 4 PREFINISHED METAL CLADDING - CHARCOAL
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NOTE
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Project Managers

Consultants

Project Phase

**ISSUED FOR REVISION TO
DP2024-03659**

Issue / Date

Date	Issue Description
2025-10-31	Issued for Rv-01R

Revisions:

Rev. #	Revision Description
16	BALCONY RAILING ADDED

Project Title

THE BALOCH

Project Municipal Address

409, 27TH AVENUE NE CALGARY, AB

Project Legal Address

LOT 31 BLOCK 7A PLAN 24111737

MC+A file No.

1296

Date

Scale

As indicated

Drafted By

N.S

CHECKED BY:

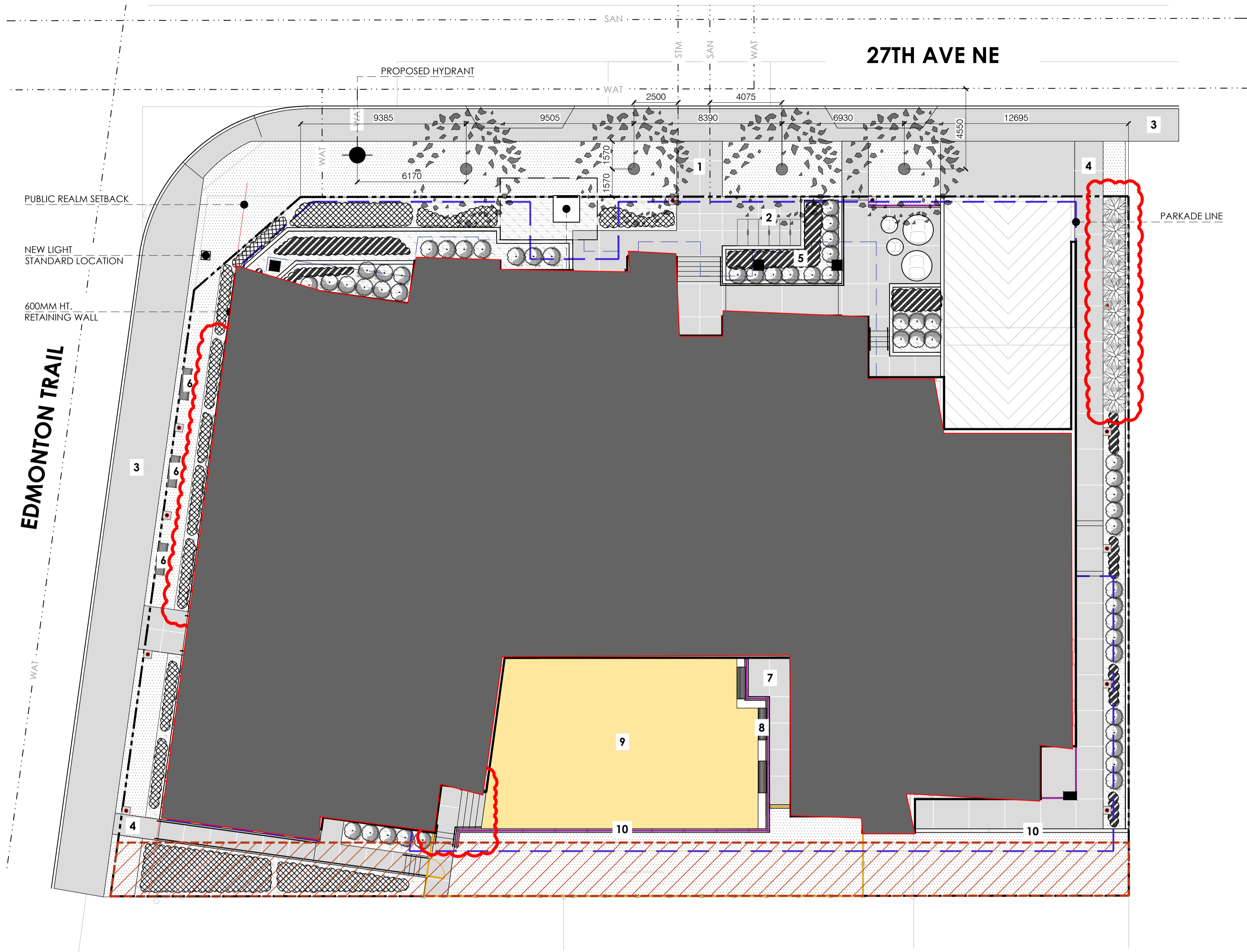
S.O - MC+A

Sheet Title

SOUTH ELEVATION

Sheet Number

A4.04



GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- ALL LANDSCAPE AREAS OUTSIDE OF PARKADE TO HAVE MINIMUM 300MM TOPSOIL FOR SODDED AREAS AND 600MM TOPSOIL FOR SHRUBS AND TREE BEDS.
- TOPSOIL AVAILABLE FOR PLANTINGS OVER PARKADE
TREES 1200MM
SHRUBS 600MM
GRASS & PERENNIALS 300MM

