

SHEET NOTES

- N.01 ELECTRICAL TRANSFORMER (REFER TO ELECTRICAL DRAWINGS)
 - N.02 PARKADE ENTRY SIGN
 - N.03 WASTE & RECYCLING ROOM REFER TO DRAWING #1-DP.002 FOR DETAILS
 - N.04 ALARM PANEL LOCATED AT ENTRY VESTIBULE.
 - N.05 CALGARY FIRE DEPARTMENT APPROVED LOCKBOX
 - N.06 NOT IN USE
 - N.07 TIME LOADING ZONE WITH SIGN INDICATING CONTROLLED ACCESS PERIOD
 - N.08 TRENCH DRAIN (BELOW - REFER TO CIVIL DRAWINGS)
 - N.09 PLANTERS. REFER TO LANDSCAPE PLANS
 - N.10 SU-9 COLLECTION VEHICLE SWEEP RADIUS. ALL PORTIONS OF COLLECTION ROUTE STRUCTURALLY CAPABLE OF SUPPORTING 25000KG. SHOWN ON DP.102
 - N.11 FIRE DEPARTMENT CONNECTION - SIAMESE
 - N.12 RETAINING WALL ABOVE 1.2M. STAMPED STRUCTURAL DRAWINGS TO BE PROVIDED
 - N.13 PROPOSED CATCH BASIN
 - N.14 CLASS II BIKE RACKS. CAPACITY:7. REFER TO DRAWINGS #5-DP.002 FOR DETAILS
 - N.15 PROPERTY LINE
 - N.16 SETBACK LINE
 - N.17 WASTE & RECYCLING SCREEN CW GATE
 - N.18 REGULAR DUTY CONCRETE SURFACE
 - N.19 CONCRETE WALKWAY
 - N.20 EXISTING CONCRETE WALKWAY
 - N.21 CONCRETE APRON
 - N.22 OUTDOOR SUITE PATIO AREA
 - N.23 NON-FREEZE HOSE BIB CW TAMPER PROOF CLOSURE (N.F.H.B.)
 - N.24 AREA DRAIN / CATCH BASIN (REFER TO CIVIL DRAWINGS)
 - N.25 NEW CONCRETE CURB PER CITY OF CALGARY STANDARDS MATCH EXISTING ADJACENT CURB PROFILE
 - N.26 SURFACE SWALE (REFER TO CIVIL DRAWINGS)
 - N.27 EXISTING POWER POLE TO REMAIN
 - N.28 GAS METER (REFER TO CIVIL & MECHANICAL DRAWINGS)
 - N.29 CONCRETE FILLED STEEL BOLLARD
- PRINCIPAL ENTRANCE
 FIRE DEPARTMENT CONNECTION

GENERAL NOTES

- A. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
- B. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
- C. REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER AND PROPERTY LINE DIMENSIONS.
- D. ALL SITE REHABILITATION OF SIDEWALKS AND LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
- E. EXISTING SIDEWALK ELEVATIONS TO TIE INTO REVISED GRADING.
- F. REFER TO GEOTECHNICAL REPORT FOR SURFACE AND SUBSURFACE REQUIREMENTS.
- G. REFER TO CIVIL FOR MAIN FLOOR & SITE GEODETICS.
- H. REFER TO CIVIL FOR SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, EXISTING CONDITIONS AND SERVICES, CATCH BASINS, MANHOLES, GRADES, UPSTAND WALLS, SITE SERVICES & FIRE HYDRANTS.
- I. REFER TO ELECTRICAL FOR SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO, TRANSFORMER LOCATIONS, LIGHTING LAYOUT, FIXTURE TYPES & SECURITY.
- J. BUILDING LOCATION TIE-IN REFERENCE POINT IS LOCATED ON THE SW CORNER PROPERTY LINE INTERSECTION AS NOTED.
- K. REFER TO TYPICAL SITE DETAIL SHEET FOR ADDITIONAL INFORMATION AND DETAIL DRAWINGS.
- L. REFER TO TYPICAL SITE DETAIL SHEET FOR SITE SIGNAGE INFORMATION.

