



DEVELOPMENT NOTES

LAND USE (BY-LAW 17007)
DISTRICT (SPECIAL PURPOSE) - SCHOOL, PARK AND COMMUNITY RESERVE (S-SPR) DISTRICT
USE: "SCHOOL AUTHORITY - SCHOOL"
REQUIRED SETBACK: 3m

VEHICLE PARKING
15.1.1 (GROUP A - SCHOOL AUTHORITY - SCHOOL)
10 MOTOR VEHICLE PARKING STALLS PER 100.0 SQUARE METERS OF GROSS USABLE FLOOR AREA.
BARRIER FREE STALLS
NATIONAL BUILDING CODE - ALBERTA EDITION
TABLE 3.2.2.2 BETWEEN 0-100 STALLS REQUIRES 4 DESIGNATED STALLS

PICK-UP / DROP-OFF
29.1 (C) FOR THE MAXIMUM NUMBER OF STUDENTS THAT MAY BE ENROLLED IN UNDERGRADUATE TO GRADE 9, A MINIMUM 25 PICK-UP AND DROP-OFF STALLS PER 100 STUDENTS WITH A MINIMUM OF 5.0 PICK-UP AND DROP-OFF STALLS

CLASS 1 BICYCLE PARKING
29.1 (B) REQUIRES A MINIMUM NUMBER OF BICYCLE PARKING STALLS - CLASS 1 EQUAL TO 3.0 PER CENT OF THE MAXIMUM NUMBER OF EMPLOYEES, AND

CLASS 2 BICYCLE PARKING
29.1 (B) REQUIRES A MINIMUM NUMBER OF BICYCLE PARKING STALLS - CLASS 2 EQUAL TO 10.0 PER CENT OF THE MAXIMUM NUMBER OF STUDENTS AS STATED IN THE DEVELOPMENT PERMIT

4.0 (F) FLOOR AREA 100 - 55 PARKING STALLS REQUIRED
55 STALLS - 4 BARRIER FREE STALLS - 51 TOTAL PARKING STALLS PROVIDED

K-4 GRADE CONFIGURATION
500 STUDENT CAPACITY - 18.25 PARENT PICK-UP/DROP-OFF STALLS REQUIRED
19 PARENT PICK-UP/DROP-OFF STALLS PROVIDED

MAXIMUM NUMBER OF EMPLOYEES: 100
CLASS 1 BICYCLE STALLS REQUIRED: 3
CLASS 1 BICYCLE STALLS PROVIDED: 4 (SEE PLAN 01)

MAXIMUM NUMBER OF STUDENTS: 650
CLASS 2 BICYCLE STALLS REQUIRED: 65
CLASS 2 BICYCLE STALLS PROVIDED: 112 (SEE LANDSCAPE)

Area Schedule (Gross Building)	
Area	Name
5 161 m²	MAN LEVEL
101 m²	MECH 2
211 m²	MECH 1
4 473 m²	TOTAL BUILDING AREA
TOTAL PARCEL AREA: 41 181 m²	
FLOOR AREA (BAY): 9 133	
PARCEL COVERAGE: 15.2%	

- KEY PLAN**
- NOTES**
- ALL SITE WORK INSIDE PROPERTY LINES AND TO THE BACK OF CITY OF CALGARY SIDEWALKS OR STREET CURBS TO BE INCLUDED AS WORK UNDER THIS CONTRACT.
 - THE CONTRACTOR IS RESPONSIBLE AND IS LIMITED TO ALL CONSTRUCTION WITHIN THE PROPERTY LINES AS INDICATED ON THIS DRAWING. THE CONTRACTOR IS TO MAKE GOOD ALL EXISTING SURFACES WITHIN AND BEYOND THE CONTRACT LIMITS THAT ARE AFFECTED BY CONSTRUCTION.
 - THE COST OF NEW AND REMEDIAL WORK TO CITY OF CALGARY'S CURBS, APRONS, SIDEWALKS AND ASSOCIATED WORK, LOCATED OUTSIDE OF THE LIMITS OF THIS CONTRACT, AND ASSOCIATED WITH THIS WORK ARE TO BE INCLUDED UNDER THIS CONTRACT.
 - CONTRACTOR TO VERIFY AND FLAG ALL LOCATIONS OF ALL UNDERGROUND SERVICES BEFORE ANY COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGE.
 - SUB-BASE UNDER LANDSCAPING AREAS TO BE 150mm BELOW FINISHED GRADE, AS SHOWN, AND IS TO BE INCLUDED UNDER THIS CONTRACT. PLANTING AND TOPSOIL TO BE INCLUDED UNDER THE LANDSCAPE CONTRACTOR'S SCOPE OF WORK.
 - COORDINATE ALL MECHANICAL AND ELECTRICAL CONSTRUCTION WITH THE MECHANICAL, ELECTRICAL, AND CIVIL DRAWINGS.
 - GRADES SHOWN AT THE JUNCTION OF ASPHALT AND CURBING OR SIDEWALKS ARE TOP OF ASPHALT, UNLESS OTHERWISE NOTED.
 - BROOM FINISH ALL STRUCTURAL APRONS, STEPS, AND RAMPS, UNLESS OTHERWISE NOTED.
- LEGEND**
- DOOR LOCATION
 - CD PROPOSED CURB DEPRESSION, SEE CIVIL
 - DO# PROPOSED STUDENT CAR DROP OFF
 - BO# PROPOSED STUDENT BUS DROP OFF
 - BF# PROPOSED BARRIER FREE PARKING
 - N NEW MANHOLE, SEE CIVIL
 - EX EXISTING MANHOLE, SEE CIVIL
 - # SIGNAGE, SEE A02-04 FOR DETAILS AND TYPES
- LEGAL DESCRIPTION:**
LOT: 67 MSR
BLOCK: 53
PLAN: 1115046
- CIVIC ADDRESS:**
1110 EVANSTON DR NW
CALGARY, ALBERTA