LANDSCAPE ANALYSIS

SITE AREA: 2162.11 SQ.M.
 PROVIDED LANDSCAPED AREA = 970.83 SQ.M.
 TOTAL TREES PROVIDED WITHIN PROPERTY = 10
 CONIFEROUS TREES PROVIDED = 10
 CONIFEROUS TREES WITH MIN. 3000MM HT. REQUIRED = 05
 PROVIDED = 05
 REMAINING CONIFEROUS TREES TO HAVE MIN. 2000MM HT.
 TOTAL SHRUBS PROVIDED = 76

LEGEND

- URW
- REGULAR GREY COLOR CONCRETE
- PLAY AREA RUBBER SURFACE
- FESCUE SOD
- PLANTING BED WITH CHARCOAL MULCH
- DECIDUOUS TREES
- CONIFEROUS TREES
- DECIDUOUS SHRUBS
- PERENNIALS
- ORNAMENTAL GRASSES
- 1800MM HEIGHT SEE THROUGH METAL FENCE
- 1700MM METAL GUARDRAIL
- EXTENT OF OVERHANG
- GUARDRAIL
- PARKADE LINE
- PROPERTY LINE
- BENCH
- CLASS 2 BIKE STALLS
TOTAL QUANTITY: 3 RACKS (6 STALLS)
- BOLLARD
- AREAS UPDATED WITH REFERENCE TO DP DRAWING DATED 25/11/03

DESIGN ELEMENTS

- MAIN ENTRY
- BIKE PARKING
- PUBLIC SIDEWALK
- PEDESTRIAN WALKWAY
- LANDSCAPE PLANTING BED TYP.
- SEATING
- PATIO
- BENCH FOR SEATING
- PLAY AREA
- RETAINING WALL

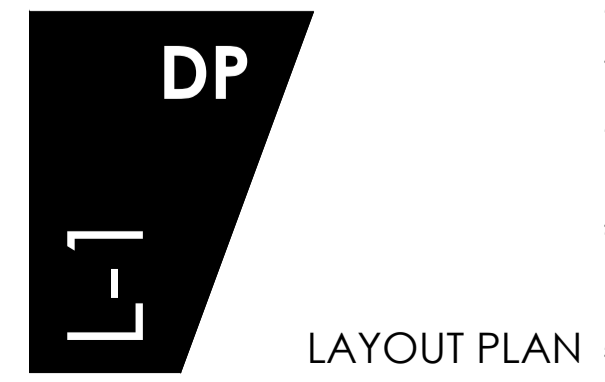
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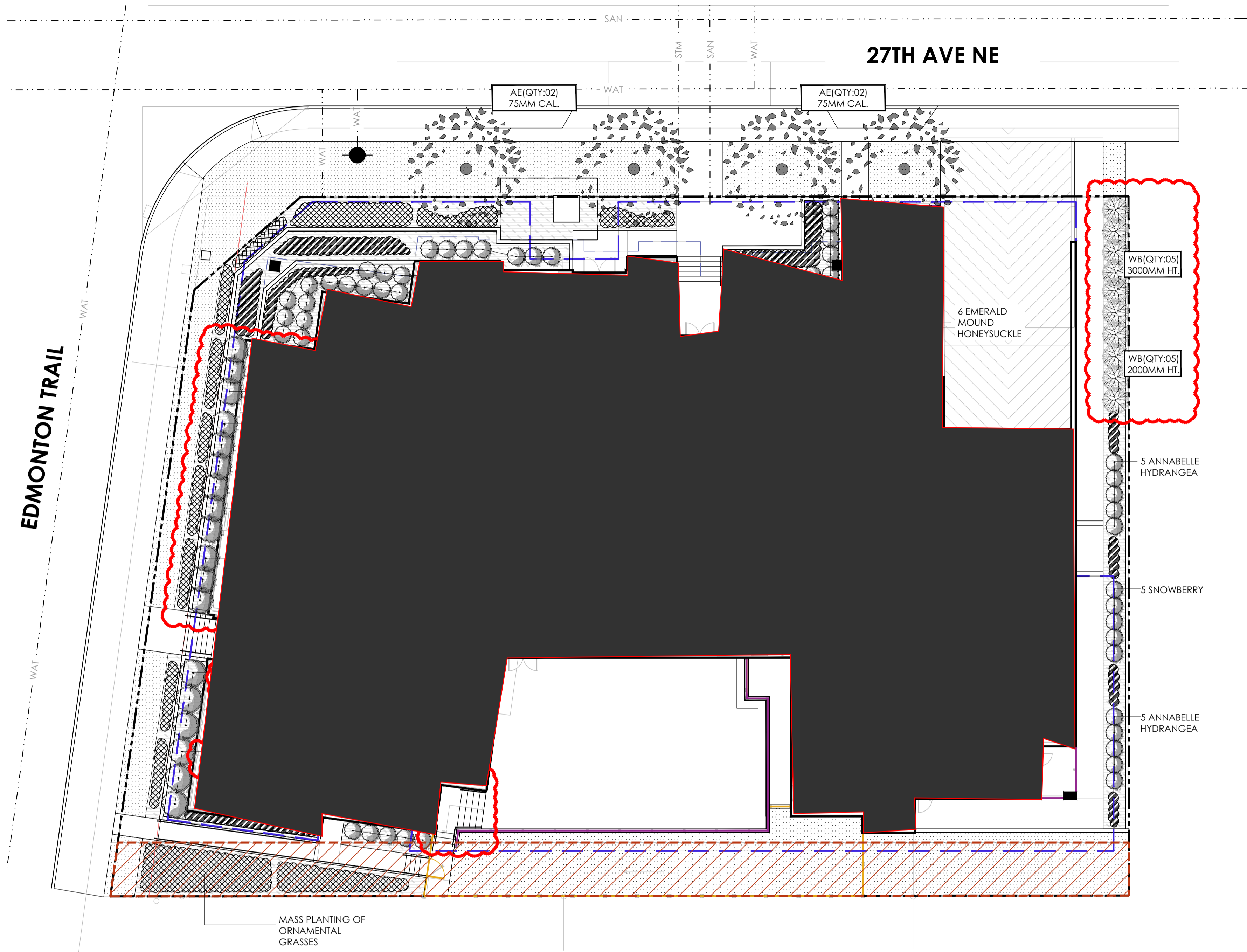
DRAWINGS TO BE READ IN COLOR