SYMBOLS

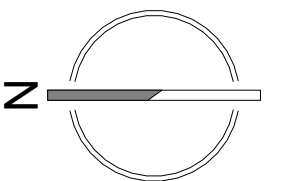
- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- WALL SCONCE - SEE DRAWING #6 - DP.002

WASTE & RECYCLING CAPACITY

BYLAW REQUIREMENTS:
 RESIDENTIAL: 15.84M³
TOTAL: 15.84M³ REQUIRED
PROPOSED CAPACITY: 4 X 4.6M³ = 18.4M³
WASTE: 18.5M³ PROPOSED

AMENDED DRAWINGS
 DP No Date Received
 DP2025-02030 02 JUNE 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



RELEASES

NO	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2025-03-03
C	DP REVISION	2026-05-26
D	DP RESUBMISSION	2026-05-29

- CONSTRUCTION
- TENDER 2022-12-09
- BUILDING PERMIT 2022-12-09

MUNICIPAL ADDRESS

2318 15TH STREET SW
CALGARY, ALBERTA

LEGAL ADDRESS

PLAN 306L, BLOCK 2, LOTS 12-17

PROJECT NUMBER

19.17.

DRAWN CHECKED

KIA LK

DATE SCALE

2026-05-29 1:100

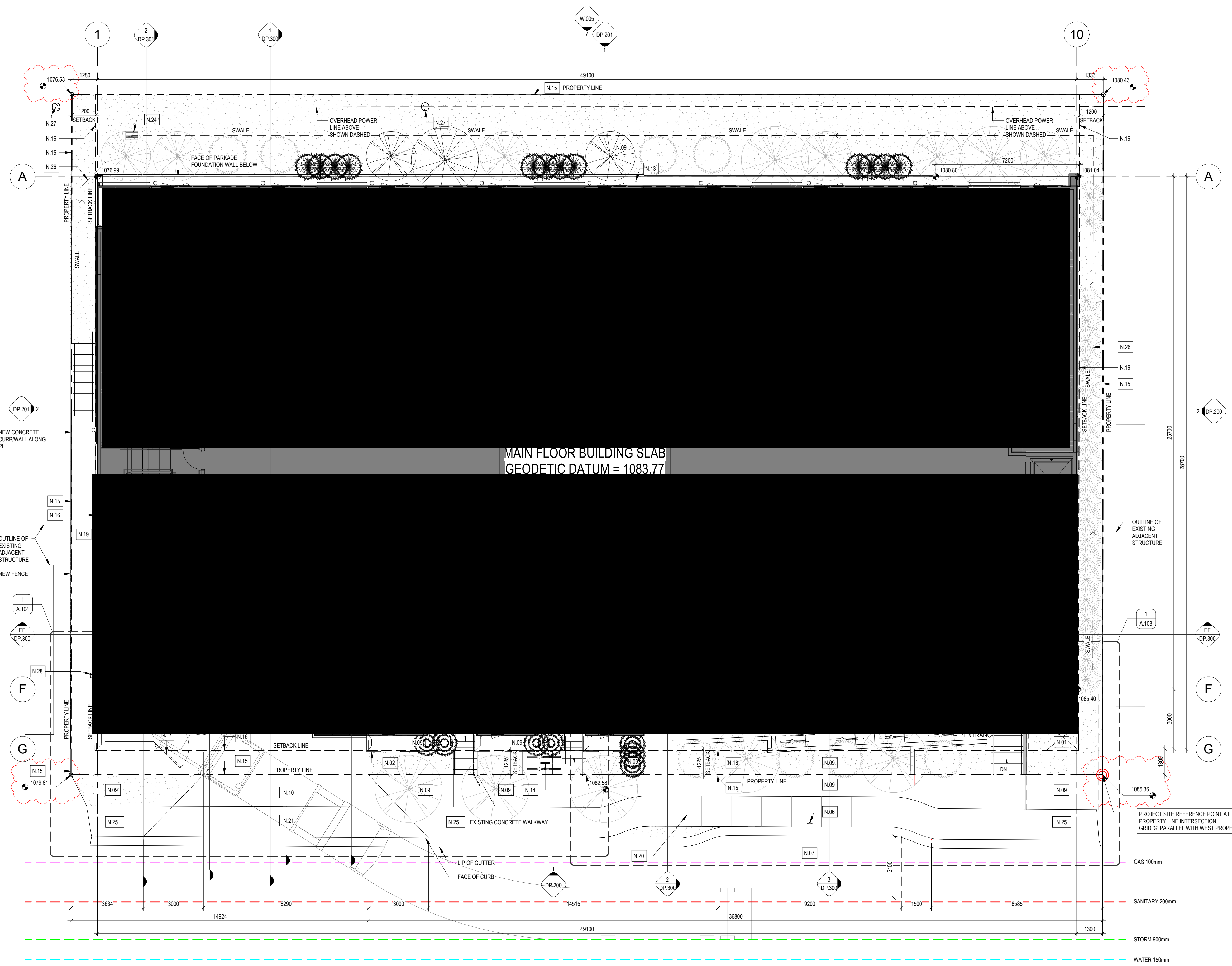
DRAWING TITLE

SITE PLAN

DRAWING NUMBER

DP.100

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15TH STREET SW

1 DP SITE PLAN
 DP.100 1:100

FILE PATH: AutoCAD Docs\1917 - ECC Building Permit - 0231911 - ECC - 8802319 - 822147
 PLOT DATE: 2026-05-29 09:23:53 AM