DISCLAIMER
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT, AND SHALL NOT BE REPRODUCED OR COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION OF THE OWNER. FIGURED DIMENSIONS ONLY ARE TO BE TAKEN FROM THESE DRAWINGS. DO NOT SCALE FROM DRAWINGS. CONTRACTOR IS TO SITE VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. PLOT THIS DRAWING ON AN A0 SIZED SHEET

DATE	REV.	DESCRIPTION	DRAWN BY	CHECKED BY
2025.04.30	4	ISSUED FOR REVISED DP R1	KPS	LMD
2025.04.02	3	ISSUED FOR DD	SH	JDP
2025.03.27	2	ISSUED FOR DP	JDP	
2024.12.24	1	ISSUED FOR SD		

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2024-01859 May 14 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

FWBA ARCHITECTS
LEITHBRIDGE - CALGARY - MEDICINE HAT
TEL 403.327.3113 www.fwbarch.com

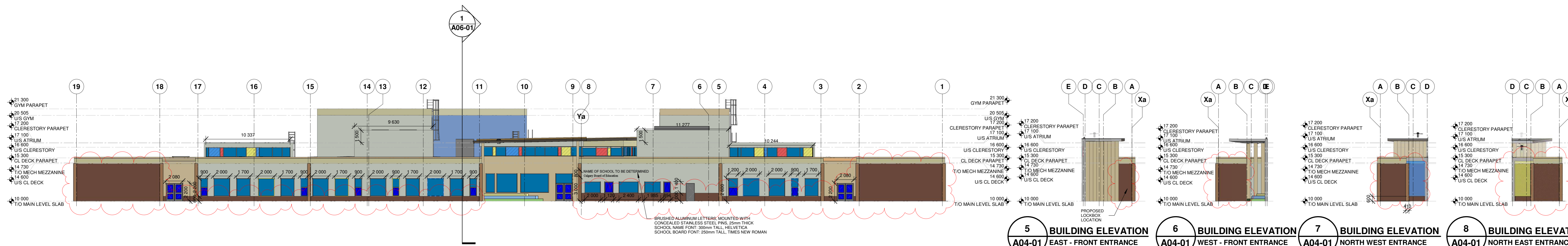


PROJECT
EVANSTON K-4 SCHOOL
CALGARY, AB

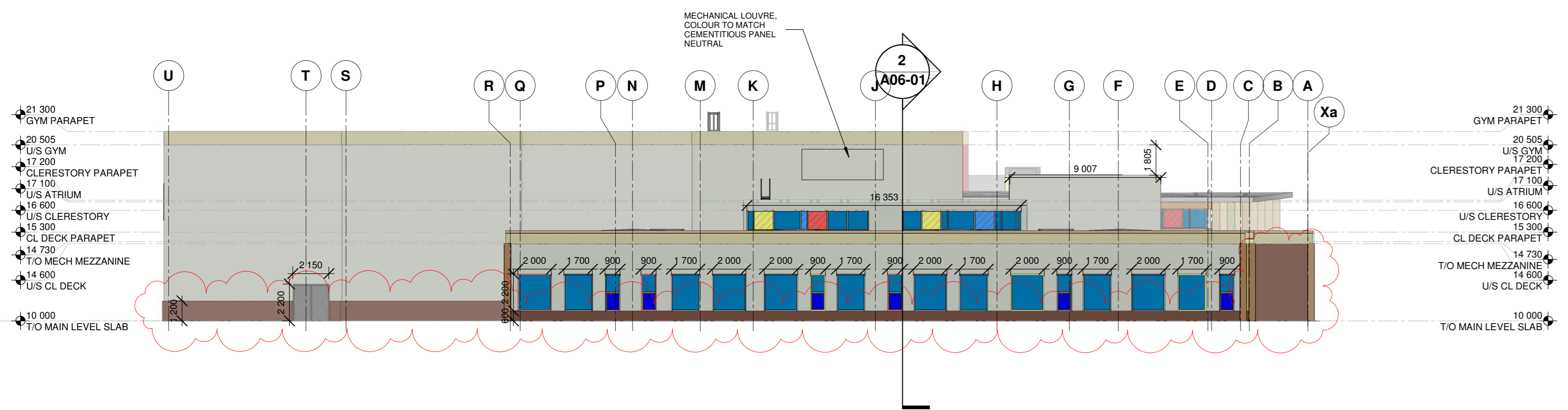
TITLE
SITE PLAN

SEAL	DRAWN BY:	CHECKED BY:	SCALE:
	JDP		As indicated
	DATE	SITE ID:	
	2024.12.24		
	PLAN NO.	PHASE	DISCIPLINE
	PROJECT ID	SHEET NO.	
	24072	A02-01	