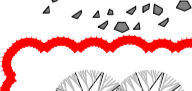

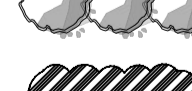



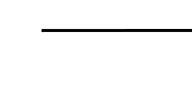
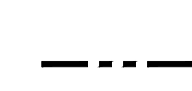

ISSUED FOR	DATE
CONCEPT	250715
REVIEW	250723
REVIEW	250725
DP REVISION	251001
DP UPDATE	251031
DP UPDATE	251103
DP UPDATE	251127
DP REVISION INFO	251205

SCALE	1:150
DATE	251205
DRAWN BY	JY
CHECKED BY	YN

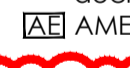
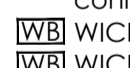





LEGEND

-  URW
-  FESCUE SOD
-  PLANTING BED WITH CHARCOAL MULCH
-  DECIDUOUS TREES
-  CONIFEROUS TREES
-  DECIDUOUS SHRUBS
-  PERENNIALS
-  ORNAMENTAL GRASSES
-  1800MM HEIGHT SEE THROUGH METAL FENCE
-  1700MM METAL GUARDRAIL
-  EXTENT OF OVERHANG
-  GUARDRAIL
-  PARKADE LINE
-  PROPERTY LINE

PLANTING SCHEDULE

common name	latin name	size/ spread	quantity
deciduous trees within boulevard (TOTAL QUANTITY: 04)			
 AMERICAN ELM	ULMUS AMERICANA	75MM CAL.	04
coniferous trees within property (TOTAL QUANTITY: 10)			
 WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA'	3000MM HT.	05
 WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA'	2000MM HT.	05
deciduous shrubs (TOTAL QUANTITY: 76)			
ARCTIC DOGWOOD	CORNUS SERICEA 'FARROW'	600MM HT.	11
ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	600MM HT.	30
EMERALD MOUND HONEYSUCKLE	LONICERA XYLOSTEUM 'EMERALD MOUND'	600MM HT.	04
ALPINE CURRANT	RIBES ALPINUM	600MM HT.	09
SNOWBERRY	SYMPHORICARPOS ALBUS	600MM HT.	11
DWARF KOREAN LILAC	SYRINGA MEYERI 'PALIBIN'	600MM HT.	09

ADDITIONAL NOTES

DRAWINGS TO BE READ IN COLOR

 AREAS UPDATED WITH REFERENCE TO DP DRAWING DATED 25/11/03

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