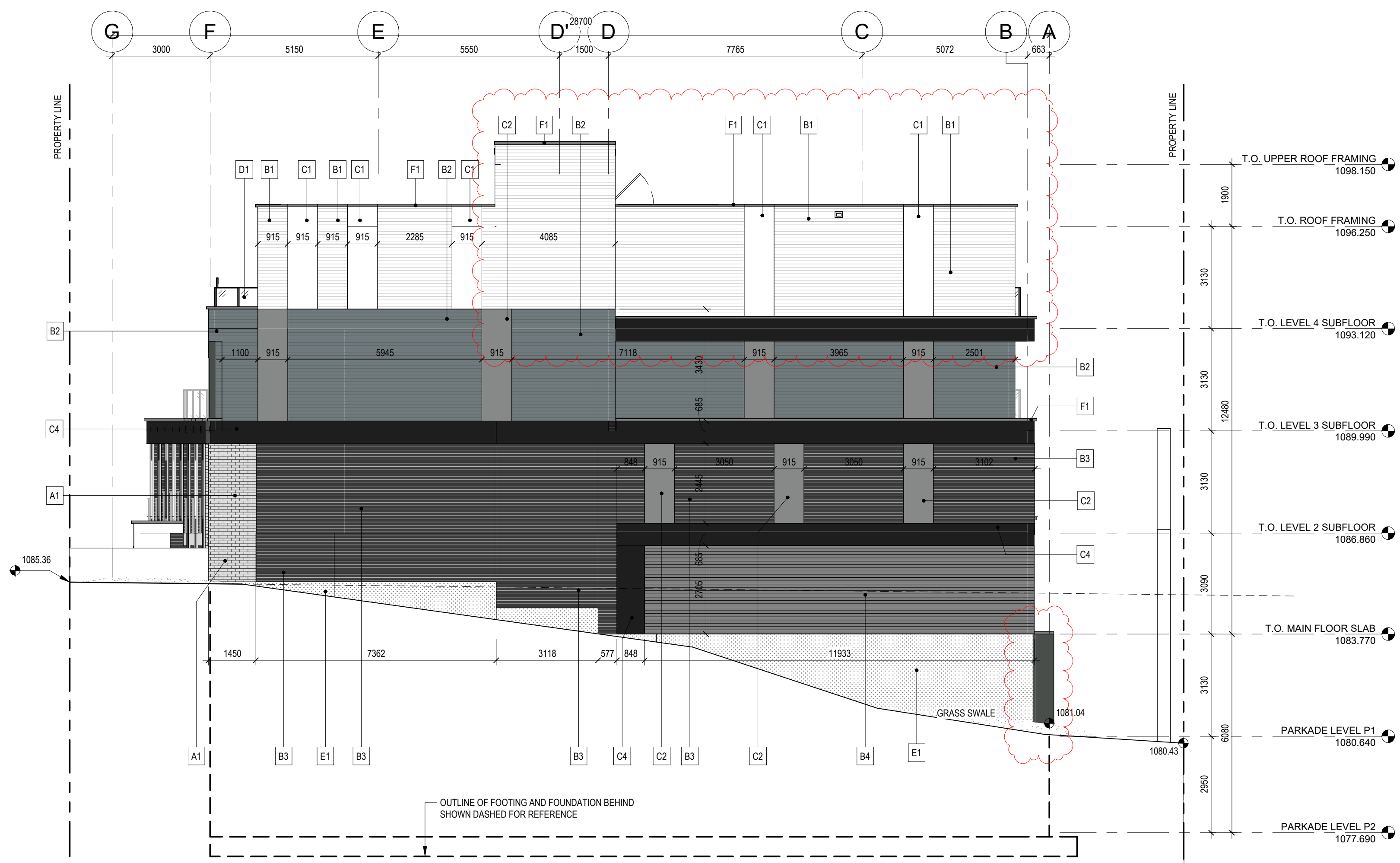
EXTERIOR FINISH MATERIAL LEGEND

- A - BRICK
- A1] THIN BRICK VENEER - GRAPHITE
- B - CEMENTITIOUS SIDING
- B1] CEMENTITIOUS LAP SIDING - ARCTIC WHITE (CEDAR MILL)
- B2] CEMENTITIOUS LAP SIDING - LIGHT MIST (CEDAR MILL)
- B3] CEMENTITIOUS LAP SIDING - IRON GRAY (CEDAR MILL)
- B4] CEMENTITIOUS LAP SIDING - IRON GRAY (CEDAR MILL)
- C - CEMENTITIOUS PANEL
- C1] CEMENTITIOUS PANEL - ARCTIC WHITE (SMOOTH)
- C2] CEMENTITIOUS PANEL - GRAY SLATE SMOOTH
- C3] CEMENTITIOUS PANEL - IRON GRAY (SMOOTH)
- C4] CEMENTITIOUS PANEL - MIDNIGHT BLACK
- C5] CEMENTITIOUS PANEL - IRON GRAY (SMOOTH)
- D - GLAZING
- D1] FROSTED GLASS GUARD C/W ALUMINUM FRAME
- D2] GLASS CURTAIN WALL C/W ALUMINUM FRAME
- D3] VISION GLASS
- E - CONCRETE FACED INSULATION
- E1] CONCRETE FACED INSULATION
- F - METAL CLADDING
- F1] PREFINISHED METAL FLASHING - CHARCOAL

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



1 WEST EXTERIOR ELEVATION
DP 200 1:100



2 SOUTH EXTERIOR ELEVATION
DP 200 1:100

RELEASES

NO	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2025-03-03
B	DP REVISION	2026-04-29
D	DP RESUBMISSION	2026-05-29

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- TENDER 2022-12-09
- BUILDING PERMIT 2022-12-09

MUNICIPAL ADDRESS
2318 15TH STREET SW
CALGARY, ALBERTA

LEGAL ADDRESS
PLAN 380L, BLOCK 2, LOTS 12-17

PROJECT NUMBER
19.17.