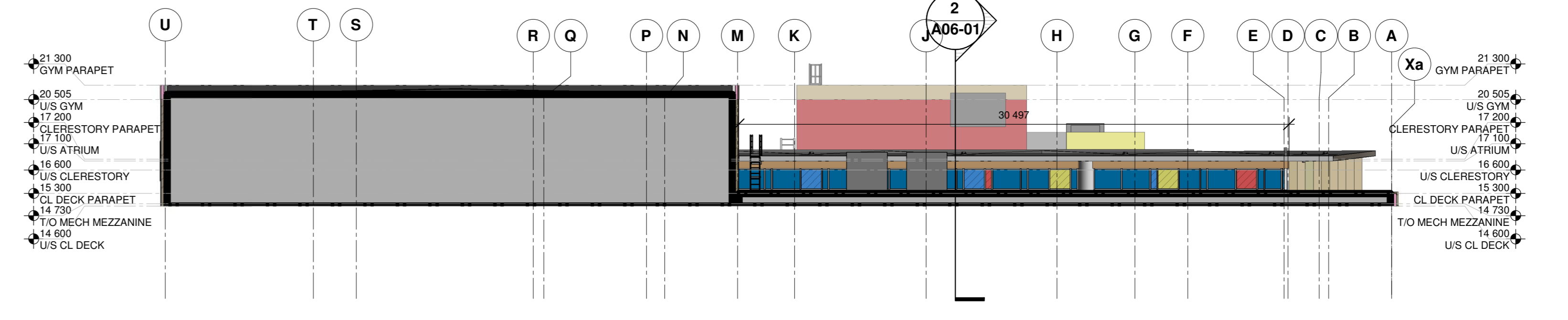
1 PLAN
A05-01 01 SITE PLAN
1 : 500



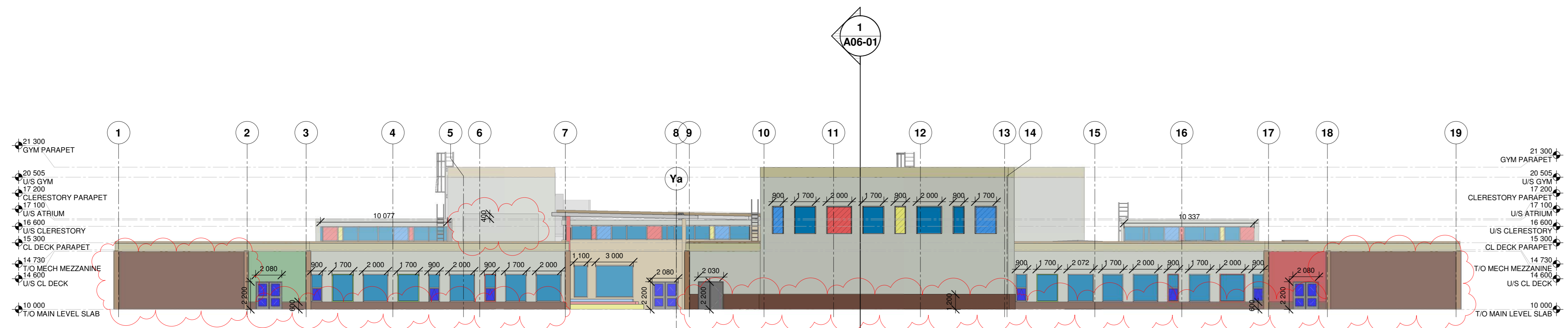
1 BUILDING ELEVATION
A04-01 NORTH
1 : 200



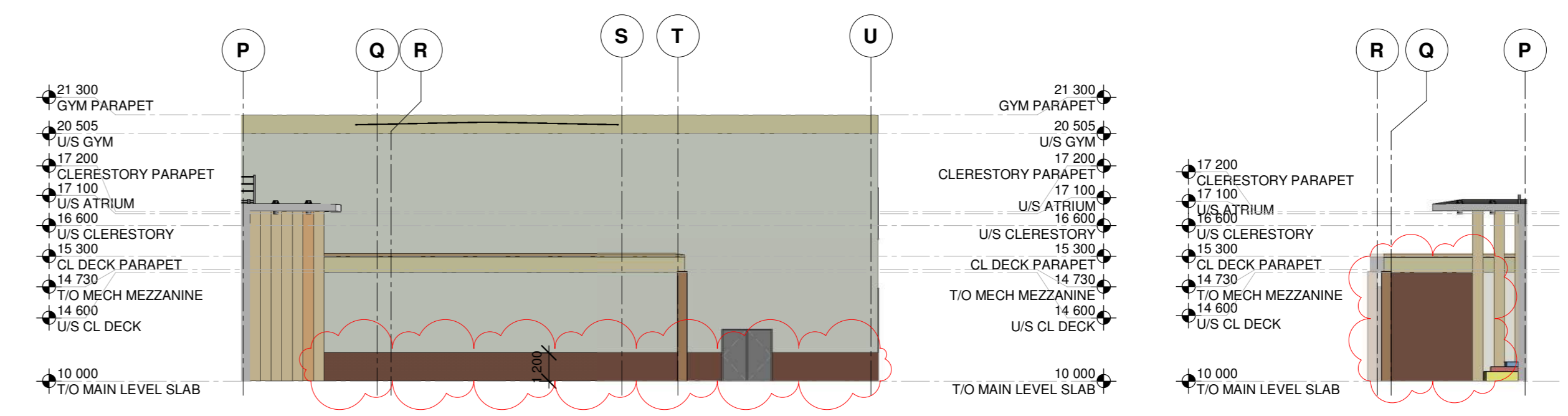
2 BUILDING ELEVATION
A04-01 EAST
1 : 200



9 BUILDING ELEVATION
A04-02 EAST - ATRIUM CLERESTORY
1 : 200

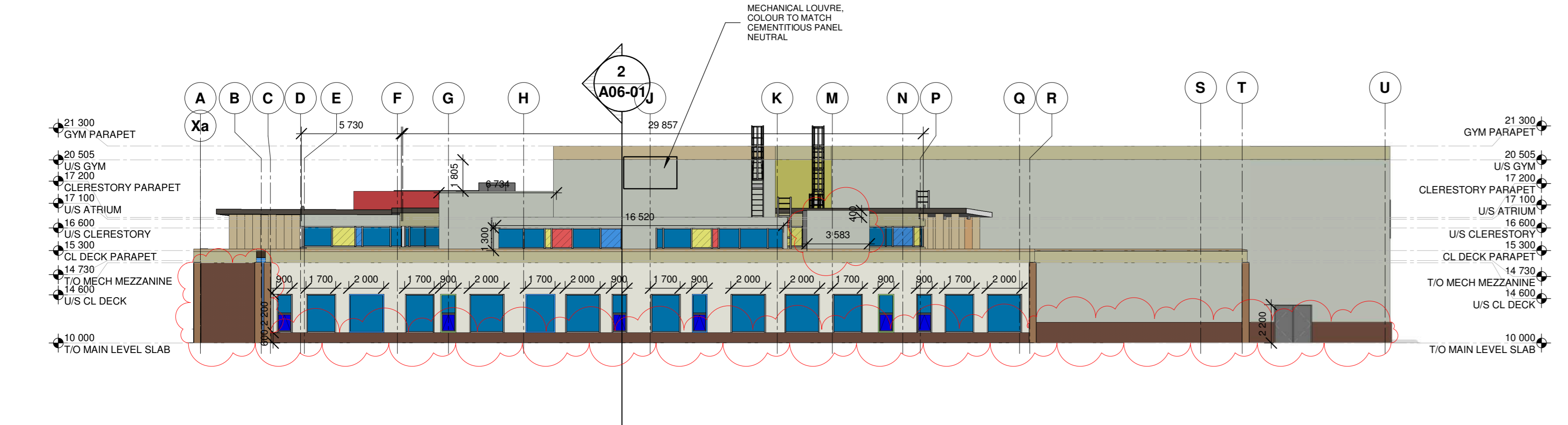


3 BUILDING ELEVATION
A04-03 SOUTH
1 : 200

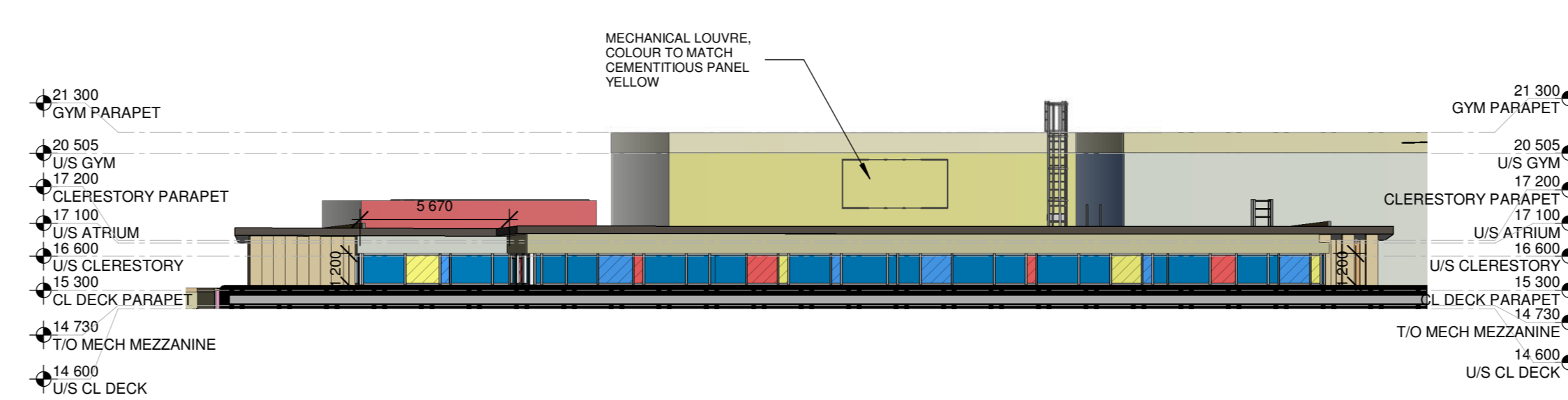


10 BUILDING ELEVATION
A04-01 WEST - BACK ENTRANCE
1 : 200

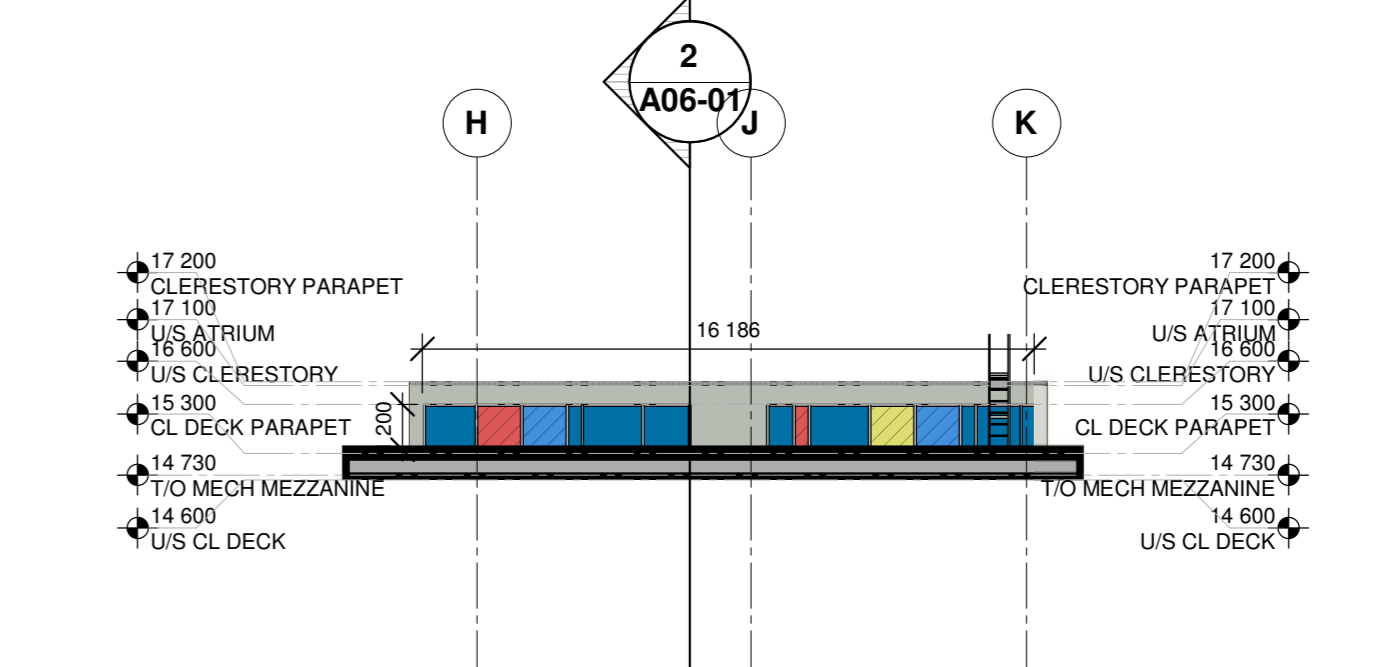
11 BUILDING ELEVATION
A04-01 EAST - BACK ENTRANCE
1 : 200



4 BUILDING ELEVATION
A04-01 WEST
1 : 200



12 BUILDING ELEVATION
A04-02 WEST - ATRIUM CLERESTORY
1 : 200



13 BUILDING ELEVATION
A04-02 WEST - WET LAB CLERESTORY
1 : 200

KEY PLAN

NOTES

MATERIAL LEGEND

- 1 CEMENTITIOUS PANEL - NEUTRAL - ASHLAR PATTERN
- 2 CEMENTITIOUS PANEL - RED
- 3 CEMENTITIOUS PANEL - BLUE
- 4 CEMENTITIOUS PANEL - YELLOW
- 5 CEMENTITIOUS PANEL - WOOD LOOK, TYPE 1
- 6 CEMENTITIOUS PANEL - WOOD LOOK, TYPE 2
- 7 CEMENTITIOUS PANEL - GREEN
- 8 PREFINISHED METAL FLASHING - YELLOW TO MATCH #1
- 9 PREFINISHED METAL FLASHING - GREEN TO MATCH #7
- 10 PREFINISHED METAL FLASHING - BLUE TO MATCH #3
- 11 PREFINISHED METAL FLASHING - RED TO MATCH #2
- 12 LAMINATED RED GLASS (TRANSPARENT)
- 13 LAMINATED BLUE GLASS (TRANSPARENT)
- 14 LAMINATED YELLOW GLASS (TRANSPARENT)
- 15 BRICK VENEER - RUNNING BOND

AMENDED DRAWINGS
DP No Date Received
DP2024-01859 May 14 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