DRAWN CHECKED
AMH LK

DATE SCALE
2026-05-29 1:100

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER

AMENDED DRAWINGS
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 DP2025-02030 02 JUNE 2026
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DP.200

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MUNICIPAL ADDRESS
2318 15TH STREET SW
CALGARY, ALBERTA

LEGAL ADDRESS
PLAN 388L, BLOCK 2, LOTS 12-17

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DRAWN CHECKED
AMH LK

DATE SCALE
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DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER

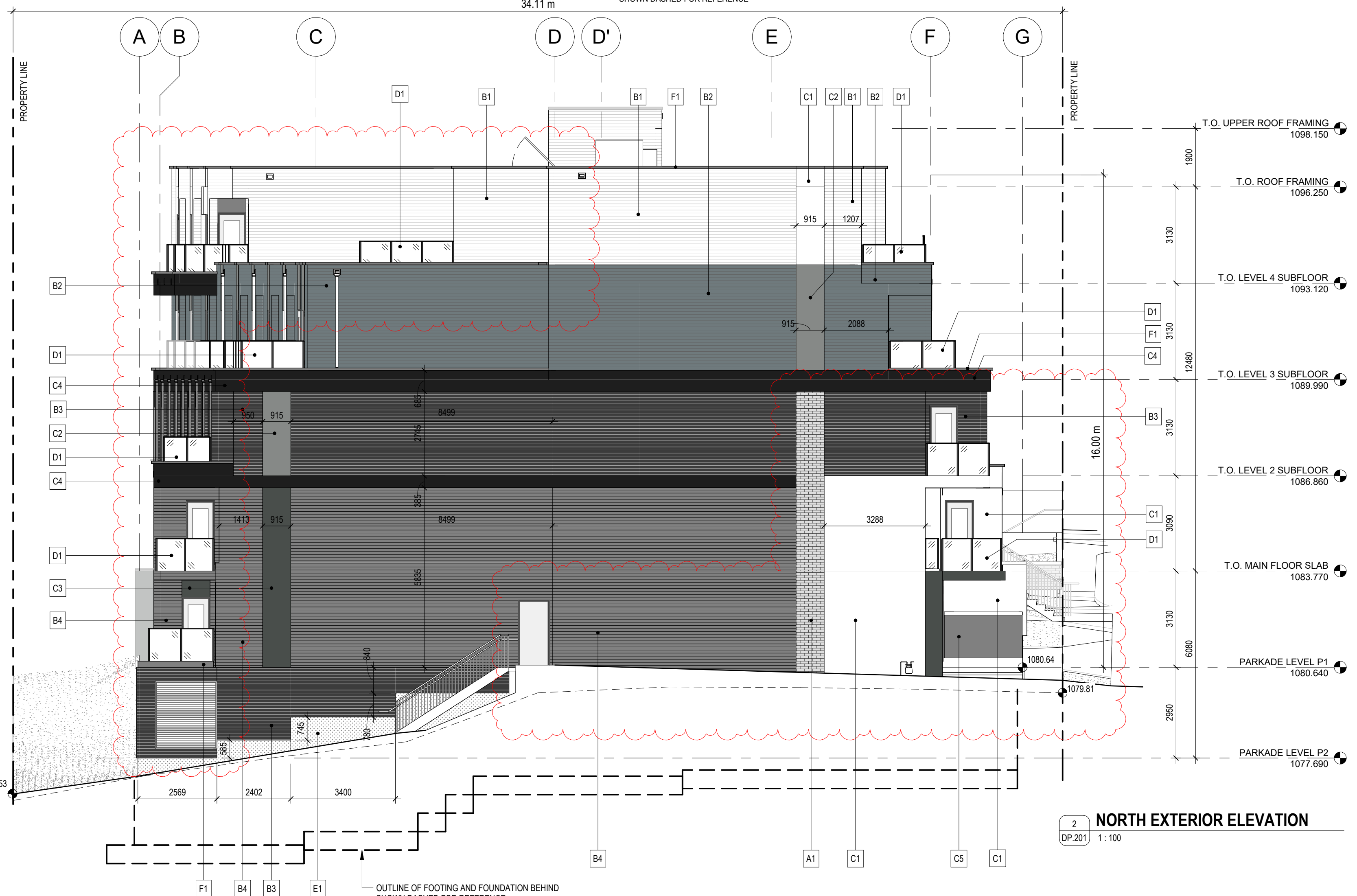
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1 EAST EXTERIOR ELEVATION
DP.201 1:100



2 NORTH EXTERIOR ELEVATION
DP.201 1:100

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