LEGAL DESCRIPTION: LOT: 67 MSR BLOCK: 53 PLAN: 1:113046
CIVIC ADDRESS: 1110 EVANSTON DR NW CALGARY, ALBERTA

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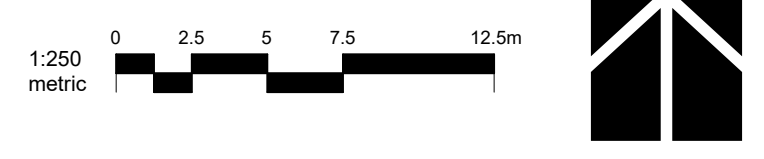
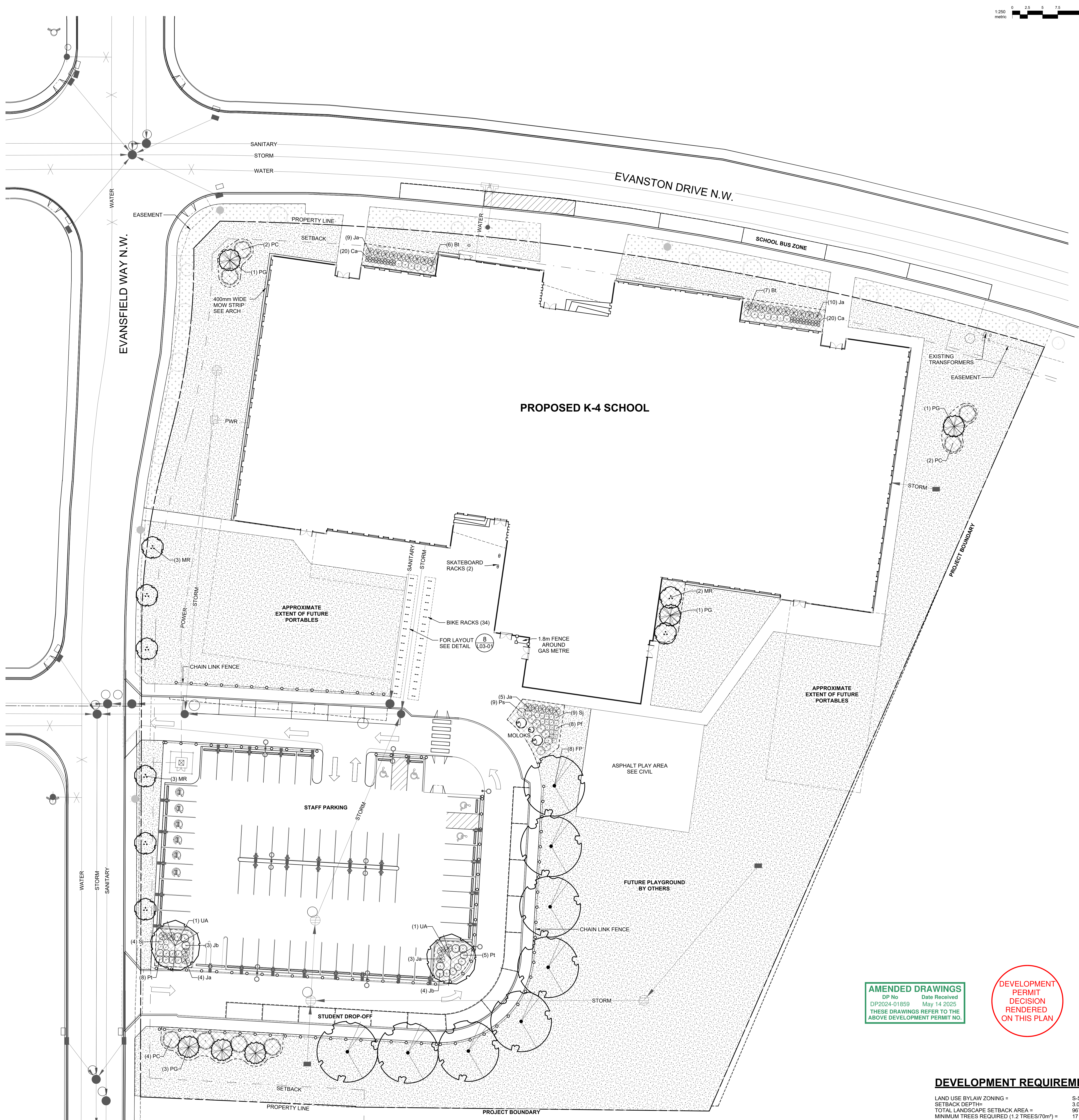


PROJECT
EVANSTON K-4 SCHOOL
CALGARY, AB

TITLE
BUILDING ELEVATIONS

SEAL	DRAWN BY:	CHECKED BY:	SCALE:
	JDP	Checker	As indicated
	DATE	SITE ID:	BUILDING ID:
	2024.12.24		
	PLAN NO.	PHASE	DISCIPLINE
	PROJECT ID	SHEET NO.	
	24072	A05-01	

NOTE: THIS DRAWING TO BE PRINTED IN COLOUR



LEGEND

- SOD ON 300mm DEPTH APPROVED TOPSOIL
- STRIP EXISTING SOD, TOPDRESS / PREPARE TOPSOIL, AND PLACE NEW SOD
- 100mm WOOD MULCH ON 600mm DEPTH APPROVED TOPSOIL FOR TREE AND SHRUB BEDS
- 1.2m HT. BLACK VINYL CHAINLINK FENCE TO BE CONSTRUCTED TO ALBERTA INFRASTRUCTURE STANDARDS
- 1.8m HT. BLACK VINYL CHAINLINK FENCE TO BE CONSTRUCTED TO ALBERTA INFRASTRUCTURE STANDARDS
- BOARDLOCK 'SPARTAN 20' SKATEBOARD RACK -2 RECD -40 STALLS -SURFACE MOUNT
- MAGLIN MBR-0500-00003 U BIKE RACK -34 RECD -48 STALLS -BLACK POWDERCOAT -SURFACE MOUNT

TREE SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE
	PC	8	Pinus contorta latifolia	Lodgepole Pine	B & B	3000mm HT.
	PG	6	Picea glauca	White Spruce	B & B	2000mm HT.
	FP	8	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	B & B	75mm Cal.
	MR	8	Malus x 'Royalty'	Royalty Crabapple	B & B	60mm Cal.
	UA	2	Ulmus americana	American Elm	B & B	75mm Cal.

SHRUB SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE
	Ja	31	Juniperus horizontalis 'Plumosa Compacta'	Andorra Juniper	#5 Container	600mm Spr.
	Jb	7	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	#5 Container	600mm Spr.
	Bt	13	Berberis Thunbergii 'Sunsation'	Sunsation Barberry	#3 Container	600mm HT.
	Pf	8	Potentilla fruticosa 'Pink Beauty'	Pink Beauty Potentilla	#3 Container	600mm HT.
	Ps	9	Physocarpus opulifolius 'Seward'	Summer Wine® Ninebark	#3 Container	600mm HT.
	Pt	13	Physocarpus opulifolius 'Tiny Wine'	Tiny Wine Ninebark	#3 Container	600mm HT.
	Sj	13	Spiraea japonica 'Goldmound'	Goldmound Japanese Spirea	#3 Container	600mm HT.
	Ca	40	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 Container	2 Years Old

AMENDED DRAWINGS
 DP No: DP2024-01859 Date Received: May 14 2025
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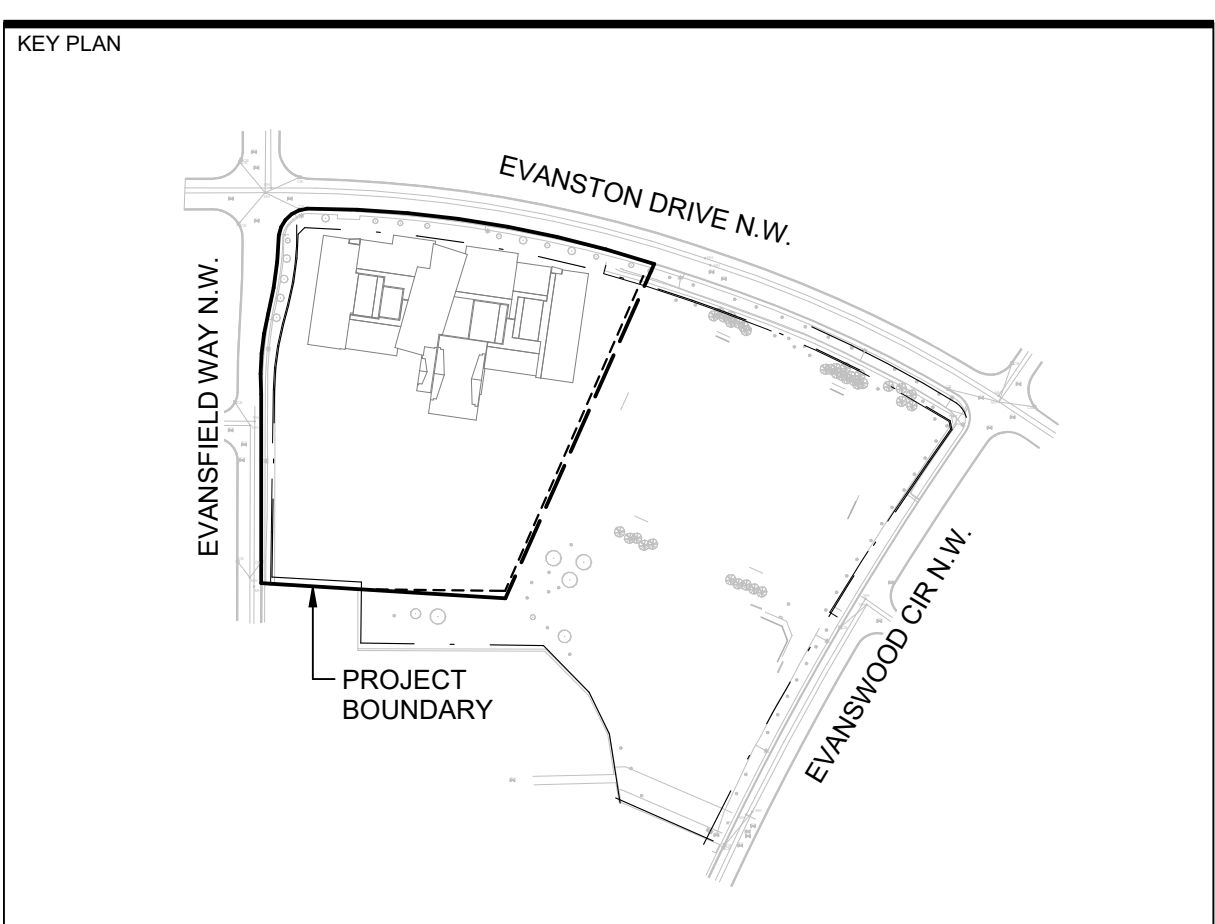
DEVELOPMENT REQUIREMENTS

LAND USE BYLAW ZONING = S-SPR
 SETBACK DEPTH: 3.0m FROM EVERY PROPERTY LINE
 TOTAL LANDSCAPE SETBACK AREA = 967m² (ALONG NORTH AND WEST PROPERTY LINES)
 MINIMUM TREES REQUIRED (1.2 TREES/70m²) = 17 TREES (25% CONIFEROUS / 75% DECIDUOUS)
 MINIMUM SHRUBS REQUIRED (2.0 SHRUBS/45m²) = 43 SHRUBS

TREES PROVIDED =
 32 TREES TOTAL
 8 CONIFEROUS TREES, 3.0m Height
 6 CONIFEROUS TREES, 2.0m Height
 10 DECIDUOUS TREES, 75mm Caliper
 8 DECIDUOUS TREES, 60mm Caliper

SHRUBS PROVIDED =
 94 SHRUBS

UTILITIES	TREE SETBACK REQUIREMENTS			
	POPLARS SERVICES	POPLARS MAINS	DECIDUOUS SERVICES	DECIDUOUS MAINS
SANITARY	3.0m	4.0m	2.5m	3.0m
STORM	3.0m	4.0m	2.5m	3.0m
WATER	3.0m	4.0m	2.5m	3.0m
HYDRANTS	3.0m	4.0m	2.5m	3.0m
GAS	2.0m	2.0m	2.0m	2.0m
TELSU	2.0m	2.0m	1.5m	2.0m
CTV	2.0m	2.0m	1.5m	2.0m
POWER	2.0m	2.0m	1.5m	2.0m
O/H POWER	9.0m	9.0m	7.0 - 9.0m	7.0 - 9.0m
STREET LIGHTS	5.0m	5.0m	4.0 - 5.0m	4.0m



- NOTES**
- ALL CONSTRUCTION TO MEET THE CITY OF CALGARY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 - NO RESPONSIBILITY IS IMPLIED OR ASSUMED BY THE ENGINEER / ARCHITECT AS TO THE LOCATION AND ELEVATION OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF ALL UTILITIES THAT MAY BE IMPACTED AND MUST CONTACT THE VARIOUS UTILITY COMPANIES FOR THIS SITE PRIOR TO COMMENCEMENT OF ANY OPERATIONS. PROVIDE ENGINEER / ARCHITECT WITH COPY OF ALL LOCATE REPORTS.
 - CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER / ARCHITECT OF ANY DISCREPANCIES.
 - CONTRACTOR IS TO ENSURE AN "ISSUED FOR CONSTRUCTION" SET OF DRAWINGS IS ON SITE AT ALL TIMES.
 - CONTRACTOR SHALL STAKE ALL LANDSCAPE ELEMENTS AND CONTACT THE CONSULTANT FOR APPROVAL PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
 - CONTRACTOR IS RESPONSIBLE FOR DAILY GENERAL SITE CLEAN UP AND TO MAINTAIN A SAFE CONSTRUCTION SITE AT ALL TIMES.
 - CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL AND SEDIMENT TRACKING OFF SITE DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR HAULING OF ALL EXCESS OR UNSUITABLE MATERIALS OFF SITE AND PAY ALL COSTS AND FEES ASSOCIATED THEREWITH.
 - CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPED AREAS, PAVEMENT, CONCRETE, UTILITIES, AND ANY OTHER ITEMS OR AREA THAT ARE TO REMAIN. RESTORATIONS AND REPAIRS WILL BE MADE AT THE CONTRACTOR'S EXPENSE AND TO THE ENGINEER / ARCHITECT'S SATISFACTION.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND REGULATORY APPROVALS INCLUDING ANY ASSOCIATED COSTS TO COMPLETE THIS CONTRACT.
 - ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. CONTRACTOR TO MAINTAIN THE INTEGRITY OF THE EXISTING IRRIGATION SYSTEM IN THE ADJACENT PARK. IRRIGATION DESIGN, INSTALLATION AND ANY REPAIRS TO EXISTING IRRIGATION SYSTEM IN ADJACENT PARK TO BE PERFORMED BY A CERTIFIED COMMERCIAL LANDSCAPE CONSULTANT FROM THE CITY OF CALGARY QUALIFIED CONTRACTOR DIRECTORY.

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CIVIC ADDRESS: 1110 EVANSTON DR NW CALGARY, ALBERTA

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FWBA ARCHITECTS
 LEHRBRIDGE - CALGARY - MEDICINE HAT
 TEL 403.327.3113 www.fwba.ca

ISL



PROJECT: **EVANSTON K-4 SCHOOL CALGARY, AB**

PLANTING PLAN

SEAL	DRAWN BY: JBC	CHECKED BY: GM	SCALE: 1:250
	DATE: 2025.05.12	SHEET NO. L02-01	

DOCUMENT CODE